

October 15, 2025

1115-035

City of Nanaimo  
Planning Department  
455 Wallace Street  
Nanaimo, BC

**Re: Development Permit Application  
Jordan Avenue Industrial  
4951 Jordan Avenue, Nanaimo, BC**

The proposed project is a multi-unit industrial building, consisting of warehouse units on the lower floor, served by industrial showrooms and office space on the upper 2 stories. The site is currently undeveloped and zoned I2, with slopes down towards the south rear property line. The building is 2 stories on the front and 3 on the rear. The proposed development has 18% site coverage, with 1 222 m<sup>2</sup> of building footprint.



**Building design**

The building has been designed to work with the existing site grades and create a zone in the front for customers to park and access the showrooms and offices, and a zone in the rear for loading and employee parking.

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Current Planning

The building is clad with metal siding, with hardie panels and suspended metal canopies to define the unit showroom and office entries. There are also suspended canopies over the rear loading overhead doors and an upper floor common roof deck amenity space.

### **Parking**

The site parking has been designed with 2 zones, one in front for customers and the other in the rear for loading and employees. The front parking is screened with landscape and the rear is screened by the building and landscape. The proposed car and bike parking numbers meet the city of Nanaimo's parking bylaw.

Yours truly,

### **HEROLD ENGINEERING LIMITED**

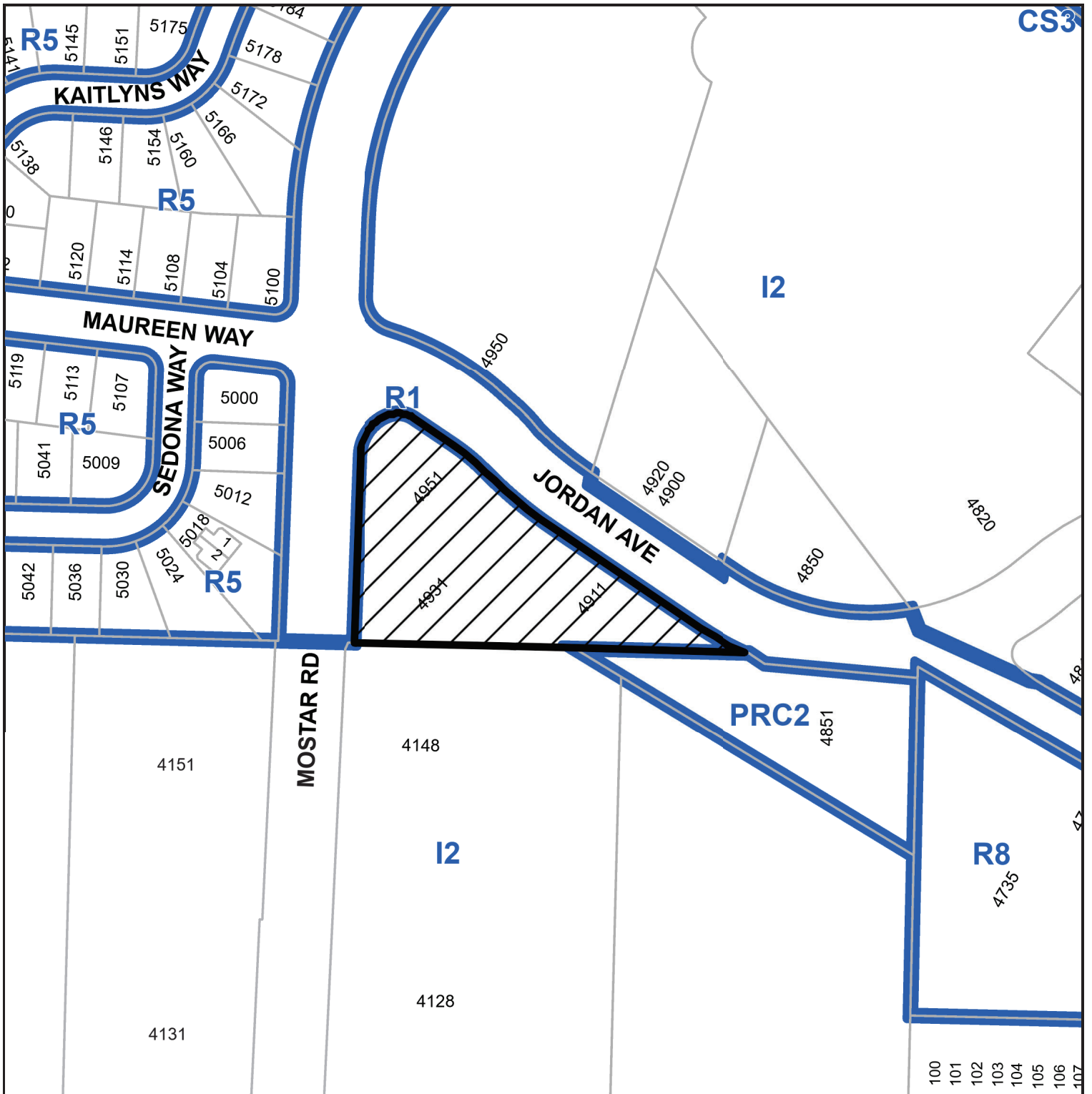



Derek Matthews  
Technologist

Enclosure

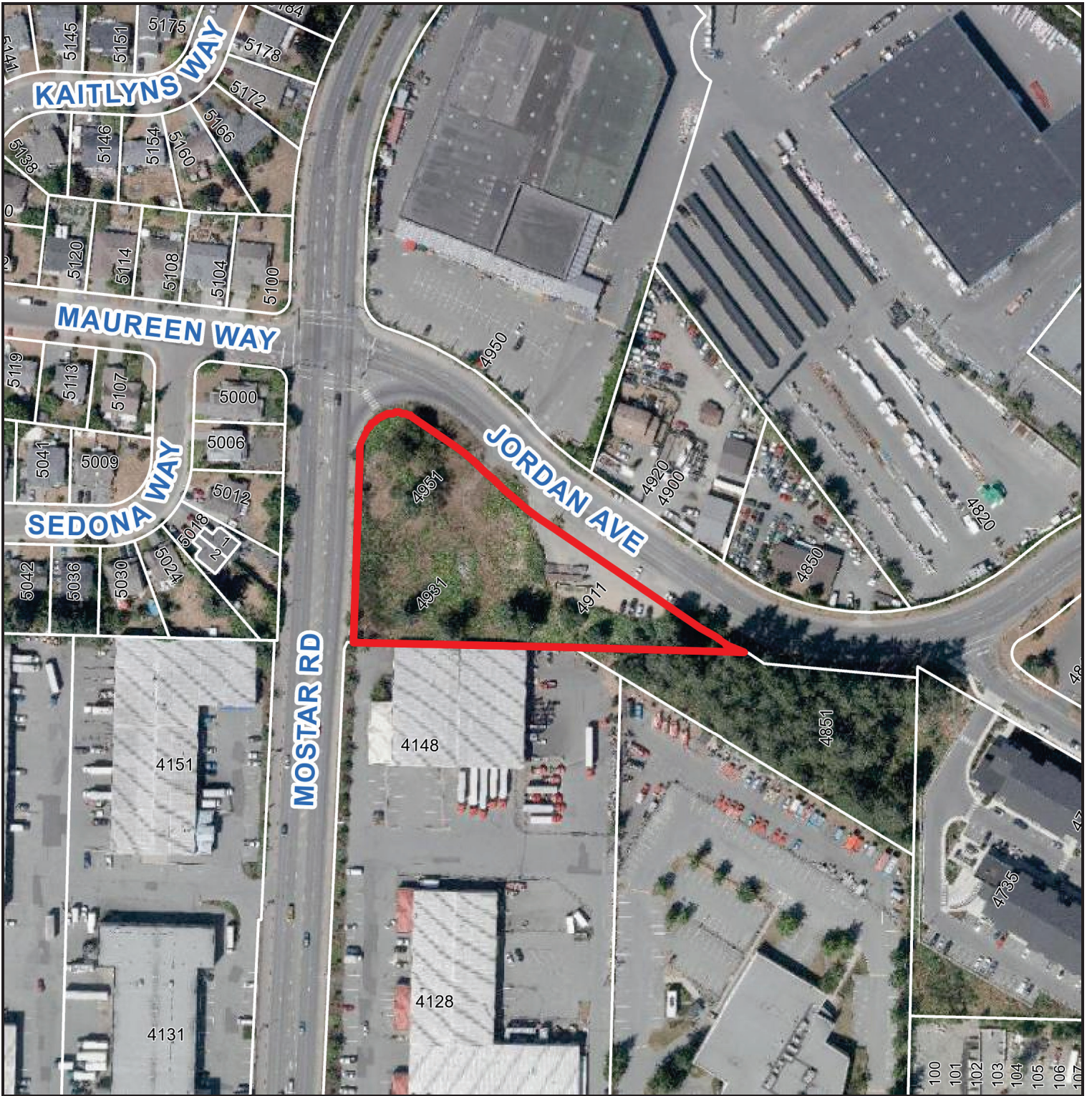
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Current Planning

