



Development Permit Application
3397 Tunnah Road, Nanaimo, B.C.
July 8th 2025

Design Rationale:

The proposed development for 3397 Tunnah Road has been established to fit within the R7 land use designation as outlined by the City of Nanaimo. This zone provides for street-oriented attached, medium density multi-family townhouse dwelling units.

Description of the Site and Surrounding Area:

The site is located on the West side of Tunnah Road adjacent to the junction with Opal Road and approximately 100m from the junction with Uplands Drive. The site is bordered on three sides by residential properties and Tunnah Road on the East side.

The surrounding neighborhood consists of single and two-storey single family dwellings.

The site consists of a single-family dwelling and associated outbuildings and mature landscaping and trees. The existing grades generally slope down from the West corner to the East corner along Tunnah Road.

Project Description:

This application proposes a residential development comprising of 34 units clustered over seven separate buildings. Access to the site is via a private driveway off Tunnah Road.

The buildings and units have been designed to take advantage of the natural grades of the site. These are organized by uphill and downhill unit types and with each unit stepped within each building to follow the site grades.

There are four dwelling unit types each with their own individual layout with open concept living areas. They range from 835sq. ft. to 1914 sq. ft. offering 1 to 4 bedrooms and 1 to 2 car garages.

Amenities on the site include pedestrian walkways, a centrally located shared space with seating and landscaping and a communal parking area with bicycle racks and mailboxes adjacent to the site entrance.

Building Massing and Form:

Each building consists of stepped dwelling units that follow the natural grades of the site and these have been designed with two and three storey facades that address the natural sloping site from front to back. Primary entrances and garages are located along the private driveway with the exception of the lower level units which have their entrances facing Tunnah Road.



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The architectural design is defined by a distinct vertical appearance with extending fin walls between each unit and simple sloping roofs that wrap each building. These walls frame each elevation and create a set back appearance providing privacy between units. Generous external decks are integrated between these walls providing visual and physical connection to the shared and private spaces. The gable ends of each building feature vertical elements in a contrasting material which frame windows and doors.

A careful selection of materials contributes to the architectural character of the development and the use of muted green and brown tones along with natural wood look plank siding visually connect the buildings with site landscaping and the surrounding neighborhood.

In addition to the architectural design, the site is further enhanced by the creative landscape design which maximises the retention of existing trees as well as new landscaping and planting to mitigate tree removal to create a welcoming and inclusive site.

Requested Variances:

Height Variance:

Height variances have been carefully considered and minimized as far as possible. However, due to the natural grades of the site, variances in height are sought to accommodate this as follows.

Building 1: The proposed height of two of the units within this building is close to the maximum allowable and two units exceed the maximum allowable. To accommodate this and potential site variations, a 1m variance is requested.

Building 2: The proposed height of three of the units within this building is close to the maximum allowable and one unit exceeds the maximum allowable. To accommodate this and potential site variations, a 1m variance is requested.

Building 3: The proposed height of one of the units within this building is close to the maximum allowable and three units exceed the maximum allowable. To accommodate this and potential site variations, a 1m variance is requested.

Building 4: The proposed height of two of the units within this building is close to the maximum allowable and three units exceed the maximum allowable. To accommodate this and potential site variations, a 1.7m variance is requested.

Building 5 & 6: The height of the proposed roof decks and stairwell access roof exceed the maximum height for flat roofs. To accommodate this amenity space and potential site variations, a 2.5m variance is requested.



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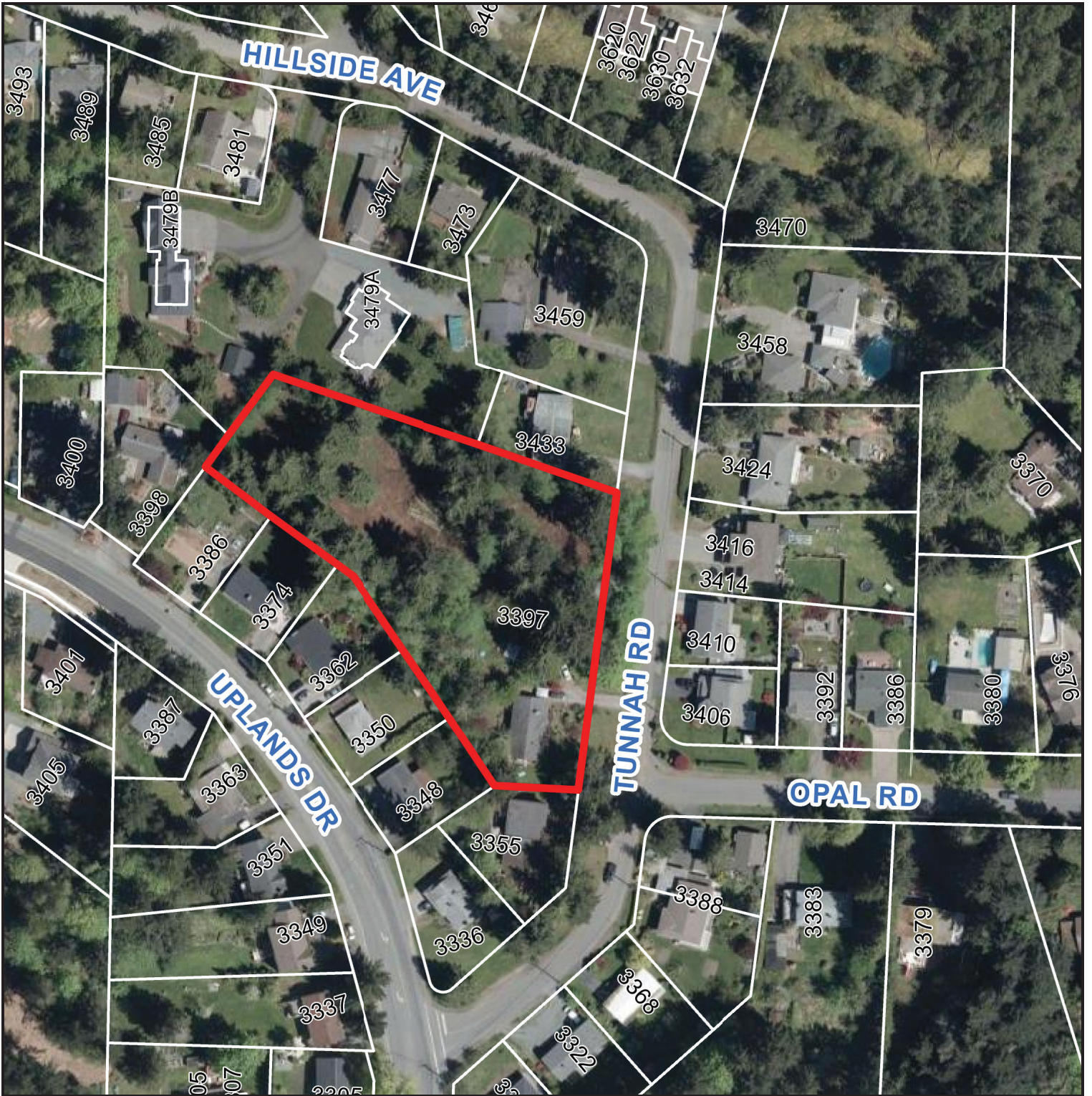
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Building 7: The proposed height of three of the units within this building is close to the maximum allowable and two units exceed the maximum allowable. To accommodate this and potential site variations, a 1m variance is requested.

Landscape Buffer Variance:

Building 4: The proposed Northern corner of this building is within the required 1.8m landscape buffer. To accommodate this and potential site variations, a reduction in width of the landscape buffer to 1.5m along the North Eastern property line is requested.

AERIAL PHOTO



3397 TUNNAH ROAD

PROJECT DATA

CIVIC ADDRESS:
- 3397 TUNNAH ROAD, NANAIMO

LEGAL DESCRIPTION:
LOT 23, DISTRICT LOT 18,
WELLINGTON DISTRICT, PLAN VIP13120,
PROPERTY No 113932.

-PID: 004-703-561

ZONING:
EXISTING - R1 (Single Dwelling Residential)
PROPOSED - R7 (Row House Lot)

SITE AREA: 6711.43 m²

BUILDING HEIGHT:
ALLOWABLE: 9m (Flat Roof) / 10.5m (Sloped Roof)

SETBACKS:
ALLOWABLE:
FRONT: 3.0m
REAR: 3.0m
SIDE YARD: 1.5m

RESIDENTIAL DENSITY:
Recommended: Suburban Neighbourhood - 25 units per hectare (17 Units)
Proposed: 34 Units

GFA CALCULATION:

TH TYPE	GFA	NO. OF UNITS	TOTAL
Type 1 (3 Bed)	1651 sq ft.	12 Units	19812 sq ft.
Type 2 (3 Bed)	1440 sq ft.	5 units	7200 sq ft.
Type 3 (2 Bed)	1463 sq ft.	6 units	8778 sq ft.
(2 Bed)	835 sq ft.	4 units	3340 sq ft.
(1 Bed)	835 sq ft.	2 units	1670 sq ft.
Type 4 (4 Bed)	1914 sq ft.	5 units	9570 sq ft.
TOTAL		34 units	50370 sq ft.

GFA: 50370sqft (4679m²)

FAR: PROPOSED: 0.697 ALLOWABLE: 0.7

LOT COVERAGE: PROPOSED: 2421m² (36%) ALLOWABLE: 70%

RESIDENTIAL PARKING:
(Area 1): 69 stalls (required); 69 stalls (proposed)

3+ Bed	28 x 2.0 = 56
2 Bed	4 x 1.8 = 8
1 Bed	2 x 1.45 = 3
Accessible	= 2
Total:	69

EV - 4
Visitor - 4
Small stalls: 28 stalls (allowable); 25 stalls (proposed)

BICYCLE PARKING:
SHORT TERM: 34 Units x 0.1 Spaces per unit = 3.4 Spaces (4 Provided)
LONG TERM: 34 Units x 0.5 Spaces per unit = 17 Spaces (56 Provided)

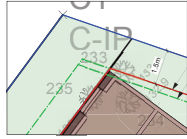
REQUESTED VARIANCES

HEIGHT VARIANCES:
BUILDING 1 Variance Request of 1.0m
BUILDING 2 Variance Request of 1.0m
BUILDING 3 Variance Request of 1.0m
BUILDING 4 Variance Request of 1.7m
BUILDING 5 Variance Request of 2.5m
BUILDING 6 Variance Request of 2.5m
BUILDING 7 Variance Request of 1.0m

BUILDINGS 1-4 Demonstrate Sloped Roof Designs
BUILDINGS 5-6 Demonstrate Flat Roof Designs

LANDSCAPE BUFFER VARIANCE:
BUILDING 4 (Northern Corner) Reduction in landscape buffer width to 1.5m along North Eastern Property Line

LANDSCAPE BUFFER VARIANCE:
BUILDING 4 (Northern Corner)
Reduction in landscape buffer width to 1.5m along North Eastern Property Line



Proposed 1.5m landscape buffer.
Required 1.8m landscape buffer.

