

November 03, 2023

6086-001

City of Nanaimo
Planning Department
3008 Fifth Avenue
Nanaimo, BC

**Re: Development Permit Application
Island Diesel Way Development
1950/1960 Island Diesel Way, Nanaimo, BC**

As part of the submission for Development Permit, we have prepared the following report for the above-mentioned project, addressing the objectives of the permit guidelines.

For clarity the sites are discussed as separate sites in the project site description. Beyond this, the sites will be discussed as the proposed amalgamated site.

Island Diesel Way Industrial Complex

We are applying to construct two large pre-engineered steel buildings in the Boxwood industrial neighborhood. These two buildings will be leased to commercial tenants.

The Island Diesel Way Industrial Complex will add 6004.0m² gross floor area of I3 zoned industrial space for the to the Nanaimo market. Supply of Industrial space is low, and demand is high so this development will give more opportunities for companies looking to expand in Nanaimo.

Project Site Description

The project site is located at 1950 and 1960 Island Diesel Way, Nanaimo, BC.

1950 Diesel Way

The existing 1950 site previously was used as an industrial storage area with no development apart from leveling on the site. Chain link fencing rings the site. The site measures 4609.4m² with a frontage of 47m along Island Diesel Way. The site has a significant earthen bank on the northern boundary, raising approx. 5.5 meters from levelled site to the levelled site of the site above.

1960 Diesel Way

R E C E I V E D
DP1326
2023-NOV-22
Current Planning

The existing 1960 site previously was also used as an industrial storage area. The site previous contained several small permanent and semi-permanent steel buildings. These have been removed. A cinderblock fence faces the street with chain-link around the remainder of the site. The site measures 8,198.8m² with a frontage of 57m along Island Diesel Way. The site is levelled with no significant elevation changes to adjacent sites.

The project requirements for the Island Diesel Way are to include two large warehouses which will be rented to commercial tenants. The warehouse can be internally subdivided depending on the tenant's space requirements. This programming requires three recessed loading bays, Building A's can receive 4 trucks simultaneously, Building B has two recessed bay which can receive 3 trucks simultaneously each. Building A has 2 drive in doors to access the warehouse space and can also receive deliveries. Building B has 4 drive in doors.

As the site is reasonably level, the main access is through the middle of the site from Island Diesel Way. The truck access slopes down from the site level to allow trucks to access the dock high doors.

Parking for the site is accommodated by Surface Parking along the front of the building A and B, as well as around the rear of the buildings. Surface parking has been broken up into 2 areas, in front of the buildings and to the rear of the buildings. The parking in front pf the building is envisioned for clients to park directly in front of the company they wish to access, while parking to the rear of the building is envisioned for staff parking.

Bicycle and Pedestrian access are along the internal road within the site. Sidewalks allow pedestrians to walk along the face of the buildings and to access the short-term bicycle parking. The short-term bicycle parking is located alongside the Eastern wall of building A and by the western wall of building B, next to the entrance gate. Long term bicycle parking is located within each unit.

The site is near the Busroute on Bowen Road, approximately 900m from the Bowen / Dufferin Crescent Intersection. Boxwood Road has a bike lane along its extent, although this does not appear bicycle route on the City of Nanaimo 2016 Bicycle Map. This compliments our bicycle parking areas located on the property.

Zoning

The property is currently zoned as I3 – High Tech Industrial and is designated as such on the OCP Land Use Map. I3 – High Tech industrial allows the proposed use of The Island Diesel Way development.

Site Coverage:

The I3 zoning has a max site coverage of 50%. The buildings as designed has a site coverage of 43.6%. Building Setbacks for the property are 6.0m Front Yard along Island Diesel Way, 4.5m for the Flanking Street of Hansen Road, 0.0m for the West PL next to Canada Post and 7.5m Rear Yard Setback. The Gross Floor Area of the project is 5,509.1m², excluding the parking as per the definitions in the Zoning Bylaw. Section 13.2.2 allows a maximum office space of 20% the GFA. The office GFA is 1,100.9m²

and is 18.3%. Please see the floorplans in the Drawing Package which display these areas.

Building height is permitted to be 14.0m. As per the Zoning bylaw, Average grade is determined by Natural or Finished, whichever is lower. The Warehouse Average finished grade is 93.91m giving a parapet height of 11.20m.

Parking requirements are listed on Sheet A100 and are based off the City of Nanaimo bylaws. As per the bylaw, and the associated GFA, the required parking stalls for this project are 34 stalls, 2 of which are required to be accessible. These are split up into 3 parking areas as shown on the Site plan and Lower Floor Plan.

Bicycle Parking is as per the City of Nanaimo Zoning Bylaw section 7.2. as per the calculations shown on A100, there are 12 short term spaces required. These are provided with a bike rack at the rear. There are 9 long term bike parks required. There will be 2 secure bike parks located within each unit for a total of 12 parks.

Proposed Building, Form and Character

The Island Diesel Way development has been designed as a functional Industrial Building and is in an area zoned for Industrial activities. City Electric Supply, ERIKS America and Westburne neighbour the property to the south. All three being housed in large pre-engineered steel buildings. To the north, a pre-engineered steel warehouse is hosts several different commercial tenants, screened by a row of trees and a 5.5m dirt bank. To the east, there is a strip mall separated by an access road. To the West, across the road, Parkway Storage is a collection of shipping containers and the Government of Canada building which is clad in an insulated metal panel facade found throughout the industrial neighbourhood.

Island Diesel Way is within the Boxwood Road industrial neighbourhood, and we have addressed the design with precedent that is contiguous in the neighborhood of this building. We have designed the Form and Character and the massing along Island Diesel Way to respond to this precedent.

The Island Diesel Way development contains two main buildings, Building A on the northern side of the site and Building B to the south of the site.

As these buildings are part of the same development, yet will be rented to different commercial tenants, the design rationale was to create two buildings that were visually interesting and read as individual units in a larger development.

The colour scheme used on this project was a mix of Terracotta, Harbour Blue and dark, medium and light grey. This colour palette was used on both buildings with a different primary colour on each. The primary materials used are insulated metal panels for the structure and timber soffits under the eaves. This colour scheme was chosen as it added visual interest to the building, and it also reflected the color scheme of surrounding buildings in the boxwood industrial neighbourhood.

Building A

Building A uses Harbour Blue prefabricated metal panel as the primary cladding with vertical gray panel in areas of interest on the Western and Southern elevation, facing Island Diesel Way and the internal road respectively.

The western elevation facing Island Diesel Way is clad in the harbour blue insulated metal panel with the three grey vertical panels used to create interest under the eaves. These eaves contain downlights which illuminate the recessed façade elements at night.

The Southern elevation of the building has two main faces separated by a recessed section containing the two drive-in truck entrances and the three recessed dock high doors. The main faces are the primary entrance for the two tenancies with the eaves sheltering the entrance doors.

The northern and eastern elevations are clad entirely in the harbour blue insulated metal panel. The northern elevation faces the 5.5m dirt bank with the tree screen along the top, so is not visible from the road and is screened from the neighbouring property. The eastern side faces the rear of the strip mall and so only the very uppermost part of the wall and roof will be visible from Bowen Road and the strip mall carpark.

Building B

Building B uses a ridged terracotta insulated metal panel as the primary cladding with a smooth architectural insulated metal panel on the primary façades. Building B has three primary faces separated by two loading docks. Each containing two drive truck entrances and three recessed dock high doors. There are four tenant entrances to the building, one on the end facades and two on the central façade. The roofline is varied for visual interest with elements in the recessed truck bays rising up above the main line of the roof.

The northern façade facing the internal roadway uses the smooth architectural panel to accentuate the entrances to the separate commercial spaces. The vertical metal panel runs up the faces of the primary facade and wraps around the corners to add visual interest. This also helps to visually separate the two tenancies in the central façade. The smooth insulated panels terminate in an eave separating the different visual elements on the building. The smooth insulated metal panels are arranged vertically along the façade. The colours used here, dark grey, grey and light gray are arranged in a random pattern to add visual interest to the facades. Down lights are situated in the eaves illuminating the vertical panels at night.

The four tenancies have a glass and steel canopy above the main doors. The westernmost entrance, closest to island diesel way has a visually interesting corner with the grey panels wrapping around to the western face.

The western façade facing Island Diesel Way has the continuation of the smooth insulated panel façade which wraps around the building to face the street.

The southern face of the building is clad in continuous terracotta ridged insulated metal panelling. This elevation faces the rear of three large pre-engineered steel buildings of approximately the same height and so only small elements of the building will be visible through the gaps between the buildings.

Site

The site has been landscaped to add screening between the site and neighbouring site and to soften the transition to Island Diesel Way. The barrier between island diesel way and the site is a chain-link fence with black plastic providing a visual barrier. This fence line is planted with trees which over time will add a higher screen to the site and add greenery.

The rear parking lot is planted around the exterior for the same aims. Around the rear is the employee outdoor break area, which is provided for the enjoyment of employees, situated alongside the row of trees.

Conclusion

We trust that this concept of how the central mass of what is a warehouse environment is augmented with two bookends of more articulated and interesting components will create an effective solution for this site. The bookend portions of the project speak to the neighborhood and the character of the function, while allowing a cohesive design for the two buildings.

We are looking at the Metl Span insulated panels for the elevations. Please refer to the materials sheet in the drawing package which provides the indication of the materials we would like to implement on this design.

Yours truly,

HEROLD ENGINEERING LIMITED

Ben Carpenter M.Arch
Junior Designer

November 03, 2023

6086-001

City of Nanaimo
Planning Department
3008 Fifth Avenue
Nanaimo, BC

**Re: Development Permit Application
Island Diesel Way Development
1950/1960 Island Diesel Way, Nanaimo, BC**

As part of the submission for Development Variance Permit, we have prepared the following report for the above-mentioned project, addressing the objectives of the variance permit.

We are applying for the lots on 1950 and 1960 Island Diesel way. For clarity, the sites will be discussed as the proposed amalgamated site.

Island Diesel Way Industrial Complex

We are applying to construct two large pre-engineered steel buildings in the Boxwood industrial neighbourhood. These two buildings will be leased to commercial tenants.

The Island Diesel Way Industrial Complex will add 6004.0m² gross floor area of I3 zoned industrial space for the to the Nanaimo market.

Variance application

Zoning Bylaw No. 4500, Part 17 (Landscaping) states: a minimum 1.8m buffer will be required along the front lot line and property lines which are adjacent to a different zone (this will include a portion of the southwest lot line shared with 1950 Boxwood Road).

We have provided the 1.8m buffer around the entire site that borders an adjacent zone (COR 3 to the east) and part of 1950 Boxwood Road (I 1).

