

ATTACHMENT A
PERMIT TERMS & CONDITIONS

TERMS OF PERMIT

The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

1. *Section 7.4.1 – Minimum Lot Frontage* - to reduce the minimum lot depth requirement from 28m as follows:

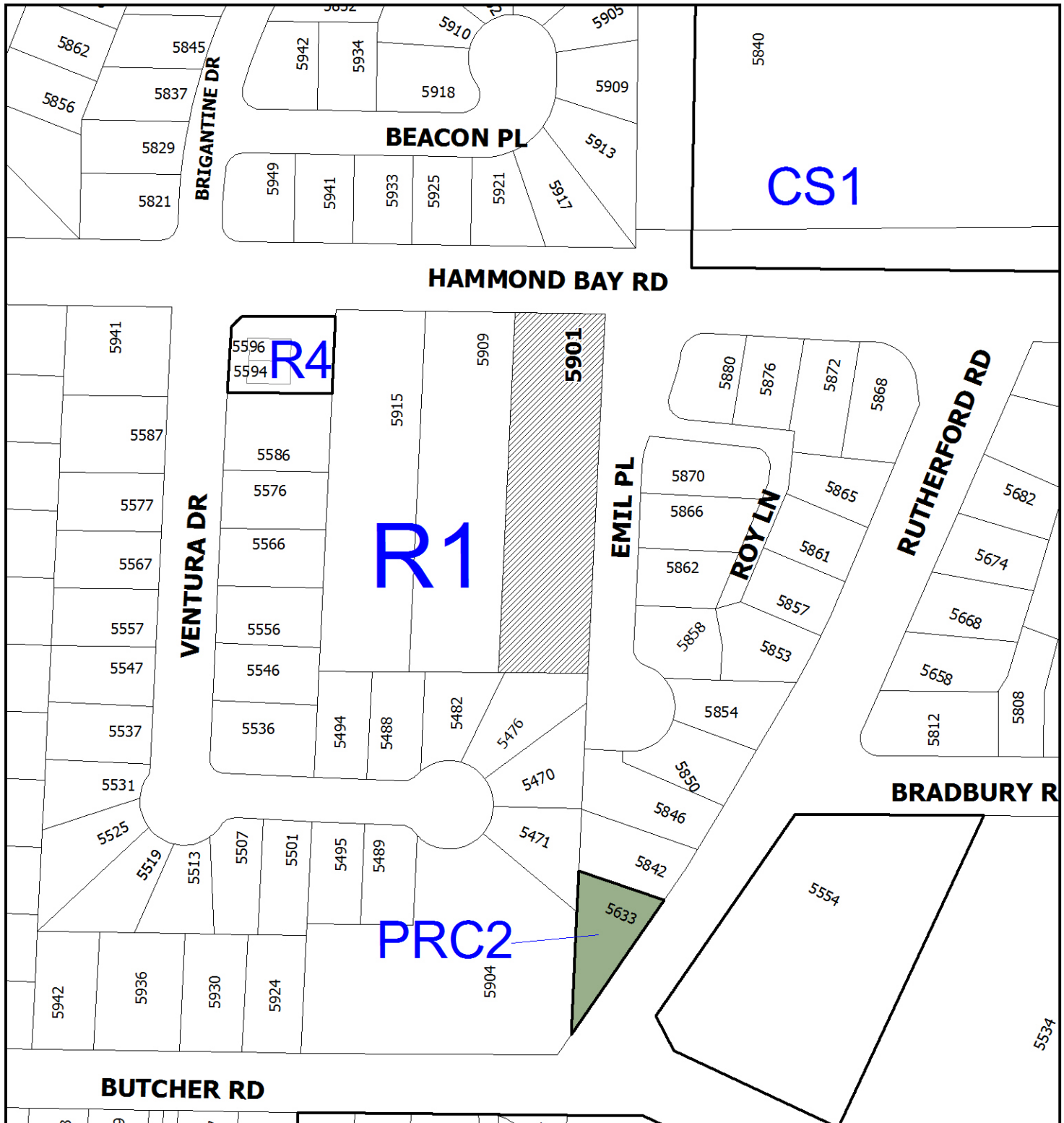
Variances Requested		
Lot Number	Proposed Lot Depth	Variance Requested
4,6	14m	1m
3,5	14.8m	0.2m

2. *Section 7.5.1 – Siting of Buildings* - to reduce the minimum rear yard setback requirement for proposed Lot 2 from 7.5m to 5.7m.

CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site Plan prepared by KSG Consulting Ltd., dated 2018-APR-12, as shown on Attachment C.

