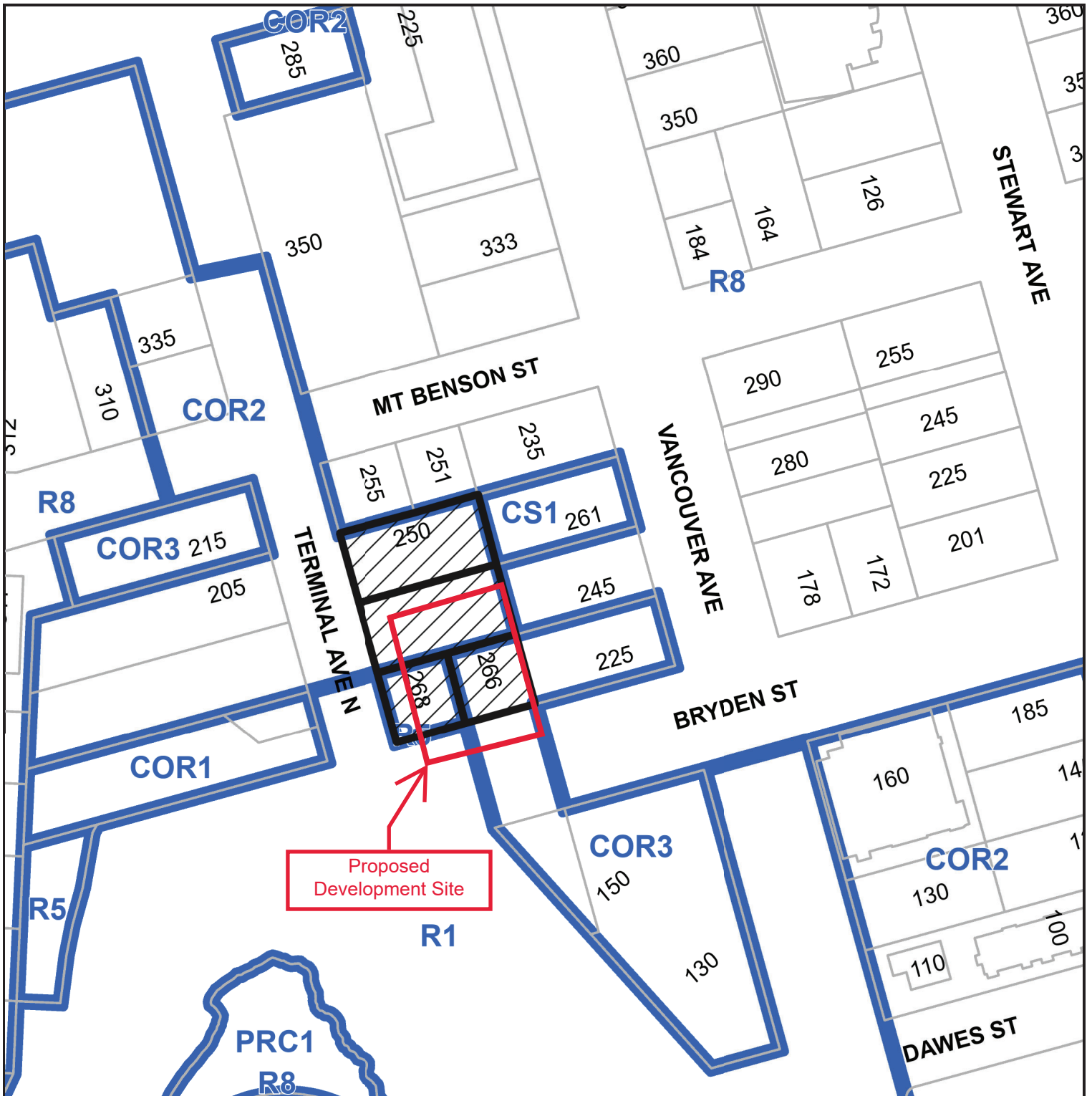

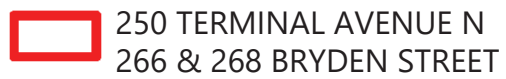


SUBJECT PROPERTY MAP



 250 TERMINAL AVENUE N
266 & 268 BRYDEN STREET



MOUNT BENSON STREET

TERMINAL AVENUE
(PLAN 1152 RW)

Proposed Lot A
Total Area = 1,517.6 m²

Proposed Lot B
Total Area = 1,480.8 m²
AVERAGE NATURAL GRADE = 23.14m
PROPOSED T.O. PARAPET = 40.495m
PROPOSED BUILDING HEIGHT = 17.35m

Proposed Building Footprint

Proposed Road to Be Closed
Area = 168.5 m²

BLOCK PLAN

BRYDEN STREET

Scale: 3m 0 1:300 15m

DRAWN BY: M. Laseur, BCIS

250 TERMINAL AVE N

NANAIMO SUPPORTIVE HOUSING

ISSUED FOR DP 2025.02.26

DRAWING LIST

ARCHITECTURE DRAWINGS

- A 000 COVER SHEET
- A 002 SITE PLAN
- A 200 FLOOR PLAN - MAIN
- A 201 FLOOR PLAN - TYP 2-4
- A 202 FLOOR PLAN - 5
- A 300 NEIGHBOURHOOD CONTEXT
- A 301 BUILDING ELEVATION - SOUTH
- A 302 BUILDING ELEVATIONS - WEST
- A 303 BUILDING ELEVATIONS - EAST
- A 304 BUILDING ELEVATIONS - NORTH
- A 400 BUILDING RENDERERS
- A 401 MATERIAL BOARD

LANDSCAPE DRAWINGS

- L1.01 MATERIALS PLAN
- L1.02 CONCEPTUAL PLANTING LAYOUT AND PLANT LIST
- L1.03 LIGHTING PLAN

CIVIL DRAWINGS

- PRELIMINARY KEY PLAN
- STORM WATER MANAGEMENT PLAN

LAND SURVEYOR

- BOLS HEIGHT SURVEY

Project Description

BC Housing is applying for a Development Permit to redevelop Proposed Lot B at 250 Terminal Ave. North under CD Zone 14. The development will accommodate a 50 unit, five storey supportive housing building on Terminal Ave and Bryden St.

