

06 October 2023

**DESIGN RATIONALE AND PROPOSED MINOR VARIANCES 2023****ZEN Group Automated Carwash Building,**

3180 North Island highway, Nanaimo, BC

**Proposed Statistics**

- Zoning CC3 Commercial Central Zone
- Site Area 15,539 sf (1,443.61 sm)
- Building Area 3,899 sf (362.22 sm)
- # of storey 2
- Lot Coverage 28% (Maximum 50%)
- Parking 2 stalls

**DESIGN RATIONALE / FORM & CHARACTER**

The 15,539 square feet site is located at the northwest corner of Norwell Drive and Island Highway North and will accommodate a 2-storey automated carwash as per existing CC3 Commercial Centre use zoning. East of Norwell Drive is zoned Corridor and south of Island highway North is zoned Industrial. To the west of the site is an existing Dairy Queen building and to the north and west of the proposed carwash is the Country Club Centre Mall.

The property's previous use was a gas station structure from approximately 1956 to 2014. Soil contamination was monitored and is documented in the environmental report. Existing contamination would allow a building with shallow excavation that is suitable for an automated carwash building making the best use on this visible corner site. Previously a development and building permit was issued for this site in 2022, Zen Group the owner/ operator decided to have the building redesigned

following their new operation, access and internal maneuvering new requirements including removal of the residential unit.

The proposed development is compatible with the existing surrounding commercial and industrial uses with most of the car dealerships in the immediate neighborhood.

In consultation with Ministry of Highway the corner land outside of the property will be heavily landscaped and pedestrian connections improved to enhance the corner experience.

City Planning and transportation asked for a 2.5-meter road widening dedication alongside Norwell Drive. Both two-way vehicular access points off Norwell Drive and Island Highway North are currently used by the existing Dairy Queen building and future carwash.

The two-storey proposed automated carwash building is designed based on Zen Group experience in developing similar projects in the region.

After initial and careful analysis of program and exploration of several site design options including initial consultation with the City Planning Department, the proposed massing is arranged with long transparent elevation of the building facing Norwell Drive and the southeast animating the corner intersection.

Car line up at entry, use of the sheltered pay stations, monitored entry to the carwash tunnel and exiting are important aspects of design for a smooth operation and customer experience.

The project design priorities are summarized below:

- Design for maximum visibility and transparency with strong connectivity to the existing neighborhood and access roads
- Make major contribution to conservation and re-use of water resource.
- Contribute to the existing and future streetscape and public realm.

Proposed massing is juxtaposition of two side by side massing, a dynamic carwash volume and a two-storey utilitarian volume facing the internal portion of the site.

The building structure is exposed on the eastern side holding the sloped roof and exterior glass with stainless steel clamps. The pay station roof is deliberately attached to the building mass and fully articulated with the upper and lower massing.

The carwash building, with an expansive all-glass facade, is fully transparent and energized by the visible active carwash process inside. The transparency and massing of the carwash presents an engaging face of the project to pedestrians, bikers and vehicles passing the site.

The carwash environmental sustainability is summarized below:

- The express carwash has significant water-saving features and is a high volume, automated business that can operate on a near self-serve basis.
- The state-of-the-art car wash provides a more sustainable car washing option in a dedicated facility that uses recycled water, rather than wasting untreated water at individual homes or businesses.
- The carwash building employs state of the art car washing technology that significantly reduces the amount of water used and the levels of contaminants produced, ultimately increasing the environmental sustainability of the project:
  - Hand washing of cars uses an average of 150 gallons of water per car, whereas the proposed facility features a recycling system that processes and recycles the wastewater and uses a lot less water per car. The system reduces water consumption and increases environmental sustainability.
  - All the water used is recycled through a water reclaim system.
  - Most of the water used in the car wash is reclaimed water with only fresh water used during the last rinse to avoid any drying spots. The fresh water then runs into an underground tank and is recycled as reclaimed water, which is used for other washes.
  - Computer controlled metering delivers the precise volume of water to ensure optimal cleaning with no waste.

- Engine and brake residue, antifreeze, grease, oil, and other harmful pollutants cling to the surface of the car, particularly its tires, wheels, and fenders. Washing cars at home results in these contaminants and soap chemicals running directly into storm sewers, without treatment, and thus flowing into local streams, rivers and eventually the ocean. In the proposed car-wash facility, oil separators are installed to separate the oil, grease, and other contaminants, which are washed off the vehicles, before they enter the storm drains.

### **LANDSCAPE DESIGN RATIONALE & CEPTED: Landscape Architect / ETA**

The landscape design of the Zen Group Carwash intends to create a lush and natural landscaped area to balance the utility function of the carwash. In particular, it aims to meet the goals of creating a warm and welcoming site for users and an attractive space at this corner intersection location. The landscape design aims to create an attractive streetscape with planting and trees lining the property edges. The site is layered with planting to provide a dynamic view from the street and intersection of Notre Dame Drive and Laval Crescent, creating a space for the building to sit grounded to the landscape surrounding it.

The plant palette has been selected to emphasize native, low maintenance species, ones that are adapted to Kamloops climate. Rain gardens have been introduced around the site to guide onsite surface drainage, so water tolerant plants such as *Cornus sericea*, *Yucca filamentosa*, and lower sedums will fill out these areas to thrive both in wet and dry seasons. Roses, grasses, and junipers make up large areas of planting required to fill out the site.

- **STORM WATER MANAGEMENT: Civil/Aplin Martin**

Stormwater management has been designed using the City of Nanaimo Manual of Engineering Standards and Specification for stormwater detention and stormwater retention requirements. Retention of the first 31mm of rainfall is captured in the



softscape landscaping areas, gravel areas, and a supplemental underground rock pit to meet the required volumes. Detention volumes are calculated per the standards using the modified rationale method and underground storage is implemented by up-sizing pipes and adding a flow control structure. Water quality treatment is obtained by adding a trapping tee in all catch basins and implementing a treatment unit before stormwater exits the private property.

- **PROPOSED VARIANCES**

We have identified and propose two minor variances for consideration:

- 1 Carwash southeast roof overhang:**

The carwash building roof overhang projects in a triangular form on the southeast corner and at its deepest distance is approximately 9.25 feet (2.85 meter) beyond the building setback at the flanking corner.

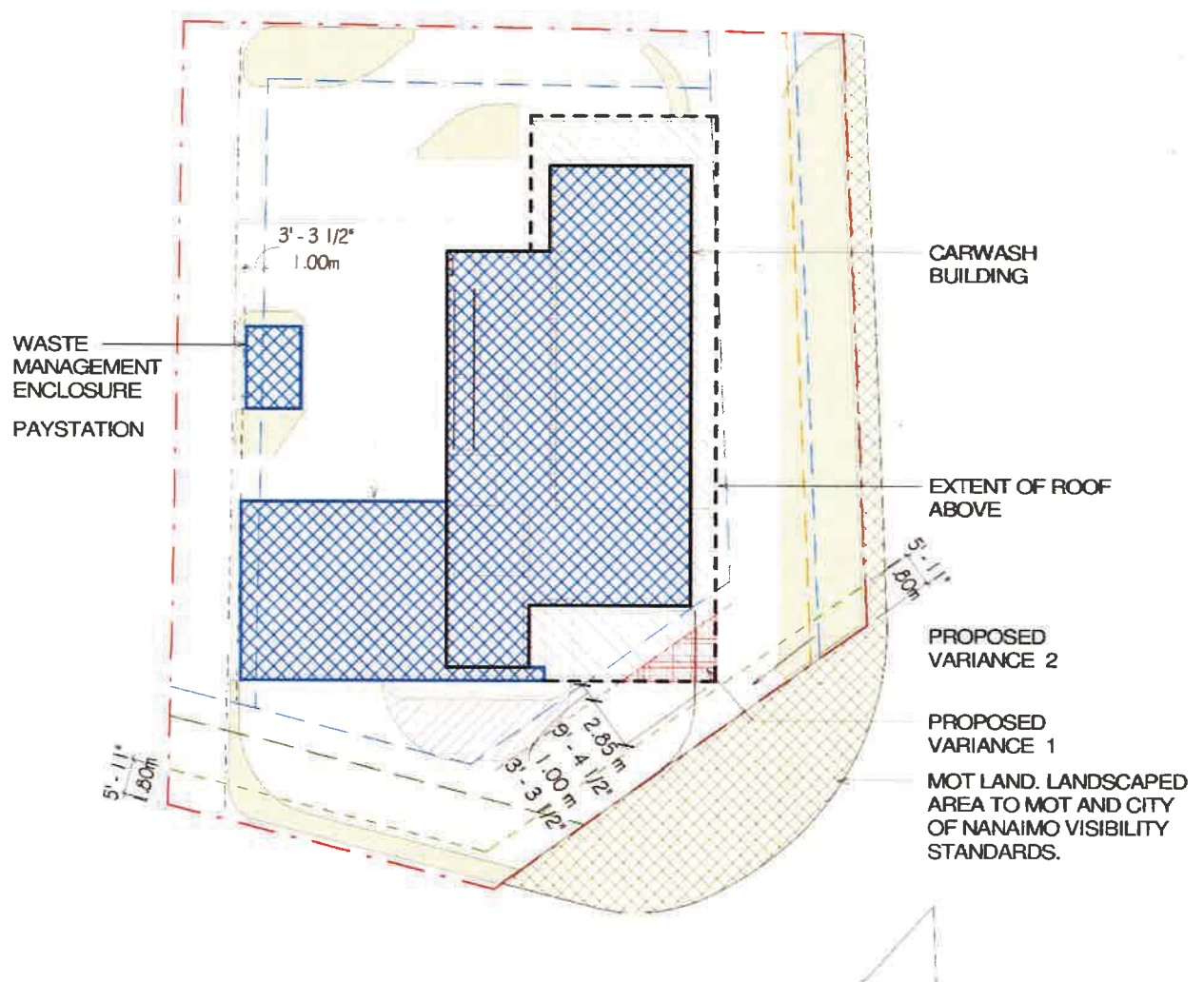
We request consideration of flanking roof overhang minor variance projection due to the operational requirement of having kiosk staff to be under roof protection during rainy season and southern sun protection during summer sunny period. In addition, assistance of drivers will happen under roof protection.