Future Public Walkway (SRW)

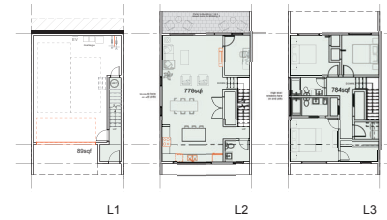
Strata Plan VIS6988



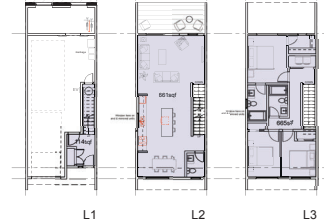
1 Site Plan.
Scale: 1/32"=1'0"



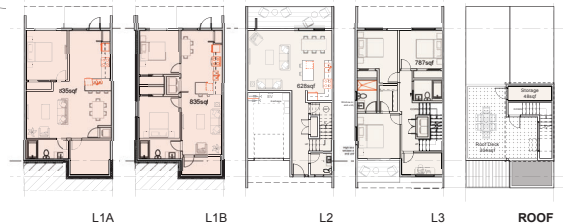
TH TYPE 1 (1651sqf; 153m2)



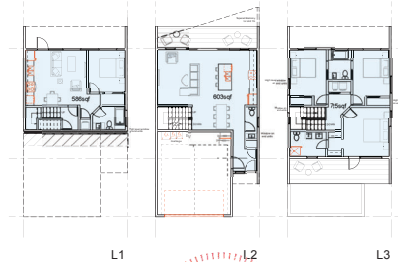
TH TYPE 2 (1440sqf; 134m2)



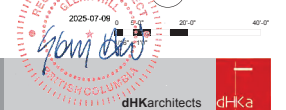
TH TYPE 3 (2298sqf; 213m2)



TH TYPE 4 (1914sqf; 178m2)



2 Unit Types
Scale: 1/16"=1'0"



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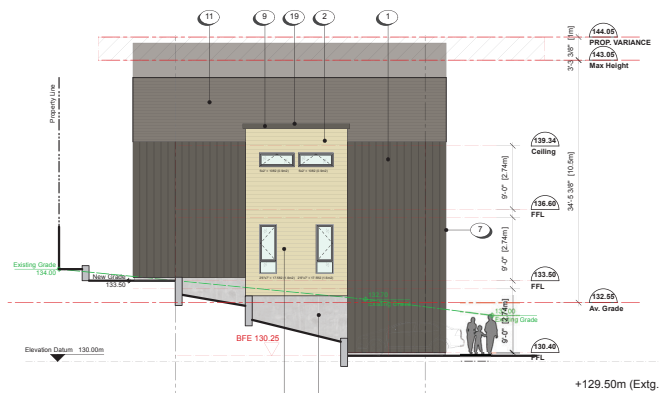
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Site Plan; Project Data

A101



26 1 SE Elevation (Building 1A)
A301 Scale: 1:100



26 2 NE Elevation (Building 1)
A301 Scale: 1:100



26 3 NW Elevation (Building 1D)
A301 Scale: 1:100

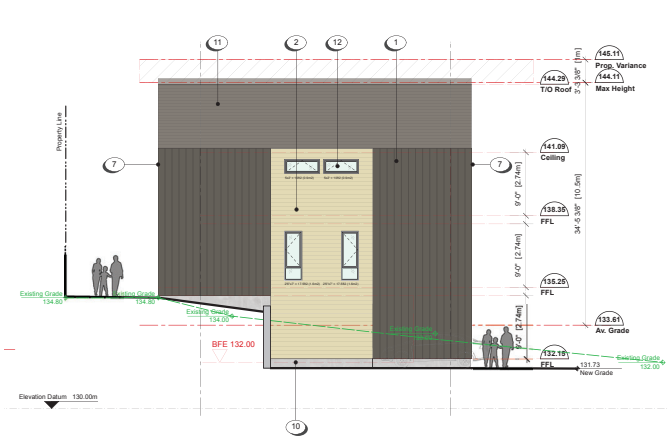


26 4 SW Elevation (Building 1)
A301 Scale: 1:100

MATERIALS SCHEDULE

- 1 FIBRE CEMENT BOARD & BATTEN SIDING - COLOUR: 'TIMBER BARK'
- 2 FIBRE CEMENT HORIZONTAL SHIPLAP PLANK SIDING - COLOUR: 'LIGHT WOOD GRAIN'
- 3 FIBRE CEMENT HORIZONTAL SHIPLAP PLANK SIDING - COLOUR: 'MONTEREY TAUPE'
- 4 FIBRE CEMENT VERTICAL SHIPLAP PLANK SIDING - COLOUR: 'LIGHT WOOD GRAIN'
- 5 FIBRE CEMENT PANEL SIDING - COLOUR: 'MONTEREY TAUPE' (FINE SAND FINISH)
- 6 FIBRE CEMENT PANEL SIDING - COLOUR: 'AGED PEWTER' (FINE SAND FINISH)
- 7 FIBRE CEMENT PANEL SIDING / FASCIA BOARD - COLOUR: 'TIMBER BARK'
- 8 FIBRE CEMENT PANEL SIDING / FASCIA BOARD - COLOUR: 'AGED PEWTER'
- 9 ALUMINIUM CAP & TRIM FLASHING - COLOUR: 'TIMBER BARK'
- 10 ARCHITECTURAL CONCRETE
- 11 ROOF SHINGLES - COLOUR: 'ANTIQUE SLATE'
- 12 VINYL FRAME WINDOW - COLOUR: 'IRON GREY'
- 13 VINYL FRAME SWING DOOR WITH TEMPERED GLASS - COLOUR: 'IRON GREY'
- 14 2 PANEL VINYL SLIDING DOOR WITH TEMPERED GLASS - COLOUR: 'IRON GREY'
- 15 3 PANEL VINYL SLIDING DOOR WITH TEMPERED GLASS - COLOUR: 'IRON GREY'
- 16 4 PANEL VINYL SLIDING DOOR WITH TEMPERED GLASS - COLOUR: 'IRON GREY'
- 17 OVERHEAD GARAGE DOOR - COLOUR: 'IRON GREY'
- 18 CLEAR TEMPERED GLASS GUARDRAILS WITH ALUMINIUM HANDRAIL
- 19 TORCHED MEMBRANE LOW SLOPED / FLAT ROOF - COLOUR: 'IRON GREY'
- 20 VENTED VINYL SOFFIT - COLOUR: 'TIMBER BARK'
- 21 FIBRE CEMENT PANEL SIDING - COLOUR: 'MONTEREY TAUPE' (FINE SAND FINISH)
- 22 PAINTED METAL DOOR - COLOUR: 'IRON GREY'
- 23 NON-SLIP VINYL DECK MEMBRANE - COLOUR: 'LIGHT GREY'
- 24 NON-SLIP PAVED DECK

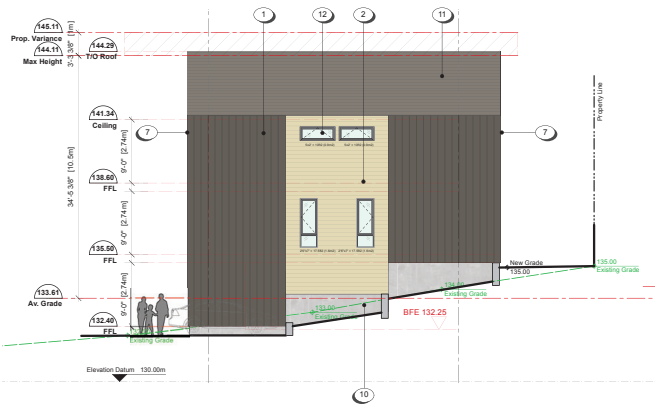




1 SE Elevation (Building 2A)
Scale: 1:100



2 NE Elevation (Building 2)
Scale: 1:100



3 NW Elevation (Building 2D)
Scale: 1:100



4 SW Elevation (Building 2)
Scale: 1:100

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- 1 FIBRE CEMENT BOARD & BATTEN SIDING - COLOUR: 'TIMBER BARK'
- 2 FIBRE CEMENT HORIZONTAL SHIPLAP PLANK SIDING - COLOUR: 'LIGHT WOOD GRAIN'
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- 9 ALUMINIUM CAP & TRIM FLASHING - COLOUR: 'TIMBER BARK'
- 10 ARCHITECTURAL CONCRETE
- 11 ROOF SHINGLES - COLOUR: 'ANTIQUE SLATE'
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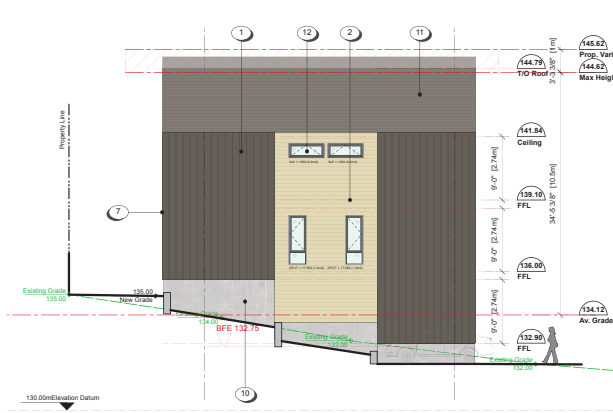
Unit Type 1 (Building 2) Elevations

A302



dhK Architects dhKa

Nanaimo BC
8 July 2025



1 SE Elevation (Building 3A)
A303 Scale: 1:100



2 NE Elevation (Building 3)
A303 Scale: 1:100



3 NW Elevation (Building 3D)
A303 Scale: 1:100



4 SW Elevation (Building 3)
A303 Scale: 1:100

MATERIALS SCHEDULE

- 1 FIBRE CEMENT BOARD & BATTEN SIDING - COLOUR: 'TIMBER BARK'
- 2 FIBRE CEMENT HORIZONTAL SHIPLAP PLANK SIDING - COLOUR: 'LIGHT WOOD GRAIN'
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- 23 NON-SLIP VINYL DECK MEMBRANE - COLOUR: 'LIGHT GREY'
- 24 NON-SLIP PAVED DECK - COLOUR: 'TIMBER BARK'