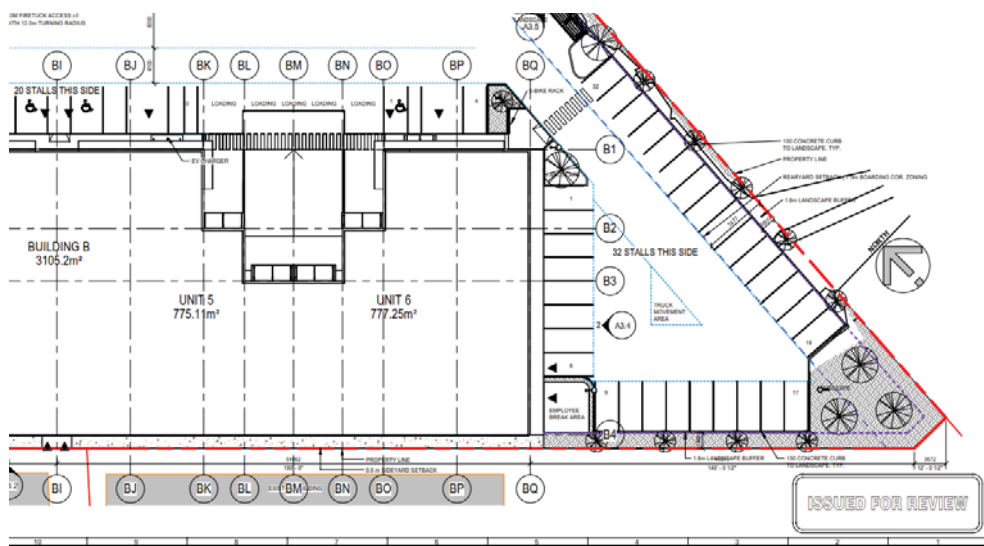
R E C E I V E D
DP1326
2023-NOV-22
Current Planning

Where the Island Diesel way property (sketched in red below) abuts 1950 boxwood road (in green) a 1.8m buffer is required along the entire boundary.



We are proposing a variance along this boundary. We will provide a 1.8m landscape buffer along part of the property line, the section visible from Boxwood Road. We will not provide the buffer between the large steel building on Boxwood Road and our proposed building B on the Island Diesel Way site.

As shown in plan below. We believe that this landscape buffer between the buildings is irrelevant. You would only be able to see this part of the landscape buffer between the buildings when standing in the landscape buffer. This section of buffer would not be able to be seen from Boxwood Road, from on the 1950 boxwood site, nor on the Island Diesel site.



The above plan shows the location of the 1.8m landscape buffer along the property line visible from boxwood road, stopping between the proposed building B on the Island Diesel Way site and the existing metal building on the 1950 Boxwood Site.

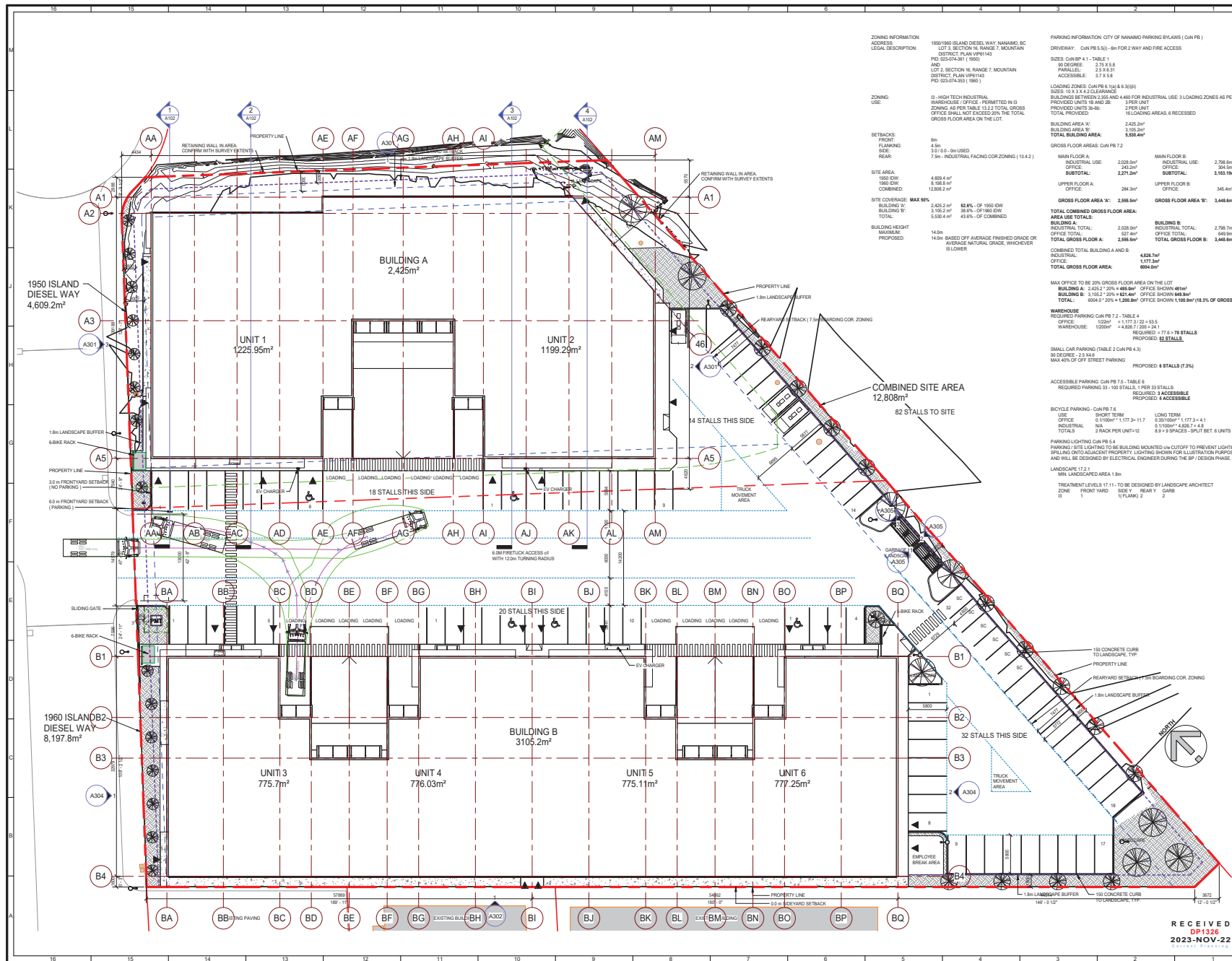
Yours truly,

HEROLD ENGINEERING LIMITED

Ben Carpenter M.Arch
Junior Designer



1950 & 1960 Island Diesel Way



KEYPLAN

LEGAL DESCRIPTION
LOT 3, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP1143
PID: 023-074-301

AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP1143
PID: 023-074-303

MUNICIPAL ADDRESS
1950 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

CLIENT INFORMATION

#	Description	Date
Revision Schedule		
HEROLD ENGINEERING LIMITED Consulting Engineers 3701 Sherrington Rd, Nanaimo, BC V9T 2H1 T: 250.751.8518 F: 250.751.8559 E: mail@heroldengineering.com		
Norland Coach House #10 19001 Range Road 212, Lethbridge County, Alberta T1J 1N9 alvinfrizarchitect.com ph: (403) 320-8100 Fax: (403) 327-3373 general@alvinfrizarchitect.com		
ALVIN REINHARD FRITZ ARCHITECT INC.		
PROFESSIONAL SEAL		
2023-1-10		

PROPOSED
ISLAND DIESEL WAY INDUSTRIAL COMPLEX
LOCATION:
1950 & 1960 ISLAND DIESEL WAY

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Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately.

DRAWING TITLE:
SITE LAYOUT

DRAWN BY:	CHECKED BY:
KAR	DK

SCALE: 1:250

PROJECT: 23055 NHRIC

ISSUE FOR: DEVELOPMENT PERMIT

ISSUE DATE: 2023 11 10

REV NO: A101

SHEET NO: A101

ZONING INFORMATION:
ADDRESS: 1950/1960 ISLAND DIESEL WAY NANAIMO, BC
LEGAL DESCRIPTION: LOT 3, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP1143
PID: 023-074-301 (1950)
AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP1143
PID: 023-074-303 (1960)

ZONING USE: D1 - HIGH TECH INDUSTRIAL WAREHOUSE / OFFICE - PREMITTED IN D1 ZONING AS PER TABLE 13.2.2 TOTAL GROSS OFFICE SHALL NOT EXCEED 50% OF THE TOTAL GROSS FLOOR AREA ON THE LOT.

SETBACKS:
FRONT: 6m
PLANNING: 3.0/0.0 - 0m USED
SIDE: 7.5m - INDUSTRIAL FACING COR (ZONING) (13.4.2)
REAR: 7.5m

SITE AREA:
1950 OWN: 4,899.4 m²
1960 OWN: 8,768.9 m²
COMBINED: 13,668.2 m²

SITE COVERAGE: MAX 50%
BUILDING B: 42.8% - OF 1950 OWN
BUILDING A: 38.6% - OF 1960 OWN
TOTAL: 43.6% - OF COMBINED

BUILDING HEIGHT:
MAXIMUM: 14.0m
PROPOSED: 14.0m BASED OFF AVERAGE FINISHED GRADE OR AVERAGE NATURAL GRADE, WHICHEVER IS LOWER

PARKING INFORMATION: CITY OF NANAIMO PARKING BYLAWS (CAN PB 1)
DRIVEWAY: CAN PB 5.55) - 9m FOR 2 WAY AND FIRE ACCESS

SIZES CAN PB 4.1, TABLE 1
80 DEGREE: 2.75 X 5.5
PARALLEL: 2.5 X 5.5
ACCESSIBLE: 3.7 X 5.5

LOADING ZONES: CAN PB 5.101 & 5.101H
SECT. 19.2 X 4.2 CLEARANCE
BUILDINGS BETWEEN 2,305 AND 4,400 FOR INDUSTRIAL USE 1 LOADING ZONE AS PER 1950 & 1960 ISLAND DIESEL WAY
PROVIDED UNITS 36-46: 2 PER UNIT
TOTAL PROVIDED: 16 LOADING AREAS, 6 RECEIVED

BUILDING AREA 'A': 2,425.2m²
TOTAL BUILDING AREA 'A': 2,425.2m²
GROSS FLOOR AREA: CAN PB 7.2

MAIN FLOOR A: 2,028.5m²
INDUSTRIAL USE: 263.2m²
OFFICE: 265.3m²
SUBTOTAL: 2,293.7m²

UPPER FLOOR A: OFFICE: 284.3m²
GROSS FLOOR AREA 'A': 2,588.5m²

AREA USE TOTALS:
BUILDING A: 2,028.5m²
INDUSTRIAL: 263.2m²
OFFICE: 265.3m²
TOTAL: 2,557.0m²

COMBINED TOTAL BUILDING A AND B: 4,828.7m²
INDUSTRIAL: 1,177.3m²
OFFICE: 1,177.3m²
TOTAL GROSS FLOOR AREA: 894.8m²

MAX OFFICE TO BE 20% GROSS FLOOR AREA ON THE LOT
BUILDING A: 2,425.2m² * 20% = 485.0m² OFFICE SHOWN 485m²
BUILDING B: 3,105.2m² * 20% = 621.0m² OFFICE SHOWN 648.9m²
TOTAL: 894.0m² * 1,388.3m² OFFICE SHOWN 1,190.3m² (18.3% OF GROSS)

WAREHOUSE: REQUIRED PARKING CAN PB 7.2, TABLE 4
OFFICE: 1,020m² * 1,177.3m² = 121.5 SLS
WAREHOUSE: 1,020m² * 4,828.7m² = 241.1 SLS
PROPOSED: 82 STALLS

SMALL CAR PARKING (TABLE 2 CAN PB 4.3)
90 DEGREE: 5.2 X 4.6
MAX 40% OF OFF STREET PARKING
PROPOSED: 8 STALLS (7.3%)

ACCESSIBLE PARKING - CAN PB 7.5, TABLE 6
REQUIRED PARKING 33 - 160 STALLS 1 PER 33 STALLS
REQUIRED: 3 ACCESSIBLE
PROPOSED: 3 ACCESSIBLE