The supportive housing building includes 50 self-contained studio units in addition to supportive spaces, including a kitchen, dining room, counselling room, support staff office space, reception, medical rooms, resident lounge, a roof deck and outdoor amenity space. Ten surface parking spaces are proposed, along with Resident Bike Parking and Visitor Bike Parking.

Design Rationale

The proposed development provides much-needed social housing for the Nanaimo community. The goal is not simply to shelter people, but to provide housing that promotes healing, well-being, dignity and joy.

The development site is located along the busy Terminal Avenue transportation corridor and also abuts a quieter residential neighborhood. The development considers the broader community use of the city's transportation corridor, while also responding to the immediate context of the neighborhood by considering building form, scale, privacy, security, and safety.

The proposed 1m setback along Terminal Ave allows the building to be situated on the lot to provide as much space as possible between the building and east neighbouring residential lots. By placing the building on the west side of the site it serves as a sound and visual buffer between the residential area and Terminal Ave, while providing a quieter, calm, private outdoor space for building residents.

A 1.8m landscape buffer is proposed on the east edge of the property to create privacy between the development and the neighbouring properties. The outdoor amenity space and surface parking area would be fenced for security and privacy. Pedestrian building entrance is located on Bryden St. to create a welcoming, people-oriented arrival space. Surface parking for supportive housing is also accessed from Bryden St.

The naturally sloping site topography reduces the visual impact of the building height. To further reduce the building height and respond to the neighborhood scale, the building form steps back from five storeys to four storeys on Bryden St., as well as the east side of the building facing the neighbouring properties. This transition in scale also increases natural light to the outdoor amenity spaces and neighbouring properties, supporting the health and wellness of residents. The stepped building forms allow for private roof deck removed from the busy road, taking advantage of the water and mountain views and natural light.

Direct access to quiet, private outdoor space and landscaped areas provide a nurturing environment for building residents. Fencing and sight lines are considered for the safety and privacy for both building and neighborhood residents and support staff.

The building elevations are designed with the health, wellness and healing of residents in mind, alongside the feedback BC Housing received during community engagement. The natural earth tones at the entrance provide a calm, warm, welcoming space. Tall windows in the units create light-filled interior spaces for residents, and the ground floor windows are designed to optimize the health benefits of natural light and views of landscaping.

The light, neutral facade is accented with colorful vertical 'fin' shading devices meant to inspire joy, hope, and youthful energy. The playful de-institutionalized building expression provides a welcoming experience, while the stepped building form and vertical fins create a dynamic visual experience with light and shadow, reducing the traditional 'boxiness' of modular building.

From the street, the building exterior is framed and softened with natural landscaping, enhancing the sensory experience of people walking by, while also filtering out the headlights glare of passing cars.

CIVIC ADDRESS	250 TERMINAL AVE N, NANAIMO, BC V9S 4J5	
LEGAL ADDRESS	LOT 4, BLOCK 16, NEWCASTLE TOWNSITE, SECTION 1, NANAIMO DISTRICT, PLAN 584 (P.L.D. 008-805-059) LOT 6, BLOCK 16, NEWCASTLE TOWNSITE, SECTION 1, NANAIMO DISTRICT, PLAN 584 (P.L.D. 008-805-061)	
ZONING	CD-14	COMPREHENSIVE DEVELOPMENT ZONE
LAND USE	EXISTING: PROPOSED:	TEMPORARY SUPPORTIVE HOUSING BUILDING, TEMPORARY EMERGENCY SHELTER BUILDING, MULTI-UNIT RESIDENTIAL SUPPORTIVE HOUSING
LOT AREA	PROPOSED SUPPORTIVE HOUSING SITE:	1481 SM
LOT COVERAGE	BUILDING AREA TOTAL LOT COVERAGE:	663 SM 45%
GROSS FLOOR AREA	MAIN FLOOR: SECOND FLOOR: THIRD FLOOR: FOURTH FLOOR: FIFTH FLOOR: TOTAL FLOOR AREA:	493.62 SM 632.89 SM 632.89 SM 632.89 SM 493.29 SM 2844.78 SM
AMENITY SPACE	EXCLUSIONS: SERVICE ROOMS: ALLOWABLE 9.29 SM STAIRS ABOVE GROUND FLOOR: 109 SM ELEVATORS ABOVE GROUND FLOOR: 35 SM TOTAL EXCLUSIONS: TOTAL GFA:	9.29 SM 109.06 SM 35.21 SM 153.56 SM 2691.22 SM
FAIR:	PERMITTED: 2.0 MAX BASE DENSITY	PROPOSED (2691.22 SM/1481 SM) = 1.82 FAR
NUMBER OF UNITS	GROUND FLOOR: SECOND FLOOR: THIRD FLOOR: FOURTH FLOOR: FIFTH FLOOR: TOTAL:	2 ACCESSIBLE 13 ADAPTABLE 14 ADAPTABLE 13 ADAPTABLE 8 ADAPTABLE 50 UNITS (48 ADAPTABLE + 2 ACCESSIBLE)
BUILDING HEIGHT	5 STOREYS	17.35m (17.6m ALLOWED)
SETBACKS	FRONT YARD (BRYDEN ST): REAR YARD: SIDE YARD (WEST): SIDE YARD (EAST): FRONT YARD AT 5th FLOOR:	3m 3m 1m 7.5m 5.5m
PARKING	PROVIDED WITHIN THE SITE: 9 STANDARD SPACES: ACCESSIBLE SPACES:	10 PARKING SPACES TOTAL 9 SPACES: 2.70M X 5.50M 1 ACCESSIBLE SPACES: 3.70M X 5.50M
BICYCLE STORAGE	SHORT TERM: LONG TERM:	6 28