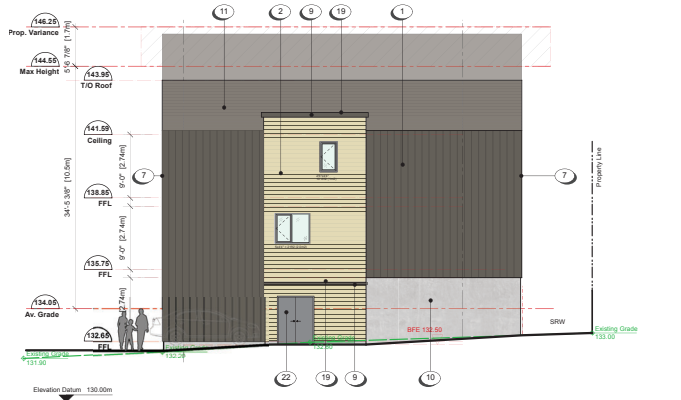




1 SW Elevation (Building 4A)
A304 Scale: 1:100



2 SE Elevation (Building 4)
A304 Scale: 1:100



3 NE Elevation (Building 4E)
A304 Scale: 1:100



4 NW Elevation (Building 4)
A304 Scale: 1:100

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- 1 FIBRE CEMENT BOARD & BATTEN SIDING - COLOUR: 'TIMBER BARK'
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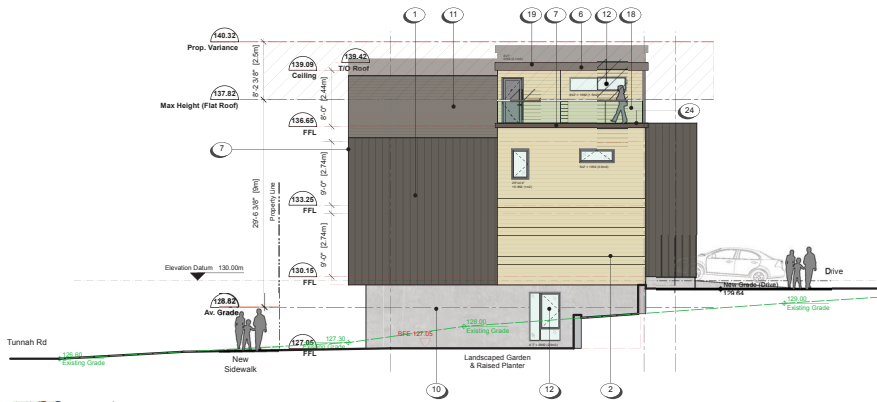


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Unit Type 2 (Building 4) Elevations A304

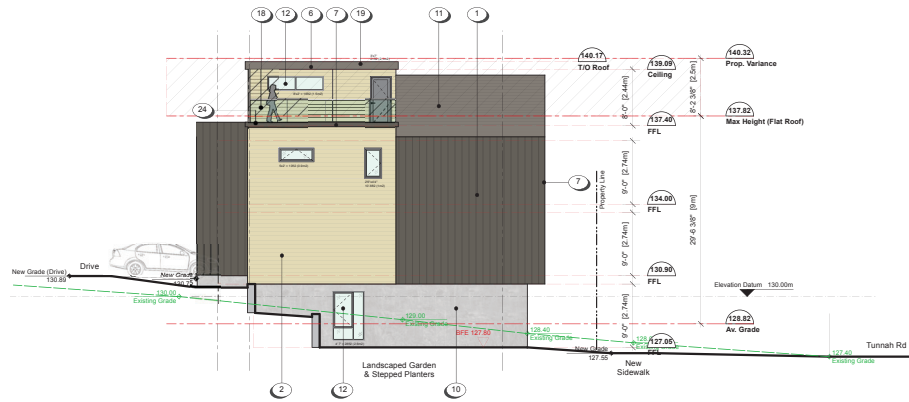




1 NE Elevation (Building 5A)
Scale: 1:100



2 NW Elevation (Building 5)
Scale: 1:100



3 SW Elevation (Building 5C)
Scale: 1:100



4 SE Elevation (Building 5)
Scale: 1:100



MATERIALS SCHEDULE

- 1 FIBRE CEMENT BOARD & BATTEN SIDING - COLOUR: 'TIMBER BARK'
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- 23 NON-SLIP VINYL DECK MEMBRANE - COLOUR: 'LIGHT GREY'
- 24 NON-SLIP PAVED DECK - COLOUR: 'NATURAL STONE'



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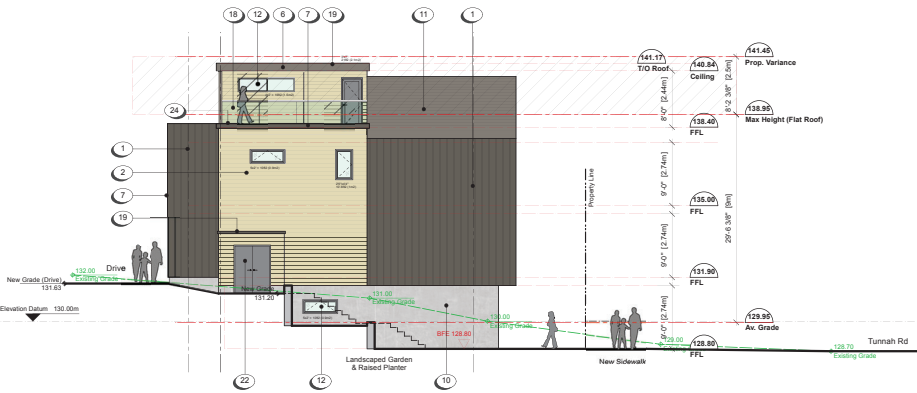
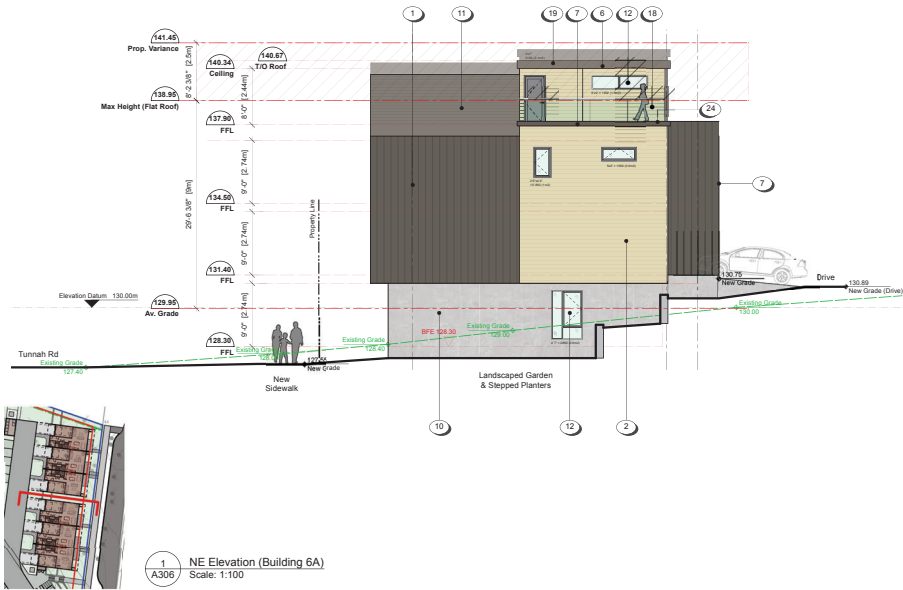
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Unit Type 3 (Building 5) Elevations A305

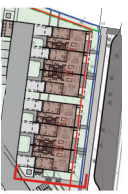


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- 17 OVERHEAD GARAGE DOOR - COLOUR: 'IRON GREY'
- 18 CLEAR TEMPERED GLASS GUARDRAILS WITH ALUMINIUM HANDRAIL
- 19 TORCHED MEMBRANE LOW SLOPED / FLAT ROOF - COLOUR: 'IRON GREY'
- 20 VENTED VINYL SOFFIT - COLOUR: 'TIMBER BARK'
- 21 FIBRE CEMENT PANEL SIDING - COLOUR: 'MOUNTAIN SAGE' (FINE SAND FINISH)
- 22 PAINTED METAL DOOR - COLOUR: 'IRON GREY'
- 23 NON-SLIP VINYL DECK MEMBRANE - COLOUR: 'LIGHT GREY'
- 24 NON-SLIP PAVED DECK - COLOUR: 'NATURAL STONE'



1 : 100

0 500mm
1 : 100

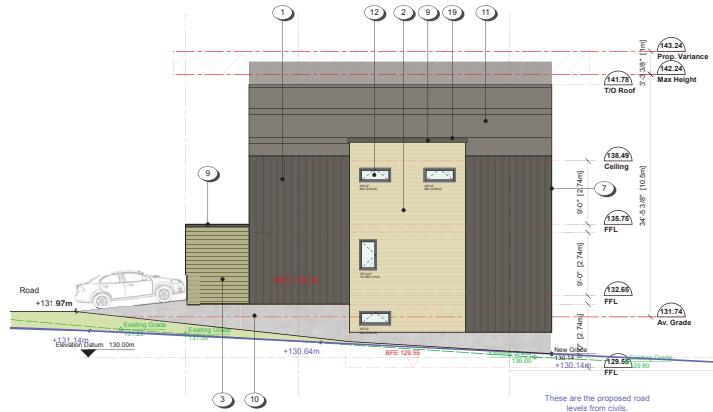
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Unit Type 3 (Building 6) Elevations A306



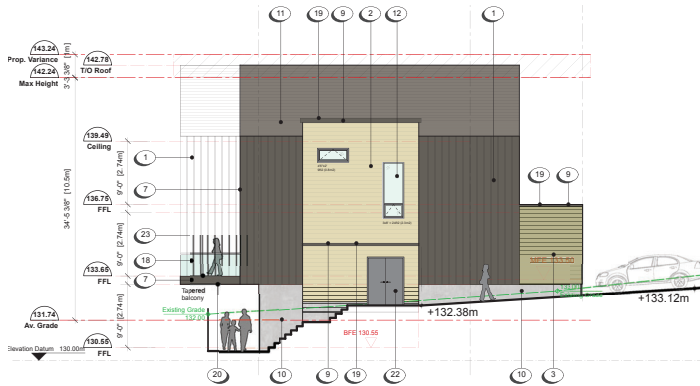
dHkarchitects dHkA



1 SE Elevation (Building 7E)
A307 Scale: 1:100



2 NE Elevation (Building 7)
A307 Scale: 1:100



3 NW Elevation (Building 7A)
A307 Scale: 1:100



4 SW Elevation (Building 7)
A307 Scale: 1:100

MATERIALS SCHEDULE

- 1 FIBRE CEMENT BOARD & BATTEN SIDING - COLOUR: 'TIMBER BARK'
- 2 FIBRE CEMENT HORIZONTAL SHIPLAP PLANK SIDING - COLOUR: 'LIGHT WOOD GRAIN'
- 3 FIBRE CEMENT HORIZONTAL SHIPLAP PLANK SIDING - COLOUR: 'MONTEREY TAUPE'
- 4 FIBRE CEMENT VERTICAL SHIPLAP PLANK SIDING - COLOUR: 'LIGHT WOOD GRAIN'
- 5 FIBRE CEMENT PANEL SIDING - COLOUR: 'MONTEREY TAUPE' (FINE SAND FINISH)
- 6 FIBRE CEMENT PANEL SIDING - COLOUR: 'AGED PEWTER' (FINE SAND FINISH)
- 7 FIBRE CEMENT PANEL SIDING / FASCIA BOARD - COLOUR: 'TIMBER BARK'
- 8 FIBRE CEMENT PANEL SIDING / FASCIA BOARD - COLOUR: 'AGED PEWTER'
- 9 ALUMINIUM CAP & TRIM FLASHING - COLOUR: 'TIMBER BARK'
- 10 ARCHITECTURAL CONCRETE
- 11 ROOF SHINGLES - COLOUR: 'ANTIQUE SLATE'
- 12 VINYL FRAME WINDOW - COLOUR: 'IRON GREY'
- 13 VINYL FRAME SWING DOOR WITH TEMPERED GLASS - COLOUR: 'IRON GREY'
- 14 2 PANEL VINYL SLIDING DOOR WITH TEMPERED GLASS - COLOUR: 'IRON GREY'
- 15 3 PANEL VINYL SLIDING DOOR WITH TEMPERED GLASS - COLOUR: 'IRON GREY'
- 16 4 PANEL VINYL SLIDING DOOR WITH TEMPERED GLASS - COLOUR: 'IRON GREY'
- 17 OVERHEAD GARAGE DOOR - COLOUR: 'IRON GREY'
- 18 CLEAR TEMPERED GLASS GUARDRAILS WITH ALUMINIUM HANDRAIL
- 19 TORCHED MEMBRANE LOW SLOPED / FLAT ROOF - COLOUR: 'IRON GREY'
- 20 VENTED VINYL SOFFIT - COLOUR: 'TIMBER BARK'
- 21 FIBRE CEMENT PANEL SIDING - COLOUR: 'MOUNTAIN SAGE' (FINE SAND FINISH)
- 22 PAINTED METAL DOOR - COLOUR: 'IRON GREY'
- 23 NON-SLIP VINYL DECORATIVE TILE - COLOUR: 'LIGHT GREY'
- 24 NON-SLIP PAVED DECKING - COLOUR: 'LIGHT GREY'