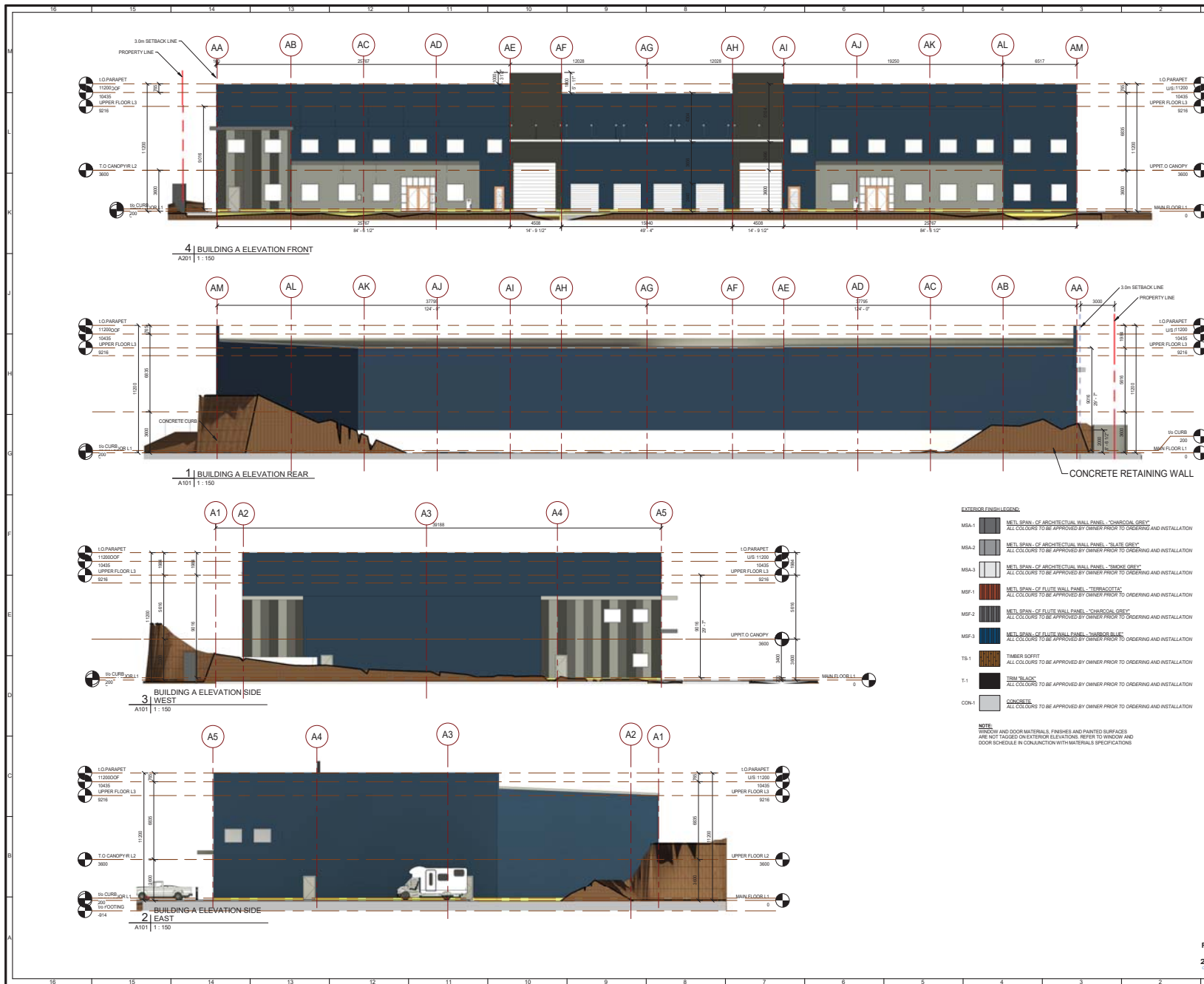
BICYCLE PARKING - CAN PB 7.6
SHORT TERM: 1,177.3m² * 11.7
OFFICE: 0.100m² * 1,177.3m² = 117.7
INDUSTRIAL: 0.100m² * 4,828.7m² = 482.9
TOTALS: 600.6 SPACES - SPLIT BET. 6 UNITS

PARKING LIGHTING CAN PB 8.4
PARKING: SITE LIGHTING TO BE BUILDING MOUNTED ON CUTOFF TO PREVENT LIGHTING SPILLING ONTO ADJACENT PROPERTY. LIGHTING SHOWN FOR ILLUSTRATION PURPOSES AND WILL BE DESIGNED BY ELECTRICAL ENGINEER DURING THE BP DESIGN PHASE.

LANDSCAPE 17.2.1
MIN. LANDSCAPED AREA: 1.8m

TREATMENT LEVELS 17.1.1 TO 17.1.2 TO BE DESIGNED BY LANDSCAPE ARCHITECT
ZONE: FRONT YARD: SIDE YARD: REAR YARD: GARAGE (PLANS) 2

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- EXTERIOR FINISH LEGEND**
- MSA-1 METL SPAN - OF ARCHITECTURAL WALL PANEL "CHARCOAL GREY"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
 - MSA-2 METL SPAN - OF ARCHITECTURAL WALL PANEL "SLATE GREY"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
 - MSA-3 METL SPAN - OF ARCHITECTURAL WALL PANEL "BROOK GREY"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
 - MSF-1 METL SPAN - OF FLUTE WALL PANEL "TERRACOTTA"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
 - MSF-2 METL SPAN - OF FLUTE WALL PANEL "CHARCOAL GREY"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
 - MSF-3 METL SPAN - OF FLUTE WALL PANEL "CHARCOAL BLUE"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
 - TS-1 TIMBER SOFFIT
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
 - T-1 TRIM "SLACK"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
 - CON-1 CONCRETE
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION

NOTE
WINDOW AND DOOR MATERIALS, FINISHES AND PAINTED SURFACES ARE NOT TAGGED ON EXTERIOR ELEVATIONS. REFER TO WINDOW AND DOOR SCHEDULE IN CONSULTATION WITH MATERIALS SPECIFICATIONS

KEYPLAN

LEGAL DESCRIPTION
LOT 3, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP1143
PID: 023-074-361

AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP1143
PID: 023-074-353

MUNICIPAL ADDRESS
1960 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

CLIENT INFORMATION

Revision Schedule

#	Description	Date
1	DK	DEVELOPMENT PERMIT
2	DK	2023 11 10

CONSULTANT LOGO

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PROFESSIONAL SEAL

ISLAND DIESEL WAY INDUSTRIAL COMPLEX

DRAWING TITLE:
1960 BUILDING A ELEVATIONS

DRAWN BY:
KAR

CHECKED BY:
DK

SCALE:
As indicated

PROJECT:
23055 NHIC

ISSUE FOR:
DEVELOPMENT PERMIT

ISSUE DATE:
2023 11 10

REV NO.
A301

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2023-11-10 11:30 AM



1 | 3D View 3



2 | 3D View 4

KEYPLAN:
LEGAL DESCRIPTION:
 LOT 3, SECTION 16, RANGE 7, MOUNTAIN
 DISTRICT - PLAN VP61143
 PID: 023-074-361
AND
 LOT 2, SECTION 16, RANGE 7, MOUNTAIN
 DISTRICT - PLAN VP61143
 PID: 023-074-353
MUNICIPAL ADDRESS:
 1950 & 1960 ISLAND DIESEL WAY
 NANAIMO, BC

CLIENT INFORMATION:

#	Description	Date
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Revision Schedule

CONSULTANT LOGO:
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 of Alan Herold Fritz Architect Inc. and Herold Engineering
 Limited.

NO.	BY	DESCRIPTION	DATE
1	DK	DEVELOPMENT PERMIT	2023 11 10

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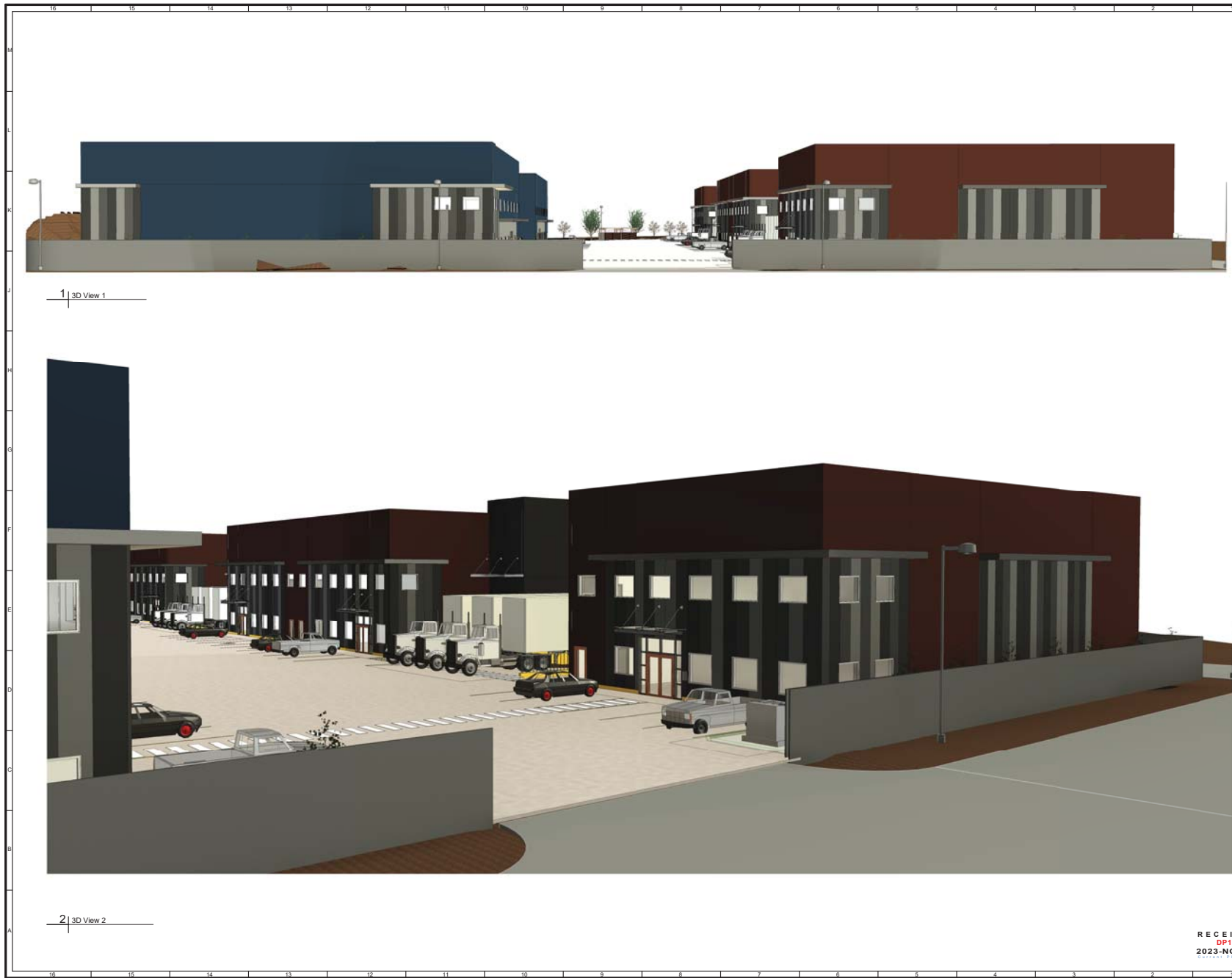
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SCALE:
PROJECT: 23055 NHRC
ISSUE FOR: DEVELOPMENT PERMIT
ISSUE DATE: 2023 11 10
REV NO. **SHEET NO.**
A103

