

# ATTACHMENT A

## Revitalization Tax Exemption Agreement

THIS AGREEMENT dated for reference the \_\_\_\_\_ day of February, 2024 is

BETWEEN:

KENCO ENTERPRISES (1982) LTD.  
4918 Fillinger Crescent  
Nanaimo, BC V9V 1H9

(the "Owner")

AND:

CITY OF NANAIMO  
455 Wallace Street  
Nanaimo, BC V9R 5J6

(the "City")

GIVEN THAT:

- A. The Owner is the registered owner in fee simple of lands in the City of Nanaimo at *421 Prideaux Street* legally described as *Lot 18, Block 24, Section 1, Nanaimo District, Plan 584, PID 000-086-037* (the "Parcel");
- B. Council has established a revitalization tax exemption program and has included within the City of Nanaimo "REVITALIZATION TAX EXEMPTION BYLAW 2018 NO. 7261";
- C. The Parcel is situated within the Revitalization Area, as defined in the Bylaw; and
- D. The Owner proposes to construct new improvements or alter or renovate existing improvements on the Parcel as described in Appendix "A" attached to and forming part of this agreement (the "Project") and has applied to the City to take part in the revitalization tax exemption program in respect of the Project and the City has agreed to accept the Project under the program;

THIS AGREEMENT is evidence that in consideration of the promises exchanged below, the Owner and the City covenant and agree each with the other as follows:

1. In this Agreement, the following words have the following meanings:
  - (a) "Assessed Value" means the BC Assessment Authority land and improvements assessed value of the parcel subject to this Agreement for the purposes of calculating property taxes;
  - (b) "Baseline Assessment" means the BC Assessment Authority's last published land and improvements assessed value immediately before the commencement of the Project;
  - (c) "Bylaw" means City of Nanaimo "REVITALIZATION TAX EXEMPTION BYLAW 2018 NO. 7261" as amended from time to time including any amendments thereto;

- (d) "Renovation" means capital improvements of an existing building;
  - (e) "Tax Exemption" means a revitalization tax exemption determined in accordance with the Bylaw; and
  - (f) "Tax Exemption Certificate" means a revitalization tax exemption certificate issued by the City of Nanaimo pursuant to the Bylaw and the *Community Charter*.
2. The Project – the Owner will use its best efforts to ensure that the Project is constructed, maintained, operated and used in a fashion that will be consistent with and will foster the objectives of the revitalization tax exemption program, as outlined in the Bylaw. Without limiting the generality of the foregoing, the Owner covenants to use its best efforts to ensure that the Project will:
- (a) be built in accordance with the submitted plans as approved by Development Permit (DP001226) for 421 Prideaux Street authorized by City Council of the City of Nanaimo on December 20, 2021.
3. Operation and Maintenance of the Project – throughout the term of this Agreement, the Owner shall operate, repair and maintain the Project and will keep the Project in a state of good repair as a prudent owner would do.
4. Revitalization Tax Exemption – subject to fulfillment of the conditions set out in this Agreement and the Bylaw, the City shall issue a Tax Exemption Certificate to the British Columbia Assessment Authority entitling the Owner to a Tax Exemption in respect of the property taxes due (not including local service taxes) in relation to the Parcel and the improvements thereon for the calendar year(s) set out in this Agreement. The Tax Exemption Certificate shall be substantially in the form of Appendix "B", which is attached to and forms part of this Agreement.
5. Conditions – the Owner must fulfill the following conditions before the City will issue a Tax Exemption Certificate to the Owner in respect of the Project:
- (a) the Owner must obtain a building permit from the City for the Project on or before August 31, 2024;
  - (b) the Owner must complete or cause to be completed construction of the Project in a good and workmanlike fashion and in strict compliance with the building permit and the plans and specifications attached hereto as Appendix "C";
  - (c) the Project must be officially opened and available for use as a *16-unit multi-family residential building* (the "Exempt Use") and for no other use, by no later than August 31, 2026; and
6. Calculation of Revitalization Tax Exemption – the amount of the Tax Exemption in each year shall be calculated in accordance with the Bylaw.
7. Term of Tax Exemption – provided the requirements of this Agreement, and of the City of Nanaimo Revitalization Tax Exemption Bylaw 2018 No. 7261, are met the Tax Exemption shall be for the taxation years 2026 to 2035, inclusive. [10 year maximum]

8. Compliance with Laws – the Owner shall construct the Project and, at all times during the term of the Tax Exemption or any renewal term, use and occupy the Parcel forming part of the Project in compliance with all statutes, laws, regulations, bylaws and orders of any authority having jurisdiction and, without limiting the generality of the foregoing, all federal, provincial, or municipal laws or statutes or bylaws, including all the rules regulations policies guidelines criteria or the like made under or pursuant to any such laws.
9. Subdivision under Strata Property Act – if the Owner deposits a strata plan in the Land Title Office under the *Strata Property Act* that includes an improvement on the Parcel included in the Project, then the Tax Exemption shall be prorated among the strata lots in accordance with the unit entitlement of each strata lot for:
  - (a) the current and each subsequent tax year during the currency of this agreement if the strata plan is accepted for registration at the Land Title Office before August 31, 2026.

provided that any strata subdivision must comply with the terms of any Housing Agreement in relation to the Parcel or the Project which limits ability to subdivide the Parcel or a building on the Parcel under the *Strata Property Act*.