1 : 100

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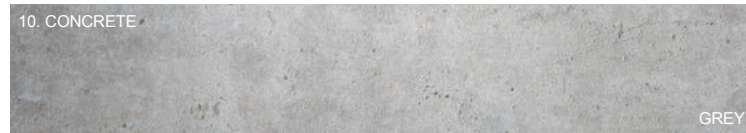
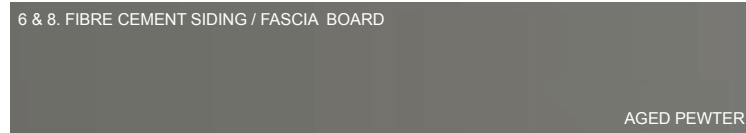
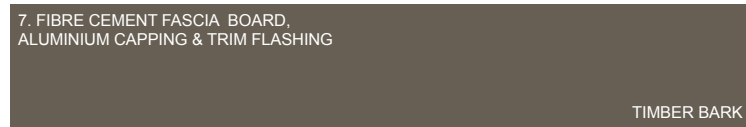
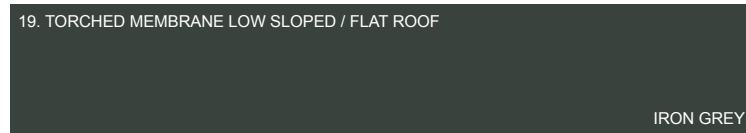
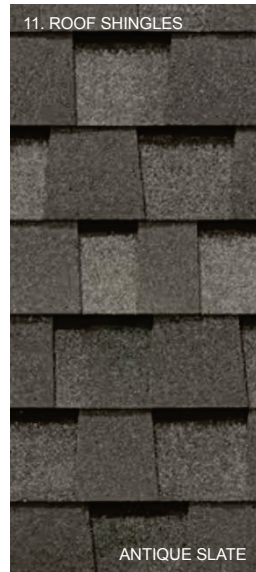
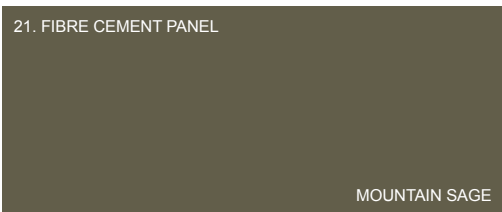
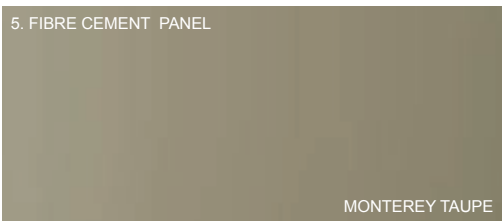
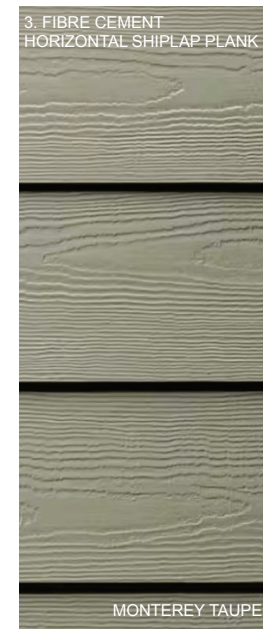
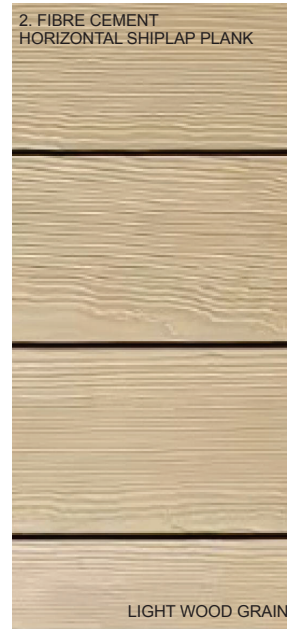
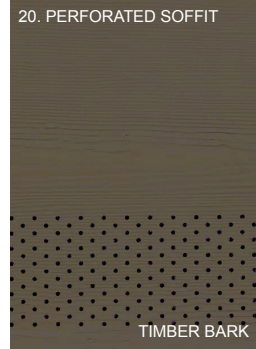
Unit Type 4 (Building 7) Elevations A307



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MATERIALS SCHEDULE

- 1 FIBRE CEMENT BOARD & BATTEN SIDING - COLOUR: 'TIMBER BARK'
- 2 FIBRE CEMENT HORIZONTAL SHIPLAP PLANK SIDING - COLOUR: 'LIGHT WOOD GRAIN'
- 3 FIBRE CEMENT HORIZONTAL SHIPLAP PLANK SIDING - COLOUR: 'MONTEREY TAUPE'
- 4 FIBRE CEMENT VERTICAL SHIPLAP PLANK SIDING - COLOUR: 'LIGHT WOOD GRAIN'
- 5 FIBRE CEMENT PANEL SIDING - COLOUR: 'MONTEREY TAUPE' (FINE SAND FINISH)
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- 7 FIBRE CEMENT PANEL SIDING / FASCIA BOARD - COLOUR: 'TIMBER BARK'
- 8 FIBRE CEMENT PANEL SIDING / FASCIA BOARD - COLOUR: 'AGED PEWTER'
- 9 ALUMINIUM CAP & TRIM FLASHING - COLOUR: 'TIMBER BARK'
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- 23 NON-SLIP VINYL DECK MEMBRANE - COLOUR: 'LIGHT GREY'
- 24 NON-SLIP PAVED DECK - COLOUR: 'NATURAL STONE'



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Material Board A801



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3d View A901



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3d View A902



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3d View A903



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3d View A904



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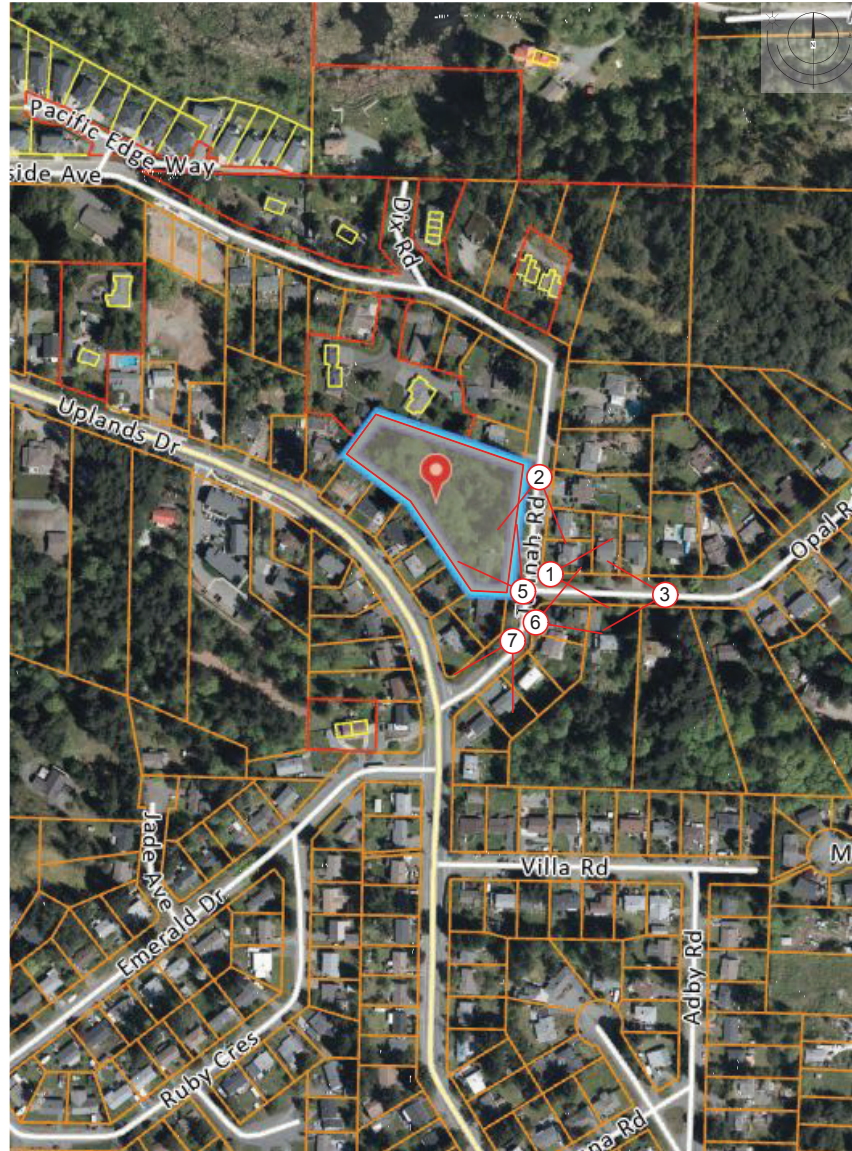
1 Intersection Of Tunnah Rd and Opal Rd
A002