# SUBJECT PROPERTY MAP

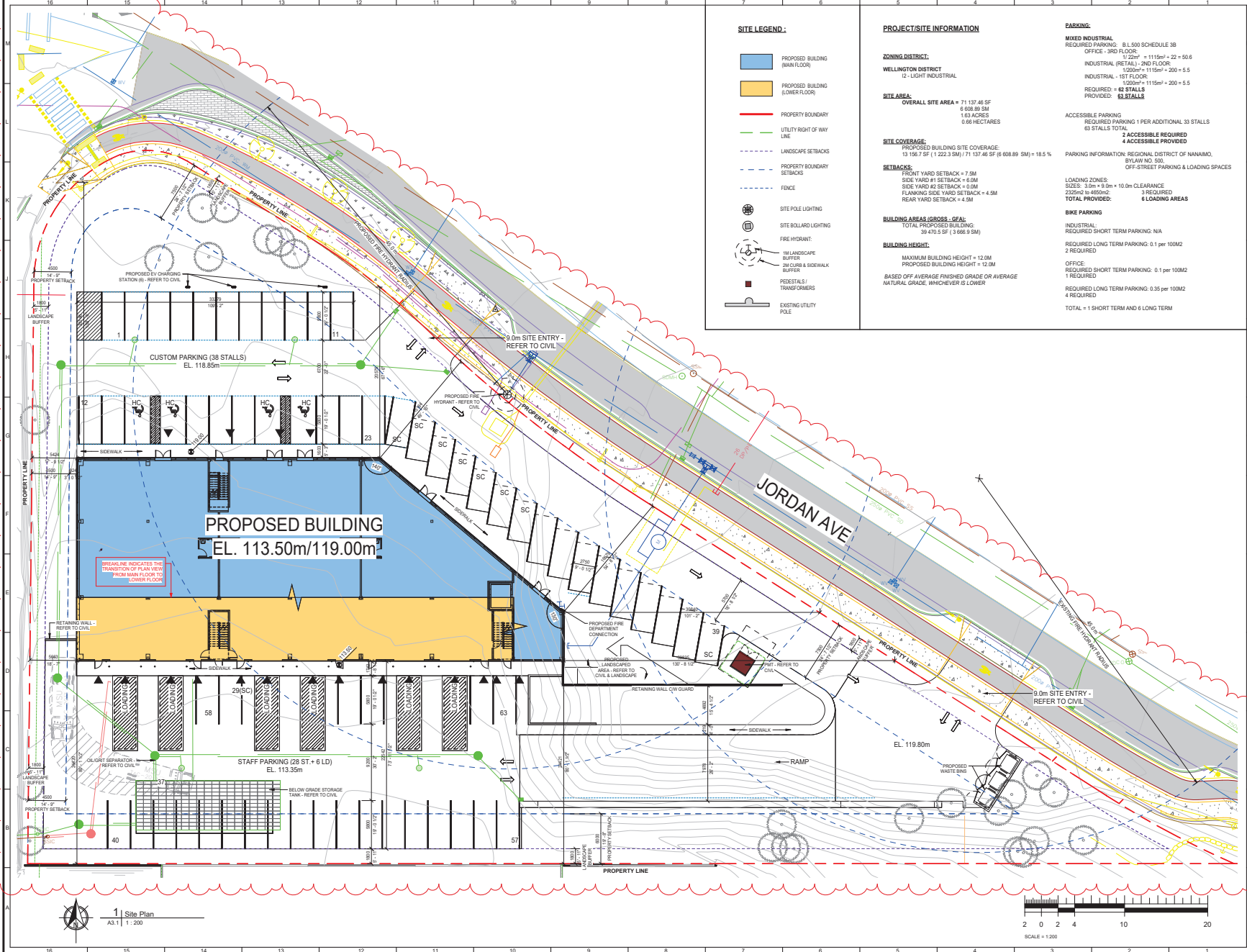


 4951 JORDAN AVENUE

# AERIAL PHOTO



 4951 JORDAN AVENUE



**SITE LEGEND:**

- PROPOSED BUILDING (MAIN FLOOR)
- PROPOSED BUILDING (LOWER FLOOR)
- PROPERTY BOUNDARY
- UTILITY RIGHT OF WAY LINE
- LANDSCAPE SETBACKS
- PROPERTY BOUNDARY SETBACKS
- FENCE
- SITE POLE LIGHTING
- SITE BOLLARD LIGHTING
- FIRE HYDRANT
- 3M LANDSCAPE BUFFER
- 3M CURB & SIDEWALK BUFFER
- FLOODLIGHTS
- TRANSFORMERS
- EXISTING UTILITY POLE

**PROJECT/SITE INFORMATION**

**ZONING DISTRICT:**  
WELLINGTON DISTRICT  
I2 - LIGHT INDUSTRIAL

**SITE AREA:**  
OVERALL SITE AREA = 71 137.46 SF  
8 688.89 SM  
1.63 ACRES  
0.66 HECTARES

**SITE COVERAGE:**  
PROPOSED BUILDING SITE COVERAGE:  
13 158.7 SF (1 222.3 SM) / 71 137.46 SF (8 688.89 SM) = 18.5 %

**SETBACKS:**  
FRONT YARD SETBACK = 7.5M  
SIDE YARD #1 SETBACK = 6.0M  
SIDE YARD #2 SETBACK = 5.0M  
FLANKING SIDE YARD SETBACK = 4.5M  
REAR YARD SETBACK = 4.5M

**BUILDING AREAS (GROSS - GEA):**  
TOTAL PROPOSED BUILDING  
39 470.2 SF (3 668.8 SM)

**BUILDING HEIGHT:**  
MAXIMUM BUILDING HEIGHT = 12.0M  
PROPOSED BUILDING HEIGHT = 12.0M  
BASED OFF AVERAGE FINISHED GRADE OR AVERAGE NATURAL GRADE, WHICHEVER IS LOWER

**PARKING:**

**MIXED INDUSTRIAL**  
REQUIRED PARKING: B.L. 500 SCHEDULE 38  
OFFICE - 3RD FLOOR:  
17 226m<sup>2</sup> = 1115m<sup>2</sup> x 22 = 50.6  
INDUSTRIAL (RETAIL) - 2ND FLOOR:  
1200m<sup>2</sup> x 11.5m<sup>2</sup> = 200 = 5.5  
INDUSTRIAL - 1ST FLOOR:  
1200m<sup>2</sup> x 11.5m<sup>2</sup> = 200 = 5.5  
PROVIDED: **42 STALLS**

**ACCESSIBLE PARKING**  
REQUIRED PARKING 1 PER ADDITIONAL 30 STALLS  
63 STALLS TOTAL  
**2 ACCESSIBLE REQUIRED**  
**4 ACCESSIBLE PROVIDED**

**LOADING ZONES:**  
SIZES: 3.0m x 9.3m = 10.0m CLEARANCE  
2325m<sup>2</sup> to 4650m<sup>2</sup>  
TOTAL PROVIDED: **4 LOADING AREAS**

**BIKE PARKING**  
INDUSTRIAL:  
REQUIRED SHORT TERM PARKING: N/A  
REQUIRED LONG TERM PARKING: 0.1 per 100M<sup>2</sup>  
2 REQUIRED  
OFFICE:  
REQUIRED SHORT TERM PARKING: 0.1 per 100M<sup>2</sup>  
1 REQUIRED  
REQUIRED LONG TERM PARKING: 0.05 per 100M<sup>2</sup>  
4 REQUIRED  
TOTAL = 1 SHORT TERM AND 6 LONG TERM

**KEY-PLAN**

**LEGAL DESCRIPTION:**  
LOT A  
SECTION 5  
WELLINGTON DISTRICT  
PLAN EPP89857  
PID: 030-081-360

**MUNICIPAL ADDRESS:**  
4951 JORDAN AVENUE  
NANAIMO, BRITISH COLUMBIA V9T 2H7

**CLIENT INFORMATION:**

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**DP1403**  
**2025-DEC-02**  
Current Planning

#	Setback Dimensions Added to Site	Date
1 <td></td> <td>2025 12 01</td>		2025 12 01

**Revision Schedule**

#	Description	Date
1 <td></td> <td></td>		

**CONSULTANT LOGO:**

**HEROLD ENGINEERING**  
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NO.	BY	DESCRIPTION	DATE
1	DK	ISSUE FOR DEVELOPMENT PERMIT REVISION	2025 12 01
2	DK	ISSUE FOR DEVELOPMENT PERMIT	2025 10 10

**PROFESSIONAL SEAL:**

**ALVIN RENARDO FRETT ARCHITECT INC.**  
REGISTERED ARCHITECT  
BRITISH COLUMBIA  
2025-10

**PROFESSIONAL SEAL:**

**ALVIN RENARDO FRETT ARCHITECT INC.**  
REGISTERED ARCHITECT  
BRITISH COLUMBIA  
2025-10

**LOCATION:**  
4951 Jordan Avenue, Nanaimo, BC

**DRAWING TITLE:**  
Site Plan

DRAWN BY:	CHECKED BY:
CH / DDM	DK / JK

**SCALE:** As indicated

**PROJECT:** 25076 NHELB / 1115-035

**ISSUE FOR:** DP REV.

**ISSUE DATE:** 2025 12 01

**SHEET NO. 1** **A.1.1**

1 | Site Plan  
A3.1 | 1:200





**EXTERIOR FINISH LEGEND:**

- VMC-1 VERTICAL METAL WALL CLADDING - WESTFORM METALS OR APPROVED ALT. - "CHARCOAL GREY"
- VMC-2 VERTICAL METAL WALL CLADDING - WESTFORM METALS OR APPROVED ALT. - "REGENT GREY"
- CWP-1 FIBRE CEMENT WALL PANEL - JAMES HARDIE OR APPROVED ALT. - "CUSTOM BLUE - PAINTED"
- PST-1 PRE-FINISHED STEEL TRIM - WESTFORM METALS OR APPROVED ALT. - "CHARCOAL GREY"
- PST-2 PRE-FINISHED STEEL TRIM - WESTFORM METALS OR APPROVED ALT. - "POLAR WHITE"
- PRG-1 CONCRETE FACED INSULATION

**NOTES:**

WINDOW AND DOOR MATERIALS, FINISHES AND PAINTED SURFACES ARE NOT TAGGED ON EXTERIOR ELEVATIONS. REFER TO WINDOW AND DOOR SCHEDULE IN CONNECTION WITH MATERIALS SPECIFICATIONS.

CAULK AT ALL JOINTS TO BE COLOUR MATCHED TO ADJACENT MATERIALS

PRE-FINISHED METAL DOWNSPOUTS, FLASHING, & CAPS TO MATCH ADJACENT FINISH COLOURS. FINAL DOWNSPOUT LOCATIONS ARE TO BE CONFIRMED ON SITE BY ROOF CONTRACTOR

REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS & TYPE OF EXTERIOR EXHAUST/ INTAKE LOUVERS

REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATIONS & TYPE OF EXTERIOR LIGHTS/ RECEPTACLES

REFER TO CIVIL DRAWINGS FOR EXACT GRADING PROVISIONS

REFERENCE ROOFING CONTRACTORS ASSOCIATION OF BRITISH COLUMBIA (RCABC) DETAILS FOR ALL ROOF PENETRATIONS

ALL MATERIALS & COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION

**KEY-PLAN**

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 PLAN EPP89857  
 PID: 030-081-360

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 NANAIMO, BRITISH COLUMBIA V9T 2H7

**CLIENT INFORMATION:**

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**2025-OCT-20**  
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#	Description	Date
1	DK	ISSUE FOR DEVELOPMENT PERMIT

**Revision Schedule**

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NO.	BY	DESCRIPTION	DATE
1	DK	ISSUE FOR DEVELOPMENT PERMIT	2025 10 10