Please note additional corner landscape area beyond the property line on Ministry of Transportation corner property as a result the proposed additional overhang will not have any negative impact.

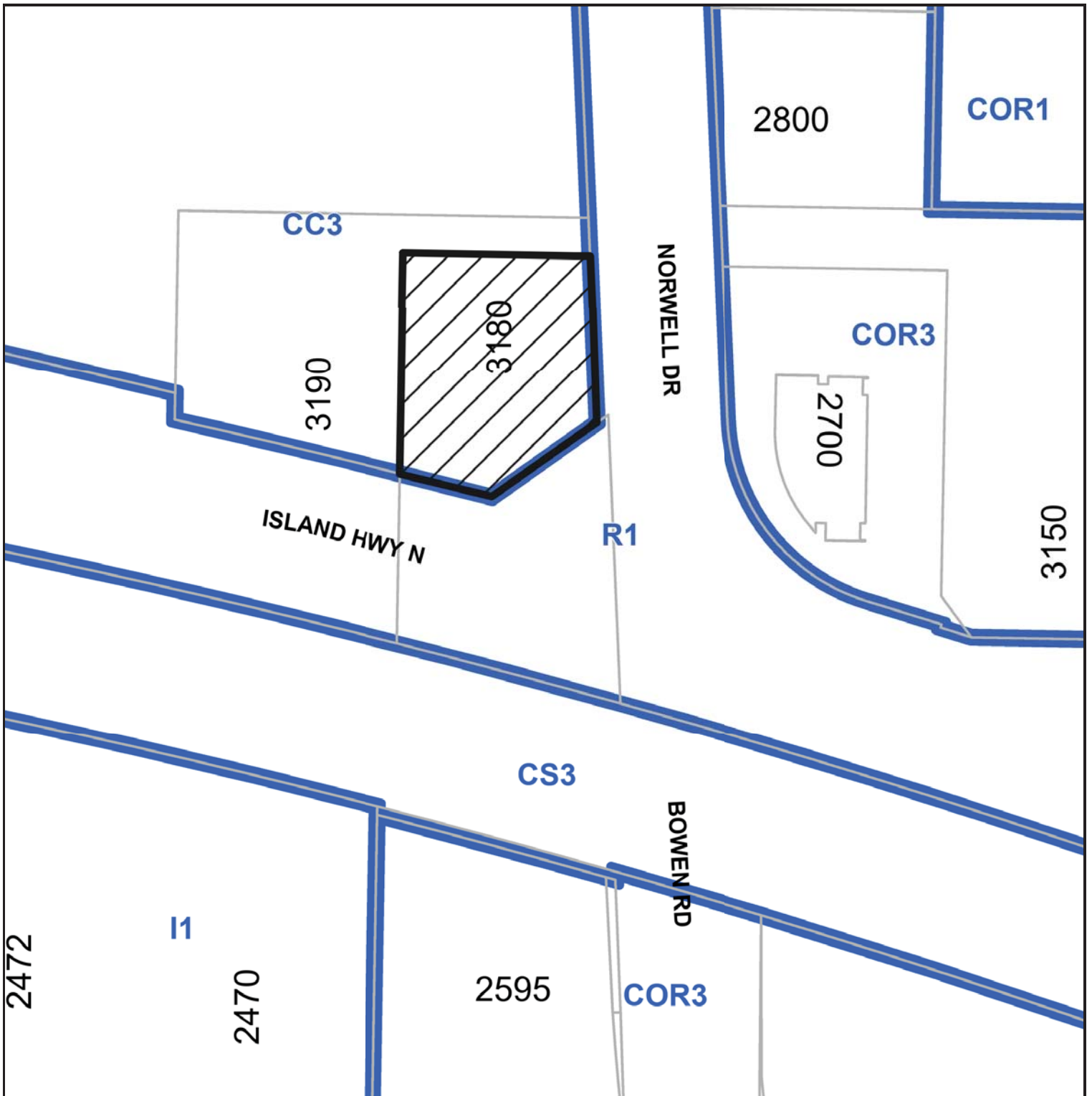
Note: A projection into yards under 6.5 1 section of the general regulations of City of Nanaimo is limited to 1 meter.


## 2 Southeast corner landscape 1.8-meter landscape buffer:

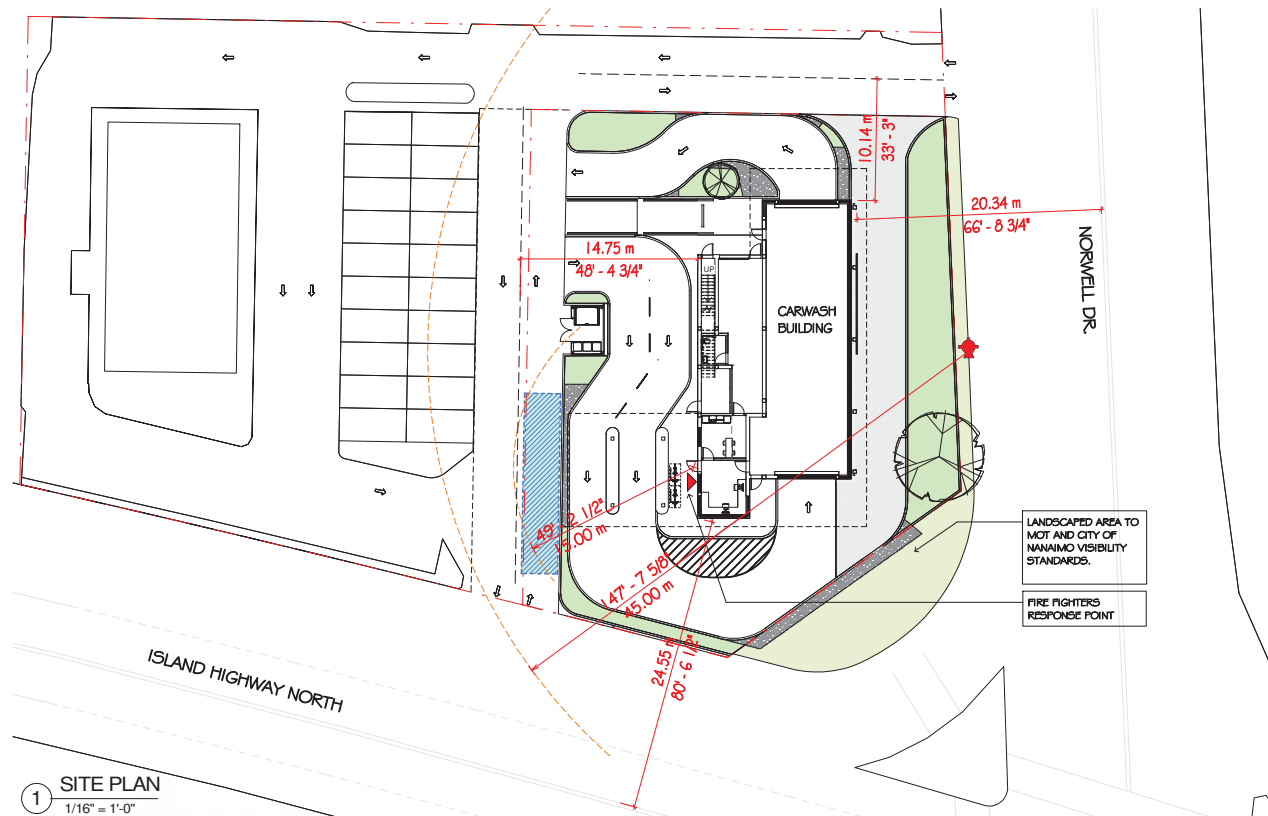
The southeast and southwest corner at street intersection provides less than 1.8 meter required landscape setback due to required maneuvering surface. The Ministry of Transportation granted approval of a heavy landscape that mitigates this minor variance with major addition of green space.



# SUBJECT PROPERTY MAP



 3180 Island Highway North



1 SITE PLAN  
1/16" = 1'-0"

LEGEND	
	VEHICLE ACCESS
	FIRE FIGHTERS RESPONSE POINT
	FIRE FIGHTER ACCESS ROUTE
	FIRE HYDRANT

2018 BRITISH COLUMBIA BUILDING CODE SUMMARY			NOTES		
Construction Article	3.2.2.85. Group F, Division 3, up to 2 Storeys				
Building Construction	Combustible construction or noncombustible construction used singly or in combination (Noncombustible proposed)				
Maximum Building Height	Max. 2 storey				
Maximum Building Area	3072 SF/ 285.39 SM		REQUIRES ONGOING CONFIRMATION		
Floor Assemblies above Grade	Constructed as fire separations and 45 min fire-resistance rating if of combustible construction				
Floors below Ground	N/A				
Loadbearing Supports above Ground	45 min fire-resistance rating or be of noncombustible construction				
Loadbearing Support below Ground	N/A				
Roof Assemblies	No fire-resistance rating requirement				
Roof Covering	Class A, B, or C roof covering classification				
Sprinkler System	Not required and will not be provided				
Standpipe System	Not required and will not be provided				
Fire Alarm System	Not required and will not be provided				
Emergency Power	30 min duration as per 3.2.7.4. and 3.2.7.8.				
Street Facing	2 Street				
Water Closet Summary (BCBC Section 3.7 Health Requirement)					
Occupancy Type	Occupant Load	Number of Each Sex	Number of Water Closets Required M F 1(a)	Number of Water Closets Provided M F 1	
Car Wash: Table 3.7.2.2.C	9	4			
(a) Occupants in the Carwash building is permitted to be served by a single water closet since the occupant load is not expected to be more than 10 [Sentence 3.7.2.2.(4)]. One universal washroom is provided.					