2 Street View Along Tunnah Rd Looking South
A002



3 View From Above
A002



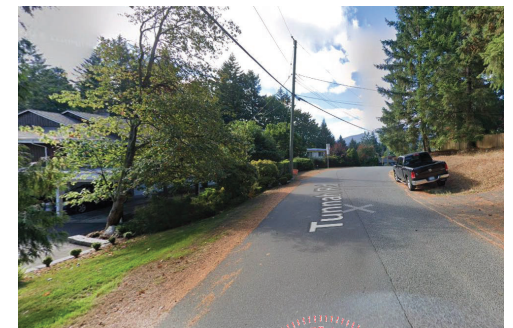
4 Context Plan
Scale: 1:1500



5 Street View Along Tunnah Rd Looking North
A002



6 Intersection Of Tunnah Rd and Opal Rd
A002



7 Street View Along Tunnah Rd Looking South
A002

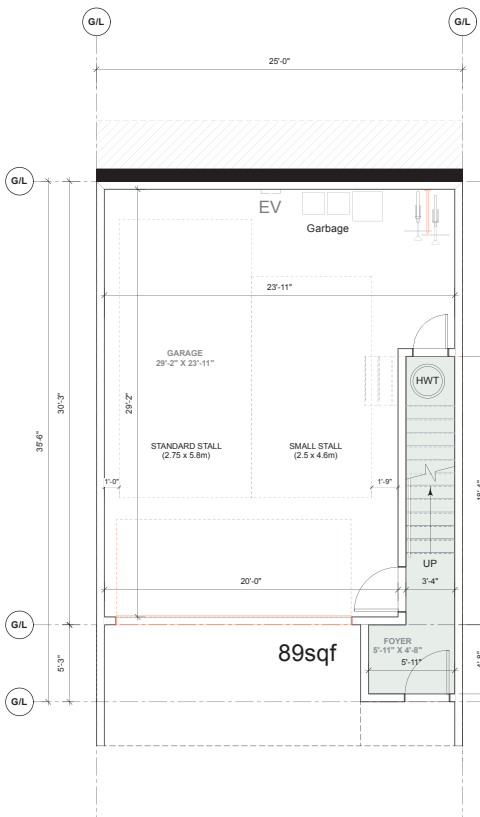
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Site Context A002



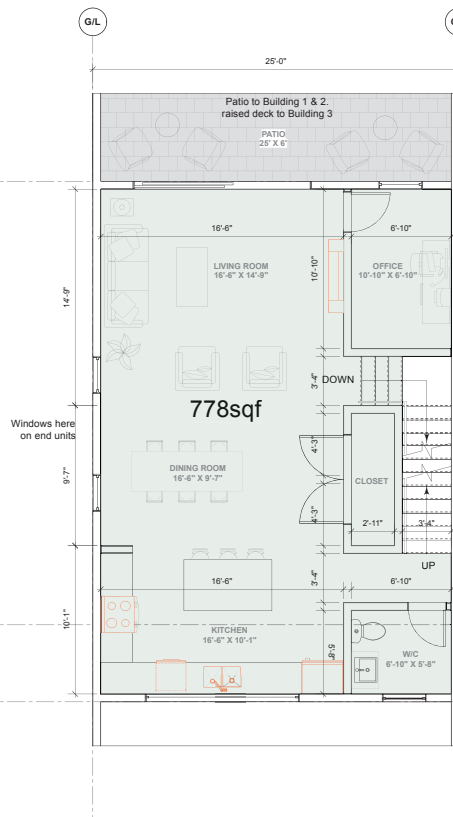
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1 Type 1 Floorplan: L1
A201
Scale: 1/4" = 1'-0"

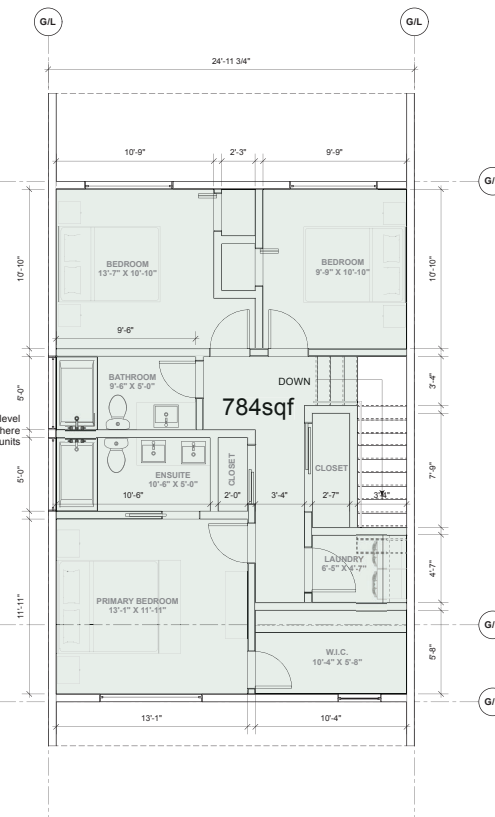
GFA - L1
89 SQ.FT

GFA - Type 1
1651 SQ.FT



2 Type 1 Floorplan: L2
A201
Scale: 1/4" = 1'-0"

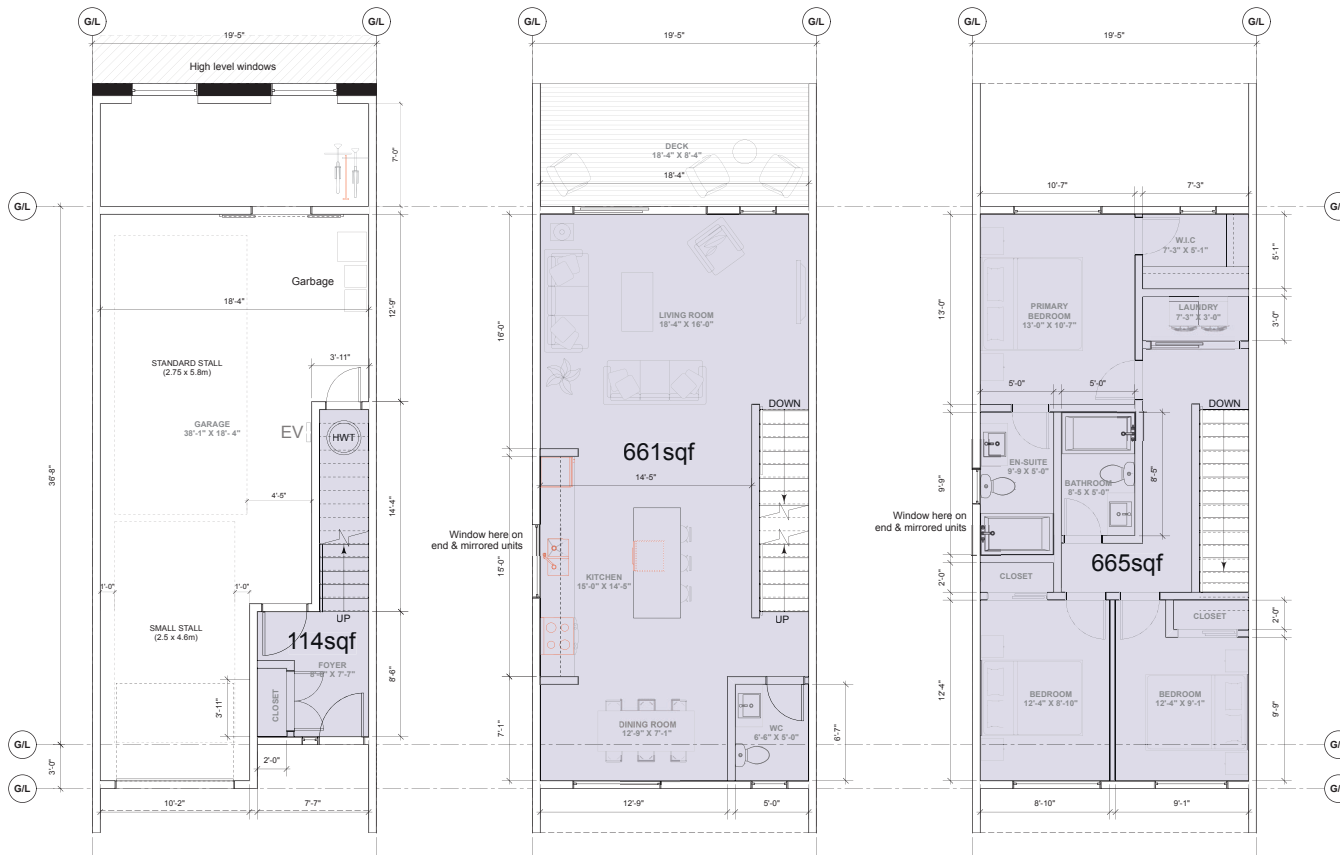
GFA - L2
778 SQ.FT



3 Type 1 Floorplan: L3
A201
Scale: 1/4" = 1'-0"

GFA - L3
784 SQ.FT





1 Type 2 Floorplan: L1
A202
Scale: 1/4" = 1'-0"

GFA - L1
114 SQ.FT

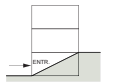
GFA - Type 2
1440 SQ.FT

2 Type 2 Floorplan: L2
A202
Scale: 1/4" = 1'-0"

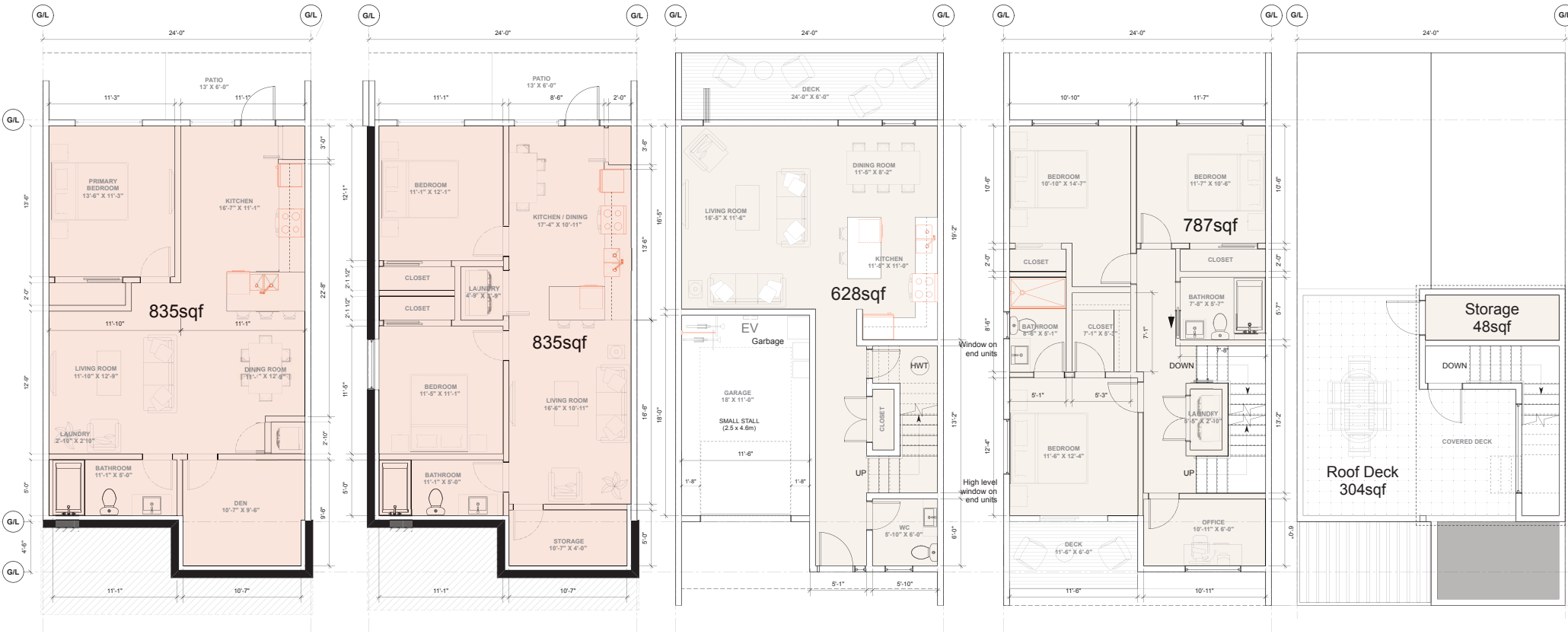
GFA - L2
661 SQ.FT

3 Type 2 Floorplan: L3
A202
Scale: 1/4" = 1'-0"

GFA - L3
665 SQ.FT



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1 Type 3A Floorplan: L1 (1 Bed)
Scale: 1/4" = 1'-0"