10. Representations and Warranties – The Owner represents and warrants to the City that the Owner is the Owner of the Parcel for the purpose of property assessment and taxation.
11. Cancellation – the City may in its sole discretion cancel the Tax Exemption Certificate at any time:
  - (a) on the written request of the Owner; or
  - (b) effective immediately upon delivery of a notice of cancellation to the Owner if at any time any of the conditions in the Tax Exemption Certificate are not met.
12. If such cancellation occurs, the Owner of the Parcel for which the Tax Exemption Certificate was issued will pay to the City a recapture amount in accordance with the Bylaw, which amount will bear interest in accordance with the Bylaw.
13. No Refund – for greater certainty, under no circumstances will the Owner be entitled under the City's revitalization tax exemption program to any cash credit, any carry forward tax exemption credit or any refund for any property taxes paid.
14. Notices – any notice or other writing required or permitted to be given hereunder or for the purposes hereof to any party shall be sufficiently given if delivered by hand or posted on the Parcel, or if sent by prepaid registered mail (Express Post) or if transmitted by facsimile to such party:

- (a) in the case of a notice to the City, at:

THE CITY OF NANAIMO  
455 Wallace Street,  
Nanaimo, B.C.  
V9R 5J6

- (b) in the case of a notice to the Owner, at:

KENCO ENTERPRISES (1982) LTD.  
4918 Fillinger Crescent  
Nanaimo, BC V9V 1H9

or at such other address as the party to whom such notice or other writing is to be given shall have last notified the party giving the same.

15. No Assignment – the Owner shall not assign its interest in this Agreement except to a subsequent owner in fee simple of the Parcel.
16. Severance – if any portion of this Agreement is held invalid by a court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder of this Agreement.
17. Interpretation – wherever the singular or masculine is used in this agreement, the same shall be construed as meaning the plural, the feminine or body corporate where the context or the parties thereto so require.
18. Further Assurances – the parties hereto shall execute and do all such further deeds, acts, things and assurances that may be reasonably required to carry out the intent of this Agreement.
19. Waiver – waiver by the City of a default by the Owner shall be in writing and shall not be deemed to be a waiver of any subsequent or other default.
20. Powers Preserved – this Agreement does not:
  - (a) affect or limit the discretion, rights or powers of the City under any enactment or at common law, including in relation to the use or subdivision of the Parcel;
  - (b) affect or limit any enactment relating to the use or subdivision of the Parcel; or
  - (c) relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Parcel, and without limitation shall not confer directly or indirectly any exemption or right of set-off from development cost charges, connection charges, application fees, user fees or other rates, levies or charges payable under any bylaw of the City.
21. Reference – every reference to each party is deemed to include the heirs, executors, administrators, personal representatives, successors, assigns, servants, employees, agents, contractors, officers, licensees and invitees of such party, wherever the context so requires or allows.

22. Enurement – this agreement shall enure to the benefit of and be binding upon the parties hereto and their respective successors and permitted assigns.

IN WITNESS WHEREOF the parties hereto have executed this agreement as of the day and year first above written.

Executed by the CITY OF NANAIMO by its authorized signatories:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Corporate Officer

Executed by KENCO ENTERPRISES (1982) LTD. by its authorized signatories:

  
\_\_\_\_\_  
Name:

\_\_\_\_\_  
Name:

**APPENDIX "A" to Revitalization Tax Exemption Agreement**

**Map of Affected Parcel**



## APPENDIX "B" to Revitalization Tax Exemption Agreement

### Revitalization Tax Exemption Certificate

In accordance with the City of Nanaimo "REVITALIZATION TAX EXEMPTION BYLAW 2018 NO. 7261" (the "Bylaw"), and in accordance with a Revitalization Tax Exemption Agreement dated for reference the \_\_\_\_\_ day of February, 2024 (the "Agreement") entered into between the City of Nanaimo (the "City") and Kenco Enterprises (1982) Ltd. (the "Owner"), the registered owner of 421 Prideaux Street legally described as Lot 18, Block 24, Section 1, Nanaimo District, Plan 584, PID 000-086-037 (the "Parcel"):

This certificate certifies that the Parcel is subject to a revitalization tax exemption equal to the following assessment value of the Parcel: Class 01 Residential: \$333,000 multiplied by the municipal rate of tax in effect for Class 01 - Residential for each of the taxation years 2026 to 2035 inclusive.

The Tax Exemption is provided under the following conditions:

1. The Owner does not breach any term, condition or provision of, and performs all obligations set out in, the Agreement and the Bylaw;
2. The Owner has not sold all or any portion of his or her equitable or legal fee simple interest in the Parcel without the transferee taking an assignment of the Agreement, and agreeing to be bound by it;
3. The Owner, or a successor in title to the Owner, has not allowed the property taxes for the Parcel to go into arrears or to become delinquent;
4. The Exempt Use (as defined in the Agreement) of the Project is not discontinued;
5. The Agreement is not otherwise terminated.