PROJECT NO. 22528

PROJECT: AUTOMATED CAR WASH BUILDING  
3180 NORTH ISLAND HIGHWAY NANAIMO, BC

DRAWING TITLE: SITE PLAN

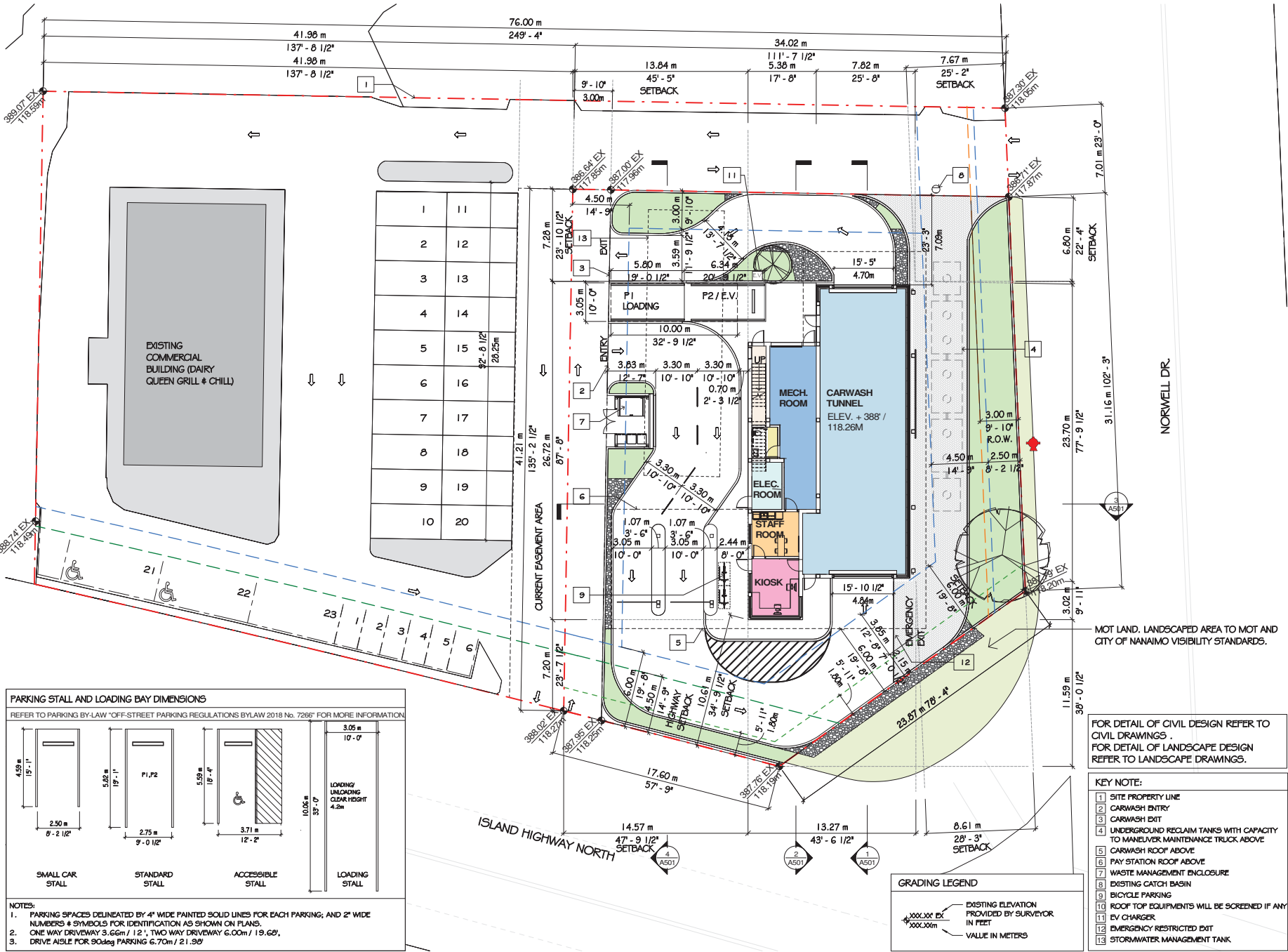
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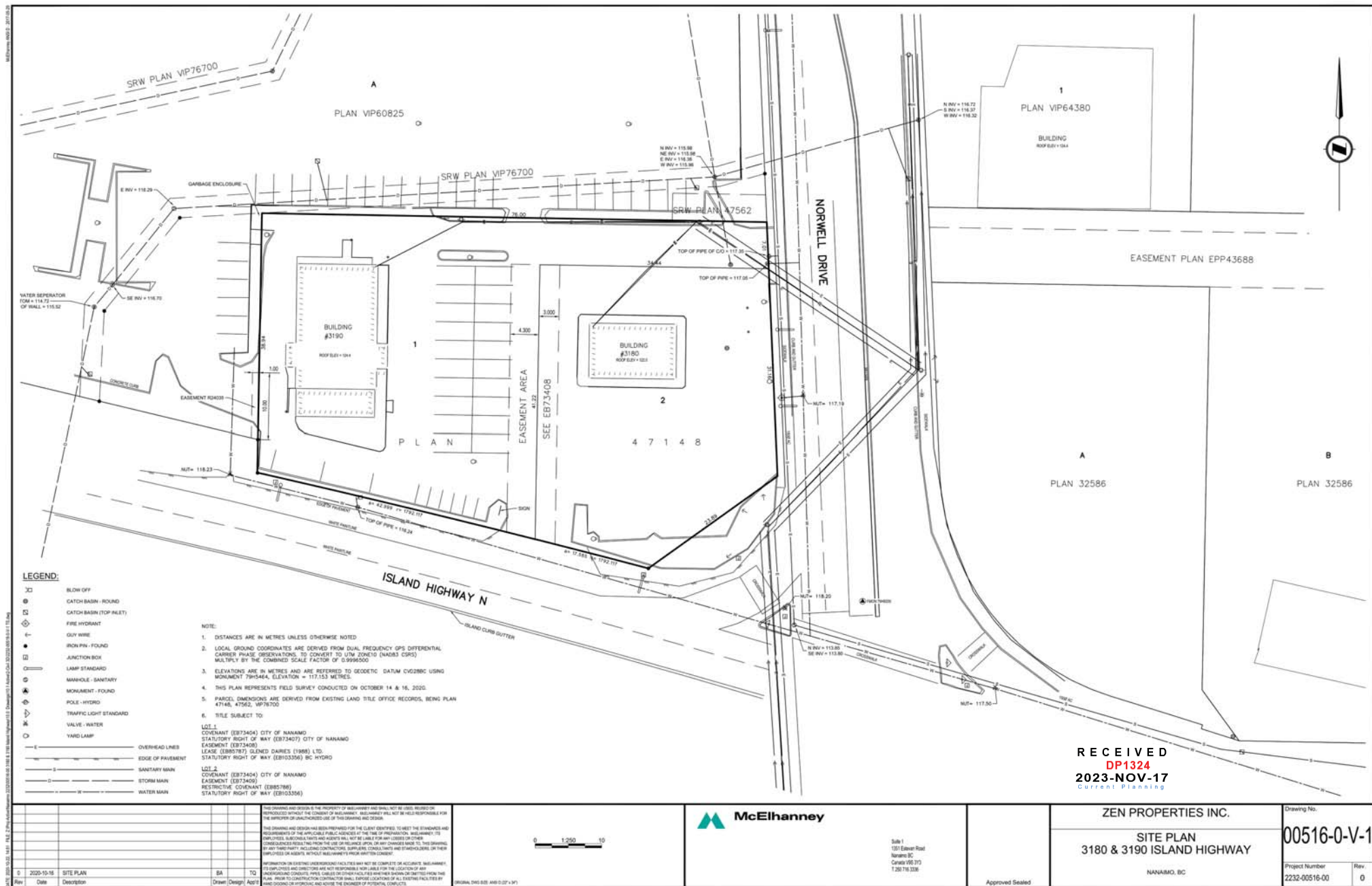
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A201

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SCALE: 3/32" = 1'-0" CHECKED: Checker











1 SITE - ZONING PLAN



2 SITE - CONTEXT

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AUTOMATED CAR WASH BUILDING  
3180 NORTH ISLAND  
HIGHWAY NANAIMO, BC

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SITE ZONING PLAN AND  
CONTEXT

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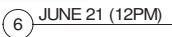
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① SEPTEMBER 21 (10AM)



② SEPTEMBER 21 (12 PM)



3 SEPTEMBER 21 (2PM)



4 SEPTEMBER 21 (4PM)



5 DECEMBER 21 (10AM)



6 DECEMBER 21 (12PM)



7 DECEMBER 21 (2PM)



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PROJECT  
AUTOMATED CAR WASH  
BUILDING  
3180 NORTH ISLAND  
HIGHWAY NANAIMO, BC

DRAWING TITLE

SHADOW ANALYSIS

SEAL

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PROJECT  
AUTOMATED CAR WASH  
BUILDING  
3180 NORTH ISLAND  
HIGHWAY NANAIMO, BC