GFA - L1
835 SQ.FT

GFA - TYPE 3
2298 SQ.FT

2 Type 3B Floorplan: L1 (2 Bed)
Scale: 1/4" = 1'-0"

GFA - L1
835 SQ.FT

3 Type 3 Floorplan: L2
Scale: 1/4" = 1'-0"

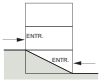
GFA - L2
628 SQ.FT

4 Type 3 Floorplan: L3
Scale: 1/4" = 1'-0"

GFA - L3
787 SQ.FT

5 Type 3 Floorplan: Roof Deck
Scale: 1/4" = 1'-0"

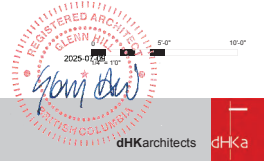
GFA - Roof Deck
48 SQ.FT



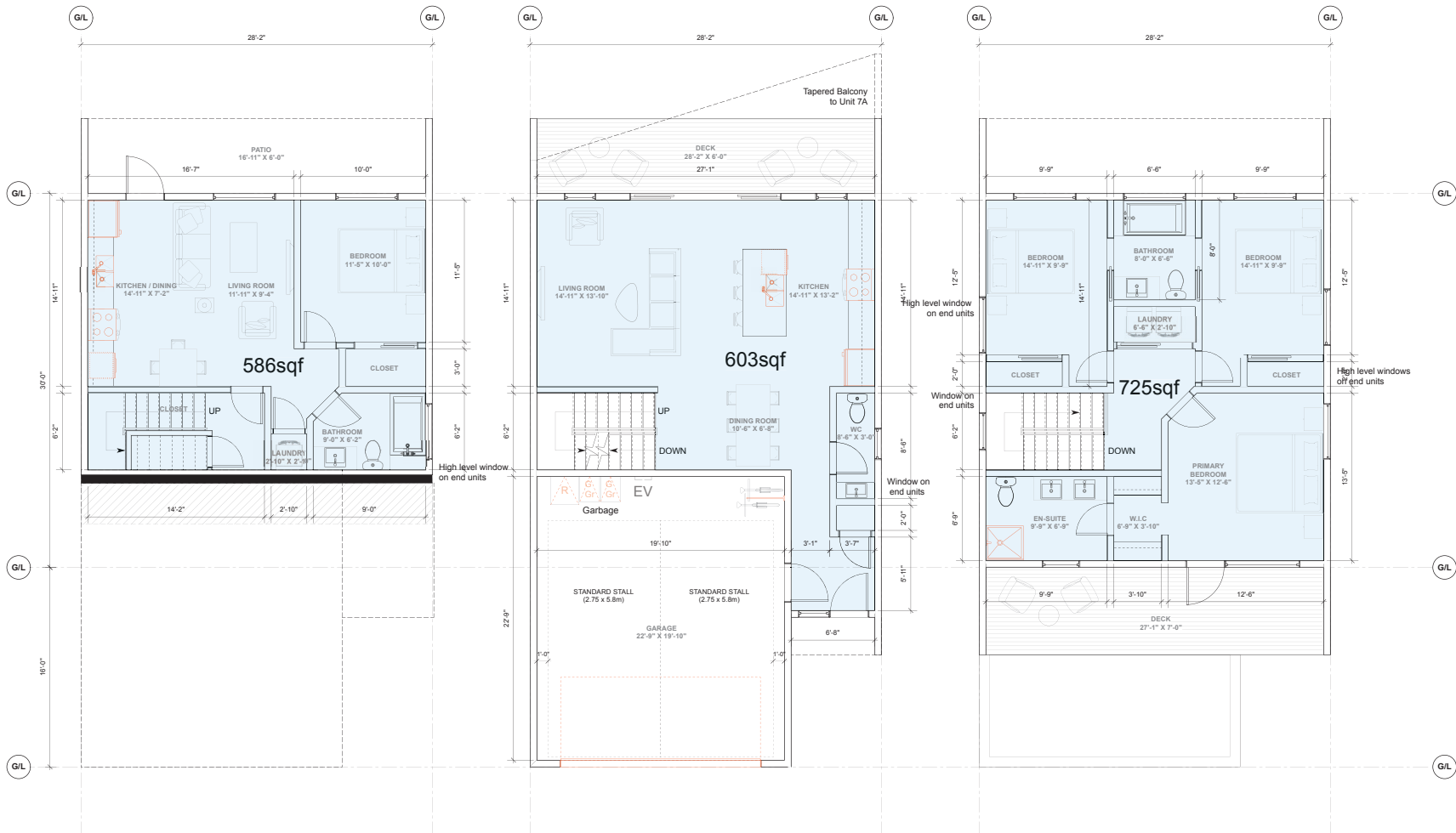
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Unit Plans: Type 3 A203



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1 A204 Type 4 Floorplan: L1
Scale: 1/4" = 1'-0"

GFA - L1
586 SQ.FT

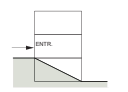
GFA - TYPE 4
1914 SQ.FT

2 A204 Type 4 Floorplan: L2
Scale: 1/4" = 1'-0"

GFA - L2
603 SQ.FT

3 A204 Type 4 Floorplan: L3
Scale: 1/4" = 1'-0"

GFA - L3
725 SQ.FT



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Unit Plans: Type 4 A204



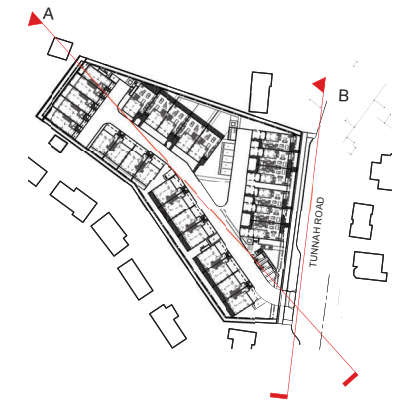
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10 Site Section A
Scale: 1:192



1 Site Section B
Scale: 1:192



2 Key Plan
Scale: 1:1000

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Site Sections A401



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DRAWING LIST

SHEET	DRAWING TITLE	SCALE
L-0.00	COVER SHEET	1:200
L-1.00	OVERALL SITE PLAN	1:200
L-1.01	WEST PLAN	1:120
L-1.02	EAST PLAN	1:120
L-1.03	SOUTH PLAN	1:120
L-2.01	PLANTING PLAN	1:200
L-3.01	SECTIONS	AS SHOWN
L-4.01	DETAILS	AS SHOWN
L-4.02	DETAILS	AS SHOWN
L-4.03	DETAILS	AS SHOWN

GENERAL NOTES

1. Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted.
2. Refer to electrical drawings for all final landscape lighting layout and specifications.
3. Refer to architectural and mechanical drawings for all drain locations and rim elevations.
4. Refer to arborist drawings for all tree retention / removal information.
5. Refer to civil drawings for all grading and utility information.
6. Refer to survey drawings for all existing on site services and survey symbols.
7. City trees - exact number and locations, species and size to be provided by City of Nanaimo Public Works Department - contact at public.worksinfo@nanaimo.ca

PRODUCT + MATERIAL NOTES

1. All materials to be as specified or pre-approved equivalent.
2. All material and products to be installed per manufacturer's specifications.

LANDSCAPE NOTES

1. All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
2. Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standards for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
3. Area of search for specified plant material shall include the Lower Mainland of British Columbia, Vancouver Island, Washington and Oregon States.
4. Contractor shall source specified plant material and only after area of search has been exhausted will substitutions be considered.
5. All plant material used on this project shall be hardy in this climate. Plant types have been selected with this as a primary criteria. This Contractor shall guarantee that plant material supplied has equal provenance, i.e. it is developed from cuttings or seeds collected in an area of similar climatic characteristics.
6. Substitutions in plant material will not be considered unless written proof is submitted thirty (30) days prior to scheduled installation stating a specified plant cannot be obtained within the specified area of search.
7. All plants to be sourced from nurseries certified free of P. ramorum.
8. Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozish conditions.
9. Place growing medium, except structural to required finish grades and minimum depths as detailed, unless shown otherwise.
10. All growing medium placed on project to meet or exceed BCNTA and Canadian Landscape Standards latest edition.
11. All trees to be staked in accordance with CNLA Standards.
12. Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved.
13. Submittals shall be made at least seven (7) days before

IRRIGATION NOTES

1. All 'Soft Landscape Areas' are to be irrigated with a high efficiency design/build irrigation system, complete with Rain and Wind Sensor.
2. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.
3. System design and installation shall take into account elevation differences, sun orientation and other factors affecting zoning and operation of the system to minimize evapotranspiration and wind lost.
4. System design shall provide for uniform complete 'Head to Head' coverage of all lawns and planted areas.
5. Contractor shall be responsible to provide SHOP DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval.
6. Should the contractor proceed without approval, any additional modifications to the irrigation systems, as directed by the Landscape Architect shall be at contractors cost.
7. Lawns shall be irrigated on separate zones from planted areas.
8. Controller shall be located in mechanical room.
9. PRIOR to Substantial Performance, contractor shall provide a maintenance data and Operation instruction manual containing operational information for all operating components, cleaning and lubrication schedules, over/under adjustment schedule.
10. Record Drawings: Submit with the operating and maintenance manuals a reproducible copy of the AS-BUILT condition of the system.
11. Contractor shall instruct a designated representative of the Owner in the complete operating and maintenance procedures for the irrigation system, including winterizing for the first time with the designated representative observing.
12. Use GSR Schedule 40 PVC designed for solvent welding to PVC pipe except where valves, risers, etc. require threaded joints.
13. Provide sleeves under all hard surfaces and as required through walls.
14. Solenoid valves shall be first quality, compatible with the controller selected.
15. Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete with captive lock bolt cover, sized to suit valves and other components with adequate room for operation and maintenance.