RECEIVED
DP1326
2023-NOV-22

PROJECT:
ISLAND DIESEL WAY INDUSTRIAL COMPLEX

LOCATION:
1950 & 1960 ISLAND DIESEL WAY



KEYPLAN:

LEGAL DESCRIPTION:
LOT 3, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
PID: 023-074-361
AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
PID: 023-074-353

MUNICIPAL ADDRESS:
1950 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

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#	Description	Date
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#	Description	Date
1	DK DEVELOPMENT PERMIT	2023 11 10

NO. BY DESCRIPTION DATE

ALVIN REINHARD FRITZ ARCHITECT INC.
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PROFESSIONAL SEAL:

PROJECT: ISLAND DIESEL WAY INDUSTRIAL COMPLEX
LOCATION: 1950 & 1960 ISLAND DIESEL WAY

DRAWING TITLE:
3-D VIEWS

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SCALE:	
PROJECT: 23055 NHRC	
ISSUE FOR: DEVELOPMENT PERMIT	
ISSUE DATE: 2023 11 10	
REV NO:	SHEET NO: A105

RECEIVED
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2023-NOV-22

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- MSA-1
CHARCOAL GRAY
E: 0.86 SRI: 39
- MSA-2
SLATE GRAY
E: 0.86 SRI: 39
- MSA-3
SMOKE GRAY
E: 0.86 SRI: 57



METL SPAN - CF ARCHITECTURAL WALL PANEL IN VERTICAL APPLICATION
PRODUCT SHOWN - METAL SPAN EXAMPLE IMAGE



- MSF-1
TERRACOTTA
E: 0.87 SRI: 41
- MSF-2
CHARCOAL GRAY
E: 0.86 SRI: 39
- MSF-3
HARBOR BLUE
E: 0.86 SRI: 25



METL SPAN - CF FLUTE WALL PANEL IN VERTICAL APPLICATION
PRODUCT SHOWN - METAL SPAN EXAMPLE IMAGE



- REGAL GRAY
E: 0.86 SRI: 64



METL SPAN - CFR METAL ROOF STANDING SEAM PANEL
PRODUCT SHOWN - METAL SPAN EXAMPLE IMAGE



GLASS AND STEEL AWNING
STEEL TIE BACK SUPPORTS
PRODUCT SHOWN - INTERNET IMAGE

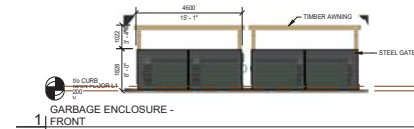


TS-1

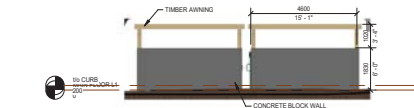
TIMBER SOFFIT
PRODUCT SHOWN - INTERNET IMAGE FOR
EXAMPLE OF OVERALL LOOK



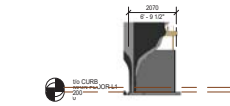
GALVANIZED STEEL WIRE CHAIN LINK FENCE
WITH BLACK PVC SLATS - INTERNET IMAGE



1 | GARBAGE ENCLOSURE - FRONT
A101 | 1 : 100



2 | GARBAGE ENCLOSURE - REAR
A101 | 1 : 100



3 | GARBAGE ENCLOSURE - SIDE
A101 | 1 : 100

EXTERIOR FINISH LEGEND

- MSA-1 METL SPAN - CF ARCHITECTURAL WALL PANEL "CHARCOAL GREY"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
- MSA-2 METL SPAN - CF ARCHITECTURAL WALL PANEL "SLATE GREY"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
- MSA-3 METL SPAN - CF ARCHITECTURAL WALL PANEL "SMOKE GREY"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
- MSF-1 METL SPAN - CF FLUTE WALL PANEL "TERRACOTTA"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
- MSF-2 METL SPAN - CF FLUTE WALL PANEL "CHARCOAL GREY"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
- MSF-3 METL SPAN - CF FLUTE WALL PANEL "HARBOR BLUE"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
- TS-1 TIMBER SOFFIT
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
- T-1 "ITEM BLACK"
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION
- CON-1 CONCRETE
ALL COLOURS TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION

NOTE:
WINDOW AND DOOR MATERIALS FINISHES AND PAINTED SURFACES
ARE NOT TAGGED ON EXTERIOR ELEVATIONS. REFER TO WINDOW AND
DOOR SCHEDULE IN CONJUNCTION WITH MATERIALS SPECIFICATIONS

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CITY OF NANAIMO

KEYPLAN:
LEGAL DESCRIPTION:
LOT 3, SECTION 16, RANGE 7, MOUNTAIN
DISTRICT, PLAN VP61143
PID: 023-074-361
AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN
DISTRICT, PLAN VP61143
PID: 023-074-353
MUNICIPAL ADDRESS:
1950 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

CLIENT INFORMATION:

Revision Schedule

#	Description	Date
1	DK	2023 11 10

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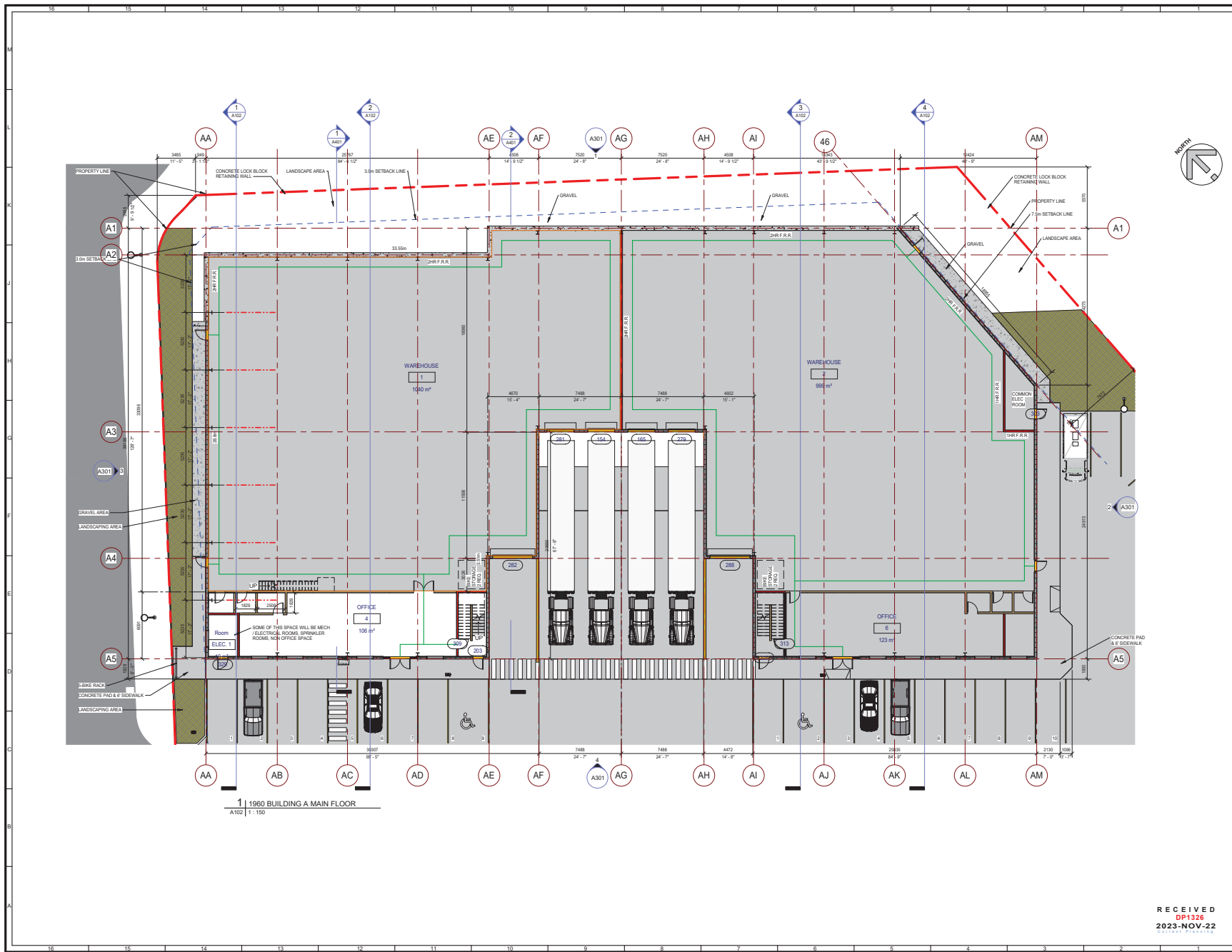
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NO.	BY	DESCRIPTION	DATE

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PROFESSIONAL SEAL:

Alvin Fritz
2023-1-10

PROJECT: ISLAND DIESEL WAY INDUSTRIAL COMPLEX
LOCATION: 1950 & 1960 ISLAND DIESEL WAY
DRAWING TITLE:
EXTERIOR MATERIALS & COLOURS
DRAWN BY: KJR
CHECKED BY: DK
SCALE: 1:100
PROJECT: 23055 NHRC
ISSUE FOR: DEVELOPMENT PERMIT
ISSUE DATE: 2023 11 10
REV NO: SHEET NO: A305



1 | 1960 BUILDING A MAIN FLOOR
A102 | 1 : 150

KEYPLAN:

LEGAL DESCRIPTION:
LOT 3, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
PID: 023-074-361
AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
PID: 023-074-353