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3D RENDERINGS - SITE

SEARCH

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KENWORTH RD

BOWEN RD



ISLAND HIGHWAY NORTH

SITE

NORWELL DR

① STREET VIEW - NORWELL WEST



NORWELL DR

NORWELL DR



ISLAND HIGHWAY NORTH

BOWEN RD




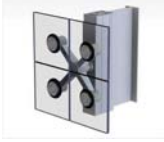
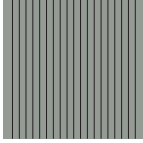

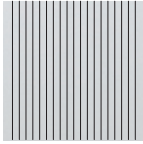





KENWORTH RD



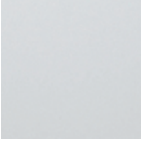








② STREET VIEW - NORWELL EAST





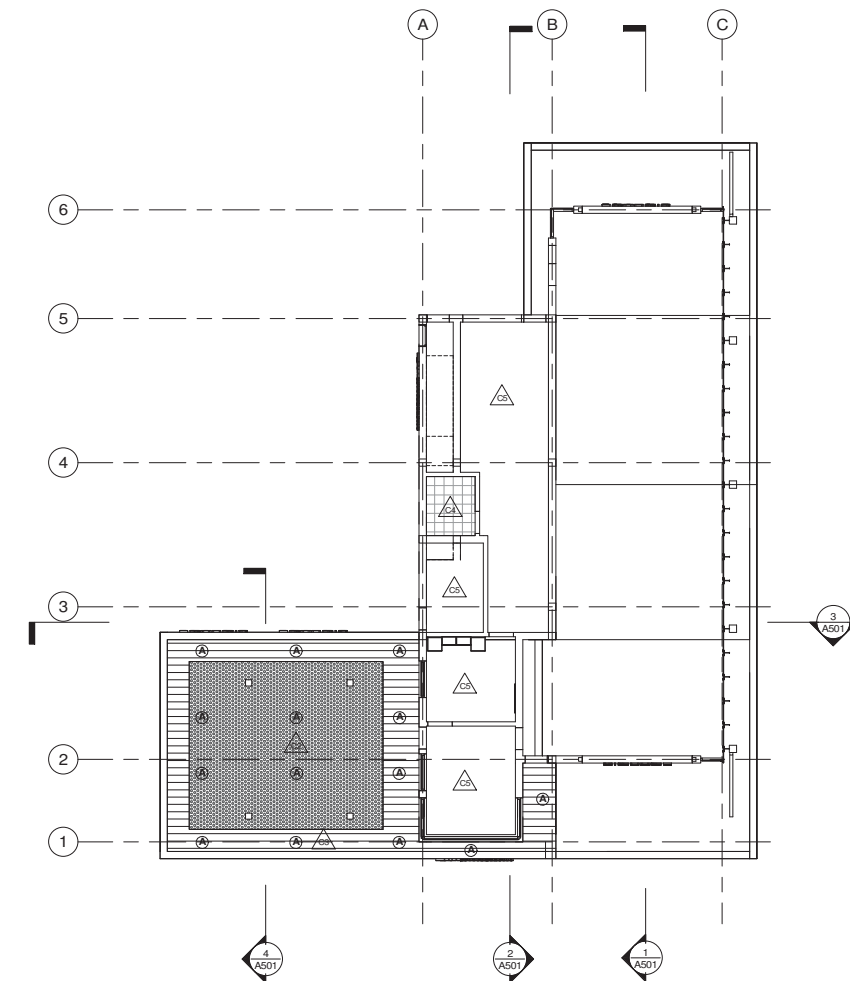


ITEM	COLOUR FINISH / IMAGE	SYSTEM	DETAILS
CON-1			CONCRETE PAINTED COL: LIGHT GRAY
FTG-1			FRAMELESS TEMPERED OR LAMINATED GLASS PANELS FRAME: CLEAR ANODIZED ALUMINUM GLAZING: CLEAR
MCL-1			CORRUGATED STANDING SEAM METAL CLADDING COL: TO MATCH ALUCOBOND "CADET GRAY"
MCL-2			METAL CLADDING PANEL COL: TO MATCH ALUCOBOND "MARKET PEARL WHITE MICA"
MCL-3			METAL CLADDING PANEL COL: TO MATCH ALUCOBOND "DUSTY CHARCOAL II"
WDW-1			VINYL FRAME W/ DOUBLE OR TRIPLE GLAZING FRAME: TO MATCH ALUCOBOND "CADET GRAY" GLASS: CLEAR

ITEM	COLOUR FINISH / IMAGE	SYSTEM	DETAILS
SBT-1			STRUCTURAL BRACING (COLUMNS) COL: PAINTED FINISH TOO MATCH ALUCOBOND "DUSTY CHARCOAL II"
SBT-1			STRUCTURAL BRACING (HORIZONTAL) COL: PAINTED FINISH TO MATCH ALUCOBOND "MARKET PEARL WHITE MICA"
WAV-1		T.B.D.	FEATURE WAVE METAL CLADDING PANEL COL: TO MATCH ALUCOBOND "CARB REB"
DOR-1			INSULATED EXTERIOR DOOR VINYL FRAME: TO MATCH ALUCOBOND "CADET GRAY"
OHR-1			OVERHEAD ROLL UP DOOR AIRLIFT DOORS, INC, XRS OVERHEAD DOOR COL: RED
OHR-2			OVERHEAD ROLL UP DOOR COL: TO MATCH ALUCOBOND "CADET GRAY"

#### ELEVATION KEYNOTE LEGEND:

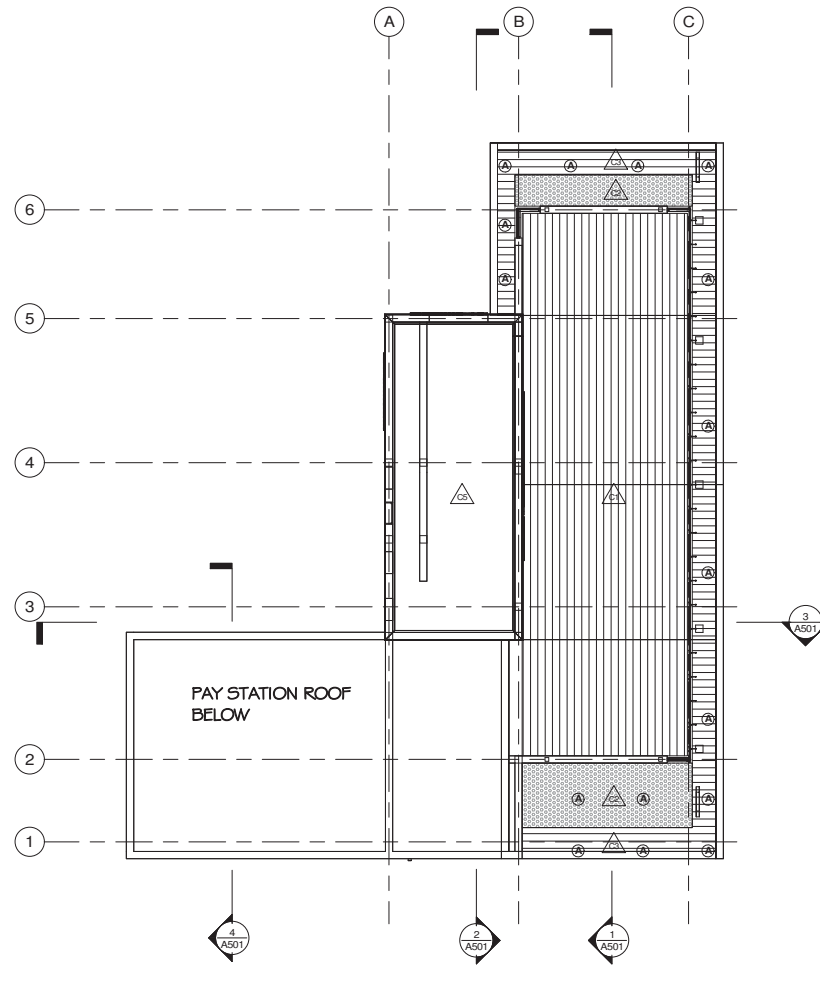
ITEM	COLOR / FINISH	ITEM	COLOR / FINISH
CON-1	CONCRETE PAINTED	OHR-1	OVERHEAD ROLL UP DOOR
DDS	DIGITAL DISPLAY SCREEN (NOT IN CONTRACT)	OHR-2	OVERHEAD ROLL UP DOOR FOR MECHANICAL
DOR-1	INSULATED EXTERIOR DOOR	PST-1	PAY STATION
DOR-2	INSULATED EXTERIOR DOOR	SPT-1	STEEL SOFFIT PANELS
DOR-3	INSULATED EXTERIOR DOOR WITH CLEAR GLAZING	STB-1	STRUCTURAL BRACING (COLUMNS)
DOR-4	INSULATED EXTERIOR DOOR WITH CLEAR GLAZING	STB-2	STRUCTURAL BRACING 2 (CROSS BRACING)
FTG-1	FRAMELESS TEMPERED OR LAMINATED GLASS PANES W/ STRUCT. SILICONE JOINTS	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH SIGN BYLAW
MCL-1	CORRUGATED STANDING SEAM METAL CLADDING	WDW-1	VINYL FRAME W/ DOUBLE OR TRIPLE GLAZING
MCL-2	CORRUGATED STANDING SEAM METAL CLADDING	WDW-2	VINYL FRAME W/ DOUBLE OR TRIPLE GLAZING
MCL-3	CORRUGATED STANDING SEAM METAL CLADDING		



1 LEVEL 1 REFLECTED CEILING PLAN



WAVE LIGHT FROM SIMILAR PROJECTS



2 LEVEL 2 REFLECTED CEILING PLAN

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3180 NORTH ISLAND HIGHWAY NANAIMO, BC