MATERIALS LEGEND

	CIP CONCRETE BROOM FINISH WITH SAWCUTS AS SHOWN
	UNIT PAVERS 4-5'16" X 8-3/4" X 3-1/8" COLOUR: NATURAL & MIDNIGHT 50/50 RANDOM
	CIP CONCRETE BROOM FINISH, CHARCOAL COLOUR
	SLAB PAVERS 24 X 24" X 2" COLOUR: NATURAL
	CRUSHED AGGREGATE CENTRAL SHARED SPACE AND PATHWAY BEHIND BUILDING 7
	STAMPED ASPHALT ALONG ASPHALT DRIVEWAY
	RIVER ROCK BIOSWALE AND RAIN GARDEN, DRIP STRIPS
	NEW PLANTING REFER TO PLANT LIST
	SODDED LAWN
	HEDGES REFER TO PLANT LIST

FURNISHINGS LEGEND

	WOOD BENCHES CUSTOM DESIGN
	BIKE RACK MAGLIN ICONIC BIKE RACK
	WASTE RECEPTACLE MAGLIN 600 SERIES
	PLAZA TABLE SEATING MAGLIN FAVA CLUSTER SEATING MAGLIN FORD TABLE AND CHAIR
	BOULDER GRIZZLY GRANITE
	STRIP LIGHT SELUX PEETA
	LIGHTING BOLLARD SELUX INULA

PLANT LIST

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	9	Acer circinatum	Vine Maple	5cm cal., B&B
	3	Acer macrophylla	Big Leaf Maple	6cm cal, B&B
	7	Acer rubrum	Red Maple, Swamp Maple	6cm cal., B&B
	4	Alnus rubra	Red Alder	6cm cal, B&B
	3	Catalpa speciosa	Northern Catalpa	7cm cal., B&B
	10	Cornus kousa	Kousa Dogwood, Japanese Dogwood	6cm cal, B&B
	14	Magnolia x 'Butterflies'	Butterflies Magnolia	6cm cal., specimen
	3	Malus x domestica 'Red Delicious'	Red Delicious Apple	5cm cal, 10 gal pot
	1	Prunus x 'Bing Cherry'	Bing Sweet Cherry	5 cm cal, 10 gal pot

SHRUBS

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
Aw	81	Azalea 'Gumpo White'	Gumpo White Azalea	#2 Pot / 24" O.C.
Bt	17	Berberis thunbergii	Japanese Barberry	#1 pot / 12" O.C.
Ct	7	Choisya ternata	Mexican Orange Blossom	#2 pot / 24" O.C.
Ew	106	Erica carnea 'Springwood White'	Springwood White Heather	#1 pot / 16" O.C.
Gs	100	Gaultheria shallon	Lemon Leaf	#2 pot / 24" O.C.
Hy	10	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#3 pot, 36" o.c.
Lb	105	Lavandula angustifolia 'Blue Cushion'	Blue Cushion Lavender	#2 pot / 24" O.C.
Lp	120	Lonicera Pileata	Privet honeysuckle	#2 pot / 42" O.C.
Mn	40	Mahonia nervosa	Longleaf Mahonia	#2 pot / 24" O.C.
Rs	23	Ribes sanguineum	Red Flowering Currant	#3 pot, 36" o.c.
Sc	39	Sarcococca confusa	Sweet Box	#2 pot / 24" O.C.
Sb	33	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	#2 pot, 30"o.c.
T	48	Taxus x media 'Hilli'	Hill's Yew	4" ht, B&B, 18" O.C.
Vb	22	Viburnum davidii	David Viburnum	#2 pot/ 30" O.C.

GROUNDCOVERS, GRASSES, FERNS & VINES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
Cm	215	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	#1 pot / 12" o.c.
Ep	41	Echinacea purpurea	Purple Coneflower	#2 pot / 24" O.C.
f	13	Festuca glauca 'Elijah Blue'	Blue Fescue	#1 pot, 12"o.c.
Hs	137	Helictotrichon sempervirens	Blue Oat Grass	#2 pot / 30" O.C.
Ha	173	Heuchera 'Amber Waves'	Amber Waves Coral Bells	#1 pot, 12"o.c.
Is	5	Iberis sempervirens	Evergreen Candytuft	#1 pot / 14" O.C.
Pc	52	Polystichum munium	Hard Shield Fern	#2 pot / 30" O.C.
Ss	26	Sedum spatulifolium 'Purpureum'	Broad-Leaved Stonecrop	4"(10cm) pot
St	149	Stipa tenuissima	Mexican Feather Grass	#2 pot / 24" O.C.



2	2025-07-08	Issue for DP	MP
1	2025-07-04	Issue for DP Draft	MP

Revisions: | no.: | date: | item: | by:

Stamp:



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Current Planning

Project:

3397 Tunnah Road

**3397 Tunnah Road, Nanaimo, BC
V9T 2V8**

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Checked by: SV

Date: 2025-04-28

Scale: 1:200

Drawing Title:

COVER SHEET

Project No.:

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Sheet No.:

L-0.00



REPLACEMENT TREES - 54



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OVERALL SITE PLAN

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 Sheet No.:

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SOUTH PLAN

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KEY MAP





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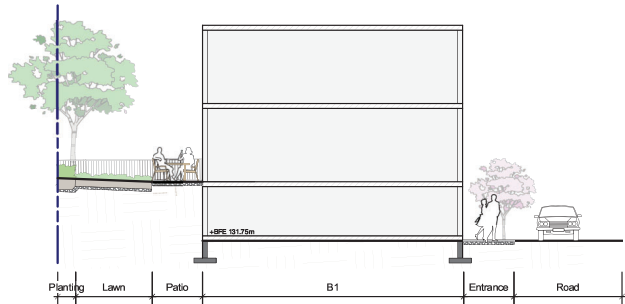
Project:
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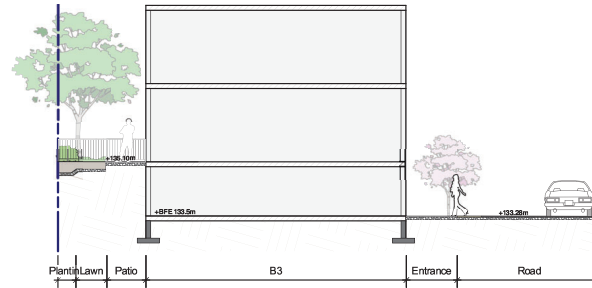
PLANTING PLAN

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 Sheet No.:

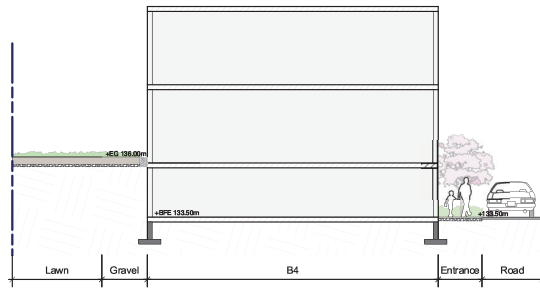
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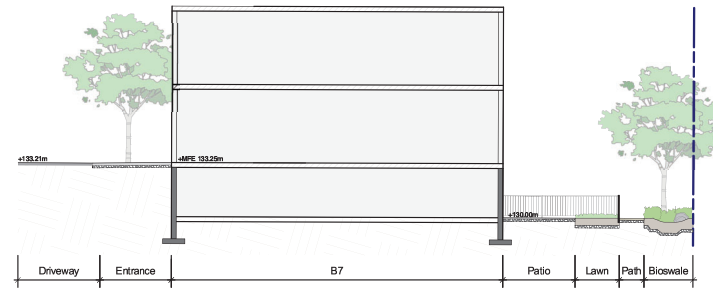
1 Section Through Building 1
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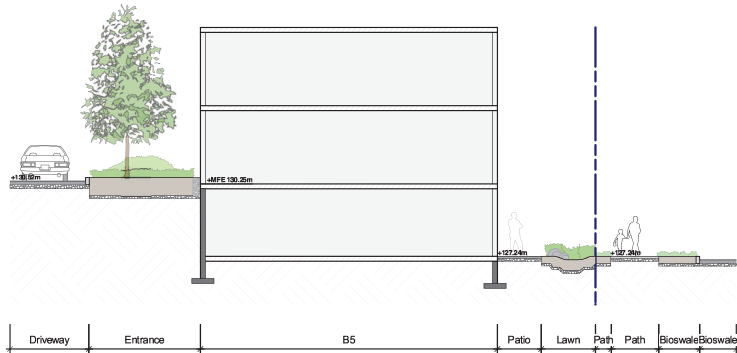
2 Section Through Building 3
L-3.01 Scale = 1:96



3 Section Through Building 4
L-3.01 Scale = 1:96



4 Section Through Building 7
L-3.01 Scale = 1:96



5 Section Through Building 5
L-3.01 Scale = 1:96



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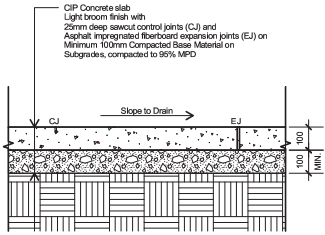
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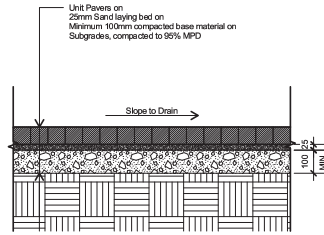
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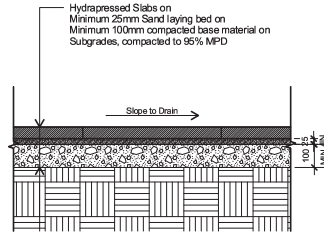
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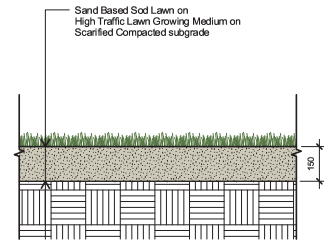
1 CIP CONCRETE - ON GRADE
L3.01 Scale = 1:10



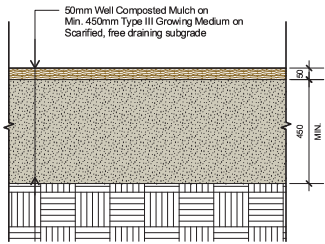
2 UNIT PAVERS - ON GRADE
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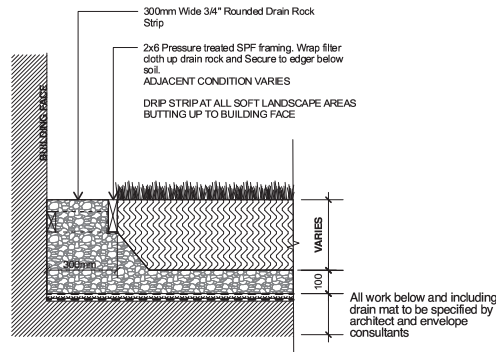
3 HYDROPPRESSED SLABS - ON GRADE
L3.01 Scale = 1:10



4 SOD LAWN - ON GRADE
L3.01 Scale = 1:10



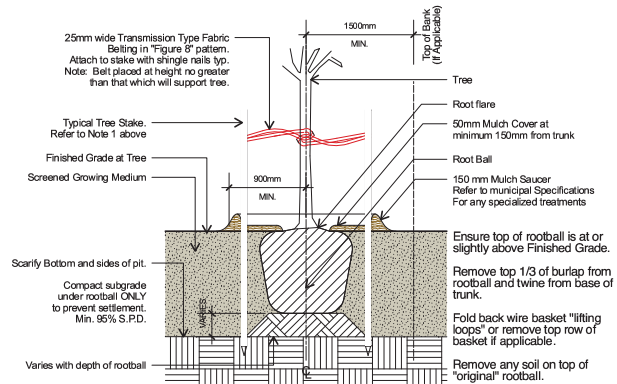
5 PLANTING - ON GRADE
L3.01 Scale = 1:10



6 CIP CONCRETE - ON GRADE
L3.01 Scale = 1:10

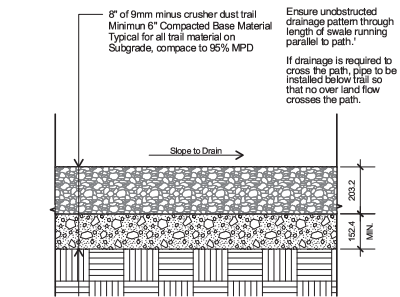
TREE PLANTING NOTES

- All street trees to be staked with 2 - 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
- Do not cut Tree Leader.
- Ensure tree location does not conflict with Underground Services. *Call before digging*.
- Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
- Provide min. 5 cubic meters of growing medium per tree, unless otherwise stated.
- Refer to Growing Medium Chart below for surface area depth of Growing Medium.