CONTACT INFORMATION

BC HOUSING
VANCOUVER COASTAL & FRASER REGIONS

ARCHITECT

RON HART ARCHITECT LTD.
404 - 128 WEST 6TH AVENUE
VANCOUVER, BC V5Y 1K6

RON HART, ARCHITECT ABC
P: 778.233.7241
E: R.HART@RONHART.CA

JAMIE DOBSON
E: JAMIE@RONHART.CA

GRAHAM CASE
E: GRAHAM@RONHART.CA

LANDSCAPE ARCHITECT

JERJUS OFFICAL
E: JERJUS@LANDARTISTS.CA

CIVIL ENGINEER

COREGROUP CONSULTANTS
300 - 8888 FRASERTON COURT
SURREY, BC V3L 5V6

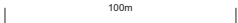
ERIN CARAWAN
P: 604.298.0005
E: ERIN@CARGROUPCONSULTANTS.COM



PROPOSED NEW BUILDING - MASSING STUDY LOOKING NORTH EAST FROM TERMINAL AVE



CONTEXT AERIAL VIEW



CONTACT

Ron Hart Architect Ltd.
778.233.7241
ron@ronhart.ca

404-128 West 6 Ave
Vancouver, B.C.
V5Y 1K6

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REVISIONS:

ISSUES:

H 2025-02-26 Issued for DP

PROJECT NUMBER: 2205
PROJECT START DATE: Nov 2022

PROJECT ADDRESS:
250 Terminal Ave. N
Nanaimo, BC

PROJECT NAME:
Nanaimo Re zoning

DRAWING TITLE:
COVER SHEET

DRAWING NUMBER:
A 000

SCALE:
NTS

DRAWN BY:
GC



CONTACT:
Ron Hart Architect Ltd.
780.258.7241
ron@ronhart.ca

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REVISIONS:
1 2023-12-18 Updated Property Line

ISSUES:
H 2025-02-08 Issued for DP

PROJECT NUMBER: 2205 PROJECT START DATE: Nov 2022

PROJECT ADDRESS:
250 Terminal Ave. N
Nanaimo, BC

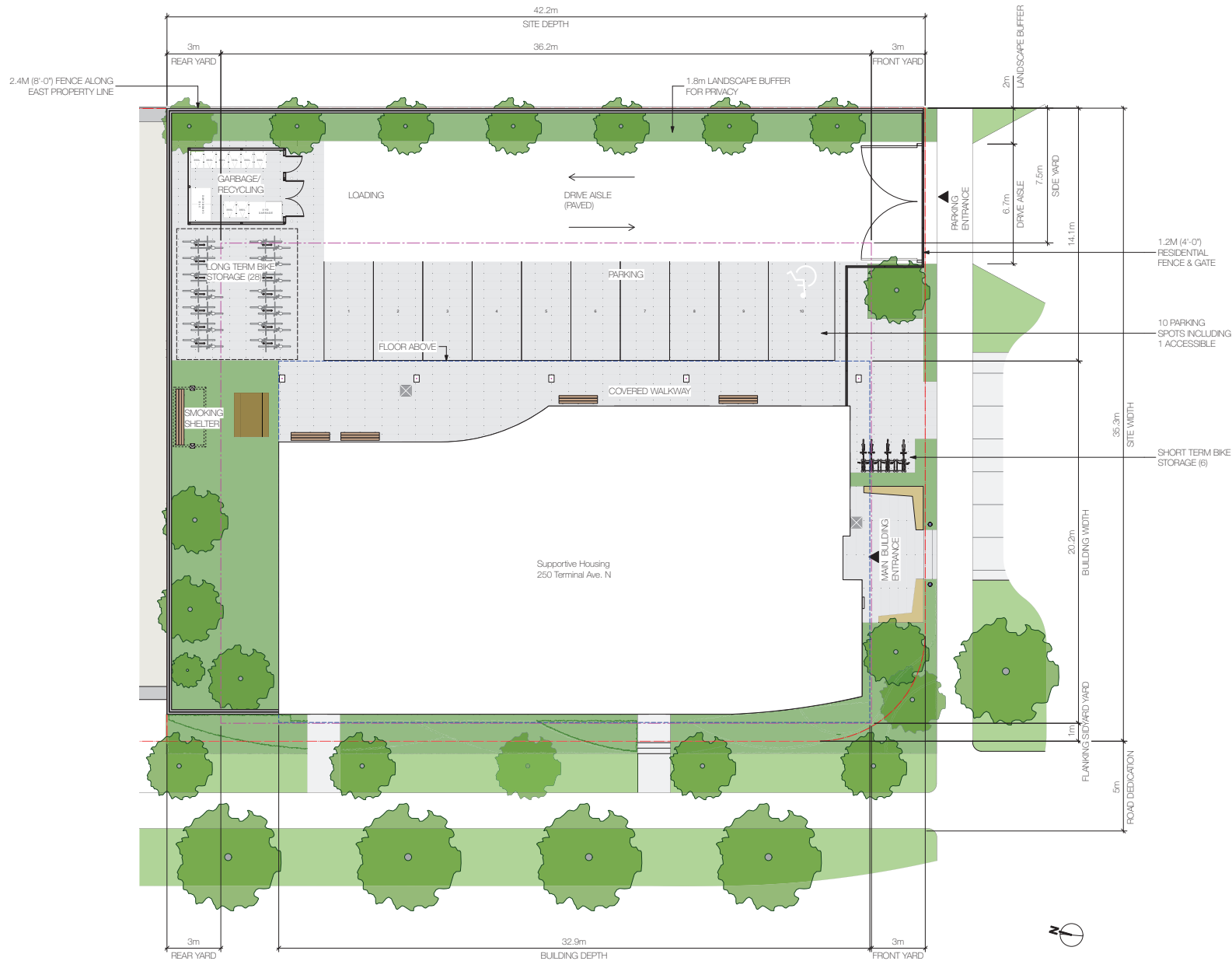
PROJECT NAME:
Nanaimo Rezoning

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
A 002

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CITY OF NANAIMO

SCALE: DRAWN BY:
GC



TERMINAL AVENUE N

BRYDEN STREET



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ISSUES:
H 2025-02-06 Issued for DP