If any of these conditions are not met then the Council of the City of Nanaimo may cancel this Revitalization Tax Exemption Certificate. If such cancellation occurs, the Owner of the Parcel, or a successor in title to the Owner as the case may be, shall remit to the City the recapture amount calculated in accordance with the Bylaw.

**APPENDIX "C" to Revitalization Tax Exemption Agreement  
Plans and Specifications for the Project DP001226**



**DEVELOPMENT PERMIT NO. DP001226**

**KENCO ENTERPRISES (1982) LTD**  
Name of Owner(s) of Land (Permittee)

**421 PRIDEAUX STREET**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 18, BLOCK 24, SECTION 1, NANAIMO DISTRICT, PLAN 584**  
**PID No. 000-086-037**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Site and Parking Plan**  
**Schedule C Building Elevations and Details**  
**Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 11.5.1 Siting of Buildings* – to reduce the minimum required front yard setback for the first storey from 3.0m to 2.13m; north side yard setback from 3.0m to 2.15m; and, south side yard setback from 3.0m to 1.9m.
2. *Section 11.7.1 Size of Buildings* – to increase the maximum allowable building height from 10.5m to 11.4m.
3. *Section 17.3.3 Required Landscaping* – to reduce the minimum required front yard landscape buffer from 1.8m to 0.74m; and the rear yard landscape buffer from 1.8m to 0m.

The City of Nanaimo "Off-Street Parking Regulations Bylaw No. 2018 No. 7266" is varied as follows:

1. *Section 4.3 Small Car Spaces* – to increase the maximum allowable percentage of small car parking spaces from 40% to 50%.

### CONDITIONS OF PERMIT

1. The subject property is developed generally in accordance with the Site and Parking Plan prepared by Joyce Reid Troost Architecture, received 2021-NOV-15, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by Joyce Reid Troost Architecture, received 2021-NOV-15, as shown on Schedule C.
3. The development is in substantial compliance with the Landscape Plan and Details prepared by Mystic Woods Landscape Design, received 2021-SEPT-09, as shown on Schedule D.

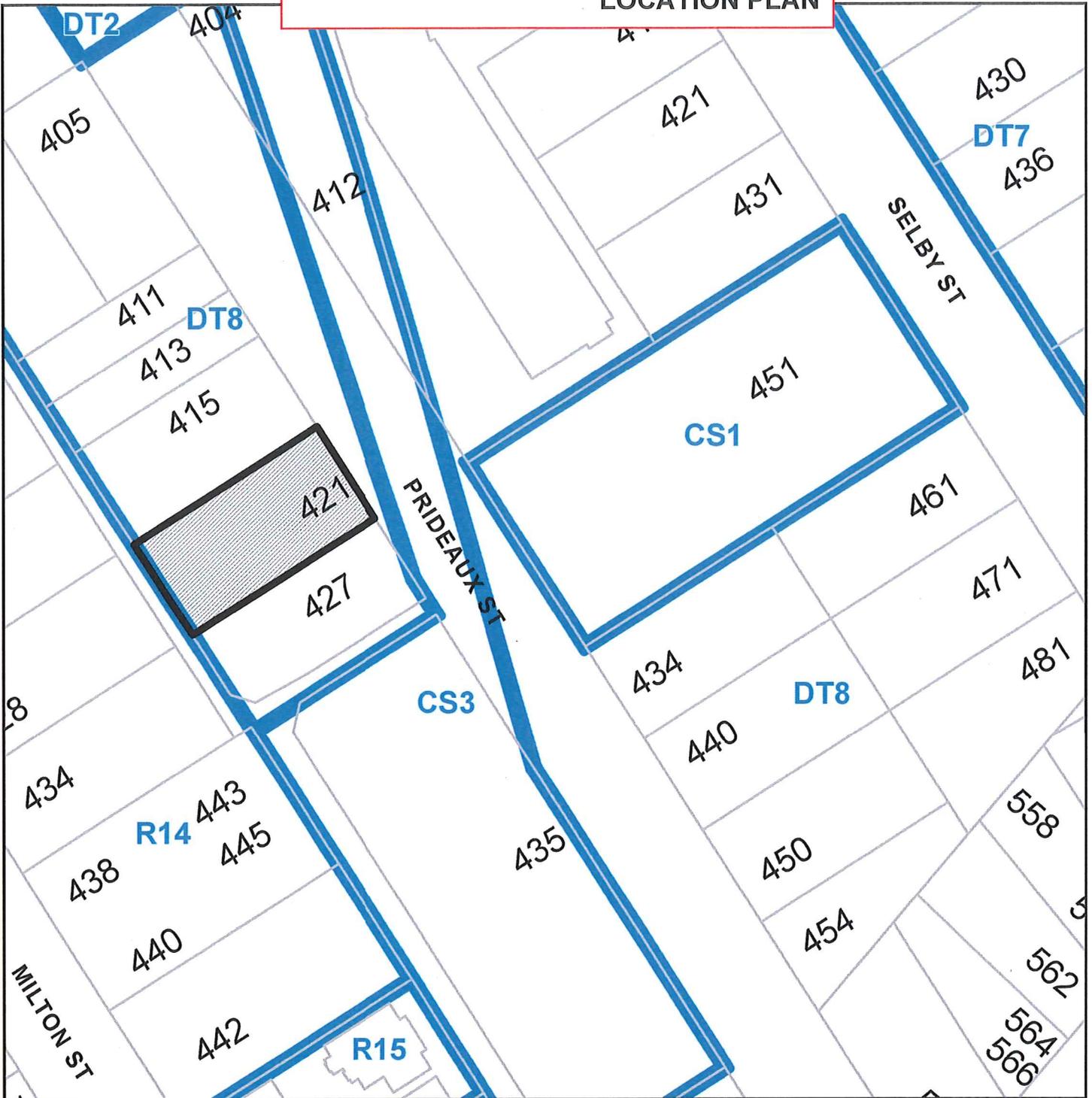
AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 20TH DAY OF DECEMBER, 2021.