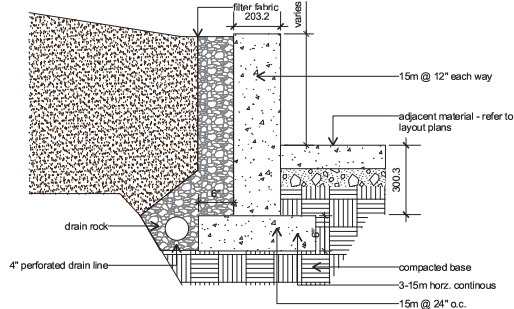


Depth	10 Cubic Meter - Soil Volume			5 Cubic Meter - Soil Volume		
	Growing Medium Subgrade (mm)	Area (m ²)	SQUARE Size of Surface	Area (m ²)	SQUARE Size of Surface	CIRCLE Size of Surface
450	22.10	4.7m x 4.7m	7.05 M Ø	11.11	3.3m x 3.3m	3.80 M Ø
600	16.80	4.1m x 4.1m	5.17 M Ø	8.33	2.9m x 2.9m	3.25 M Ø
750	13.70	3.7m x 3.7m	4.36 M Ø	6.67	2.6m x 2.6m	2.90 M Ø

9 TYPICAL TREE PLANTING
L3.01 Scale = 1:10



7 GRANULAR SURFACING - ON GRADE
L3.01 Scale = 1:10



8 CIP PLANTER - ON GRADE
L3.01 Scale = 1:10



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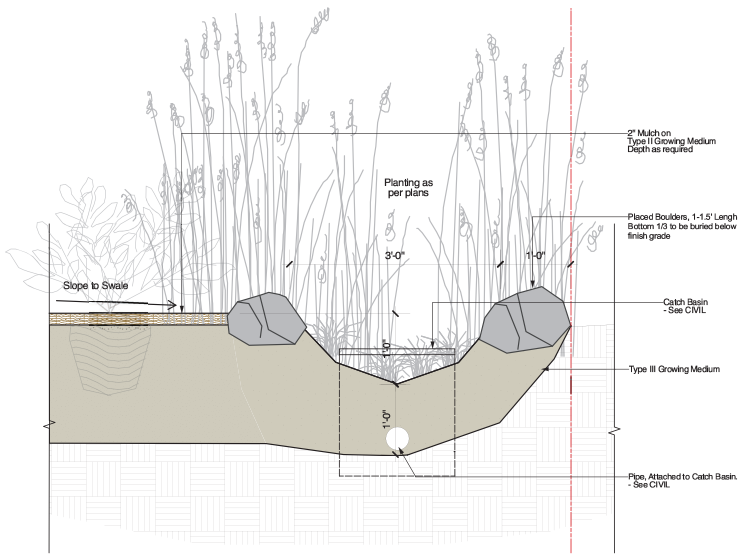
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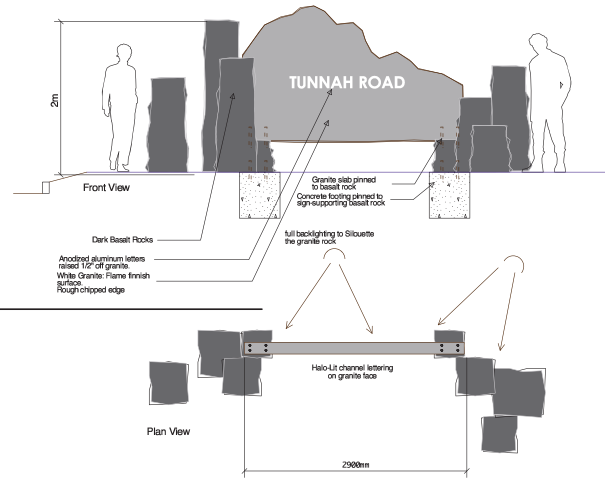
DETAILS

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L-4.01

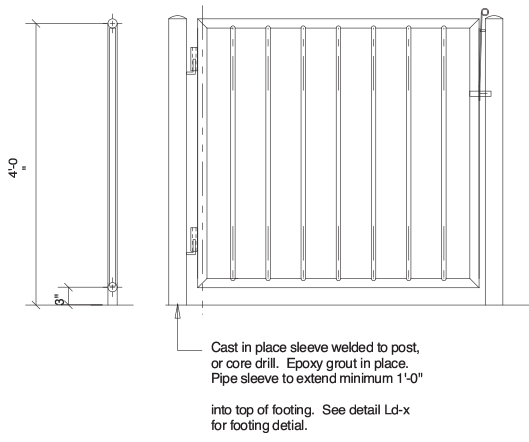


10 Bio-swale
3.01 Scale = 1:10

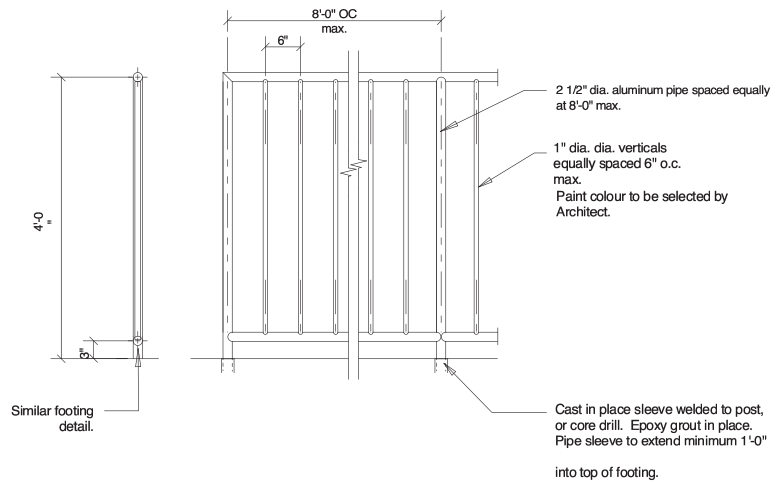


11 STONE ENTRY SIGN
L3.01 Scale = 1:30

12 STONE ENTRY SIGN - PLAN
L3.01 Scale = 1:30



13 TYPICAL ALUMINUM GATE
L3.01 Scale = 1:10



14 TYPICAL ALUMINUM FENCE
L3.01 Scale = 1:10



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DETAILS

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25025
 Sheet No.:

L-4.02

TABLE - ROUND - 30" HDPE - Pattern 1 **FORO**

Freestanding

MTB-1700-00233 MTB-1700-00361 MTB-1700-00489
 MTB-1700-00617 MTB-1700-00745 MTB-1700-00873

DESCRIPTION: FORO Series - Round Round Table, 30" Dia. H. 20" O. Steel Frame Base, Table Top and Table Color Ring, Orange Peel Texture High Density Polyethylene Table Top, Pattern 1 - Colesia, Freestanding

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The table comes pre-assembled with 4 leveling feet.

TO SPECIFY: Select Model: - MTB-1700-00233 (Black) - MTB-1700-00361 (Blue) - MTB-1700-00489 (Brown) - MTB-1700-00617 (Green) - MTB-1700-00745 (Grey) - MTB-1700-00873 (Orange)

Choose: - Powdercoat Color

HEIGHT: 30 1/8" [765mm] DIAMETER: 30" [762mm] WEIGHT: 83lbs [38.7kg]

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15
 USDF
MAGLIN - TABLE
 Scale = 1:10

MCH-1700-00002 **FORO**

Legacy # FRC1700-MSF-MH-A

MATERIALS: The chair frame is constructed from steel tube. The seat is laser formed steel. The back is made of a solid aluminum casting.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The chairs come pre-assembled, and can be stacked and stored 4 chairs high.

TO SPECIFY: Select MCH-1700-00002
 Choose: - Powdercoat Color

HEIGHT: 35.6" [773mm] WIDTH: 19.5" [497mm] DEPTH: 21.4" [542mm] WEIGHT: 33.7lbs [15.7kg]

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16
 USDF
MAGLIN - CHAIR
 Scale = 1:10

CLUSTER SEATING - 4 SINGLE SEATS **FAVA**

Surface Mount

MTB-2800-00001 MTB-2800-00002 MTB-2800-00003
 MTB-2800-00004 MTB-2800-00005 MTB-2800-00006

DESCRIPTION: FAVA Series - FAVA Cluster Seating, Steel Frame, Orange Peel Texture High Density Polyethylene Table Top and Attached Backless Single Seats (4), Surface Mount

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: FAVA comes partially assembled. Holes (Ø 5") are provided in each foot for securing to base.

TO SPECIFY: Select Model: - MTB-2800-00001 (Black) - MTB-2800-00002 (Blue) - MTB-2800-00003 (Brown) - MTB-2800-00004 (Green) - MTB-2800-00005 (Grey) - MTB-2800-00006 (Orange)

Choose: - Powdercoat Color

TABLE HEIGHT: 31" [787mm] SEAT HEIGHT: 18 3/8" [468mm] WEIGHT: 220lbs [100kg]

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17
 USDF
MAGLIN - PICNIC TABLE
 Scale = 1:10

MTR-0600-00005 **600 SERIES**

MATERIALS: The trash container is constructed using a steel sheet metal frame. The lid is constructed using the same metal process and is made from steel. The lid is attached to the frame with a hinge. A 22-impervious galvanized commercial grade LLDPE plastic liner is provided.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The trash container is delivered pre-assembled. There are 3 leveling feet and one 3/16" hole in the center of the base for anchoring.

TO SPECIFY: Select MTR-0600-00005
 Choose: - Powdercoat Color

HEIGHT: 36 1/4" [923mm] DIAMETER: 22 3/8" [568mm] WEIGHT: 85.42lbs [38kg] LINER CAPACITY: 32 gal (121 L)

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18
 USDF
MAGLIN - WASTE RECEPTACLE
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