**ALVIN RENARDO FRITZ ARCHITECT INC.**

**PROFESSIONAL SEAL:**

**REGISTERED ARCHITECT**  
 ALVIN RENARDO FRITZ  
 2025-10  
 BRITISH COLUMBIA

**PROJECT:** Hazelwood Industrial Warehouse Development  
**LOCATION:** 4951 Jordan Avenue, Nanaimo, BC

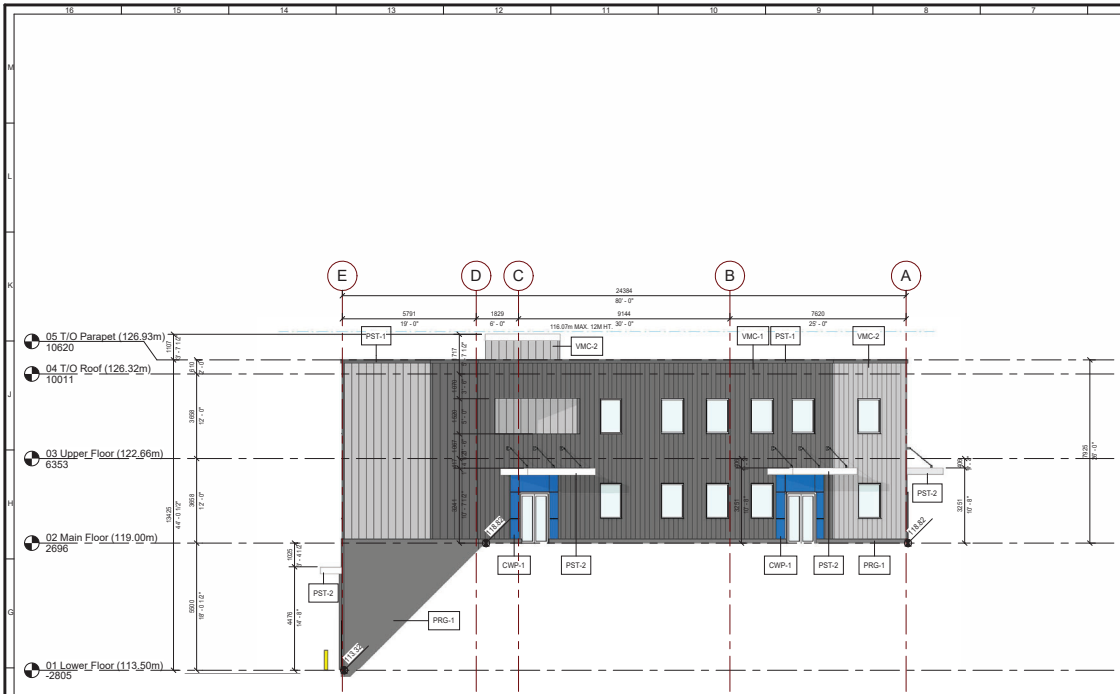
**DRAWING TITLE:** Building Elevations

**DRAWN BY:** CH / DDM  
**CHECKED BY:** DK / JK

**SCALE:** As indicated

**PROJECT:** 25076 NHELB / 1115-035  
**ISSUE FOR:** DEVELOPMENT PERMIT  
**ISSUE DATE:** 2025 10 10  
**REV. NO.:** 403  
**SHEET NO.:** A3.1

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1 Building Elevation - East  
A2.1 | 1:100



2 Building Elevation - South  
A2.1 | 1:100

**EXTERIOR FINISH LEGEND:**

- VMC-1 VERTICAL METAL WALL CLADDING  
WESTFORM METALS OR APPROVED ALT.  
-CHARCOAL GREY
- VMC-2 VERTICAL METAL WALL CLADDING  
WESTFORM METALS OR APPROVED ALT.  
-REGENT GREY
- CWP-1 FIBRE CEMENT WALL PANEL  
JAMES HARDIE OR APPROVED ALT.  
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WESTFORM METALS OR APPROVED ALT. -POLAR WHITE
- PRG-1 CONCRETE FACED INSULATION

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 REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS & TYPE OF EXTERIOR EXHAUST / INTAKE LOUVERS.  
 REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATIONS & TYPE OF EXTERIOR LIGHTS / RECEPTACLES.  
 REFER TO CIVIL DRAWINGS FOR EXACT GRADING PROVISIONS.  
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**KEY-PLAN**  
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 WELLINGTON DISTRICT  
 PLAN EPP89857  
 PID: 030-081-360  
 MUNICIPAL ADDRESS:  
 4951 JORDAN AVENUE  
 NANAIMO, BRITISH COLUMBIA V8T 2H7

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**2025-OCT-20**  
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NO.	BY	DESCRIPTION	DATE
1	DK	ISSUE FOR DEVELOPMENT PERMIT	2025 10 10

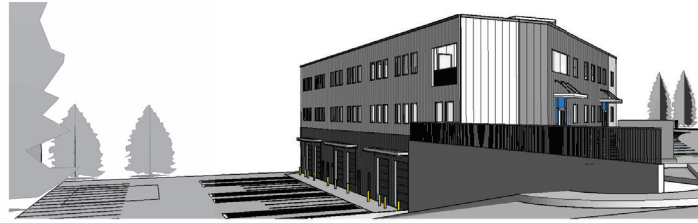
**ALVIN REINHARD FRITZ ARCHITECT INC.**  
 Norland Coach House  
 #10 89091 Range Road 212,  
 Lechbridge County, Alberta  
 T1X 9N9  
 alvinfritzarchitect.com  
 ph: (403) 329-8100  
 Fax: (403) 323-3373  
 general@alvinfritzarchitect.com

**PROFESSIONAL SEAL:**

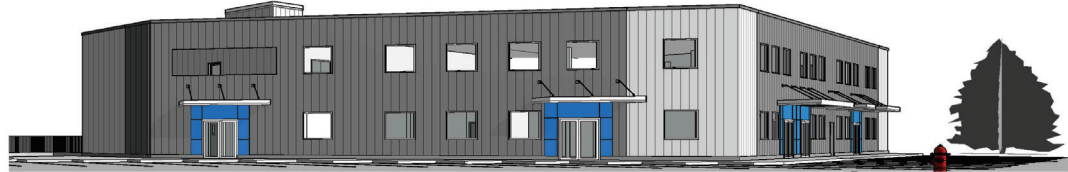
**DRAWING TITLE:**  
**Building Elevations**

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DRAWN BY: CH / DOM      CHECKED BY: DK / JK  
 SCALE: As indicated  
 PROJECT: 25076 NHEJB / 1115-035  
 ISSUE FOR: DEVELOPMENT PERMIT  
 ISSUE DATE: 2025 10 10  
 REV. NO.      SHEET NO.  
 A3.2



1 | 3D View #1



2 | 3D View #2



3 | 3D View #3

**EXTERIOR FINISH LEGEND:**

- VMC-1 VERTICAL METAL WALL CLADDING  
WESTFORM METALS OR APPROVED ALT.  
-CHARCOAL GREY
- VMC-2 VERTICAL METAL WALL CLADDING  
WESTFORM METALS OR APPROVED ALT.  
-REGENT GREY
- CWP-1 FIBRE CEMENT WALL PANEL  
JAMES HARDIE OR APPROVED ALT.  
-CUSTOM BLUE - PAINTED
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WESTFORM METALS OR APPROVED ALT. -CHARCOAL GREY
- PST-2 PRE-FINISHED STEEL TRIM  
WESTFORM METALS OR APPROVED ALT. -POLAR WHITE
- PRG-1 CONCRETE FACED INSULATION

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**KEY PLAN**

LEGAL DESCRIPTION:  
 LOT A  
 SECTION 5  
 WELLINGTON DISTRICT  
 PLAN EPP89857  
 PID: 030-081-360  
 MUNICIPAL ADDRESS:  
 1951 JORDAN AVENUE  
 NANAIMO, BRITISH COLUMBIA V8T 2H7

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**2025-OCT-20**  
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#	Description	Date
Revision Schedule		

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1	DK	ISSUE FOR DEVELOPMENT PERMIT	2025 10 10

**ALVIN RENAARD FRITZ ARCHITECT INC.**

Norland Coach House  
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 T1J 9N9  
 alvinfritzarchitect.com  
 ph: (403) 329-8100  
 Fax: (403) 327-3373  
 general@alvinfritzarchitect.com

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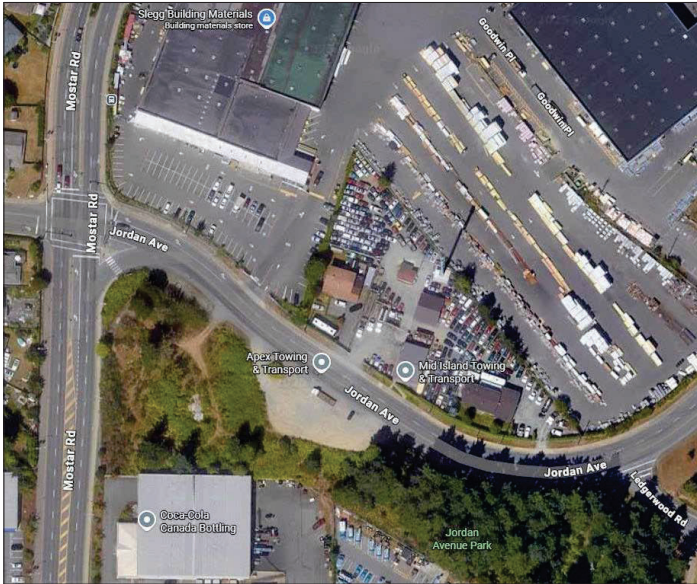
**DRAWING TITLE:**  
**3D Street Views**

**PROJECT:** 25076 NHELB / 1115-035  
**ISSUE FOR:** DEVELOPMENT PERMIT  
**ISSUE DATE:** 2025 10 10  
**REV. NO.:** 2025 10 10  
**SHEET NO.:** **A3.3**

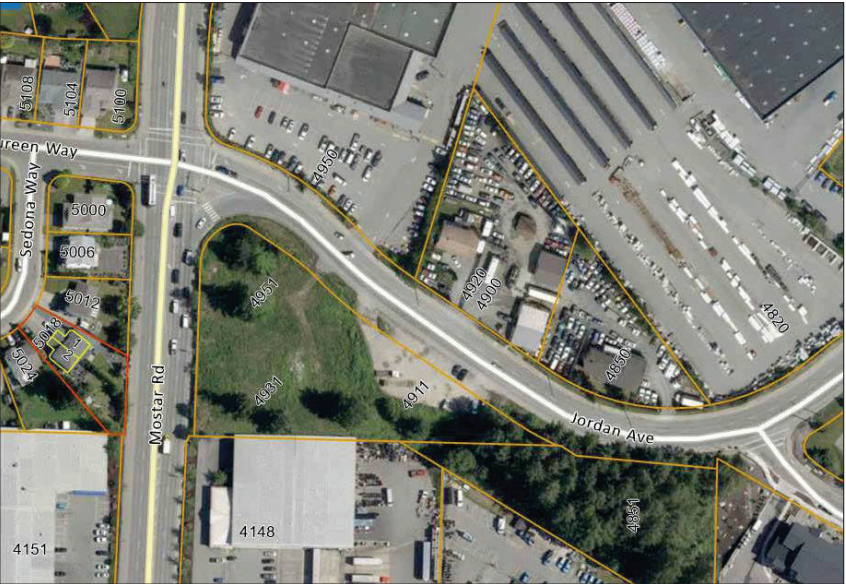
**DRAWN BY:** CH / DDM  
**CHECKED BY:** DK / JK  
**SCALE:** 1:50

**PROJECT:** 25076 NHELB / 1115-035  
**ISSUE FOR:** DEVELOPMENT PERMIT  
**ISSUE DATE:** 2025 10 10  
**REV. NO.:** 2025 10 10  
**SHEET NO.:** **A3.3**

PROJECT: Hazelwood Industrial Warehouse Development  
 LOCATION: 4951 Jordan Avenue, Nanaimo, BC