  
Corporate Officer

  
Date

Development Permit No. DP001226    Schedule A  
421 Prideaux Street

### LOCATION PLAN



### DEVELOPMENT PERMIT APPLICATION NO. DP1226

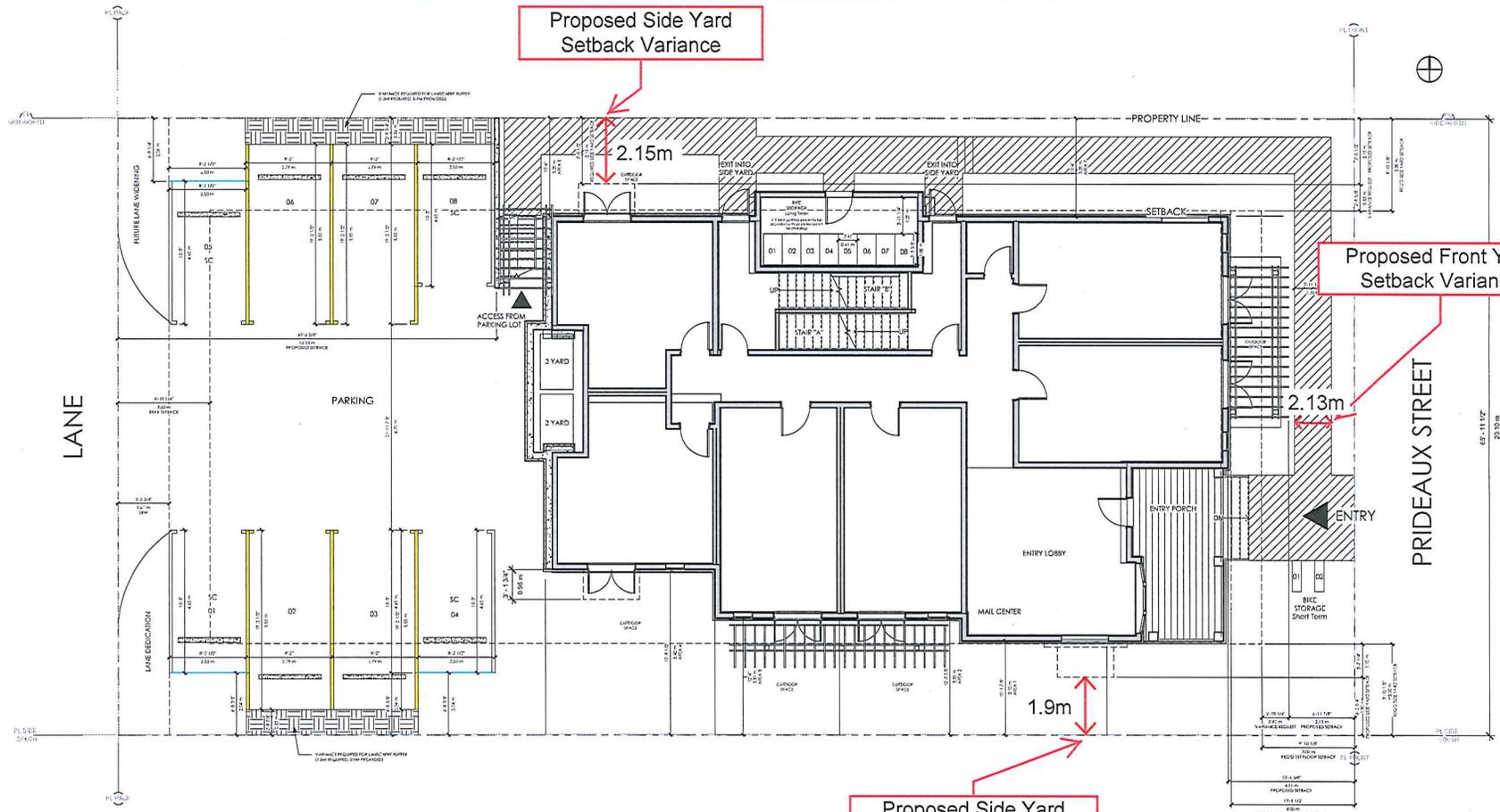
CIVIC: 421 PRIDEAUX STREET

LEGAL: LOT 18, BLOCK 24, SECTION 1, NANAIMO DISTRICT, PLAN 584



**Subject Property**

**SITE AND PARKING PLAN**



**SITE PLAN**

WINDOW CALCULATION: (south elevation)		WINDOW CALCULATION: (north elevation)	
AREA 1:	WALL AREA: 154.26 sq2 L DISTANCE: 3.1 m ALLOWABLE OPENINGS %: 26.7% PROPOSED OPENINGS %: 22.6%	AREA 5: (LEVEL 1/2)	WALL AREA: 229.7 sq2 L DISTANCE: 3.2 m ALLOWABLE OPENINGS %: 29.4% PROPOSED OPENINGS %: 6.53%
L 1	PROPOSED OPENINGS %: 22.6%	AREA 6: (LEVEL 3)	WALL AREA: 179.85 sq2 L DISTANCE: 2.65 m ALLOWABLE OPENINGS %: 41.52% PROPOSED OPENINGS %: 16.68%
AREA 2 / 3: (LEVEL 1/2/3)	WALL AREA: 109.13 sq2 L DISTANCE: 3.95 m ALLOWABLE OPENINGS %: 46.9% PROPOSED OPENINGS %: 29.4%	AREA 7: (LEVEL 1/2)	WALL AREA: 149.54 sq2 L DISTANCE: 3.2 m ALLOWABLE OPENINGS %: 29.4% PROPOSED OPENINGS %: 23.4%
AREA 4: (LEVEL 1/2)	WALL AREA: 147.52 sq2 L DISTANCE: 5.42 m ALLOWABLE OPENINGS %: 19.8% PROPOSED OPENINGS %: 29.1%		

**JOYCE REID TROOST ARCHITECTURE**  
2515 GLENAYR DRIVE  
NANAIMO, BC V9S 3R9  
Joyce@jrtarchitecture.com  
250.714.8749  
jrtarchitecture.com

THE DRAWINGS, DESIGN IDEAS AND  
CONCEPTS OF CONSTRUCTION  
HEREIN ARE THE PROPERTY OF JOYCE  