MUNICIPAL ADDRESS:
1950 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

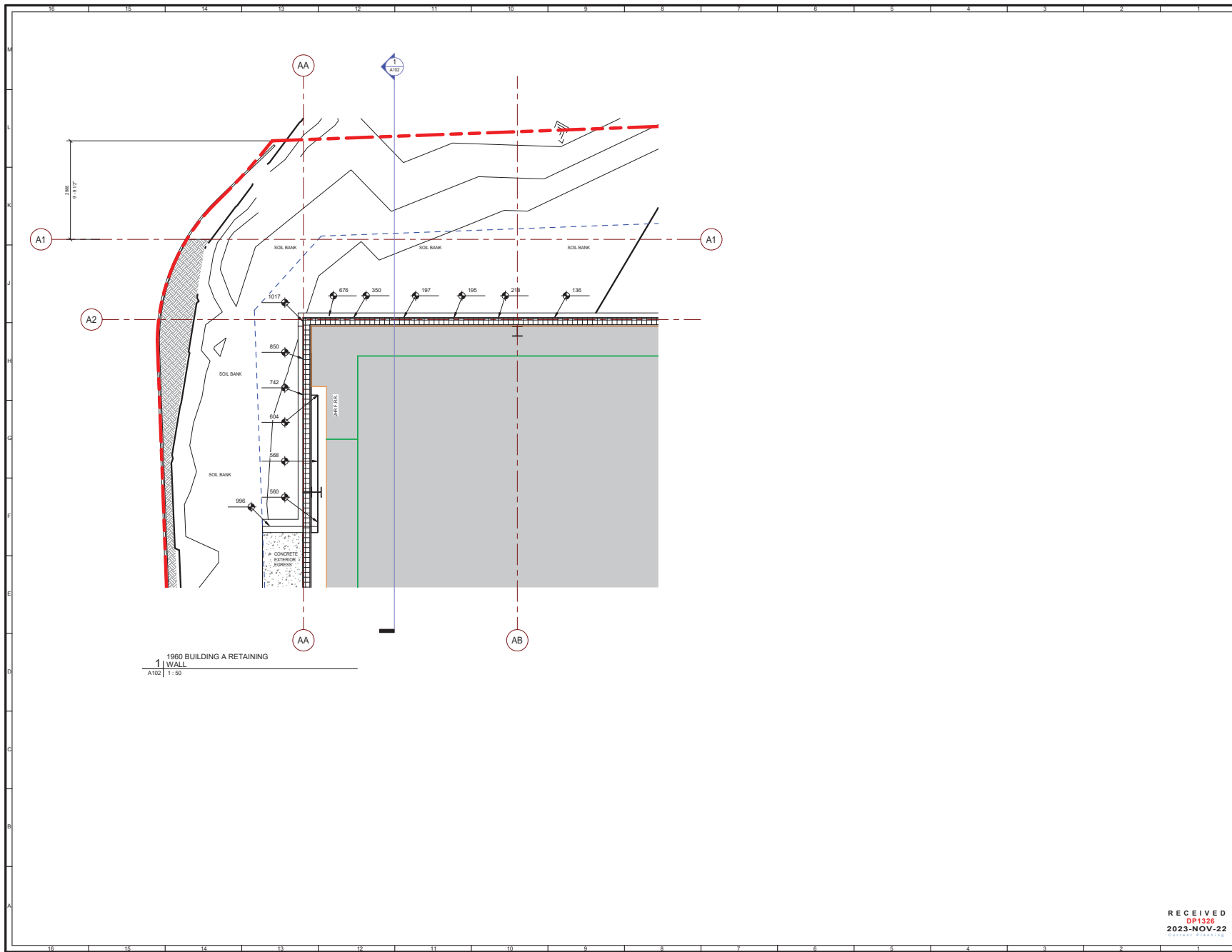
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NO. BY DESCRIPTION DATE		
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2023-1-10		
DRAWING TITLE: 1960 BUILDING A MAIN FLOOR PLAN		
DRAWN BY: KJR CHECKED BY: DK		
SCALE: 1 : 150		
PROJECT: 23055 NHRC		
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PROJEC: 23055 NHRC
LOCATION: 1950 & 1960 ISLAND DIESEL WAY

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LOT 3, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
PID: 023-074-361

AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
PID: 023-074-353

MUNICIPAL ADDRESS:
1950 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

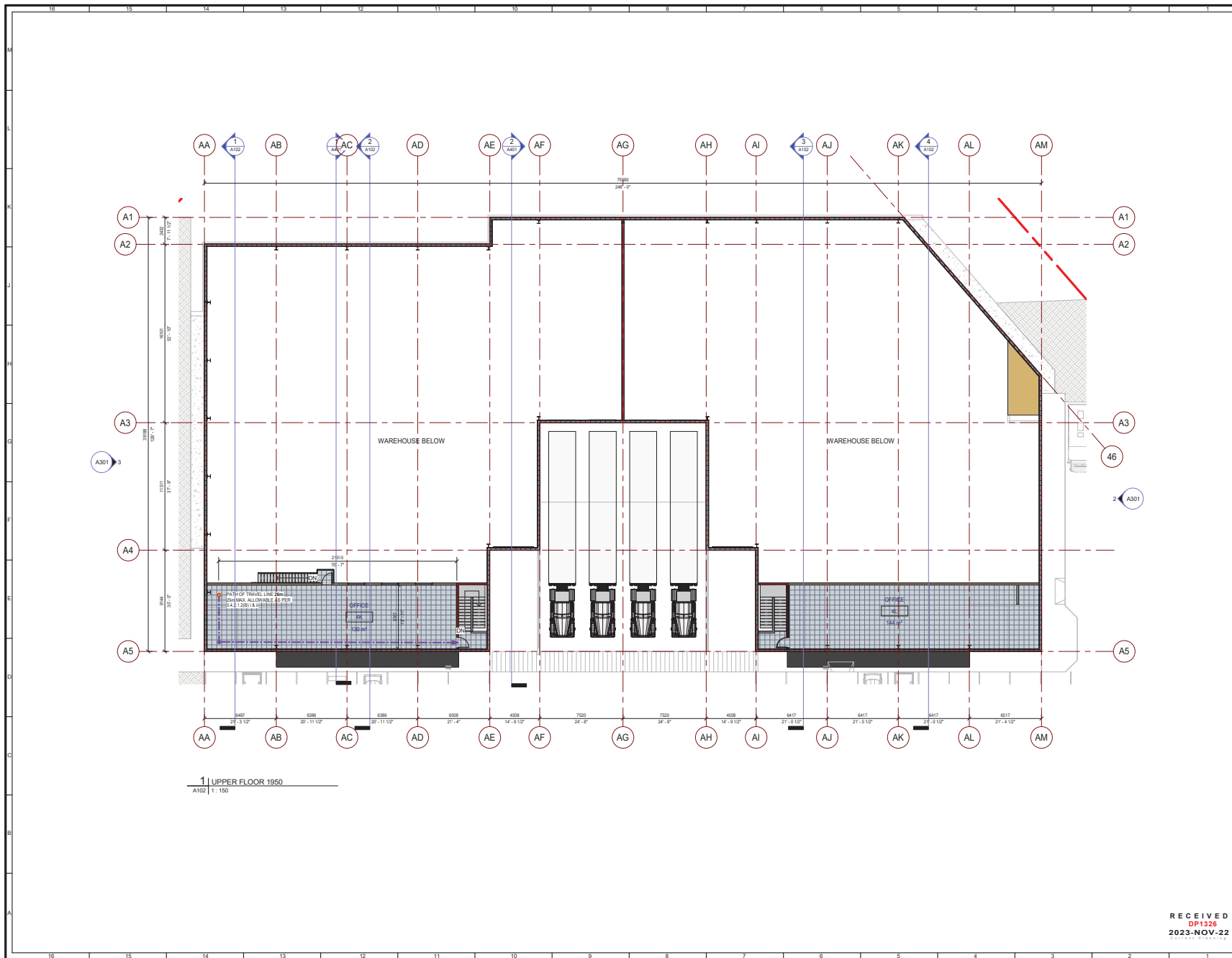
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NO.	BY	DESCRIPTION	DATE							
 Norland Coach House #10 19061 Range Road 212, Lethbridge County, Alberta T1J 5N9 alvinfrizarchitect.com ph. (403) 320-8100 Fax (403) 327-3373 general@alvinfrizarchitect.com										
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DRAWING TITLE: 1960 BUILDING A MAIN FLOOR RETAINING PLAN										
DRAWN BY: KAR		CHECKED BY: DK								
SCALE: 1:50		PROJECT: 23055 NHRC								
ISSUE FOR: DEVELOPMENT PERMIT		ISSUE DATE: 2023 11 10								
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LOCATION: 1950 & 1960 ISLAND DIESEL WAY

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PID: 023-074-361
AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
PID: 023-074-353

MUNICIPAL ADDRESS:
1950 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

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ALVIN REINHARD FRITZ ARCHITECT INC.		
PROFESSIONAL SEAL:		
DRAWING TITLE: 1960 BUILDING A UPPER FLOOR PLAN		
DRAWN BY: KAR		CHECKED BY: DK
SCALE: 1:150		PROJECT: 23055 NHRC
ISSUE FOR: DEVELOPMENT PERMIT		ISSUE DATE: 2023 11 10
REV NO.		SHEET NO. A202

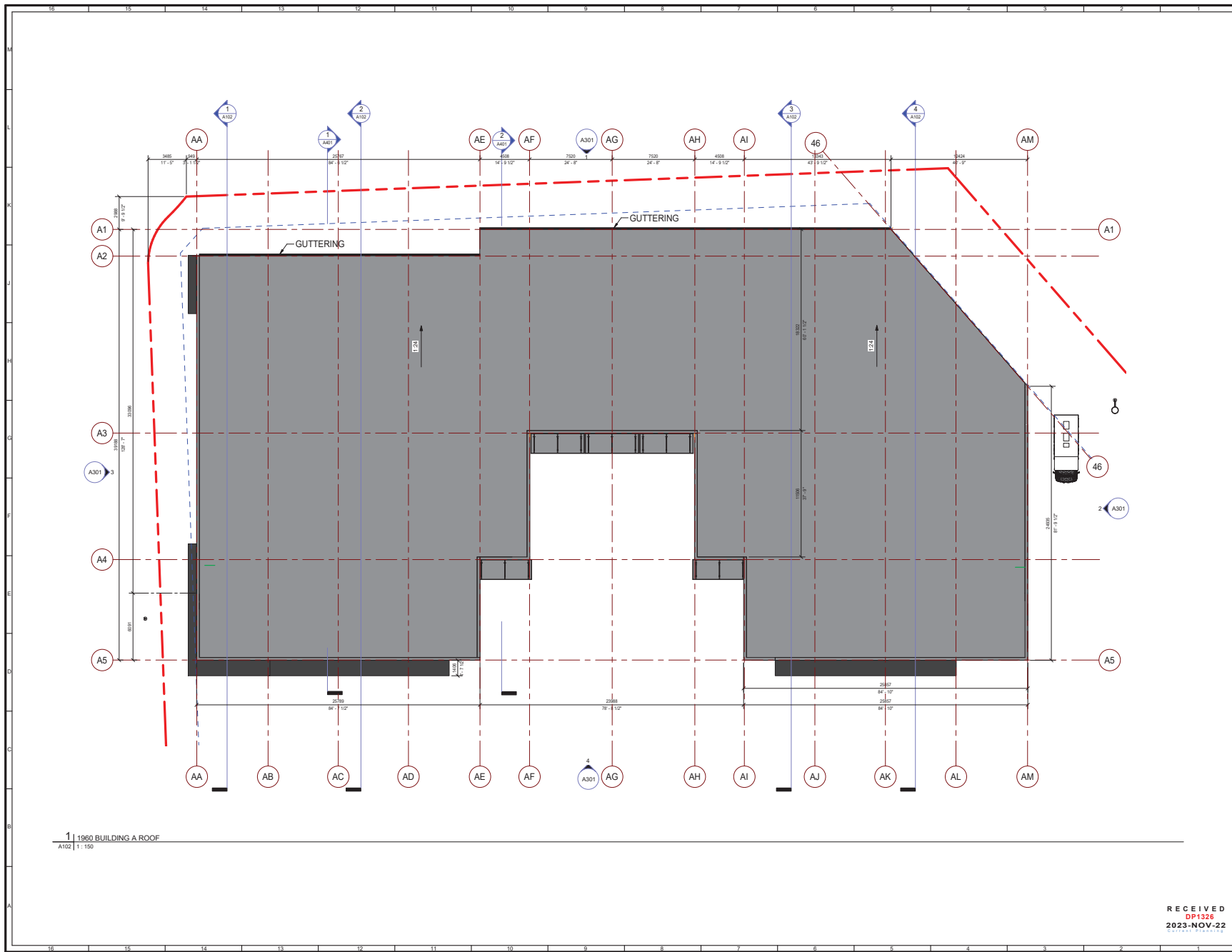
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ISLAND DIESEL WAY INDUSTRIAL COMPLEX
LOCATION: 1950 & 1960 ISLAND DIESEL WAY

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LOT 3, SECTION 16, RANGE 7, MOUNTAIN
DISTRICT, PLAN VP61143
PID: 023-074-361

AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN
DISTRICT, PLAN VP61143
PID: 023-074-353