PROJECT NUMBER: 2205 PROJECT START DATE: Nov 2022

PROJECT ADDRESS:
250 Terminal Ave. N
Nanaimo, BC

PROJECT NAME:
Nanaimo Rezoning

DRAWING TITLE:
BUILDING ELEVATION - SOUTH

DRAWING NUMBER:
A 301 RECEIVED
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SCALE:
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GC



1 South Elevation
Scale: 1/75



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H 2025-02-06 Issued for DP

PROJECT NUMBER: 2205 PROJECT START DATE: Nov 2022

PROJECT ADDRESS:
250 Terminal Ave. N
Nanaimo, BC

PROJECT NAME:
Nanaimo Rezoning

DRAWING TITLE:
BUILDING ELEVATIONS - WEST

DRAWING NUMBER:
A 302

SCALE:
DRAWN BY:
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2 West Elevation
Scale: 1/75



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PROJECT NUMBER: 2205 PROJECT START DATE: Nov 2022

PROJECT ADDRESS:
250 Terminal Ave. N
Nanaimo, BC

PROJECT NAME:
Nanaimo Rezoning

DRAWING TITLE:
BUILDING ELEVATIONS - EAST

DRAWING NUMBER:
A 303
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SCALE: DRAWN BY:
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4 East Elevation
Scale: 1:75



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780.253.7241
ron@ronhart.ca

404-128 West 8 Ave
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V5Y 1K5

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ISSUES:
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PROJECT NUMBER: 2205 PROJECT START DATE: Nov 2022