REID TROOST ARCHITECTURE. NO  
REPRODUCTION OR TRANSMISSION  
IN ANY FORM OR BY ANY MEANS  
ELECTRONIC OR MECHANICAL,  
INCLUDING PHOTOCOPYING, RECORDING,  
OR BY ANY INFORMATION STORAGE  
AND RETRIEVAL SYSTEM, WITHOUT  
THE WRITTEN PERMISSION OF THE  
ARCHITECT IS PROHIBITED.



ARCH. STAMP  
JOYCE REID TROOST  
REGISTERED ARCHITECT  
BRITISH COLUMBIA  
2021109249

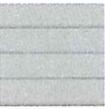
**PRIDEAUX**  
421 PRIDEAUX ST  
NANAIMO, BC

**RECEIVED**  
**DP1226**  
2021-NOV-15

CLIENT: KENCO ENTERPRISES

REV. DATE	NUMBER	DESCRIPTION
00-10-2019	1	Conceptual Set
03-11-2021	2	DP
19-08-2021	3	DP Revision 01

DATE	JUNE 17, 2020	SITE PLAN
SCALE	3/16" = 1'-0"	
DRAWN BY	JRT	DRAWN BY
		<b>A101</b>

MATERIAL LEGEND	
	SIDING GENTEK, SAGE 624
	SHINGLE HARVEST SHADE 456
	TRIM GENTEK CASHMERE
	TRIM GREY



EAST ELEVATION (PRIDEAUX ROAD) Scale 3/16" = 1"



SOUTH ELEVATION Scale 3/16" = 1"

**JOYCE REID TROOST ARCHITECTURE**  
 2315 CLEMENS DRIVE  
 NANAIMO, BC V9S 3R9  
 joyce@rtarchitect.com  
 250.714.8739  
 rtarchitecture.com

BY EXAMINING, APPROVING AND SEALING THESE ARCHITECTURAL DRAWINGS, THE ARCHITECT ASSURES THAT THEY COMPLY WITH ALL APPLICABLE REGULATIONS AND STANDARDS. THE ARCHITECT DOES NOT WARRANT THAT THE INFORMATION CONTAINED HEREIN IS COMPLETELY ACCURATE OR THAT THE INFORMATION CONTAINED HEREIN IS NOT SUBJECT TO CHANGE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT.