ATTACHMENT B
LOCATION PLAN



DEVELOPMENT VARIANCE PERMIT NO. DVP00341

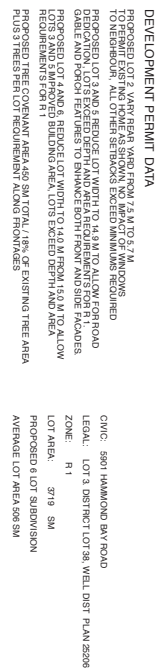
LOCATION PLAN

Civic: 5901 Hammond Bay Road
Lot 3, District Lot 38, Wellington District,
Plan 25206



**Subject
Property**

Portion of road
to be closed

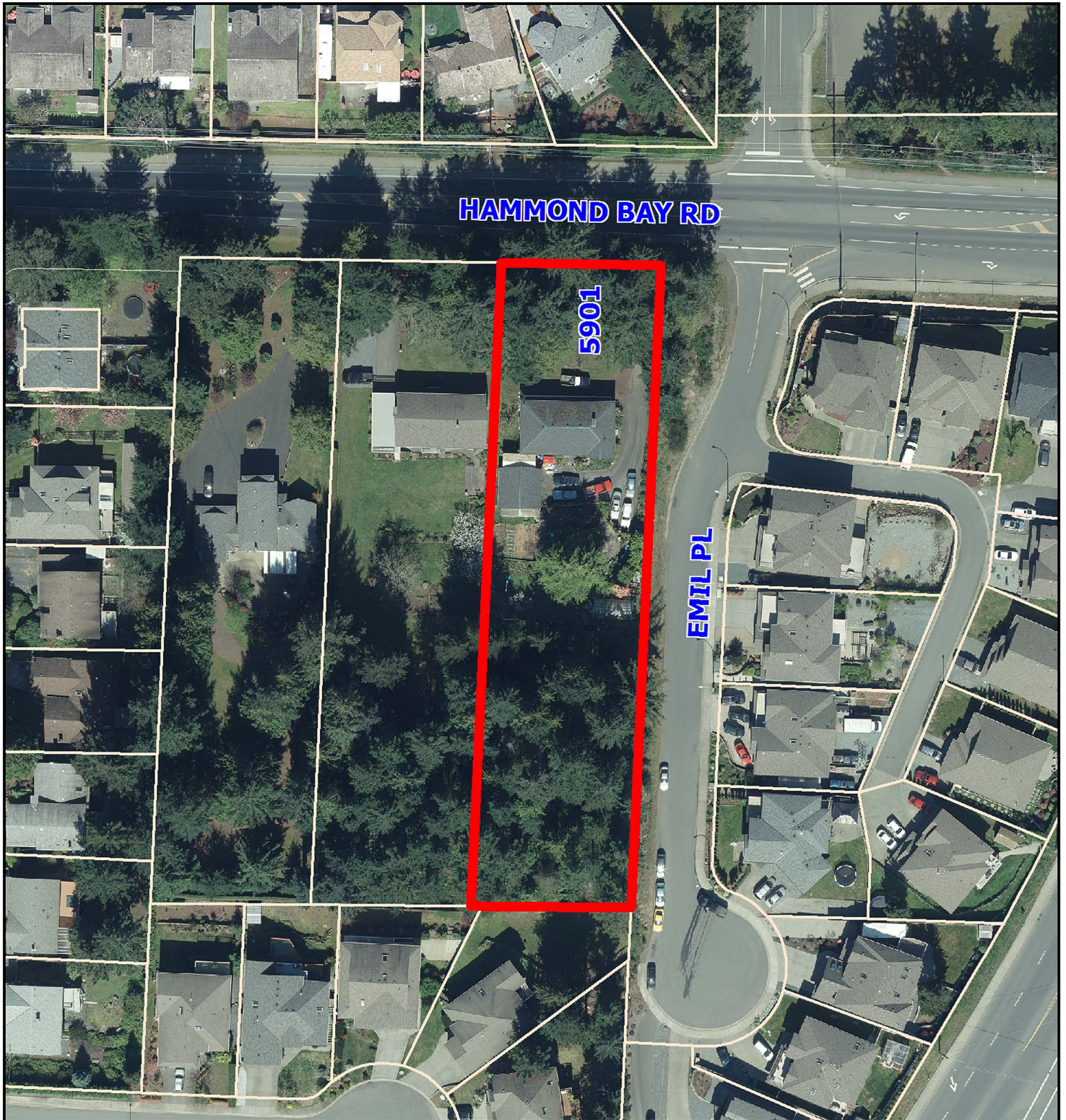


5901	HAAMOND BAY ROAD	NSO CONSULTING LTD 2800 798 8487	SCALE: NOTED	DATE: DEC 8 2017 APR 12 2018	SHEET:
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Copyright reserved. These plans and details are the property of the designer to be used for the project shown. Within context is required for the design, before any reproduction. Contrasts to all laws, laws, amendments, specifications, location of building or site, and location of all services for reconstruction. All work to be done in accordance with the B.C. Building Code, current edition, and all applicable codes and regulations.

All work to be done in a prudent manner and to the approval of warranty provider. Designer is not responsible for any third review or compliance to code and/or building professionals. Designer recommends that owner/building retain independent inspectors to ensure proper design and construction of building envelope.

ATTACHMENT D
AERIAL PHOTO



DEVELOPMENT VARIANCE PERMIT NO. DVP00341