PROJECT ADDRESS:
250 Terminal Ave. N
Nanaimo, BC

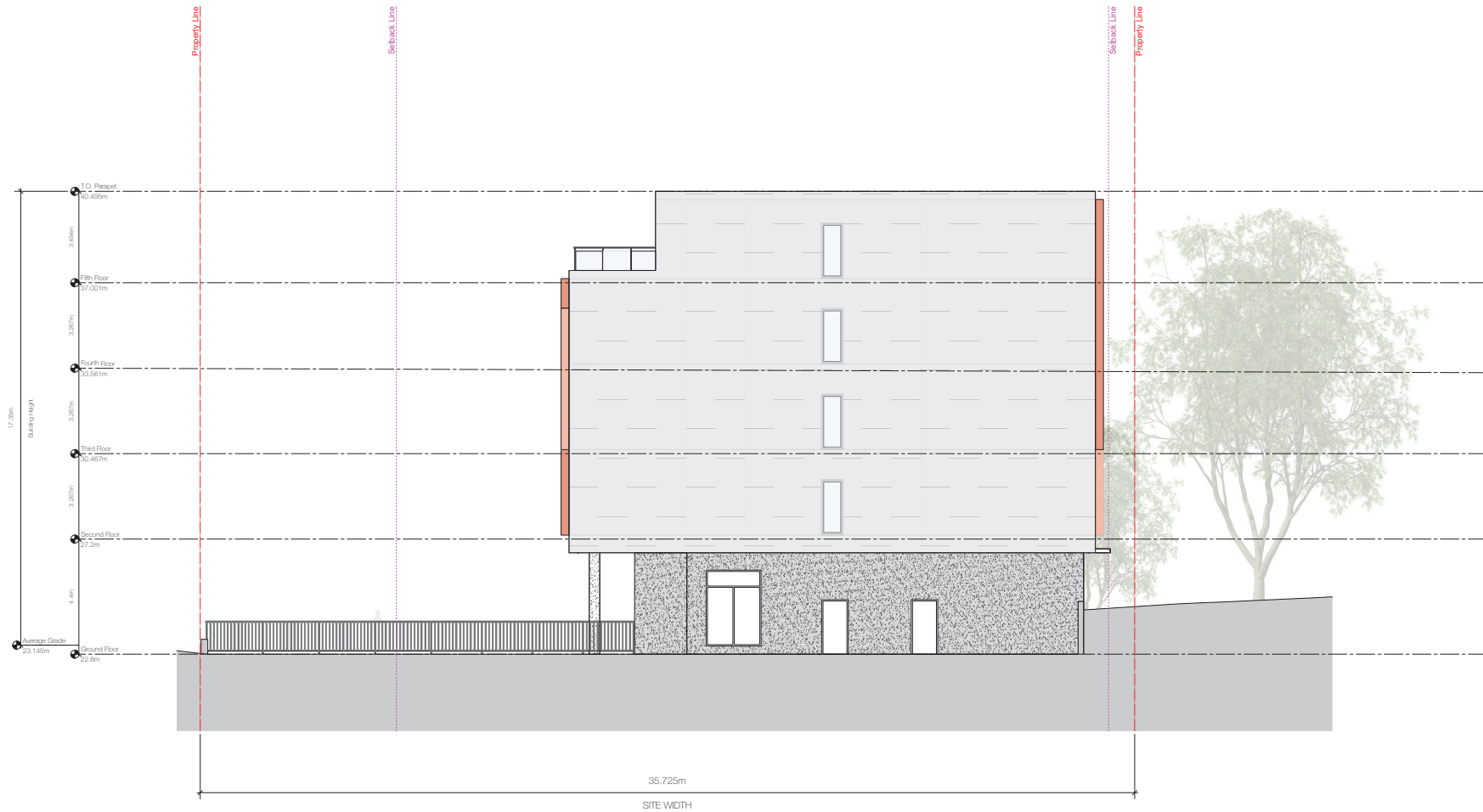
PROJECT NAME:
Nanaimo Rezoning

DRAWING TITLE:
BUILDING ELEVATIONS -
NORTH

DRAWING NUMBER:
A 304

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SCALE:
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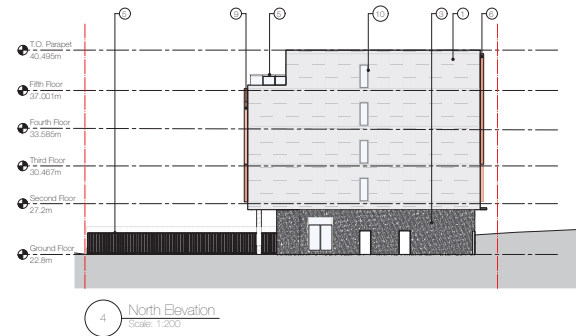
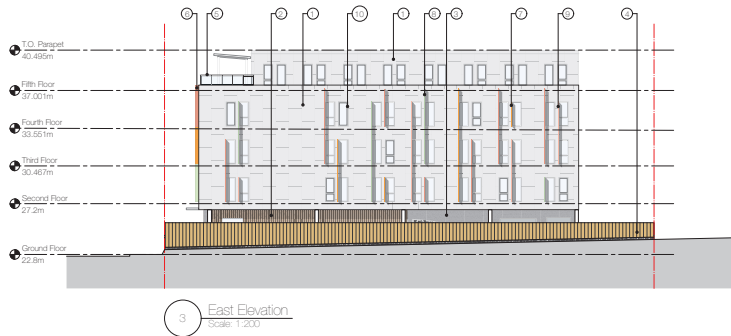
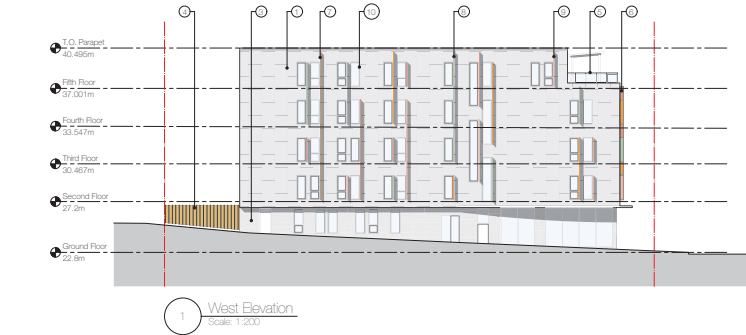
PROJECT NUMBER: 2205 PROJECT START DATE: Nov 2022
PROJECT ADDRESS:
250 Terminal Ave. N
Nanaimo, BC

PROJECT NAME:
Nanaimo Razoring

DRAWING TITLE:
MATERIAL BOARD

DRAWING NUMBER:
A 401
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Current Planning

SCALE:
NTS DRAWN BY:
GC



Legend

- Hardie Panel Smooth - Birch Tree
- Oko Skin - Tanne Oak
- Concrete - Cast in Place
- Cedar Fence
- Black Metal Fence & Guardrail
- Powder Coated Metal - RAL 3014, Antique Pink
- Powder Coated Metal - RAL 1034, Pastel Yellow
- Powder Coated Metal - RAL 6019, Pastel Green
- Powder Coated Metal - RAL 3015, Light Pink
- Grey Vinyl Window Frame



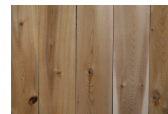
1. Hardie Panel Smooth - Birch Tree



2. Oko Skin - Tanne Oak



3. Concrete - Cast in Place



4. Cedar Fence



5. Black Metal Fence & Guardrail



6. Powder Coated Metal - RAL 3014, Antique Pink



7. Powder Coated Metal - RAL 1034, Pastel Yellow



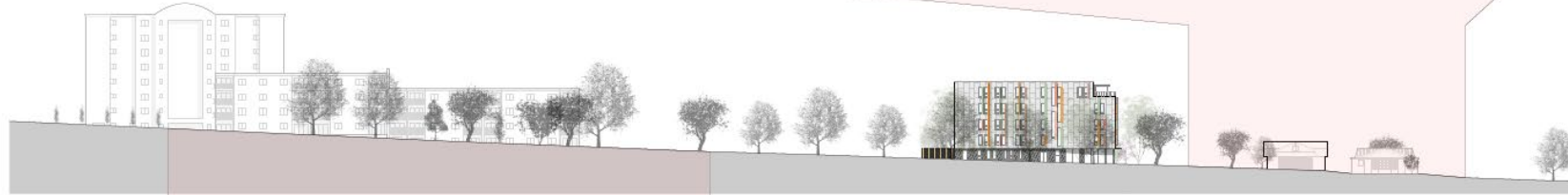
8. Powder Coated Metal - RAL 6019, Pastel Green



9. Powder Coated Metal - RAL 3015, Light Pink



10. Grey Vinyl Window Frame



RA Ron Hart Architecture



CONTACT:
Ron Hart: RAH@hart1.com 404-438-0600
Teresa Stolt: TST@hart1.com 404-438-0600

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REVISIONS:

REVISION:
R1 2024-02-08 Rev. A1 for DP

PROJECT NUMBER: 2205 **PROJECT START DATE:** Nov 2022

PROJECT ADDRESS: 250 Terminal Ave. N
Norcross, GA

PROJECT NAME:
Norcross Reopening

DRAWING TITLE:
NEIGHBOURHOOD CONTEXT

DRAWING NUMBER:
A 300 **RECEIVED**
DP1381
2024-MAR-24
Current Planning

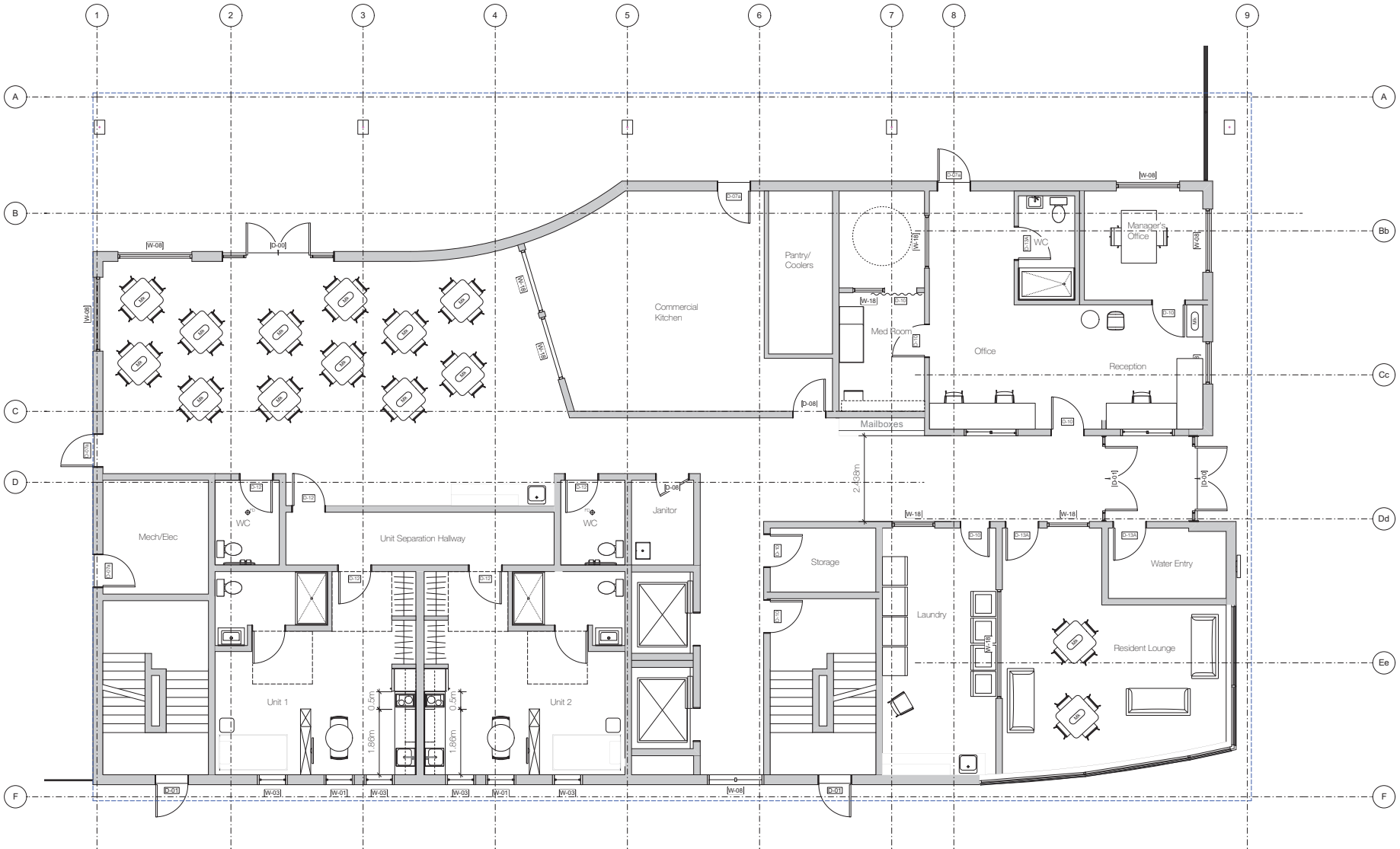
SCALE: **DRAWN BY:**
GC

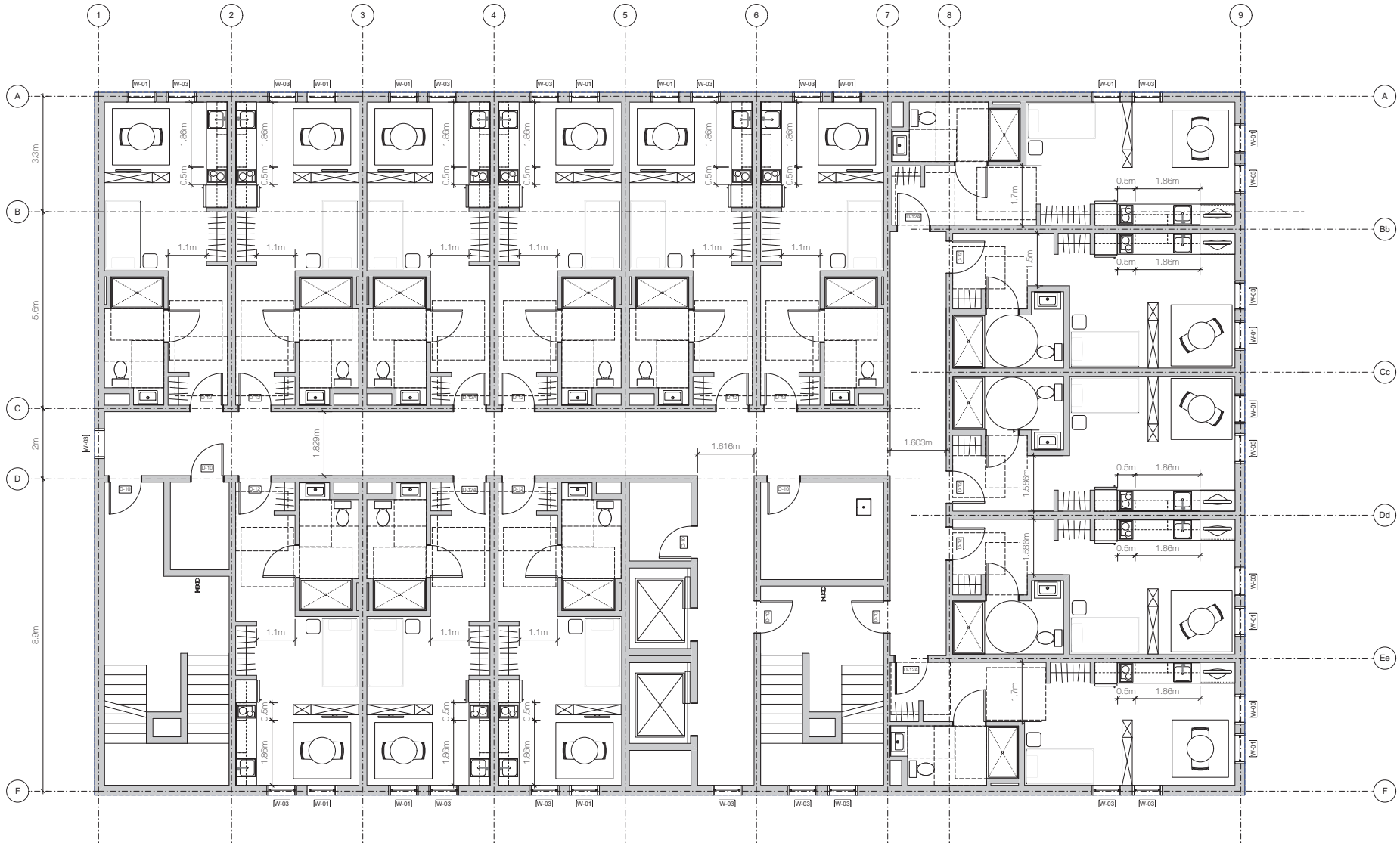
1 Terminal Ave Elevation
Scale: 1/4" = 1'-0"