**PRIDEAUX MICRO UNITS**  
 421 PRIDEAUX STREET, NANAIMO, BC

CLIENT: FENCO ENTERPRISES

RECEIVED  
**DP1226**  
 2021-NOV-15

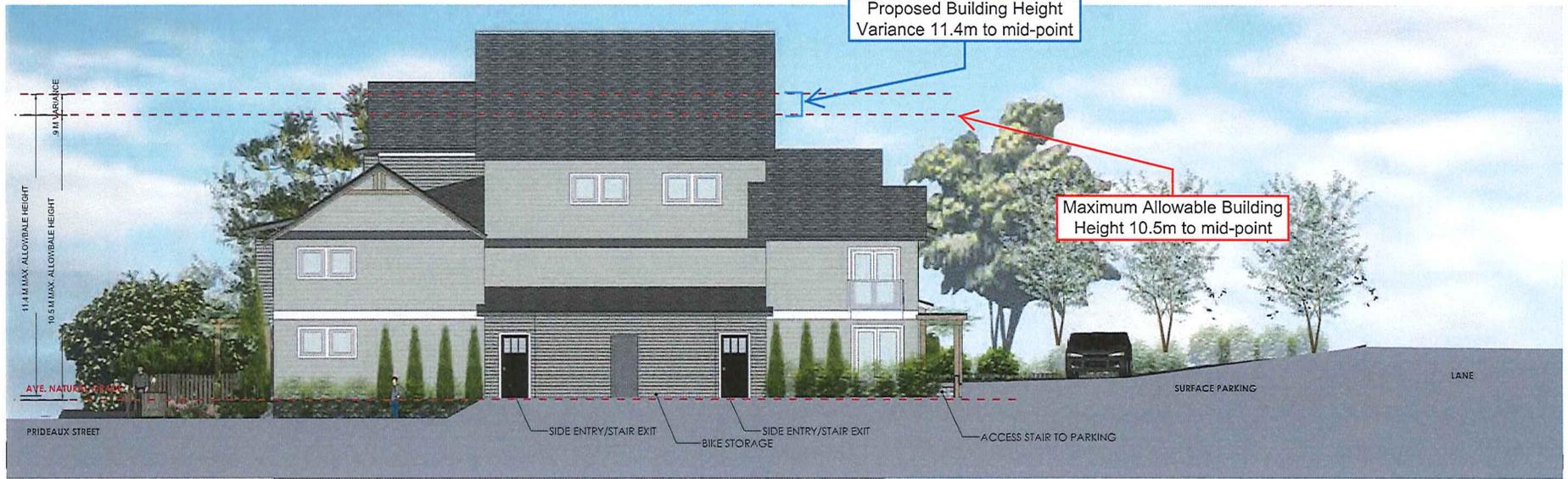
REV. DATE	NUMBER	DESCRIPTION
06-10-2020	1	Coordination Set
07-11-2021	2	SP
07-26-2021	3	SP Revision 01

DATE	JUNE 17, 2021
SCALE	SEE DRAWINGS
DRAWN BY	JRT
CHECKED BY	JRT

ELEVATIONS  
**A200**



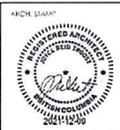
WEST ELEVATION (LANE) Scale 3/16" = 1"



NORTH ELEVATION Scale 3/16" = 1"

**JOYCE REID TROOST ARCHITECTURE**  
 2515 CLEMENS DRIVE  
 NANAIMO, BC V9S 3R9  
 joyce@jrtarchitecture.com  
 250.714.8749  
 jrtarchitecture.com

THE ENGINEER, ARCHITECT AND PARTIAL OF CONSTRUCTION INSPECTOR HAS REVIEWED THE DRAWINGS AND CONFIRMS THAT THEY COMPLY WITH THE REQUIREMENTS OF THE BC BUILDING ACT AND REGULATIONS. ALL WORKMANSHIP AND MATERIALS MUST BE AS SPECIFIED. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR SYSTEM NOT SHOWN ON THESE DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR SYSTEM NOT SHOWN ON THESE DRAWINGS.