MUNICIPAL ADDRESS:
1950 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

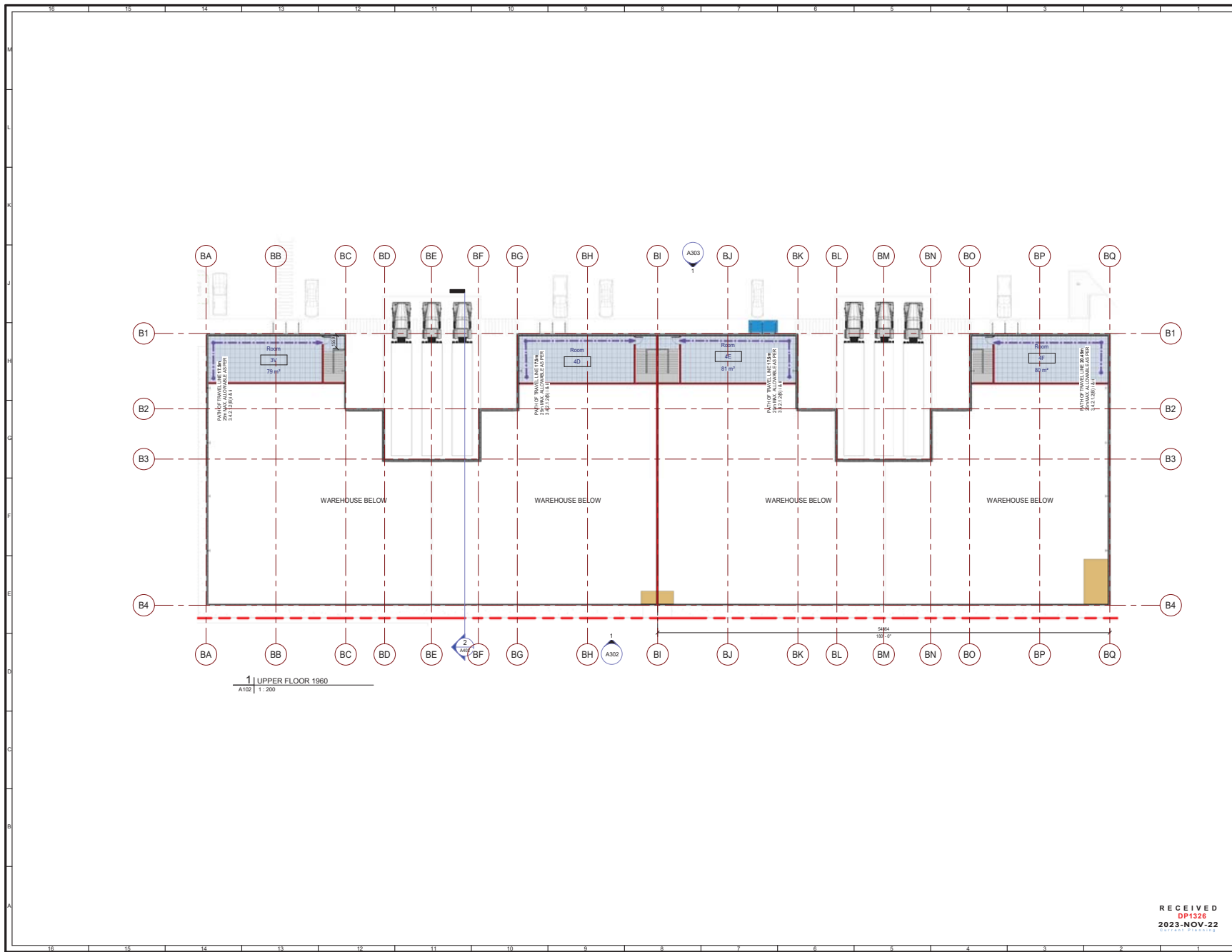
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DRAWN BY: KJR CHECKED BY: DK		
SCALE: 1 : 150		
PROJECT: 23055 NHRIC		
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KEY PLAN:

LEGAL DESCRIPTION:
 LOT 3, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
 PID: 023-074-361
 AND
 LOT 2, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
 PID: 023-074-353

MUNICIPAL ADDRESS:
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 1950 BUILDING B
 UPPER FLOOR
 PLAN

DRAWN BY: KJR
CHECKED BY: DK

SCALE: 1:200

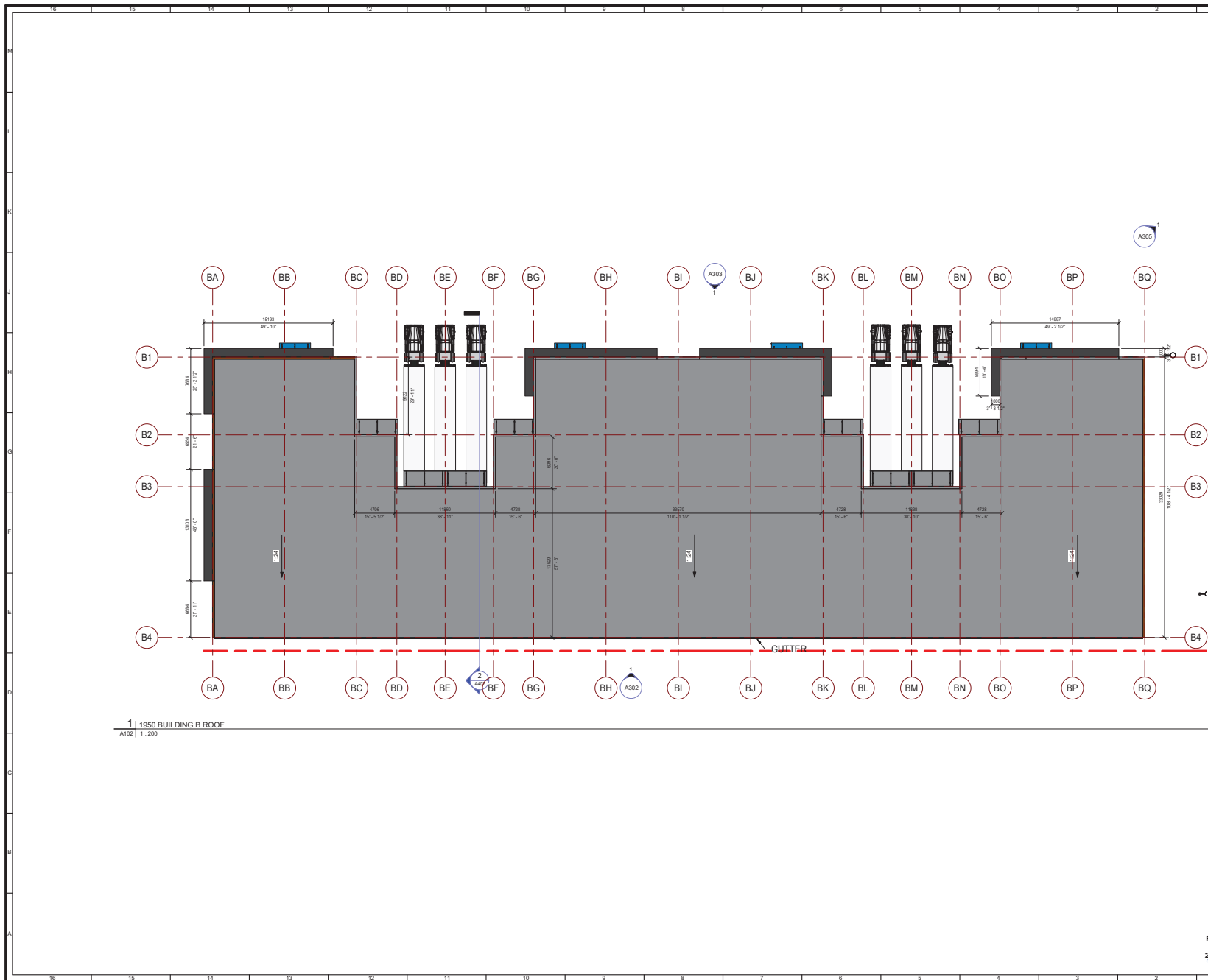
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KEYPLAN:

LEGAL DESCRIPTION:
LOT 3, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
PID: 023-074-361

AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VP61143
PID: 023-074-353

MUNICIPAL ADDRESS:
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NANAIMO, BC

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1950 BUILDING B ROOF PLAN

DRAWN BY: KJR
CHECKED BY: DK

SCALE: 1:200

PROJECT: 23055 NHRC

ISSUE FOR: DEVELOPMENT PERMIT

ISSUE DATE: 2023 11 10

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SHEET NO: A206

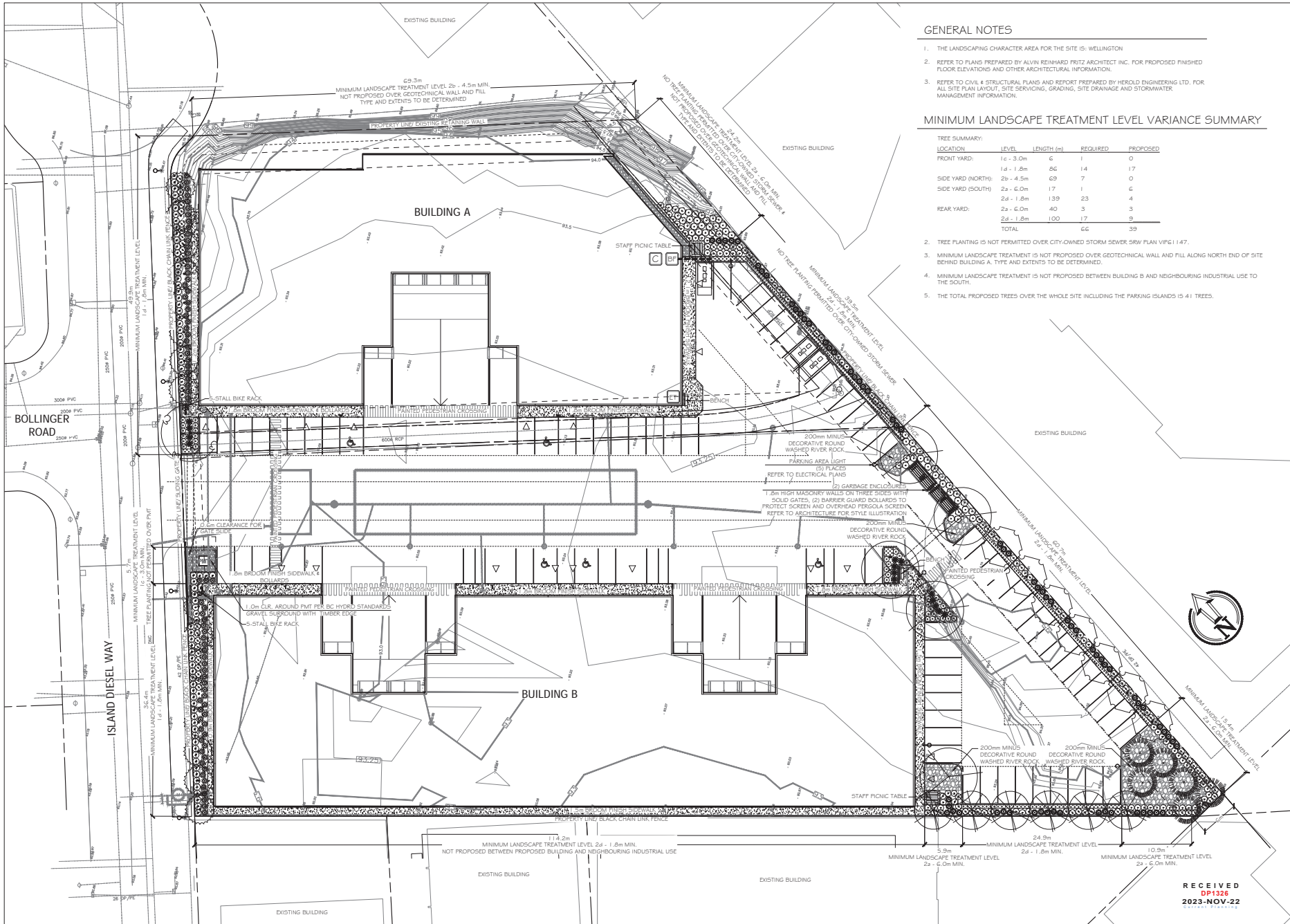
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ISLAND DIESEL WAY INDUSTRIAL COMPLEX
1950 & 1960 ISLAND DIESEL WAY

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GENERAL NOTES

1. THE LANDSCAPING CHARACTER AREA FOR THE SITE IS: WELLINGTON
2. REFER TO PLANS PREPARED BY ALVIN REINHARD PRITZ ARCHITECT INC. FOR PROPOSED FINISHED FLOOR ELEVATIONS AND OTHER ARCHITECTURAL INFORMATION.
3. REFER TO CIVIL & STRUCTURAL PLANS AND REPORT PREPARED BY HEROLD ENGINEERING LTD. FOR ALL SITE PLAN LAYOUT, SITE SERVING, GRADING, SITE DRAINAGE AND STORMWATER MANAGEMENT INFORMATION.