LOCATION PLAN



SITE AIR PHOTO



VIEW OF SITE FROM JORDAN AVE/ MOSTAR



VIEW OF SITE FROM JORDAN AVE

KEY PLAN

LEGAL DESCRIPTION:  
 LOT A  
 SECTION 5  
 WELLINGTON DISTRICT  
 PLAN EPP9857  
 PID: 030-081-360

MUNICIPAL ADDRESS:  
 4951 JORDAN AVENUE  
 NANAIMO, BRITISH COLUMBIA V9T 2H7

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Norland Coach House  
 #10 80091 Range Road 212,  
 Lethbridge County, Alberta  
 T1J 9N9  
 alvinfritzarchitect.com

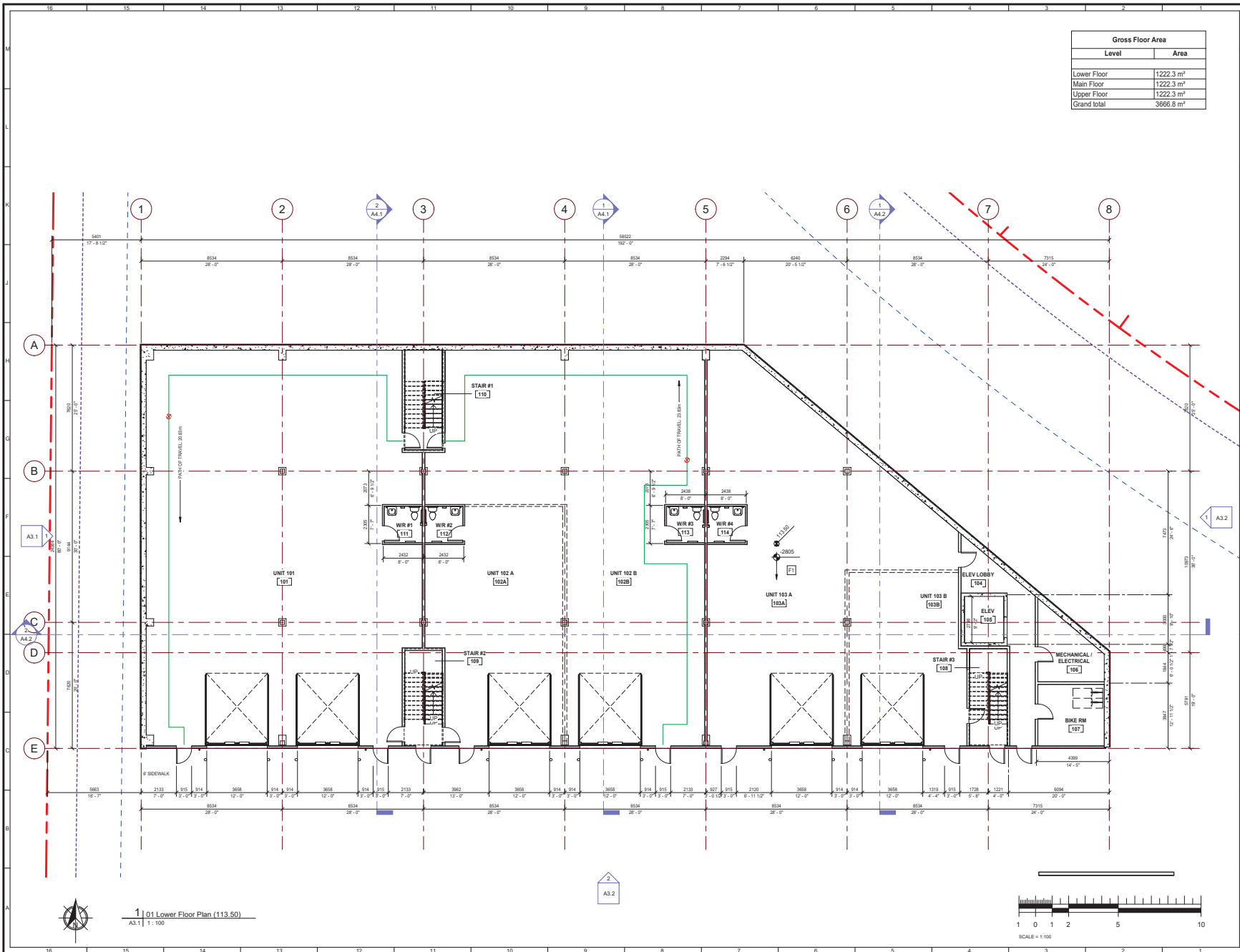
ALVIN FRITZ ARCHITECT INC.  
 403 329-8100  
 Fax (403) 327-3373  
 general@alvinfritzarchitect.com

PROFESSIONAL SEAL:

PROJECT: 25076 NHELB / 1115-035  
 LOCATION: 4951 Jordan Avenue, Nanaimo, BC  
 DRAWING TITLE: Neighbourhood Context Images

DRAWN BY: CH / DDM  
 CHECKED BY: DK / JK

SCALE:  
 PROJECT: 25076 NHELB / 1115-035  
 ISSUE FOR: DEVELOPMENT PERMIT  
 ISSUE DATE: 2025 10 10  
 REV. NO. SHEET NO. **A1.2**



Gross Floor Area	
Level	Area
Lower Floor	1222.3 m <sup>2</sup>
Main Floor	1222.3 m <sup>2</sup>
Upper Floor	1222.3 m <sup>2</sup>
Grand total	3666.8 m <sup>2</sup>

KEY-PLAN

LEGAL DESCRIPTION:  
 LOT A  
 SECTION 5  
 WELLINGTON DISTRICT  
 PLAN EPP89857  
 PID: 030-081-360

MUNICIPAL ADDRESS:  
 4951 JORDAN AVENUE  
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REGULATED ARCHITECT  
 ALVIN RENAARD FRITZ  
 ARCHITECT INC.  
 2025-10  
 BRITISH COLUMBIA

DRAWING TITLE:  
**Lower Floor Plan (113.50m)**

DRAWN BY: CH / DDM  
 CHECKED BY: DK / JK

SCALE: 1:100

PROJECT: 25076 NHELB / 1115-035

ISSUE FOR: DEVELOPMENT PERMIT

ISSUE DATE: 2025 10 10

REV. NO. 1  
 SHEET NO. **A2.1**

4951 Jordan Avenue, Nanaimo, BC  
 Development  
 LOCATION

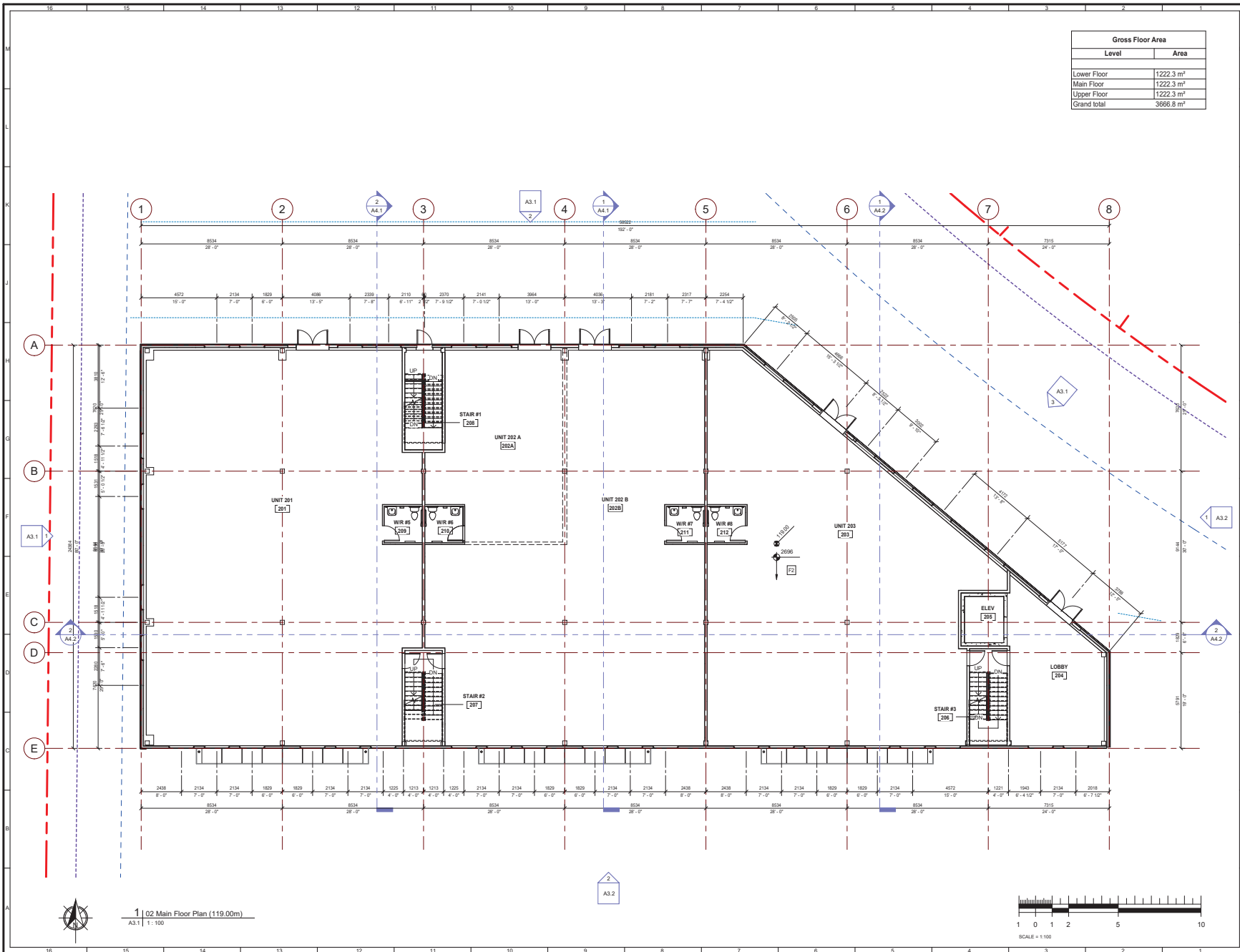
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SCALE = 1:100

1 0 1 2 5 10

1 | 01 Lower Floor Plan (113.50)  
 A3.1 | 1:100



Gross Floor Area	
Level	Area
Lower Floor	1222.3 m <sup>2</sup>
Main Floor	1222.3 m <sup>2</sup>
Upper Floor	1222.3 m <sup>2</sup>
Grand total	3666.8 m <sup>2</sup>