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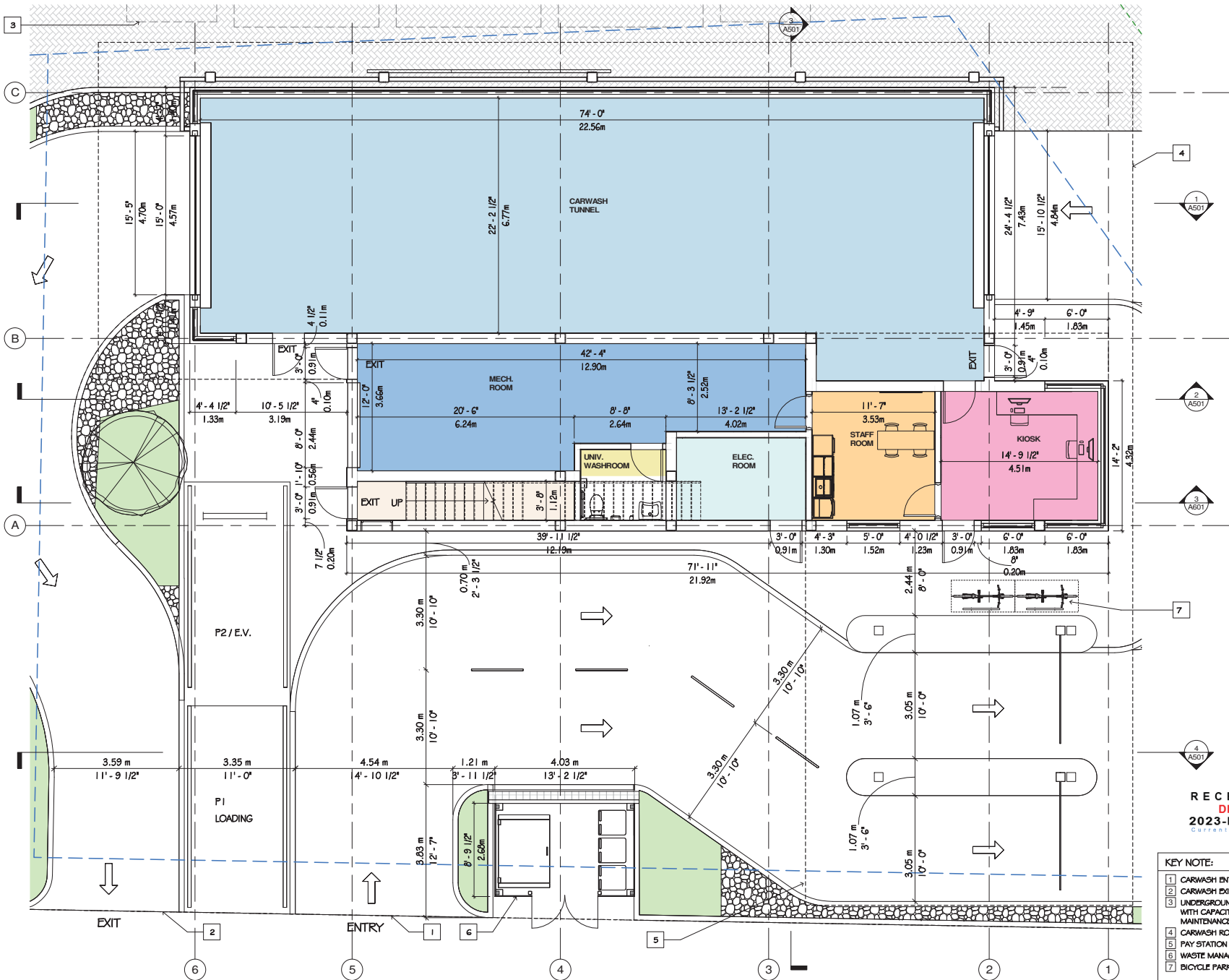
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NOTE: FOR ELECTRICAL LIGHT FIXTURE AND DETAIL PLEASE SEE ELECTRICAL DRAWINGS

CEILING LEGEND:	
	SUSPENDED PVC PANEL CEILING
	PERFORATED METAL SOFFIT
	CORRUGATED METAL SOFFIT
	SUSPENDED ACOUSTIC CEILING
	EXPOSED STRUCTURE
	CEILING LIGHT (FOR DETAIL SEE ELECTRICAL DRAWING)

A901

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PROJECT NO. 22528

PROJECT  
AUTOMATED CAR WASH  
BUILDING  
3180 NORTH ISLAND  
HIGHWAY NANAIMO, BC

DRAWING TITLE  
LEVEL 1 - FLOOR PLAN

SCALE

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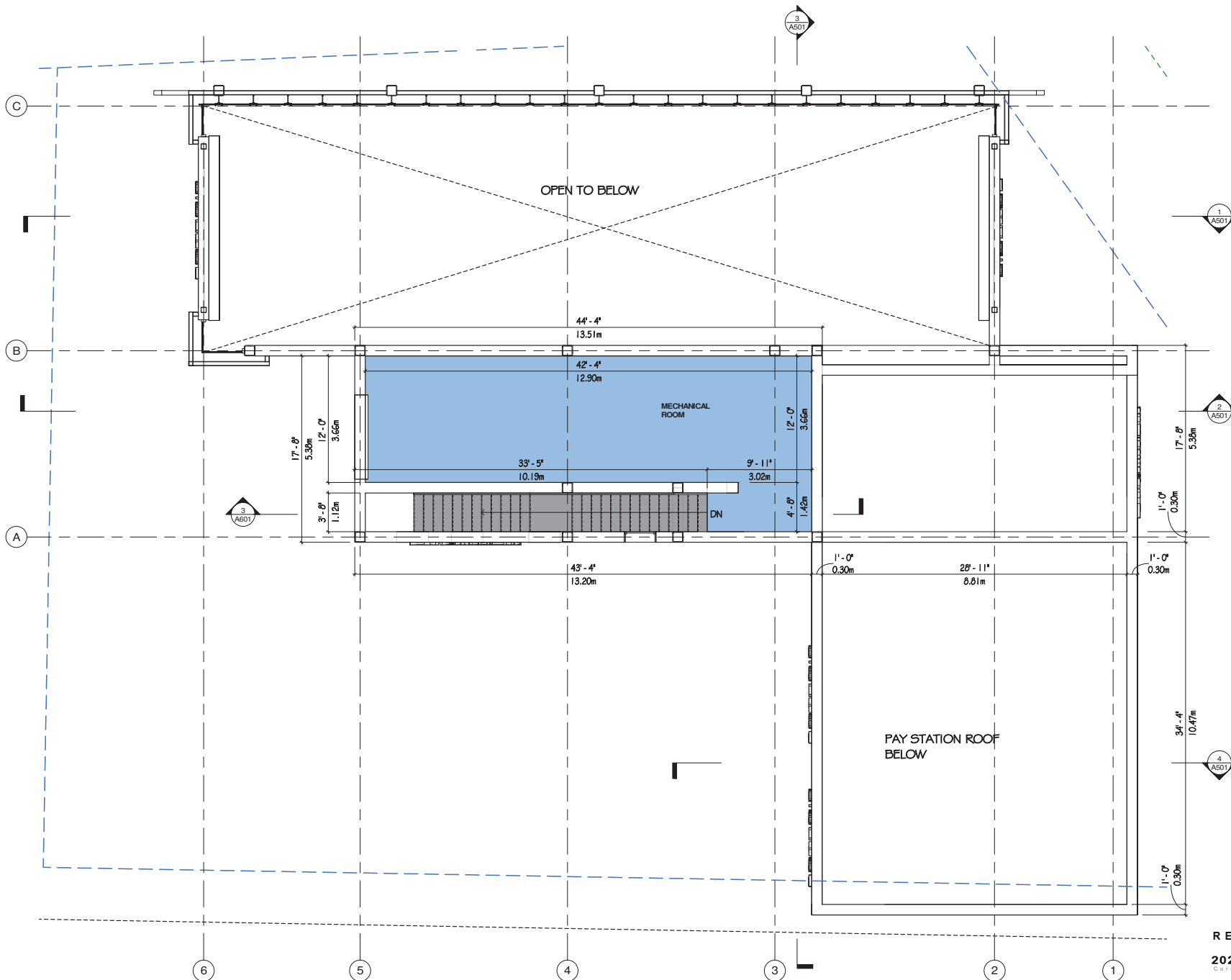
KEY NOTE:

- 1 CARWASH ENTRY
- 2 CARWASH EXIT
- 3 UNDERGROUND RECLAIM TANKS  
WITH CAPACITY TO MANEUVER  
MAINTENANCE TRUCK ABOVE  
CARWASH ROOF ABOVE
- 4 PAY STATION ROOF ABOVE
- 5 WASTE MANAGEMENT ENCLOSURE
- 6 BICYCLE PARKING

A202

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PROJECT AUTOMATED CAR WASH BUILDING  
3180 NORTH ISLAND HIGHWAY NANAIMO, BC