MINIMUM LANDSCAPE TREATMENT LEVEL VARIANCE SUMMARY

TREE SUMMARY:				
LOCATION	LEVEL	LENGTH (m)	REQUIRED	PROPOSED
FRONT YARD:	1c - 3.0m	6	1	0
	1d - 1.8m	86	14	17
SIDE YARD (NORTH):	2b - 4.5m	69	7	0
SIDE YARD (SOUTH):	2a - 6.0m	17	1	6
REAR YARD:	2d - 1.8m	139	23	4
	2a - 6.0m	40	3	3
	2d - 1.8m	100	17	9
TOTAL		66	66	39

2. TREE PLANTING IS NOT PERMITTED OVER CITY-OWNED STORM SEWER SRW PLAN VPI 1147.
3. MINIMUM LANDSCAPE TREATMENT IS NOT PROPOSED OVER GEOTECHNICAL WALL AND FILL ALONG NORTH END OF SITE BEHIND BUILDING A. TYPE AND EXTENTS TO BE DETERMINED.
4. MINIMUM LANDSCAPE TREATMENT IS NOT PROPOSED BETWEEN BUILDING B AND NEIGHBOURING INDUSTRIAL USE TO THE SOUTH.
5. THE TOTAL PROPOSED TREES OVER THE WHOLE SITE INCLUDING THE PARKING ISLANDS IS 41 TREES.



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Island Diesel Way Industrial Complex
341234 BC Ltd
1950 & 1960 Island Diesel Way, Nanaimo, BC

LANDSCAPE ARCHITECTURE PLAN	
Date:	November 6, 2023
Drawn:	CM
Checked:	CM
Scale:	1:250 metric
Project Number:	23-0345
Drawing Number:	L1 of 2

REVISION SCHEDULE	
#	NOTES
0	02AUG2023 DP Pre-app Meeting
1	18OCT2023 DP Coordination
2	04NOV2023 Issued for DP

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2023-NOV-22
Current Planning

IRRIGATION EQUIPMENT LEGEND

SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
	HUNTER	TBD	AUTOMATIC IRRIGATION CONTROLLER IN BUILDING A ELECTRICAL ROOM
	HUNTER	W55-SEN	WIRELESS SOLAR-SYNC SENSOR ON SOUTH-FACING EAVE
	BY CIVIL	BY MECHANICAL	38mm (1.5") DOUBLE CHECK BACKFLOW PREVENTER AND WATER SUPPLY IN ELECTRICAL ROOM.
		SCHEDULE 40	38mm (1.5") PVC MAINLINE
		SCHEDULE 40	PVC SLEEVES UNDER ALL PAVING AND THROUGH WALLS MIN. TYP. MAINLINE & CONTROL WIRE: 150mm (6") LATERALS: 100mm (4") BURIAL DEPTH TO MATCH DEPTH OF CARRIED PIPE.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGN-BUILD BY THE OWNER.
2. IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
3. ALL PROPOSED ON-SITE PLANTING AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM UTILISING A "SMART" (ET) WEATHER-BASED IRRIGATION CONTROLLER.
4. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO DRIP EQUIPMENT.
5. THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPRINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
6. ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
7. OPERATE IRRIGATION CONTROLLER WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY.	NOTES
TREES					
	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE	6cm CAL.	4.5m O.C.	16	DROUGHT TOLERANT
	FAGUS SYLVATICA EUROPEAN BEECH	6cm CAL.	SEE PLAN	5	DROUGHT TOLERANT
	PSEUDOTSUGA MENZIESII DOUGLAS FIR	2.5m	4.5m O.C.	6	NATIVE SPECIES, CONIFEROUS
	PYRUS CALLERYANA 'REDSPIRE' REDSPIRE FLOWERING PEAR	6cm CAL.	6.0m O.C.	7	DROUGHT TOLERANT
	QUERCUS FALLUSTRIS PIN OAK	6cm CAL.	SEE PLAN	1	DROUGHT TOLERANT
	BORBUS ALUCIFERA CARDINAL ROYAL CARDINAL ROYAL MOUNTAIN ASH	6cm CAL.	6.0m O.C.	6	DROUGHT TOLERANT
SHRUBS					
	GAULTHERIA SHALLON SALAL	#2 POT	1.0m O.C.	75	NATIVE SPECIES
	PINUS MUGO VAR. PLUMULO DWARF MOUNTAIN PINE	#2 POT	1.0m O.C.	69	DROUGHT TOLERANT
	POLYSTICHUM MUNIFOLIUM SWORD FERN	#2 POT	1.0m O.C.	76	NATIVE SPECIES
	POTENTILLA FRUTICOSA PINK BEAUTY & YELLOW GEM PINK & YELLOW SHRUBBY CINQUEFOIL	#2 POT	0.9m O.C.	36	NATIVE CULTIVARS
	RISES SANGUINEUM RED FLOWERING CURRANT	#2 POT	1.0m O.C.	90	NATIVE SPECIES
	ROSA NUTKANANA NOOTKA ROSE	#2 POT	1.0m O.C.	53	NATIVE SPECIES
	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY	#2 POT	1.0m O.C.	76	NATIVE SPECIES
GROUNDCOVER, VINES & PERENNIALS					
	ARCTOSTAPHYLOS UVA-URSI KINNERRINICK	#1 POT	0.45m O.C.	345	NATIVE SPECIES
	HELICTOTRICHON SEMPERVIRENS BLUE OAT GRASS	#2 POT	1.0m O.C.	14	DROUGHT TOLERANT

PLANTING NOTES

1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
2. GROWING MEDIUM SHALL MEET OR EXCEED THE PROPERTIES OUTLINED THE CANADIAN LANDSCAPE STANDARD PER SECTION 6 GROWING MEDIUM, TABLE T-G.3.3.2. PROPERTIES FOR GROWING MEDIA:
LEVEL 2 "GROOMED" - 2P.
GROWING MEDIUM DEPTHS: SHRUBS - 450mm
TREES - 600mm BELOW AND AROUND ROOTBALL
3. MULCH SHALL BE COMPOST PER SECTION 10 MULCHING OF THE CANADIAN LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREE, SHRUBS AND GROUNDCOVER PLANTING AREAS.
4. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CNLA STANDARDS FOR NURSERY STOCK.
5. ALL TREE, SHRUB, GROUNDCOVER AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UTILIZING "SMART" (ET) WEATHER-BASED IRRIGATION CONTROL. IRRIGATION EMISSION DEVICES SHALL BE HIGH EFFICIENCY LOW VOLUME ROTARY NOZZLES OR DRIP IRRIGATION EQUIPMENT.
6. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
7. ALL PLANT MATERIAL SHALL MATCH TYPE AND SPECIES AS INDICATED ON THE PLANTING LEGEND. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
8. CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE PITS. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
9. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

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Landscape Planning



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Island Diesel Way Industrial Complex
341234 BC Ltd
1950 & 1960 Island Diesel Way, Nanaimo, BC

LEGENDS & NOTES

Date: November 6, 2023

Drawn: CM

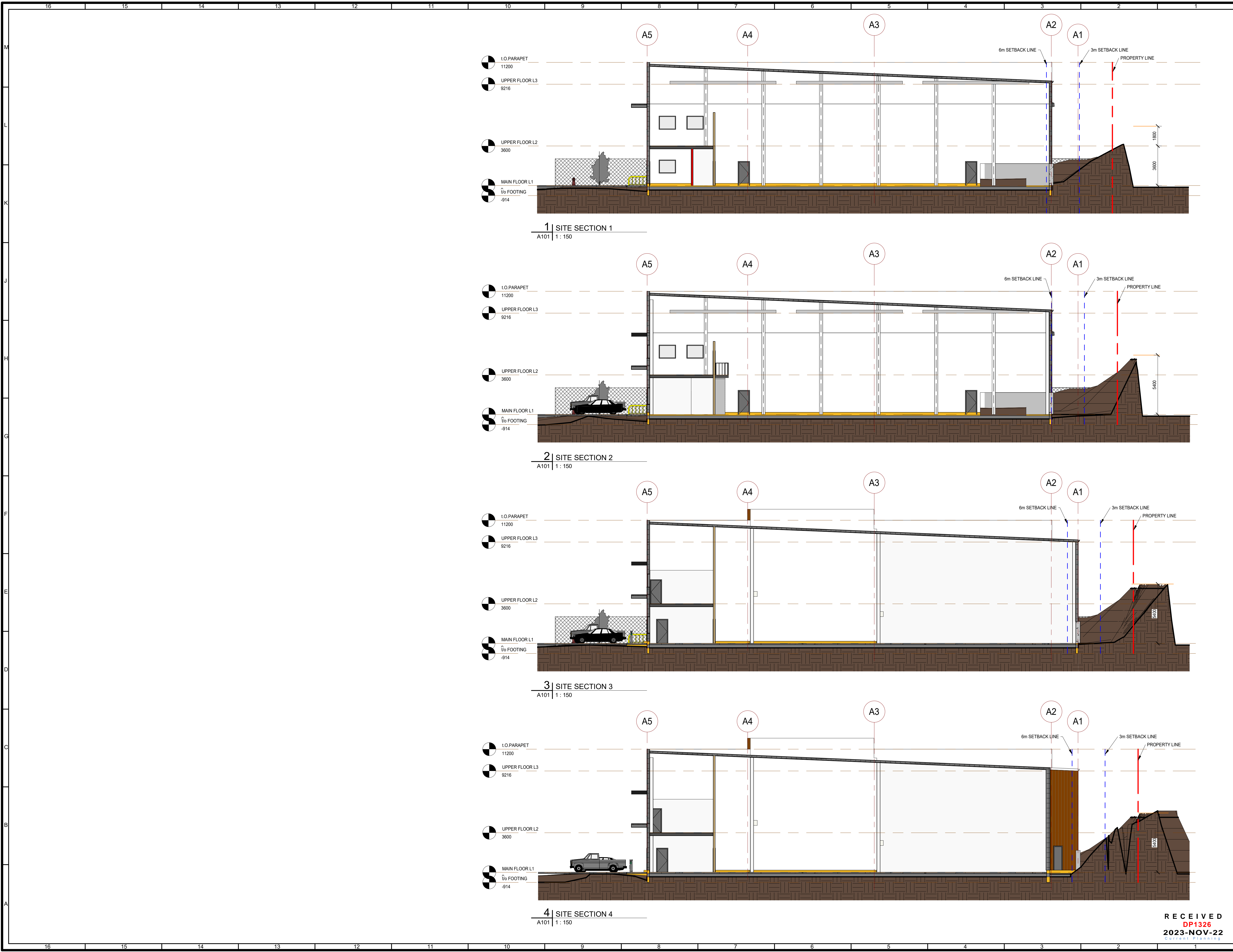
Checked: CM

Scale: N/A

Project Number: 23-0345

DRAWING NUMBER: L2 of 2

REVISION	SCHEDULE	NOTES
#	Date	
0	02AUG2023	DP Pre-app Meeting
1	18OCT2023	DP Coordination
2	06NOV2023	Issued for DP