KEY PLAN  
 LEGAL DESCRIPTION:  
 LOT A  
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 WELLINGTON DISTRICT  
 PLAN EPP89857  
 PID: 030-081-360  
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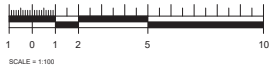
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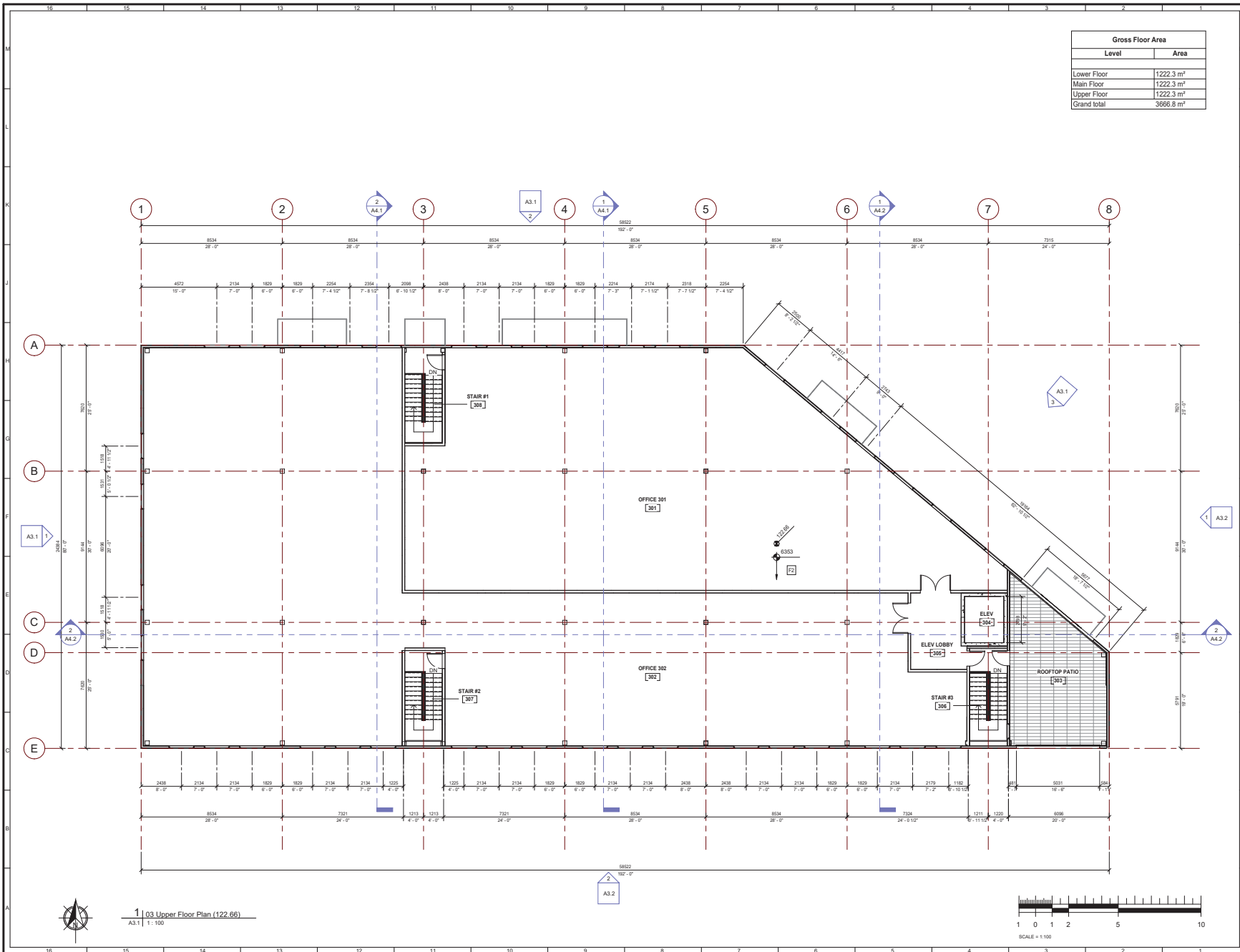
PROFESSIONAL SEAL:

DRAWING TITLE:  
**Main Floor Plan (119.00m)**

DRAWN BY: CH / DDM  
 CHECKED BY: DK / JK  
 SCALE: 1:100  
 PROJECT: 25076 NHELB / 1115-035  
 ISSUE FOR: DEVELOPMENT PERMIT  
 ISSUE DATE: 2025 10 10  
 REV. NO. 2025 10 10  
 SHEET NO. **A2.2**

1 | 02 Main Floor Plan (119.00m)  
 A3.1 | 1:100





Gross Floor Area	
Level	Area
Lower Floor	1222.3 m <sup>2</sup>
Main Floor	1222.3 m <sup>2</sup>
Upper Floor	1222.3 m <sup>2</sup>
Grand total	3666.8 m <sup>2</sup>

KEY-PLAN  
 LEGAL DESCRIPTION:  
 LOT A  
 SECTION 5  
 WELLINGTON DISTRICT  
 PLAN EPP89857  
 PID: 030-081-360  
 MUNICIPAL ADDRESS:  
 4951 JORDAN AVENUE  
 NANAIMO, BRITISH COLUMBIA V9T 2H7

CLIENT INFORMATION:  
**RECEIVED**  
**DP1403**  
**2025-OCT-20**  
 Current Planning

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:  
**HEROLD ENGINEERING**  
 3701 Shenton Rd. Nanaimo, BC V9T 2H1  
 T: 250 751 8508 | F: 250 751 8509  
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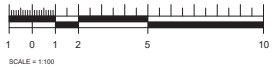
NO.	BY	DESCRIPTION	DATE
1	DK	ISSUE FOR DEVELOPMENT PERMIT	2025 10 10

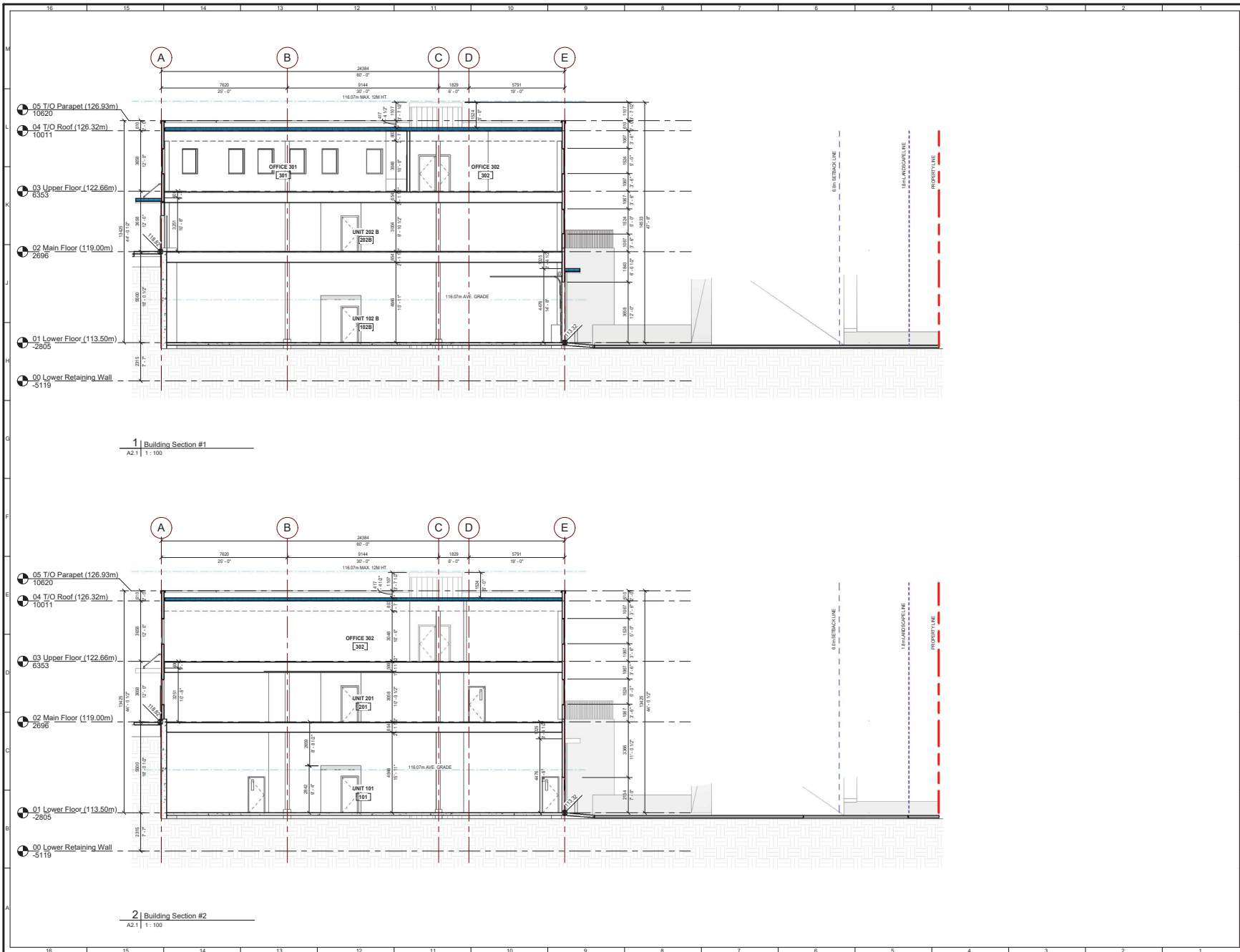
ALVIN RENAARD FRITZ ARCHITECT INC.  
 Norland Coach House  
 #19 9001 Range Road 212,  
 Lethbridge County, Alberta  
 T1J 9N9  
 alvinfritzarchitect.com  
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 general@alvinfritzarchitect.com

PROFESSIONAL SEAL:

PROJECT: 4951 Jordan Avenue, Nanaimo, BC  
 LOCATION: Hazelwood Industrial Warehouse Development  
 DRAWING TITLE: Upper Floor Plan (122.66m)  
 DRAWN BY: CH / DDM  
 CHECKED BY: DK / JK  
 SCALE: 1:100  
 PROJECT: 25076 NHELB / 1115-035  
 ISSUE FOR: DEVELOPMENT PERMIT  
 ISSUE DATE: 2025 10 10  
 REV. NO. 1  
 SHEET NO. **A2.3**

1 | 03 Upper Floor Plan (122.66)  
 A3.1 | 1:100





**KEY-PLAN**

LEGAL DESCRIPTION:  
 LOT A  
 SECTION 5  
 WELLINGTON DISTRICT  
 PLAN EPP89857  
 PID: 030-081-360

MUNICIPAL ADDRESS:  
 4951 JORDAN AVENUE  
 NANAIMO, BRITISH COLUMBIA V9T 2H7

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**DP1403**  
**2025-OCT-20**  
 Current Planning

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#	Description	Date
Revision Schedule		

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CONSULTANT LOGO:

**HEROLD ENGINEERING**  
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NO.	BY	DESCRIPTION	DATE
1	DK	ISSUE FOR DEVELOPMENT PERMIT	2025 10 10

---

**Norland Coach House**  
 #19 9001 Range Road 212,  
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 Fax: (403) 327-3373  
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---

ALVIN FRITZ ARCHITECT INC.