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LEVEL 2 - FLOOR PLAN

DATE

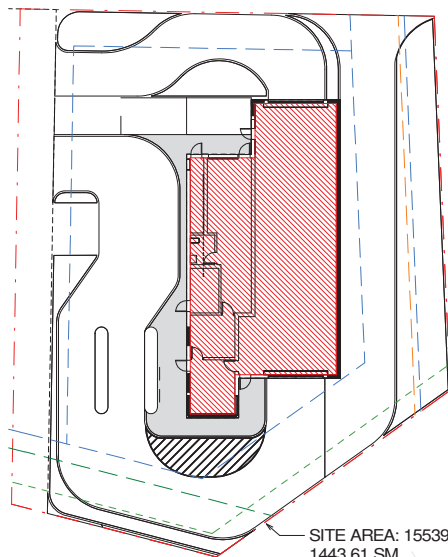
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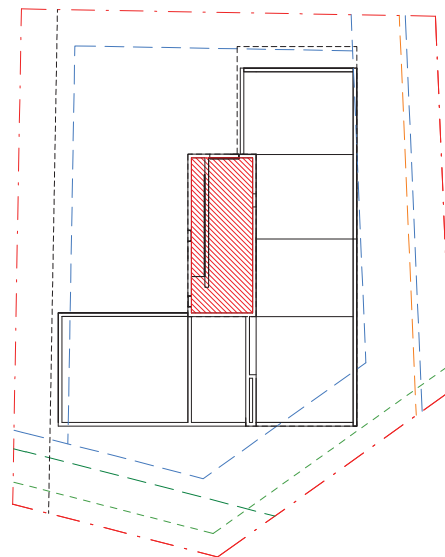
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SITE AREA: 15539 SF / 1443.61 SM

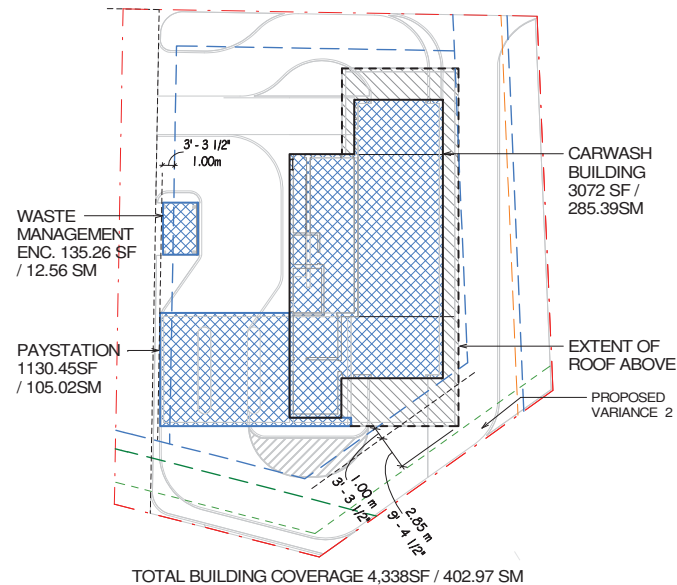


1 AREA PLAN LEVEL 1

2 AREA PLAN LEVEL 2

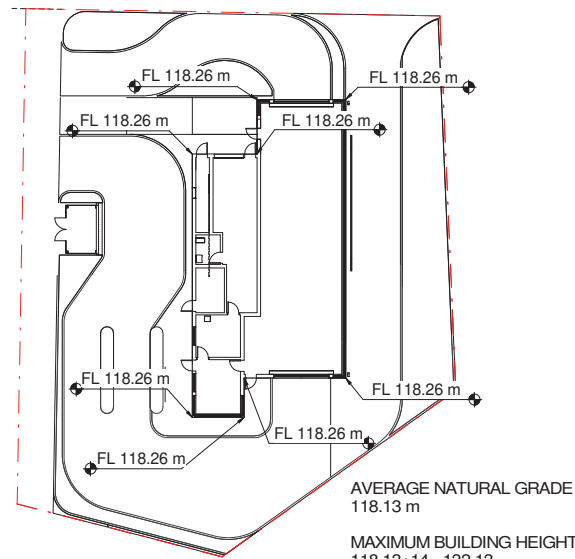
LEVELS	FLOOR AREA		GFA (INT. FACE OF EXT. WALL)		GFA (INT. FACE OF EXT. WALL)		GFA (INT. FACE OF EXT. WALL)	
	SF	SM	SF	SM	EXCLUSION (SF)	EXCLUSION (SM)	TOTAL (SF)	TOTAL (SM)
LEVEL 1	3,072	285.39	2,819	261.89				
LEVEL 2	827	76.83	705	65.49				
TOTAL	3,899	362.22	3,524	327.39	99.99	9.29	3424	318.1
PAYSTATION ROOF	1130	105.02						
WASTE MANAGEMENT ENCLOSURE	135.26	12.56						

$$FAR = \frac{GFA}{SITE\ AREA} = \frac{318.1}{1443.61} = 0.22$$



TOTAL BUILDING COVERAGE 4,338SF / 402.97 SM

3 BUILDING COVERAGE



AVERAGE NATURAL GRADE 118.13 m

MAXIMUM BUILDING HEIGHT 118.13+14= 132.13

4 AVERAGE NATURAL GRADE



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ISSUED FOR DP October 6, 2023

## CAR WASH

for Zen Group

Civic Address: 3180 Island Highway North, Nanaimo

### CONSULTANT TEAM

OWNER: Zen Group  
LANDSCAPE: ETA Landscape Architecture  
ARCHITECT: BFA Studio Architects  
CIVIL: Aplin Martin

Sheet	Drawing Title
L0.0	Cover Sheet
L1.0	Landscape Materials & Grading Plan
L2.0	Landscape Planting Plan
L3.0	Soil Depths & Irrigated Areas Plan
L4.0	Landscape Details & Sections

ALL PLANTS TO BE NURSERY GROWN  
ALL PLANT MATERIALS AND LABOUR TO CONFORM  
TO THE CURRENT EDITION OF THE CSLA LANDSCAPE STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO  
ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLY IN ONE LOCATION FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN  
50% SAND BY WEIGHT) CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT BASIS).

GROWING MEDIA SHALL VIRTUALLY FREE FROM SUBSOIL, WOOD INCLUDING WOODY PLANT PARTS,  
INVASIVE AND NOxious PLANT AND THEIR REPRODUCTIBLE PARTS, PLANT PATHOGENIC  
ORGANISMS, ORGANIC OR INORGANIC MATERIALS, TOXINS, STONES OVER 30mm (1.2"), ANY DEBRIS  
AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7  
INCLUSIVE OF THE CURRENT EDITION CSLA LANDSCAPE STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS: LOW TRAFFIC LAWN  
AREAS, TREES AND LARGE SHRUBS (IL IN TABLE T-6.3.3.1 OF THE CURRENT EDITION OF THE CSLA  
LANDSCAPE STANDARDS).  
IT SHALL POSSESS THE FOLLOWING QUALITIES:

**TEXTURE**  
"COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%  
"ALL GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%  
"SAND (LARGER THAN 0.05mm AND SMALLER  
THAN 2mm): 50-70%  
"SILT (LARGER THAN 0.002mm AND SMALLER  
THAN 0.05mm): 10-25%  
"CLAY (SMALLER THAN 0.002mm): 0-20%  
"CLAY AND SILT COMBINED: MAXIMUM 25%

**ORGANIC CONTENT:** 3-10%

**Acidity (pH):** 6.0-7.0 as per CSLA Standards

**DRAINAGE:** PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER  
AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE T 6.3.3.5 OF THE CURRENT EDITION CSLA LANDSCAPE  
STANDARDS:

	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
LARGE TREE	750mm(30")	900mm(35")
TREES (10m3 PER TREE)	600mm (24")	750mm(30")
LARGE SHRUBS	600mm(24")	500-800mm(20"-36")
SMALL SHRUBS	450mm(18")	300-500mm(12"-20")
GROUNDCOVERS	300mm(12")	225mm(9")
LAWN-IRRIGATED	150mm(6")	150mm(6")
LAWN-NOT IRRIGATED	150mm(6")	225mm(9")

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN GRO PROVIDED BY VERATEC, OR APPROVED  
ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR EXCEED THE GUIDELINES FOR  
COMPOST QUALITY UNDER CANADIAN COUNCIL OF MINISTERS OF THE ENVIRONMENT (CME).

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO DELIVERY TO SITE.

BEDS TO HAVE 3" MULCH LAYER (after setting) CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP DRAWINGS  
ARE TO BE PREPARED BY AN ABC CERTIFIED DESIGNER AND APPROVED BY LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS **PRIOR** TO  
DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS TO INCLUDE  
RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE  
CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF SUBSTANTIAL  
COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL  
THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD  
CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN  
SOILS REPORT.

**SITE INSPECTION**  
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE  
CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE  
WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO  
COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE CSLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL SOFTSCAPE AREAS TO INCLUDE MIN. 75MM GRAVEL DRAINAGE LAYERS IN ADDITION TO  
INDICATED SOIL DEPTH.

**PLANT COUNTS**  
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT  
SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY  
ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

**BIRD FRIENDLY PLANTING**  
PLANTS THAT ENABLE BIRD-FRIENDLY HABITAT CONSERVATION AND PROMOTION HAVE BEEN  
SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. PLANTING IS GROUPED IN  
NATURALIZED LAYERS OF TREES, TALL SHRUBS, LOW SHRUBS AND GROUNDCOVERS, MIMICKING  
THE IDEAL ENVIRONMENT FOR BIRDS. THESE LAYERS WILL BE VARIED WITH A  
DIVERSITY OF TEXTURES AND DENSITIES THAT ATTRACTS AND PROTECTS MANY BIRD SPECIES.  
SPECIFIC LOCAL AND NON-INVASIVE PLANT SPECIES HAVE BEEN SELECTED BASED ON THEIR  
ABILITY TO PROVIDE YEAR-ROUND FOOD FOR BIRDS AND/OR YEAR-ROUND NESTING  
OPPORTUNITIES.