KEYPLAN:

LEGAL DESCRIPTION:
LOT 3, SECTION 16, RANGE 7, MOUNTAIN
DISTRICT, PLAN VIP61143
PID: 023-074-361

AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN
DISTRICT, PLAN VIP61143
PID: 023-074-353

MUNICIPAL ADDRESS:
1950 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

CLIENT INFORMATION:

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

HEROLD
ENGINEERING LIMITED
Consulting Engineers

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1	DK	DEVELOPMENT PERMIT	2023 11 10
NO.	BY	DESCRIPTION	DATE

Norland Coach House
#10 90001 Range Road 212,
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alvinfrizarchitect.com

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PROFESSIONAL SEAL:

REGISTERED ARCHITECT
ALVIN REINHARD FRITZ
2023-11-10
BRITISH COLUMBIA

PROJECT :
ISLAND DIESEL WAY INDUSTRIAL COMPLEX

LOCATION :
1950 & 1960 ISLAND DIESEL WAY

DRAWING TITLE:
SITE SECTIONS

DRAWN BY :
KAR

CHECKED BY :
DK

SCALE : 1 : 150

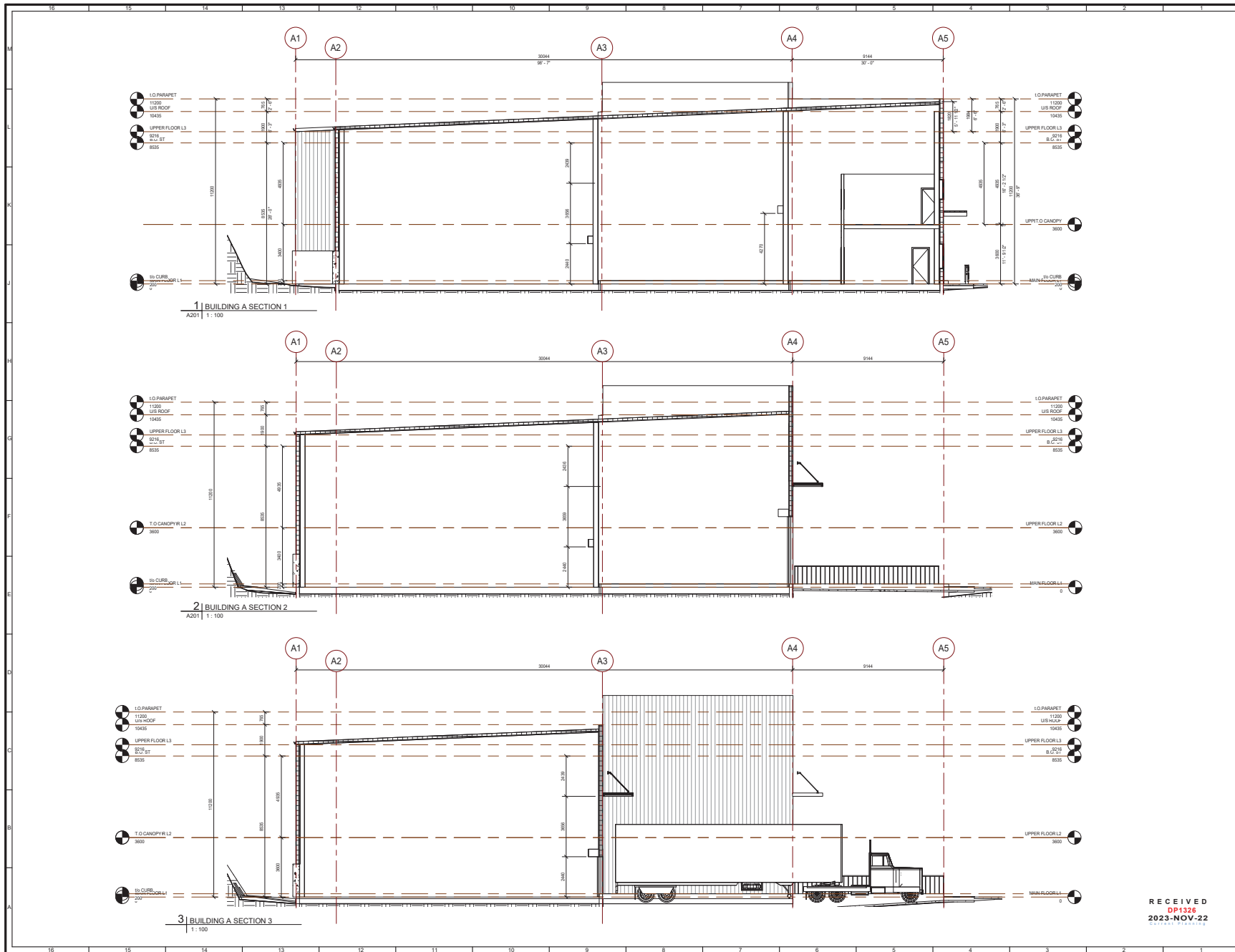
PROJECT : 23055 NHIC

ISSUE FOR:
DEVELOPMENT PERMIT

ISSUE DATE:
2023 11 10

REV. NO. SHEET NO.
A102

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C:\Users\chatterley\Documents\NHIC\Central_V22_chatterley\H2080 not



KEYPLAN

LEGAL DESCRIPTION:
LOT 3, SECTION 16, RANGE 7, MOUNTAIN
DISTRICT, PLAN VP61143
PID: G23-074-361

AND
LOT 2, SECTION 16, RANGE 7, MOUNTAIN
DISTRICT, PLAN VP61143
PID: G23-074-353

MUNICIPAL ADDRESS:
1950 & 1960 ISLAND DIESEL WAY
NANAIMO, BC

CLIENT INFORMATION:

#	Description	Date
1	DK	DEVELOPMENT PERMIT
2	DK	DEVELOPMENT PERMIT
3	DK	DEVELOPMENT PERMIT
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14	DK	DEVELOPMENT PERMIT
15	DK	DEVELOPMENT PERMIT
16	DK	DEVELOPMENT PERMIT

CONSULTANT LOGO:

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ARCHITECT
INC.

PROFESSIONAL SEAL:

Alvin Fritz
2023-11-10

DRAWING TITLE:
**1950 BUILDING A
SECTIONS**

DRAWN BY: KAR
CHECKED BY: DK
SCALE: 1:100
PROJECT: 23055 NHRC
ISSUE FOR: DEVELOPMENT PERMIT
ISSUE DATE: 2023 11 10
REV NO: A401

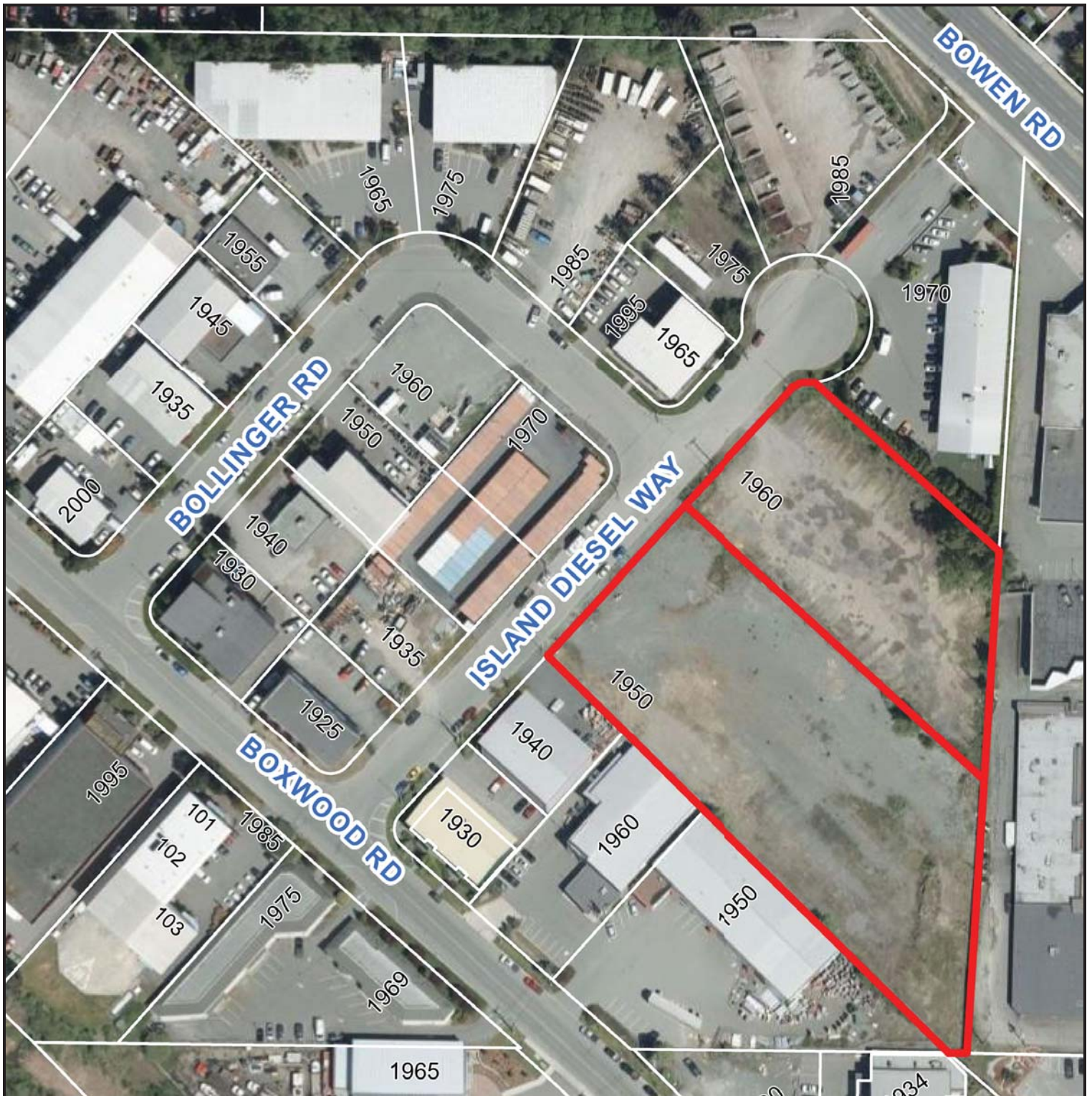
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ISLAND DIESEL WAY INDUSTRIAL COMPLEX
1950 & 1960 ISLAND DIESEL WAY

LOCATION: 1950 & 1960 ISLAND DIESEL WAY

2023-11-10 9:50:40

AERIAL PHOTO



1950 & 1960 Island Diesel Way