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PROFESSIONAL SEAL:

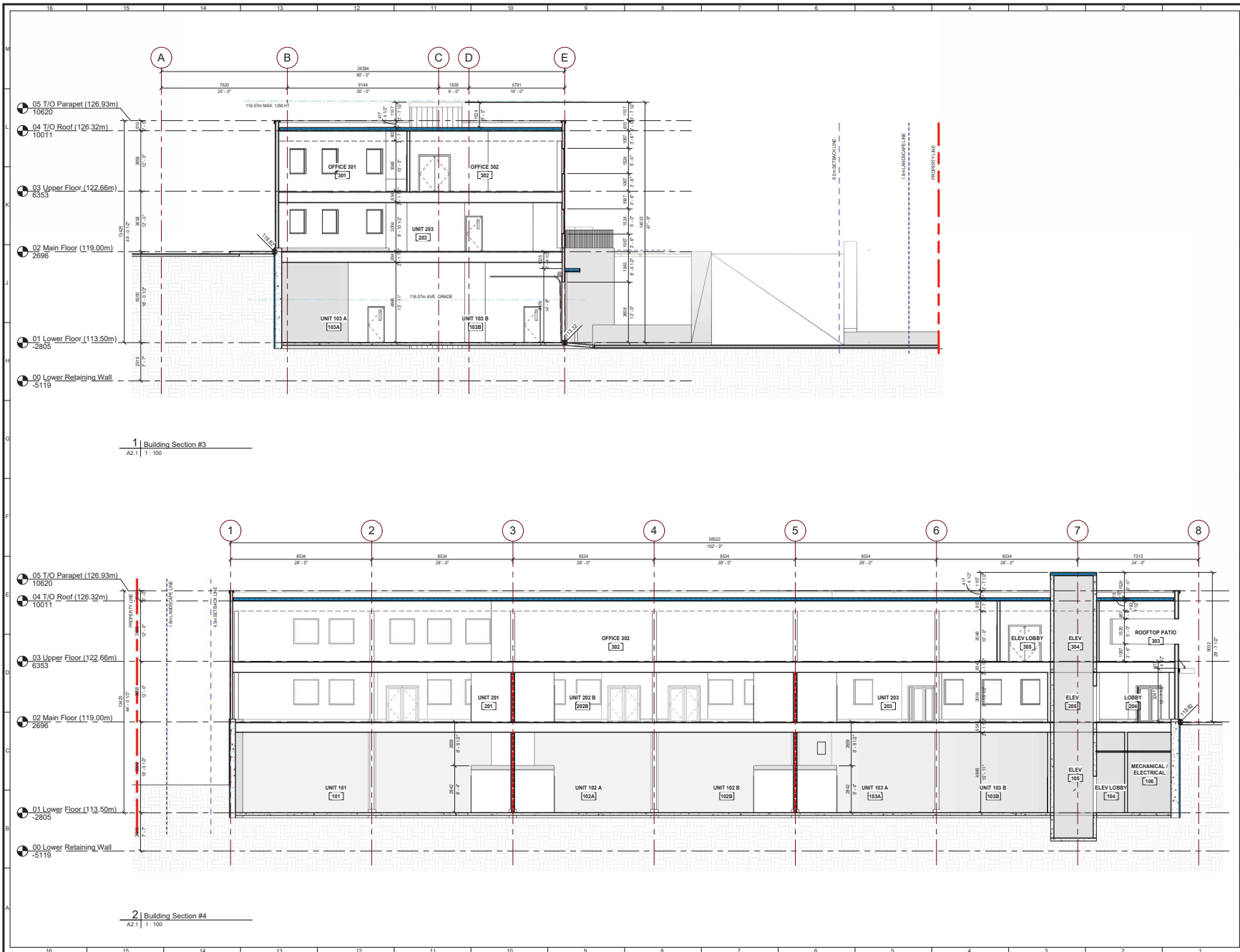
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**PROJECT:** Hazelwood Industrial Warehouse Development  
**LOCATION:** 4951 Jordan Avenue, Nanaimo, BC

**DRAWING TITLE:** Building Sections

DRAWN BY: CH / DDM  
 CHECKED BY: DK / JK

SCALE: 1:100  
 PROJECT: 25076 NHELB / 1115-035  
 ISSUE FOR: DEVELOPMENT PERMIT  
 ISSUE DATE: 2025 10 10  
 REV. NO. SHEET NO. **A4.1**



**KEY-PLAN**

LEGAL DESCRIPTION:  
 LOT A  
 SECTION 5  
 WELLINGTON DISTRICT  
 PLAN EPP89857  
 PID: 030-081-360

MUNICIPAL ADDRESS:  
 4951 JORDAN AVENUE  
 NANAIMO, BRITISH COLUMBIA V9T 2H7

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**CLIENT INFORMATION:**

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**DP1403**  
**2025-OCT-20**  
 Current Planning

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#	Description	Date
1	Issue for Development Permit	2025 10 10

**CONSULTANT LOGO:**

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**PROFESSIONAL SEAL:**

**REGISTERED ARCHITECT**  
 ALVIN RENARD FRITZ  
 2025-10  
 BRITISH COLUMBIA

---

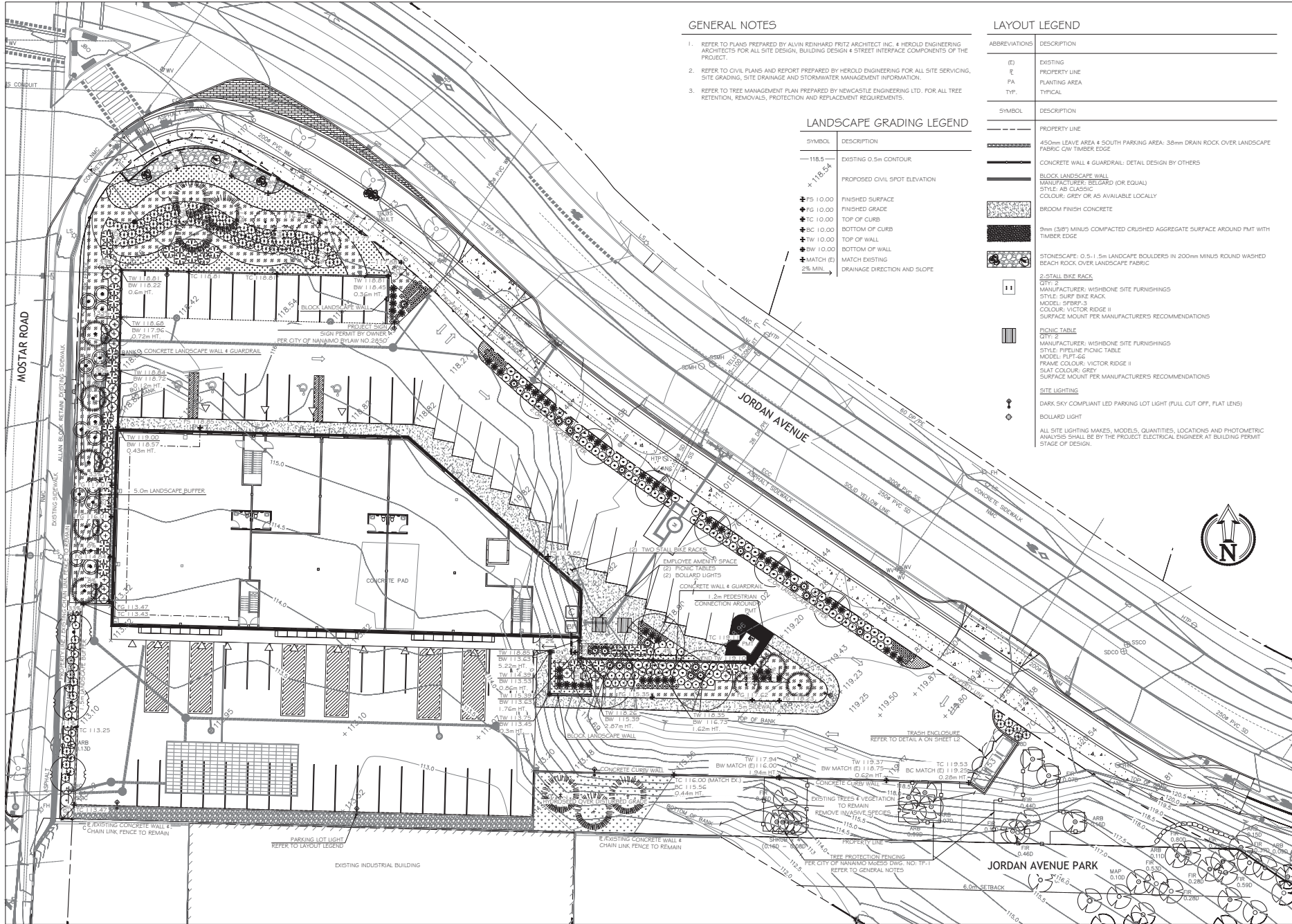
**DRAWING TITLE:**  
**Building Sections**

**LOCATION:**  
 4951 Jordan Avenue, Nanaimo, BC

**PROJECT:** 25076 NHELB / 1115-035  
**ISSUE FOR:** DEVELOPMENT PERMIT  
**ISSUE DATE:** 2025 10 10  
**REV. NO.:** 1  
**SHEET NO.:** A4.2

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**GENERAL NOTES**

- REFER TO PLANS PREPARED BY ALVIN RENHARD FRITZ ARCHITECT INC. & HEROLD ENGINEERING ARCHITECTS FOR ALL SITE DESIGN, BUILDING DESIGN & STREET INTERFACE COMPONENTS OF THE PROJECT.
- REFER TO CIVIL PLANS AND REPORT PREPARED BY HEROLD ENGINEERING FOR ALL SITE SERVING, SITE GRADING, SITE DRAINAGE AND STORMWATER MANAGEMENT INFORMATION.
- REFER TO TREE MANAGEMENT PLAN PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ALL TREE RETENTION, REMOVALS, PROTECTION AND REPLACEMENT REQUIREMENTS.

**LANDSCAPE GRADING LEGEND**

SYMBOL	DESCRIPTION
---	EXISTING 0.5m CONTOUR
+	PROPOSED CIVIL SPOT ELEVATION
FS	FINISHED SURFACE
FG	FINISHED GRADE
TC	TOP OF CURB
BC	BOTTOM OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
MATCH (E)	MATCH EXISTING
2% MIN.	DRAINAGE DIRECTION AND SLOPE

**LAYOUT LEGEND**

ABBREVIATIONS	DESCRIPTION
ID	EXISTING
E	PROPERTY LINE
PA	PLANTING AREA
TYP.	TYPICAL

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	450mm LEAVE AREA & SOUTH PARKING AREA: 38mm DRAIN ROCK OVER LANDSCAPE FABRIC; CW TIMBER EDGE
---	CONCRETE WALL & GUARDRAIL: DETAIL DESIGN BY OTHERS
---	BLOCK LANDSCAPE WALL MANUFACTURER: BELGARD (OR EQUAL) STYLE: SUBP BIKE RACK COLOUR: GREY OR AS AVAILABLE LOCALLY
---	BROOM FINISH CONCRETE
---	9mm (3/8") MINUS COMPACTED CRUSHED AGGREGATE SURFACE AROUND PMT WITH TIMBER EDGE
---	STONE/SCAPE: 0.5 - 1.5m LANDSCAPE BOULDERS IN 200mm MINUS ROUND WASHED BEACH ROCK OVER LANDSCAPE FABRIC
---	INSTALL BIKE RACK QTY: 2 MANUFACTURER: WISHBONE SITE FURNISHINGS STYLE: SUBP BIKE RACK MODEL: SFBFP-3 COLOUR: VICTOR RIDGE II SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
---	PICNIC TABLE QTY: 2 MANUFACTURER: WISHBONE SITE FURNISHINGS STYLE: PICTURE PICNIC TABLE MODEL: PLPT-66 FRAME COLOUR: VICTOR RIDGE II SLAT COLOUR: GREY SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
---	SITE LIGHTING DARK SKY COMPLIANT LED PARKING LOT LIGHT (PULL OUT OF, FLAT LENS) BOLLARD LIGHT

ALL SITE LIGHTING MAKES, MODELS, QUANTITIES, LOCATIONS AND PHOTOMETRIC ANALYSIS SHALL BE BY THE PROJECT ELECTRICAL ENGINEER AT BUILDING PERMIT STAGE OF DESIGN.