2 Bryden St. Elevation
Scale: 1/4" = 1'-0"







NOTE:
ON FLOORS 2 & 4, ONE UNIT ON EACH FLOOR TO BE CONVERTED TO ADDITIONAL RESIDENT AMENITY.



CONTACT:
Ron Hart Architect Ltd. 404-128 West 8 Ave
78-253-7241 Nanaimo, B.C.
ron@ronhart.ca V5Y 1K5

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ISSUES:
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PROJECT NUMBER: 2205 PROJECT START DATE: Nov 2022

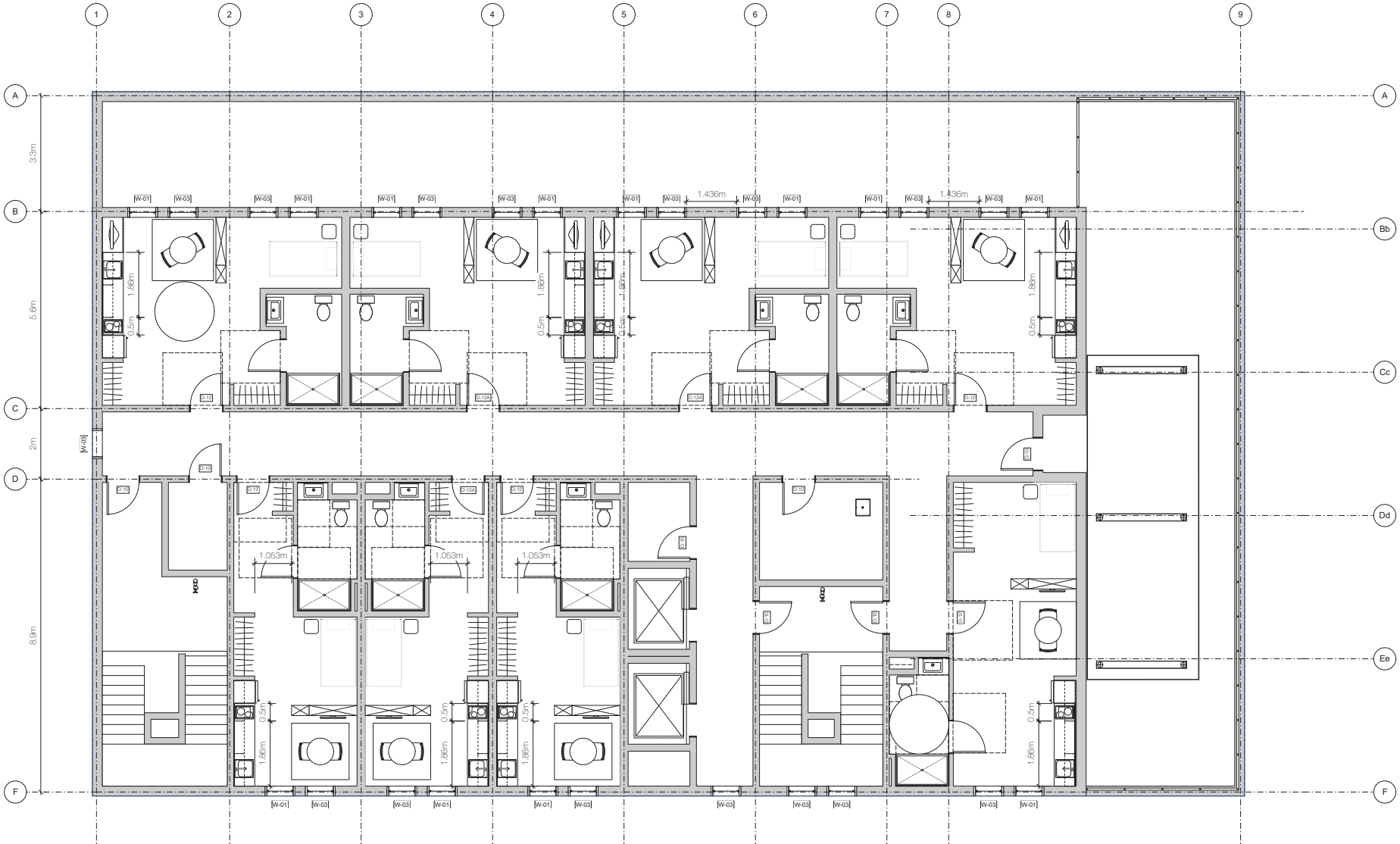
PROJECT ADDRESS:
250 Terminal Ave. N
Nanaimo, BC

PROJECT NAME:
Nanaimo Rezoning

DRAWING TITLE:
FLOOR PLAN - 5

DRAWING NUMBER: **A 202** RECEIVED
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2025-MAR-04
Current Planning

SCALE: DRAWN BY:
GC





PAVING MATERIALS LEGEND	
	CIP Concrete Paving with Saw cuts Finish: Sandblast
	Concrete Unit Paving Type A Product: Holland Paver
	Concrete Unit Paving Type B Product: Holland Paver
	Concrete Unit Paving Slab with Granular
	Asphalt Paving by Civil
	Granular Paving

HARDSCAPE LEGEND	
	CIP Concrete Wall as per Geotechnical
	CIP Concrete curb
	Gravel Drain Strip
	Stormwater Management Swale
	Landscape Boulder
	Roll Curb by Civil

FURNISHINGS LEGEND	
	Picnic Table (with accessible area) Surface Mount
	Table and Chairs Surface Mount
	Wood Bench
	Bike Racks (Qty 5)
	Timber Bench with lighting
	1.2m (4'-0" / 46") Height Metal Fence and Gate
	2.4m (8'-0") Height Timber Privacy Fence
	Seating Platform

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.