**GENERAL NOTES**  
1. DO NOT SCALE DIRECTLY FROM DRAWINGS.  
2. WHERE PLANS AND SPECIFICATIONS ARE FOUND TO BE IN CONFLICT, OR WHERE VARIOUS  
ITEMS OF WORK ARE SEEN TO BE IN CONFLICT, NOTIFY THE CONSULTANT IN WRITING  
IMMEDIATELY. PRIOR TO COMMENCING CONSTRUCTION.  
3. THE CONTRACTOR IS REQUIRED TO INVESTIGATE AND VERIFY THE ALIGNMENT AND LOCATION  
OF ALL EXISTING SERVICES AND ALL EXISTING LANDSCAPE FEATURES ON SITE PRIOR TO  
COMMENCING CONSTRUCTION.  
4. THE CONTRACTOR SHOULD PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO  
COMMENCEMENT OF LANDSCAPE WORKS. MOCK UPS MAY BE REQUIRED AS NOTED/REQUESTED.  
5. DIMENSIONS ON THIS DRAWING ARE IN MM, UNLESS OTHERWISE STATED AS REQUIRED BY THE  
CITY.  
6. THESE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH CORRESPONDING ARCHITECTURE  
AND CIVIL ENGINEER'S DRAWINGS.  
7. VERIFY LOCATION OF ALL UNDERGROUND STRUCTURES INCLUDING, BUT NOT LIMITED TO,  
VALVES, ELECTRICAL, DUCT BANKS, MANHOLES, CONDUTS AND PIPING, DRAINAGE STRUCTURES  
AND OTHER UTILITIES WITH CORRESPONDING WET AND DRY ENGINEER'S AND CIVIL DRAWINGS.  
8. ALL VEHICULAR ROADS SUB LAYERS TO BE READ FROM GEOTECHNICAL SPECIFICATIONS.  
9. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL WORK DISTURBED BY CONSTRUCTION  
OUTSIDE OF LIMIT LINES DEFINED ON DRAWINGS OR THROUGH HIGHER MEANS AND METHODS  
TO A CONDITION BETTER THAN OR EQUAL TO THE EXISTING CONDITIONS PRIOR TO  
COMMENCEMENT OF CONSTRUCTION AT AN ADDITIONAL COST TO THE OWNER.  
10. FOR PHASED PROJECT A SOIL TEST SUBMITTAL WILL BE REQUIRED AT EACH PHASE AND THE  
TEST IS TO BE WITHIN 3 WEEKS OF THE DELIVERY TO SITE.

**PLANTING NOTES- REFER TO CURRENT NOTES LIST.**  
1. THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCE AS INDICATED ON THE DRAWINGS  
OR ARBORIST REPORT IN COMPLIANCE WITH ALL MUNICIPAL AND PROFESSIONAL REQUIREMENTS.  
2. TREE PROTECTION TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.  
3. DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, EXCAVATED MATERIAL OR EQUIPMENT  
WITHIN TREE PROTECTION ZONE.  
4. FINISH GRADING SHALL MEET EXISTING GRADE OF PROTECTED TREES 0.5M OR (20 INCHES)  
BEYOND THE DRIFLINE.  
5. EXACT LOCATIONS OF PROPOSED PLANT MATERIALS SHALL BE FLAGGED / STAKED AND  
APPROVED BY LANDSCAPE ARCHITECT CONSULTANT ON SITE PRIOR TO INSTALLATION. THE  
LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS ON SITE.  
6. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT UNSUITABLE MATERIAL DELIVERED  
OR INSTALLED ON SITE WITHOUT PRIOR REVIEW AND APPROVAL.  
7. THE CONTRACTOR SHALL OBTAIN AN AGRONOMIC SOIL ANALYSIS REPORT, WHICH TESTS THE  
SOIL QUALITY CRITERIA RELATIVE TO AGRICULTURE BY AN CERTIFIED SOIL NUTRIENT TESTING  
LABORATORY FOR APPROVAL BY THE LANDSCAPE ARCHITECT. THE REPORT SHALL INCLUDE  
RECOMMENDATIONS FOR PREPARATION OF GROWING MEDIUM TO MEET THE CSLA/AAPC & CSLA  
A2022.  
8. EXCESS SOIL FROM LANDSCAPE GRADING IS TO BE REMOVED AND DISPOSED OF OFFSITE BY  
THE CONTRACTOR IN A LOCATION APPROVED BY THE DEPARTMENTAL REPRESENTATIVE.  
9. REFER TO PLANT SCHEDULE FOR THE LIST OF SPECIES, INCLUDING SIZE AND FORM AND OTHER  
SPECIFIED INFO.  
10. CONTRACTOR TO OBTAIN APPROVAL OF LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OF  
PLANT SPECIES OR SIZES.  
11. ALL TREES MUST BE GUYED OR STAKED AS PER DETAILS AND SPECIFICATIONS.  
12. THE CONTRACTOR SHALL PROVIDE ROOT BARRIERS FOR ALL TREES LOCATED WITHIN TWO  
(2) METERS OF PAVING OR UNDERGROUND UTILITIES.  
13. THE CONTRACTOR SHALL MANUALLY IRRIGATE OR ACTIVATE IRRIGATION SYSTEMS  
NECESSARY TO WATER AND MAINTAIN PROPOSED AND EXISTING VEGETATION.  
14. FOR PLANTING SOIL DEPTH, FOLLOW THE CITY'S RECOMMENDATION AND REQUIREMENTS  
ONLY IF THE CITY'S REQUIREMENTS FOR SOIL DEPTH EXCEEDS CSLA OR BCSLA STANDARDS AND  
REQUIREMENTS.  
15. A SHOP DRAWING INDICATING THE SOIL DEPTH TO BE PROVIDED FOR THE LANDSCAPE REVIEW  
PRIOR TO INSTALLATION.  
16. LIGHT WEIGHT-BLOWDOWN IN-SOIL WILL NOT BE ACCEPTED UNLESS IT IS REQUIRED BY  
STRUCTURAL ENGINEER.  
17. A LANDSCAPE ARCHITECT SHALL BE ON SITE AT SOIL DELIVERY DATE.

**HARD LANDSCAPE & FURNITURE NOTES**  
1. PROVIDE EXPANSION JOINTS ALIGNED WITH PROPOSED PAVING PATTERN AND PAVING  
MODULES. THE SPACING OF EXPANSION JOINTS TO STRUCTURAL ENGINEERS RECOMMENDATION.  
2. UNLESS SPECIALLY DIMENSIONED SITE FURNITURE LOCATIONS ON DRAWINGS ARE  
APPROXIMATE AND MUST BE APPROVED ON SITE BY THE LANDSCAPE ARCHITECT BEFORE  
UNDERTAKING INSTALLATION.  
3. CONTRACTOR TO SUBMIT ENLARGED DETAILED PLANS AND SHOP DRAWINGS FOR ALL  
HARDSCAPE MATERIAL PAVING, CLADDING AND CAPPING SHOWING PATTERNS, EXACT  
DIMENSIONS AND ARRANGEMENT FOR LANDSCAPE ARCHITECT'S APPROVAL.  
4. ALL PAVING MATERIALS COLORS AND FINISHES ARE AS INDICATED ON DRAWINGS AND  
SPECIFIED BY THE LANDSCAPE ARCHITECT.  
5. CONTRACTOR TO BUILD A 2M LONG X MINIMUM WIDTH OR 2M WIDTH (WHICH EVER IS LESS)  
MOCK-UP FOR ALL HARDSCAPE MATERIALS ON DRAWINGS.  
6. SETS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION ON SITE. APPROVED  
MOCK-UPS COULD STAY AS PART OF THE OVERALL HARDSCAPE INSTALLATIONS.  
7. CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS FOR INSTALLATION AND  
FIXATION OF ALL SITE FURNITURE AND TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE  
ARCHITECT'S APPROVAL.  
8. ALL SITE FURNITURE COLORS AND FINISHES IS AS INDICATED ON DRAWINGS AND  
SPECIFICATIONS OR AS APPROVED BY THE LANDSCAPE ARCHITECT.  
9. CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS FOR INSTALLATION AND  
FIXATION OF ALL SITE FURNITURE AND TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE  
ARCHITECT'S APPROVAL.

**SITE LAYOUT & GRADING NOTES**  
1. ALL PROPOSED DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH  
CONSTRUCTION.  
2. SITE LAYOUT DIMENSIONS ARE IN M, UNLESS OTHERWISE INDICATED.  
3. ALL PROPOSED LEVELS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH  
CONSTRUCTION.  
4. STAIRS NUMBERS AND RISERS HEIGHT SHOULD BE VERIFIED ON SITE AND ADJUSTED AS SEEN  
NECESSARY AND AS APPROVED BY ENGINEER.  
5. CONTRACTOR TO CROSS CHECK ALL EXTERNAL WORKS LEVELS WITH EXISTING BUILDINGS. ANY  
DISCREPANCIES TO BE SUBMITTED FOR THE LANDSCAPE ARCHITECT'S FEEDBACK.  
6. DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS.  
7. FOR LAYING OF ROADS AND CAR PARKING AND ASSOCIATED DRAINAGE REFER TO ENGINEER'S  
DRAWINGS AND SPECIFICATIONS.  
8. THE FINISH GRADING OF PLANTING AREAS SHALL BE 50MM BELOW ADJACENT CURB OR  
PAVEMENT.

**IRRIGATION NOTES**  
1. IRRIGATION TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS SHOWN ON THE DRAWING, BY  
LANDSCAPE CONTRACTOR.  
2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FROM THE STUB  
OUTS PROVIDED (TYP 2" CONFIRM WITH MECHANICAL). PROVIDE SUBMITTALS OF DESIGN FOR  
LANDSCAPE REVIEW AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING  
WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE. TO INCLUDE ELEVATION, DRY LINE, PIPE  
SIZE, VALVE BOXES, ETC. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE PLANTED AREAS ONLY  
AND LOCATIONS TO BE APPROVED.  
3. IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH CANADIAN  
LANDSCAPE STANDARDS.  
4. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS  
DOCUMENTED EXPERIENCE, AND BE A MEMBER IN GOOD STANDING OF THE IAIRC (IRRIGATION  
INDUSTRY ASSOCIATION OF BC).  
5. CONTRACTOR TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS.  
CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL  
CONSULTANTS AND TRADES.  
6. IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.  
7. SEPARATE ZONE AND REQUIRED SLEEVES TO BE PROVIDED FOR SPRAY IRRIGATION OF  
OFFSITE AREAS, PER CITY STANDARDS.  
8. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.  
9. TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND  
SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET  
STANDARDS.  
10. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS  
THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.  
11. PROVIDE COPIES OF INSTRUCTION MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM  
AND CONTROLS, SEASONAL ACTIVITY, AND SHUTDOWN AND MANUFACTURER'S PARTS  
CATALOGUE.