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**RECEIVED**  
**DP1403**  
**2025-OCT-20**  
Current Planning

**4951 Jordan Avenue**  
**Hazelwood Holdings Ltd.**  
Nanaimo, BC

LANDSCAPE ARCHITECTURE PLAN	
Date:	September 18, 2025
Drawn:	OW
Checked:	CW
Scale:	1:200 METRIC
Project Number:	25-0374
DRAWING NUMBER:	<b>L1</b> of <b>3</b>

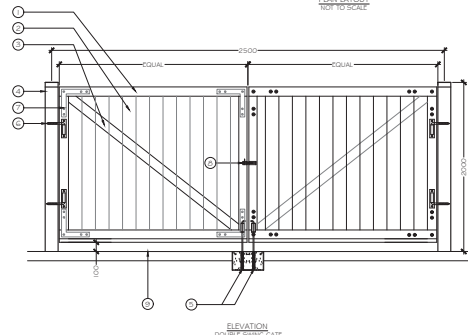
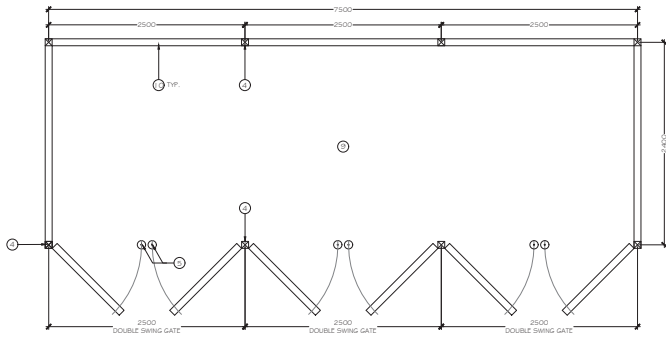
REVISION SCHEDULE		
#	Date	NOTES
0	27 AUG 2025	IP Coordination
1	10 SEP 2025	Draft DP
2	15 SEP 2025	Issued for DP
3	18 SEP 2025	Issued for BP

### IRRIGATION EQUIPMENT LEGEND

SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
	TBD	TBD	HI-FI AUTOMATIC IRRIGATION CONTROLLER IN MECHANICAL ROOM
	FER MECHANICAL	FER MECHANICAL	38mm (1.5") DOUBLE CHECK BACKFLOW PREVENTER AND WATER SUPPLY IN MECHANICAL ROOM.
		SCHEDULE 40	38mm (1.5") PVC MAINLINE
		SCHEDULE 40	PVC SLEEVES UNDER ALL PAVING AND THROUGH WALLS MIN. TYP (EXACT LOCATION TBD); MAINLINE & CONTROL WIRE: 150mm (6") LATERALS: 100mm (4") BURIAL DEPTH TO MATCH DEPTH OF CARRIED PIPE.

### IRRIGATION NOTES

- IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
- ALL PROPOSED ON-SITE PLANTING AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM UTILIZING A "SMART" (ET) WEATHER-BASED IRRIGATION CONTROLLER.
- IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO/ DRIP EQUIPMENT.
- THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPRINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ON ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
- ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
- OPERATE IRRIGATION CONTROLLER WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.



**A** Trash Enclosure  
Plan/ Elevation  
Not To Scale

### PLANTING NOTES

- ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
- GROWING MEDIUM SHALL MEET OR EXCEED THE PROPERTIES OUTLINED THE CANADIAN LANDSCAPE STANDARD PER SECTION 6 GROWING MEDIUM, TABLE 1-6.3.5.2. PROPERTIES FOR GROWING MEDIA LEVEL 2 "GROOMED" - 2P. GROWING MEDIUM DEPTHS: SHRUBS - 450mm TREES - 1 cu.m. PER TREE
- MULCH SHALL BE COMPOSTED BARK MULCH PER SECTION 10 MULCHING OF THE CANADIAN LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREE, SHRUB AND GROUNDCOVER PLANTING AREAS.
- PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CNLA STANDARDS FOR NURSERY STOCK.
- ALL TREE, SHRUB, GROUNDCOVER AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UTILIZING "SMART" (ET) WEATHER-BASED IRRIGATION CONTROL. IRRIGATION EMISSION DEVICES SHALL BE HIGH EFFICIENCY LOW VOLUME ROTARY NOZZLES OR DRIP IRRIGATION EQUIPMENT.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
- ALL PLANT MATERIAL SHALL MATCH TYPE AND SPECIES AS INDICATED ON THE PLANTING LEGEND. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE PITS. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
- NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

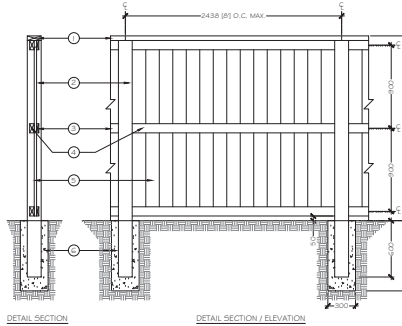
### PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY.	NOTES/ WILDFIRE INTERFACE*
<b>TREES</b>					
	ACER MACROPHYLLUM BIG LEAF MAPLE	#15 POT	SEE PLAN	1	NATIVE SPECIES
	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE	#15 POT	9m O.C.	6	DROUGHT TOLERANT, STREET TREE
	CERCIS CANADENSIS EASTERN REDBUD	#25 POT	7m O.C.	3	NATIVE CANADIAN SPP., FLOWERING
	CORNUS EDDIES WHITE WONDER' EDDIE'S WHITE WOOD DOGWOOD	#20 POT	9m O.C.	4	NATIVE CULTIVAR, FLOWERING
	CRATAEGUS DOUGLASHI BLACK HAWTHORN	#7 POT	3m O.C.	5	NATIVE SPECIES, FRUIT BEARING, FLOWERING
	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' LAMBER PINE	#20 POT	4m O.C./ 8m O.C./	8	NATIVE CULTIVAR, CONIFEROUS
	PSEUDOTSUGA MENZIESII DOUGLAS FIR	#20 POT	4.5m O.C.	6	NATIVE SPECIES, CONIFEROUS
<b>SHRUBS</b>					
	AMELANCHIER ALNIFOLIA SASKATOON	#1 POT	2m O.C.	15	NATIVE SPECIES, DECIDUOUS, FRUIT BEARING, FLOWERING
	CEANOETHUS THYRSIFLORUS 'VICTORIA' VICTORIA CALIFORNIA LILAC	#3 POT	1.5m O.C.	33	DROUGHT TOLERANT, EVERGREEN, FLOWERING
	JUNIPERUS SCOPULORUM 'MOONGLOW' MOONGLOW JUNIPER	#3 POT	1.2m O.C.	21	DROUGHT TOLERANT, CONIFEROUS
	MAHONIA AQUIFOLIUM OREGON GRAPE	#1 POT	1m O.C.	34	NATIVE SPECIES, FRUIT BEARING, EVERGREEN, FLOWERING
	POTENTILLA FRUTICOSA 'MANGO TANGO', ORANGE SHIBUBI CINQUEFOIL	#1 POT	0.6m O.C.	76	NATIVE CULTIVAR, SEMI-EVERGREEN, FLOWERING
	RIBES SANGUINEUM RED FLOWERING CURRANT	#2 POT	1.2m O.C.	39	NATIVE SPECIES, FRUIT BEARING, DECIDUOUS, FLOWERING
	ROSA NUTKANA NOOTKA ROSE	#1 POT	1.0m O.C.	108	NATIVE SPECIES, FRUIT BEARING, DECIDUOUS, FLOWERING
	VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET LAURUSTINUS	#2 POT	1m O.C.	92	DROUGHT TOLERANT, EVERGREEN, FLOWERING
<b>GROUNDCOVER, VINES &amp; PERENNIALS</b>					
	ARCTOSTAPHYLOS UVA-URSI KUMMERRUCK	#1 POT	0.9m O.C.	170	NATIVE SPECIES, FRUIT BEARING, EVERGREEN, FLOWERING
	GALIAM AROSISTIS ACUTIFOLIA KARL FOERSTER' KARL FOERSTER FEATHR REED GRASS	#1 POT	0.9m O.C.	57	DROUGHT TOLERANT
	JUNIPERUS SQUAMATA 'HOLGER' HOLGER SINGLESEED JUNIPER	#1 POT	1.2m O.C.	235	DROUGHT TOLERANT, FRUIT BEARING, CONIFEROUS
	HYDROSEED	SEED	110m2		

### TREE REPLACEMENT SUMMARY

- REFER TO TREE MANAGEMENT PLAN PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ADDITIONAL INFORMATION.
- REPLACEMENT TREES REQUIRED: 53
- REPLACEMENT TREES PROVIDED: 33
- 42% (14 OF 33) OF THE PROPOSED TREE SPECIES ARE CONIFEROUS SPECIES.