SUPPORTIVE HOUSING

250 Terminal Ave. Nanaimo, BC

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2025-MAR-04
Consult Planning

LAND AFFAIRS

RON HART
ARCHITECT LTD.

REV DATE DESCRIPTION

A 2024-12-28 ISSUED FOR COORDINATION

NO DATE ISSUE NOTE

Date February 2025 Prepared By JD

Project No. 2414

Drawn By

Materials Plan

Drawn By

L1.01



SUPPORTIVE HOUSING

250 Terminal Ave. Nanaimo, BC

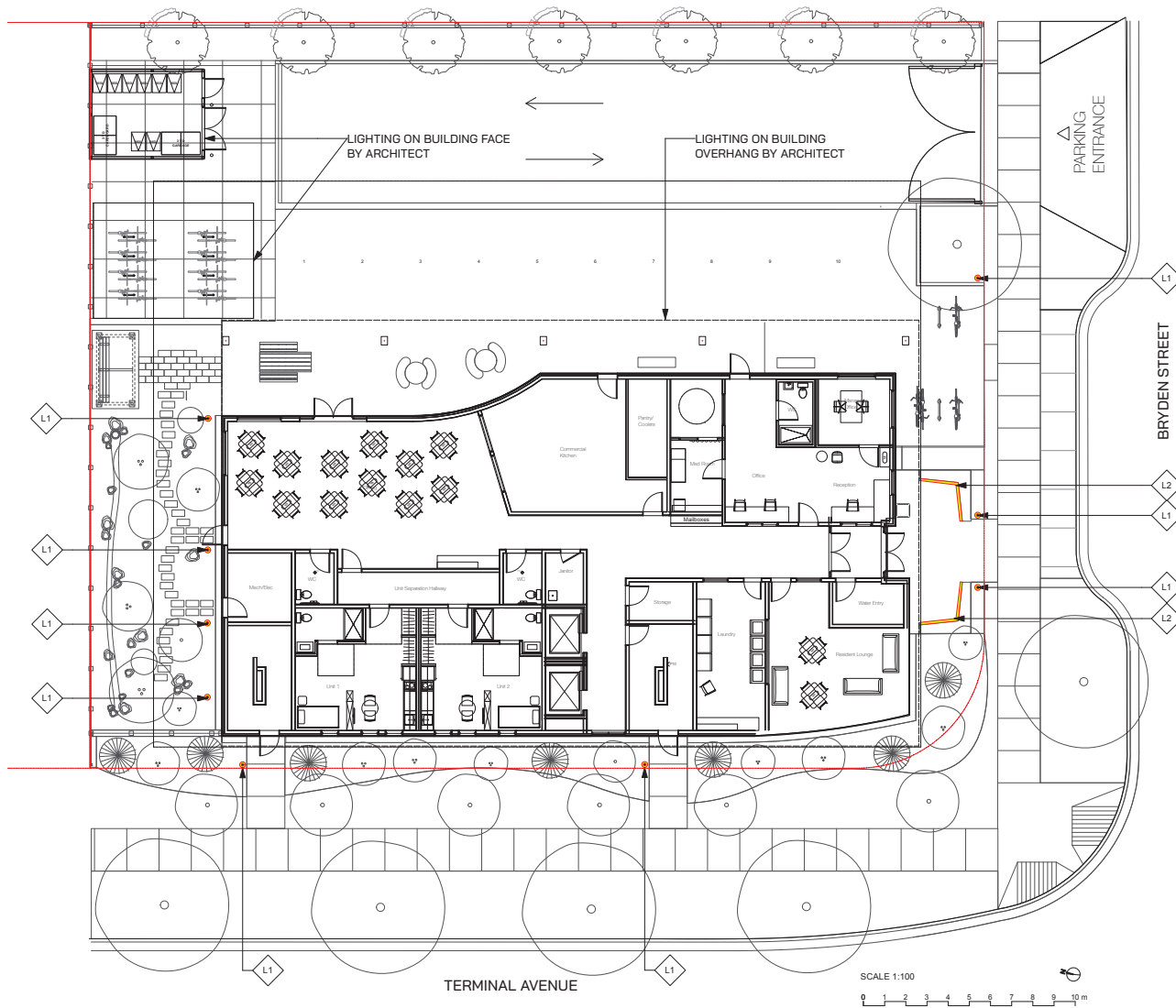
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DP1381
2025-MAR-04
Current Planning

LAND AFFAIRS

RON HART
ARCHITECT LTD.

REV	DATE	DESCRIPTION
A	2024-12-28	ISSUED FOR COORDINATION
NO.	DATE	ISSUE NOTE
Project Manager	Drawn By	
Date	February 2025	Reviewed By
Project No.	2414	
Drawn By		
Conceptual Planting Layout and Plant List		

L1.02



LIGHTING LEGEND		
L1		Bollard Light
L2		Bench Lighting



SUPPORTIVE HOUSING

250 Terminal Ave. Nanaimo, BC

Project Title

RECEIVED
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2025-MAR-04
Current Planning

Landmarks Address

LAND AFFAIRS

Author

RON HART
ARCHITECT LTD.

REV

DATE

DESCRIPTION

A

2024-12-28

ISSUED FOR COORDINATION

NO.

DATE

ISSUE NOTE

Project Manager

Drawn By

Date

February 2025

Reviewed By

JO

Project ID

2414

Draw Title

Lighting Plan

Draw No.

L1.03