**PRIDEAUX MICRO UNITS**  
 421 PRIDEAUX STREET, NANAIMO, BC

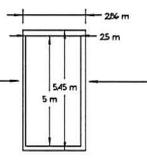
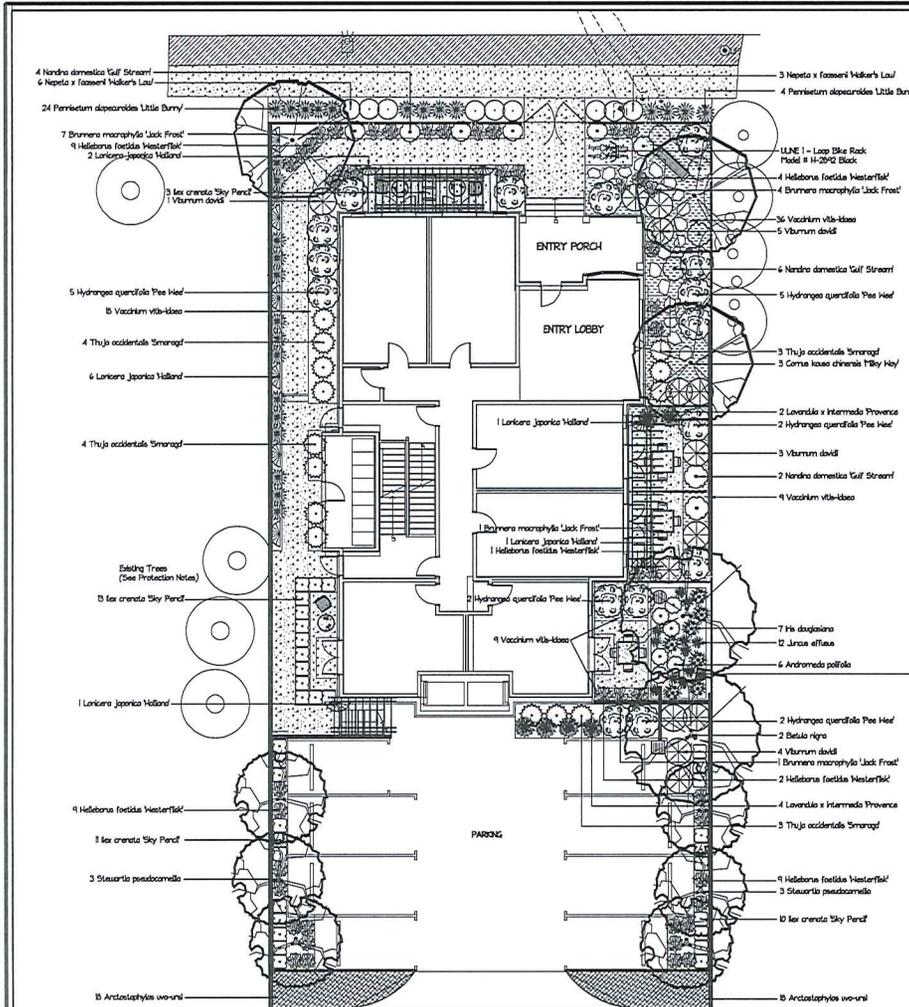
C/ENR  
 KENCOR ENTERPRISES

REV. DATE	NUMBER	DESCRIPTION
2021.05.20	1	Coordination Set
2021.05.21	2	CP
2021.05.21	3	BT Elevations 1

DATE	JUNE 17, 2021
SCALE	SEE DRAWINGS
DRAWN BY	JRT
DRAWN BY	JRT

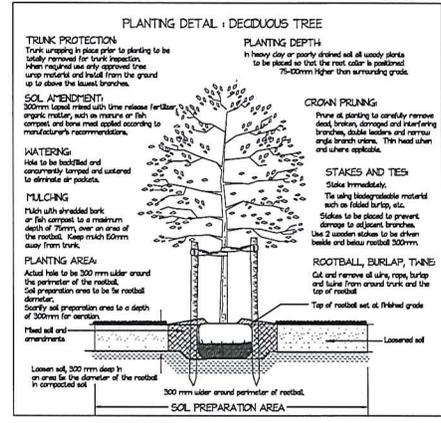
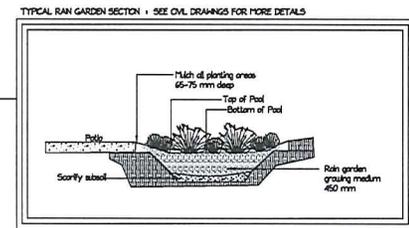
ELEVATIONS
A201





Qty	Botanical Name	Common Name	Size/Condition
2	Betula nigra	RIVER BIRCH	5 cm cal
3	Cornus kousa chinensis 'Misty May'	MILKY WAY CHINESE DOGWOOD	25-3 m
6	Stewartia pseudocornuta	JAPANESE STEWARTIA	5 cm cal
14	Thuja occidentalis 'Smaragd'	EMERALD CEDAR	8.5 pt
<b>Grubs</b>			
16	Hydrangea quercifolia 'Pee Wee'	PEE WEE OAK LEAF HYDRANGEA	8.2 pt
37	Isax crenata 'Sky Pinet'	SKY PINEL, JAPANESE HOLLY	8.2 pt
4	Lonicera x hermada Provance	FRENCH LAVENDER	8.1 pt
4	Nandina domestica 'Gulf Stream'	GULF STREAM NANDINA	8.1 pt
1	Varium davidii	DAVID VEERUMI	8.1 pt
<b>Ornamental Grasses</b>			
20	Panicum aspersum 'Little Bunny'	LITTLE BUNNY DWARF FOUNTAIN GRASS	8.1 pt
<b>Perennials</b>			
8	Brunnera macrophylla 'Jack Frost'	JACK FROST BERBERN BILGROSS	8.1 pt
34	Helianthus foetidus 'Hesterflak'	BLUE LEAVED HELIOPSIS	8.1 pt
4	Nepeta x fassenii 'Walker's Low'	WALKERS LOW CATMINT	8.1 pt
<b>Container Plants</b>			
36	Arctostaphylos uva-ursi	KUMMUCK	SP3 - 40cm pot
72	Vaccinium vitis-idaea	COBERRY	SP3 - 40cm pot
11	Lonicera japonica 'Holland'	HALLS JAPANESE HONEYSUCKLE	8.1 pt
<b>Rain Garden Plants</b>			
4	Andromeda polifolia	DOG-ROSEMARY - NATIVE	8.1 pt
7	He deaglossa	PACIFIC COAST RED	8.1 pt
12	Junca effusa	AGUATIC COTTON RUSH	8.1 pt

**DEER PROTECTION**  
While most of the plants are Deer resistant, young plants are susceptible to browsing and must be protected for the first two years until plants become established. Any plants that show signs of browsing shall be protected. Protect using either Bobac, Plantakid, or other proven effective remedy.