- 50mm x 150mm (2" x 6") CAPRAL
  - 150mm x 150mm (6" x 6") POST
  - 25mm x 100mm (1" x 4") SUBRAIL TYPICAL OF (S) PLACES
  - 50mm x 100mm (2" x 4") FENCE RAIL TYPICAL OF (S) PLACES
  - 25mm x 150mm (1" x 6") FENCE BOARD, PLACED TIGHT
  - CONCRETE FOOTING
- NOTES:  
1. ALL TIMBERS SHALL BE CEDAR  
2. ALL FASTENERS SHALL BE GALVANIZED  
3. APPLY EXTERIOR CEDAR STAIN ON ALL TIMBERS PRIOR TO ASSEMBLY



**B** 2.0m Timber Fence  
Section/ Elevation  
1:25 metric



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RECEIVED  
DP1403  
2025-OCT-20  
Client Planning

4951 Jordan Avenue  
Hazelwood Holdings Ltd.  
Nanaimo, BC

LEGENDS, NOTES & DETAILS	
Date:	September 18, 2025
Drawn:	OM
Checked:	CW
Scale:	AS NOTED
Project Number:	25-0374
DRAWING NUMBER:	L2 of 3

REVISION SCHEDULE	NOTES
#	Date
0	27AUG2025 DP Coordination
1	10SEP2025 Draft DP
2	15SEP2025 Issued for DP
3	18SEP2025 Issued for DP

**FORM # CHARACTER DESIGN GUIDELINE SUMMARY**

**SECTION 2.4 LANDSCAPE DESIGN**

GUIDELINE #	RESPONSE
2.4.1.1	450mm OF ABSORBENT SOIL WILL BE PROVIDED IN SHRUB PLANTING AREAS. REFER TO CIVIL PLANS # REPORT FOR STORMWATER CAPTURE & DETENTION.
2.4.1.2	THE EXISTING NATURAL FEATURES, TREES AND VEGETATION ALONG THE JORDAN AVENUE PARK BOUNDARY WILL BE RETAINED IN ESSENCE EXTENDING THE PARK SETTING INTO THE SITE.
2.4.1.3	THE USERS OF THIS INDUSTRIAL SITE WILL BE INTERACTING IN A FUNCTIONAL MANNER. AN AMENITY SPACE IS LOCATED ON THE EAST SIDE OF THE BUILDING INCORPORATES A PATIO WITH PICNIC TABLES, BOLLARD LIGHTING AND TREE & SHRUB PLANTING THAT WILL ALLOW EMPLOYEES TO INTERACT WITH THE SITE.
2.4.1.4	THE AMENITY PATIO AND SIDEWALKS WILL BE DURABLE CONCRETE PAVING. SITE FURNISHINGS ARE MANUFACTURED LOCALLY AND INCORPORATE RECYCLED MATERIALS.
2.4.1.5	A PROJECT SIGN IS LOCATED AT THE MAIN ENTRANCE TO THE NORTH. ONCE ON SITE, WAYFINDING IS SIMPLE WITH ACCESS TO THE BUILDING FROM ALL OF THE UPPER PARKING AREAS. OVERHEAD LIGHTING IS PROVIDED IN PARKING AREAS.
2.4.1.6	NA
2.4.1.7	NA
2.4.1.8	NA
2.4.2.1	PLANT SELECTIONS WERE CHOSEN FOR THEIR DURABILITY, ADAPTABILITY TO AN URBAN ENVIRONMENT, LOW MAINTENANCE REQUIREMENTS, DROUGHT TOLERANCE AND COMPATIBLY WITH SURROUNDING LANDSCAPES. NATIVE FRUIT BEARING PLANTS ARE USED TO PROVIDE HABITAT AND TO EXTEND THE ADJACENT PARK SETTING INTO THE SITE. SHADE TREES ARE PROVIDED ADJACENT TO THE AMENITY SPACE. ORNAMENTAL GRASS AND FLOWERING PLANTS ARE LOCATED AT SITE ACCESS POINTS.
2.4.2.2	27% OF THE SITE IS EXISTING AND PROPOSED SOFT LANDSCAPE. CONCRETE SURFACES WILL REFLECT LIGHT. EVERGREEN TREES ARE PLANTED ALONG THE WEST SIDE OF THE BUILDING FOR SHADE. DECIDUOUS SHADE TREES ARE PLANTED ADJACENT TO THE OUTDOOR AMENITY AREA FOR SEASONAL SHADE AND SOLAR ACCESS IN COOLER MONTHS.
2.4.2.3	50% OF THE PLANTS SPECIFIED ARE NATIVE SPECIES OR NATIVE CULTIVARS. PLANT CHARACTERISTICS INCLUDING FRUIT BEARING AND FLOWERING (POLLINATOR HABITAT) ARE NOTED IN THE PLANT LEGEND.
2.4.2.4	42% OF THE TREE PLANTING IS EVERGREEN. TREE SELECTIONS AND LOCATIONS WERE CHOSEN FOR THEIR COMPATIBILITY WITH THE INDUSTRIAL USE OF SITE AND AVAILABLE SOIL VOLUMES AS REQUIRED BY GUIDELINE 2.4.2.1. OVERALL OVER 65% OF THE TREE AND SHRUB PLANTING IS EVERGREEN CONIFEROUS THAT WILL MAINTAIN GREENERY IN ALL SEASONS.
2.4.2.5	TREE AND SHRUB SELECTIONS AND LOCATIONS WERE CHOSEN FOR THEIR COMPATIBILITY WITH THE INDUSTRIAL USE OF SITE AND AVAILABLE SOIL VOLUMES AS REQUIRED IN GUIDELINE 2.4.2.1. THE PLANTING ALONG THE JORDAN AVENUE FRONTAGE IS INTENDED TO BE MAINTAINED AS A HEDGE. LAWN AND GROUNDCOVER PLANTING ARE PROPOSED ALONG THE JORDAN AVENUE TO MOSTAR ROAD SIDEWALK WHERE IT CAN BE EASILY TRIMMED ALONG PEDESTRIAN ROUTES. TREE CANDIDATES ARE SHOWN AT MATURITY AND WILL NOT ENDOURCH INTO PEDESTRIAN REALMS.
2.4.2.6	PLANTINGS PROPOSED ADJACENT TO WALKWAYS WILL NOT DROP FRUIT OR SEEDS.
2.4.2.7	PLANT CHARACTERISTICS ARE NOTED IN THE PLANT LEGEND.
2.4.2.8	PLANT SPACING IS BASED ON MATURE PLANT SIZES. PLANTS ADJACENT TO PARKING AREAS ARE SUITABLE FOR HEDGING AND CAN BE MAINTAINED AS SUCH TO PROVIDE CLEARANCES FOR VEHICLES.
2.4.2.9	A DECORATIVE STONESCAPE FEATURE WITH LANDSCAPE BOULDERS IS PROPOSED AT THE CORNER OF JORDAN AVENUE & MOSTAR ROAD WHERE GROUNDCOVER WILL CREEP BETWEEN THE ROCKS OVER TIME. ARTIFICIAL TURF IS NOT PROPOSED.
2.4.2.10	STREET TREES AND A VEGETATIVE SCREEN ARE PROPOSED ALONG THE JORDAN AVENUE FRONTAGE. THE MOSTAR ROAD JORDAN INTERSECTION AREA INCORPORATES LARGE AND SMALL NATIVE FOREST TREE SPECIES WITH A MIX OF EVERGREEN GROUNDCOVER AND DECIDUOUS & EVERGREEN FLOWERING SHRUBS.
2.4.2.11	OUR CASCADING BEARBERRY IS USED ALONG THE TOP OF RETAINING WALLS.
2.4.2.12	7.5m OF EXISTING NATURAL FEATURES, TREES AND VEGETATION ALONG THE JORDAN AVENUE PARK BOUNDARY WILL BE RETAINED IN ESSENCE EXTENDING THE PARK SETTING INTO THE SITE.
2.4.2.13	CONIFEROUS TREE PLANTING AND HYDROSEED ARE PROPOSED WHERE SITE DISTURBANCE OCCURS BETWEEN THE SITE, PARK AND ADJACENT INDUSTRIAL USE. THIS WILL MIMIC THE EXISTING CONDITION AT THE PARK INTERFACE.
2.4.2.14	ROOT ZONE PROTECTION IS SHOWN ON THE LANDSCAPE ARCHITECTURE PLAN. REFER TO THE TMP PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ADDITIONAL INFORMATION.
2.4.2.15	NOTED IN THE PLANTING NOTES.
2.4.3.1	REFER TO DETAIL A ON L2 FOR THE GARBAGE ENCLOSURE DETAIL. ENCLOSURE IS 2m HIGH TIMBER CONSTRUCTION WITH LOCKING GATES.
2.4.3.2	THE ENCLOSURE HAS THREE LOCKING GATES FOR THREE STREAMS OF WASTE.
2.4.3.3	NA
2.4.3.4	SITE PLAN BY OTHERS.
2.4.3.5	MAINTENANCE AND OPERATIONS OF WASTE AREAS BY OWNER.
2.4.4.1	DARK-SKY COMPLIANT (FULL CUT OFF, FLAT LENS) OVERHEAD AND BOLLARD LIGHTING IS SHOWN ON THE PLAN AND IN THE LAYOUT LEGEND. LIGHTING OF THE SITE WILL SERVE THE FUNCTION OF THE INDUSTRIAL USE.
2.4.4.2	BY OTHERS.
2.4.4.3	OVERHEAD LIGHTS ARE SHOWN ADJACENT TO SITE ENTRANCES AND PARKING AREAS AND BOLLARD LIGHTS ARE PROPOSED AT THE AMENITY SPACE. LIGHTING LOCATIONS ARE INTERIOR TO THE SITE AND WILL NOT SPILL INTO ADJACENT SITES. ALL OTHER SITE LIGHTING WILL COME FROM THE BUILDING.
2.4.4.4	SPECIFIC LIGHT FIXTURE HEIGHTS WILL BE SELECTED BY THE PROJECT ELECTRICAL ENGINEER FOR THE INDUSTRIAL USE OF THE SITE.
2.4.4.5	EFFICIENT LED LIGHTING IS NOTED IN THE LAYOUT LEGEND. PHOTOCELLS WILL BE SPECIFIED BY THE PROJECT ELECTRICAL ENGINEER.

**SECTION 3.6 INDUSTRIAL LANDS, 3.6.3 SITE 4 LANDSCAPE DESIGN**

3.6.3.1	PLANT SELECTIONS ARE LOW MAINTENANCE AND DROUGHT TOLERANT.
3.6.3.2	THE PUBLIC REALM IS ENHANCED WITH THE EXTENSIVE LANDSCAPING PROPOSED ALONG MOSTAR ROAD, JORDAN AVENUE AND THE RETENTION AREA ADJACENT TO JORDAN AVENUE PARK ALONG TO THE SOUTH OF THE SITE.
3.6.3.3	A 7.5m BUFFER IS BEING RETAINED BETWEEN THE SITE AND JORDAN AVENUE PARK.
3.6.3.4	SITE PLAN BY OTHERS.
3.6.3.5	SITE PLAN BY OTHERS.
3.6.3.6	AN AMENITY SPACE IS LOCATED ON THE EAST SIDE OF THE BUILDING.
3.6.3.7	THE GARBAGE ENCLOSURE IS 2m HIGH TIMBER CONSTRUCTION WITH LOCKING GATES. LIGHTING LOCATIONS ARE INTERIOR TO THE SITE AND WILL BE SCREENED FROM THE PUBLIC REALM.



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**RECEIVED**  
**DP1403**  
**2025-OCT-20**  
Client Planning

**4951 Jordan Avenue**  
**Hazelwood Holdings Ltd.**  
Nanaimo, BC

NOTES	
Date:	September 18, 2025
Drawn:	OW
Checked:	CW
Scale:	N/A
Project Number:	25-0374
DRAWING NUMBER:	<b>L3 of 3</b>

REVISION SCHEDULE		NOTES	
#	Date	By	Description
0	27AUG2025	DP	Coordination
1	15SEP2025	DP	Draft DP
2	15SEP2025	DP	Issued for DP
3	18SEP2025	DP	Issued for DP