SOIL COMPOSITION FOR GROUND LEVEL PLANTING AREAS	
TABLE 6-353 VASCULAR AND MODERATE SOIL COMPOSITION	
Percent of Dry Weight of Total Growing Medium	
Coarse Gravel larger than 19mm, smaller than 40mm	0 - 1%
All Gravel larger than 5mm, smaller than 40mm	0 - 5%
Sand larger than 250mm, smaller than 5mm	0 - 20%
Silt larger than 200mm, smaller than 5mm	0 - 25%
Clay smaller than 200mm	0 - 25%
Organic content	10 - 20%
Acidity (pH)	4.5 - 6.5
Drainage	Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.

**PRESERVATION OF EXISTING TREES**  
Physical protection barriers shall be erected at the edge of the protection boundaries before any work (including clearing and grubbing) occurs on site. Individual trees or areas of vegetation shall be fenced off by means of a plastic area. Fence of at least 1.2 meters height marked on steel or sturdy wooden posts that indicate top and bottom rail. Fence posts shall be placed no further than 2.4m apart. Trees with a 500mm diameter trunk shall have a 33m protection radius. Signs should be provided in association with protection fencing at regular intervals around areas designated for preservation. Signs should describe the function of the fencing line. \* Trees Protection Area - No Grub There shall be no passage of machinery of any kind through or within vegetation protection areas at any time, including the demolition and site preparation protection areas at any time, including the demolition and site preparation areas.

**IRRIGATION**  
Irrigation plans to be design / bid at time of construction.

**GENERAL**  
Scope of work  
Supply and install the components required to provide a properly operating irrigation system to cover the applicable landscape.

Obtain a scaled design of the proposed irrigation system which meets I ABC Standards. Obtain properly informed agreement from the owner's representative as to the inclusion or not of desirable features in the design which exceed I ABC Design Standards and/or are site specific. **Quality Assurance** All irrigation work shall be done by a suitably experienced and qualified irrigation contractor, having trained and competent personnel adequate for the scope of work. The contractor shall be a member in good standing of the Irrigation Industry Association of BC and have met the qualification standards currently applied to contractors by that organization. A written guarantee of the installed system shall be provided to the owner covering workmanship and materials for a minimum of one year.

**Submittals** A submittal scaled as per drawing shall be provided. All components of the irrigation system shall be shown as installed, with clear measurements from an established reference point to the location of the controller and its circuit breaker, master valves, zone control valves, main water connection, blow out connection, pump and its electrical connections, and any other similar features. Provide a manual containing operating and maintenance instructions for all components of the system. Provide clear instructions for operating the irrigation system. In season, showing the relative living differences between zones of different precipitation rates, and a schedule of run times suggested for various weather conditions. Provide any special tasks as provided by the manufacturer for dry to dry servicing of the irrigation equipment installed.

**BC LANDSCAPE STANDARDS**  
All construction to meet the requirements as set out in the BC Landscape Standards, 2002 edition, prepared by the BC Society of Landscape Architects and the BC Landscape and Nursery Association jointly. Copies of the BC Landscape Standards are available through the BC LNA office at 1-604-574-7772.

Contractor to consult with designer regarding any discrepancies. Contractor to consult with designer if plant substitutions are required due to availability. Contractor is responsible for obtaining written confirmation of utility locations prior to commencing diggs. Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.

Refer to landscape specifications supplied with the plan at building permit level. If you do not receive the specifications, please contact the designer.

**TOP SOIL REQUIREMENTS**  
150mm depth for shrubs beds 450mm (18") 150mm depth for groundcover 500mm (20") 150mm depth for lawn 75mm (3")  
Trees as per detail on these drawings.

LANDSCAPE AREA	Area (sqm)	Volume (cu m)
TREES/SHRUB AREA	4,625 sqm	1,775 cu m
RANGEGROUND AREA	8,555 sqm	1,677 cu m
GROUND COVER	191 sqm	24 cu m
PATIO AREA	350 sqm	305 cu m
PAVING AREA	473 sqm	724 cu m
<b>TOTAL AREA</b>	<b>5,014 sqm</b>	<b>3,265 cu m</b>

3' PICKET FENCE LENGTH 466 m 83 ft  
5' PICKET FENCE LENGTH 764 m 253 ft

**PROJECT:**  
PRELIMINARY RESIDENTIAL BUILDING AT PROXIMA STREET NANAIMO, BC

**CLIENT:**  
KEMCO ENTERPRISES  
KEM RODD  
kemmco@telus.net

**ARCHITECT:**  
JAYCE REID TROOST ARCHITECT  
250-744-0741  
Jayce@architect.com

**LANDSCAPE DESIGNER:**  
MYSTIC WOODS LANDSCAPE DESIGN  
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**DRAWING:** LANDSCAPE PLANNING PLAN  
**DRAWING #:** L2 of 2  
**RECEIVED:** 11-22-21  
2021-SEP-09

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**APPENDIX "D"**  
**Revitalization Area**