**LANDSCAPE LIGHTING NOTES**  
1. ALL LIGHTING POINTS SHOWN ON LANDSCAPE PLANS ARE FOR REFERENCE ONLY. FOR ALL  
LIGHTING FIXTURES AND TYPES, REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS.  
2. CONTRACTOR TO SUBMIT SAMPLES OF ALL LIGHT FIXTURES WITH REFERENCE SPECIES AND  
PHOTOMETRIC S TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO  
INSTALLATION ON SITE.  
3. FOR STREET LIGHTING LOCATIONS AND TYPES REFER TO CIVIL DRAWINGS AND  
SPECIFICATIONS.  
4. LIGHTING SPECS TO BE COORDINATED AND REVIEWED WITH ELECTRICAL PRIOR TO  
CONSTRUCTION.  
5. STREET TREES AND FURNISHINGS TO BE LOCATED AT ACCEPTABLE OFFSITE- REFER TO LAYOUT  
DRAWINGS AND MUNICIPAL STANDARDS.

Revision	No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	2023-10-06	Issued for DP

Professional Seal



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Project

Car Wash

3180 Island Highway North  
Nanaimo

Drawing Title

Cover Sheet

RECEIVED  
DP1324  
2023-NOV-17  
Current Planning

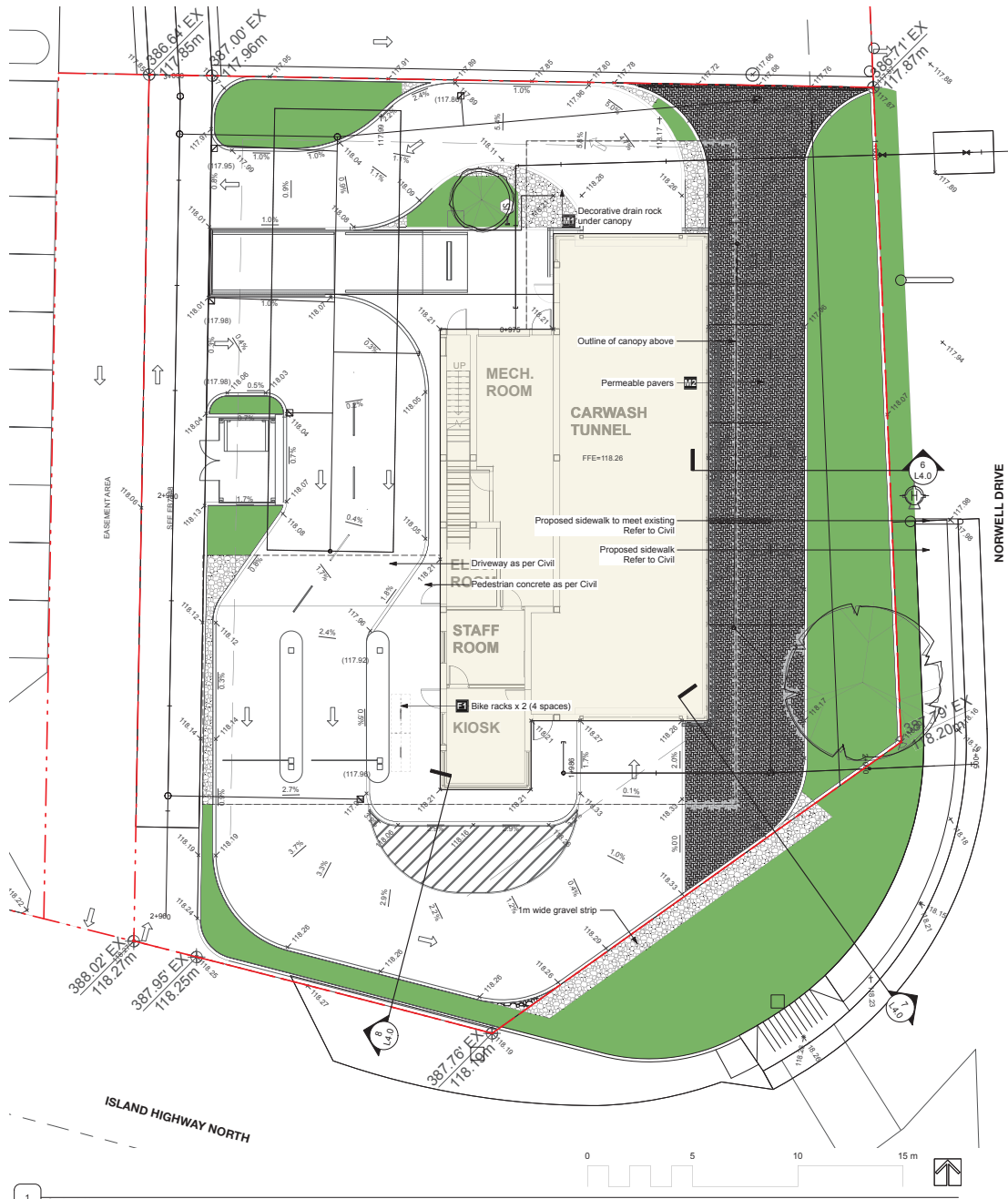
Legal

Project Manager	Project ID
KD	223118
Drawn By	Scale
	N/A
Reviewed By	Issued On
DT	
Date	
	L0.0
	1
	2
	5

MATERIALS AND FURNISHINGS

SITE FURNISHINGS						
ID	DETAIL DESCRIPTION	SIZE	COLOR	MATERIAL	MANUFACTURER	QTY NOTES
F1	111.2.0 Bike Rack	2x19x35"	Red	Metal	MBR-0500-00001	Magim
MATERIALS						
ID	DETAIL DESCRIPTION	SIZE	COLOR	PATTERN	MODEL	MANUFACTURER
U1	151.2.0 Decorative Drain Rock	6-8" dia	Gray	Herringbone	Eco Priors	WVI Landscape
M2	411.2.0 Permeable Paver	4x8x3"	Gray	Herringbone	Eco Priors	Mutual Materials

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE.



Revision  
No. Date Revision Notes

Issue  
No. Date Issue Notes  
A 2023-10-08 Issued for DP

Professional Seal

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Project

Car Wash

3180 Island Highway North  
Nanaimo

Drawing Title

Landscape Materials  
& Grading Plan

RECEIVED  
DP1324  
2023-NOV-17  
Current Planning

Legal

Project Manager	Project ID
KD	22318
Drawn By	Scale
KD	1:100
Reviewed By	Issued For
DT	
Date	
	L1.0
	2
	5



Revision  
No. Date Revision Notes

Issue  
No. Date Issue Notes  
A 2023-10-08 Issued for CP

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Project

Car Wash

3180 Island Highway North  
Nanaimo

Drawing Title

Landscape  
Planting Plan

RECEIVED  
DP1324  
2023-NOV-17  
Landscape Planning

Project Manager: Project ID: 22318  
Drawn By: Scale: 1:100  
Reviewed By: Drawing No.:  
DT: L2.0  
Date: 3/2/5

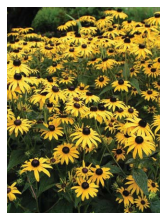
## PLANT PALETTE



RIVER BIRCH



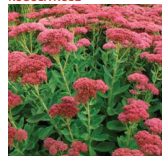
RUGOSA ROSE



BLACK-EYED SUSAN



MAIDEN GRASS



AUTUMN STONECROP



RUSSIAN SAGE



DWARF STRAWBERRY MADRONE



MOCK ORANGE

## PLANT LIST

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SIZE	NOTES	ATTRIBUTES
<b>TREES</b>							
Bsh	1	Betula nigra 'Heritage'	Heritage river birch	as shown	8cm cal B&B	multistem	N
Psh	1	Populus tremula 'Erecta'	Savedin columnar aspen	as shown	8cm cal B&B	on standard	N
<b>SHRUBS / GROUNDCOVERS / PERENNIALS</b>							
Shr	22	Ionidium virens 'Compacta'	Dwarf strawberry madrone	1.37x10 cont.	full bushy plants	G, B, P, Ed, W	
Shr	28	Choisya x decaisniana 'Aster Pearl'	Aster Pearl mock orange	1.67x5 cont.	full bushy plants	G, B, P	
Shr	28	Conocarpus palmata	box leaf honeysuckle	0.61x2 cont.	full bushy plants	G, B, P	
Moss	39	Muscovita arvensis 'Graciliman'	crisp leaf aspidistra	0.91x5 cont.	full bushy plants	G, B, W	
Shr	81	Perovskia 'Blue Spire'	Russian sage	0.61x2 cont.	full bushy plants	G, B, P	
Shr	41	Rudbeckia hirta 'Goldstrum'	black-eyed Susan	0.66x1 cont.	full bushy plants	G, B, P	
Shr	33	Rosa rugosa	Rugosa rose	0.91x3 cont.	full bushy plants	G, B, P	
Shr	80	Sedum 'Autumn Joy'	Autumn stonecrop	0.66x1 cont.	full bushy plants	G, B, W	
Shr	0						

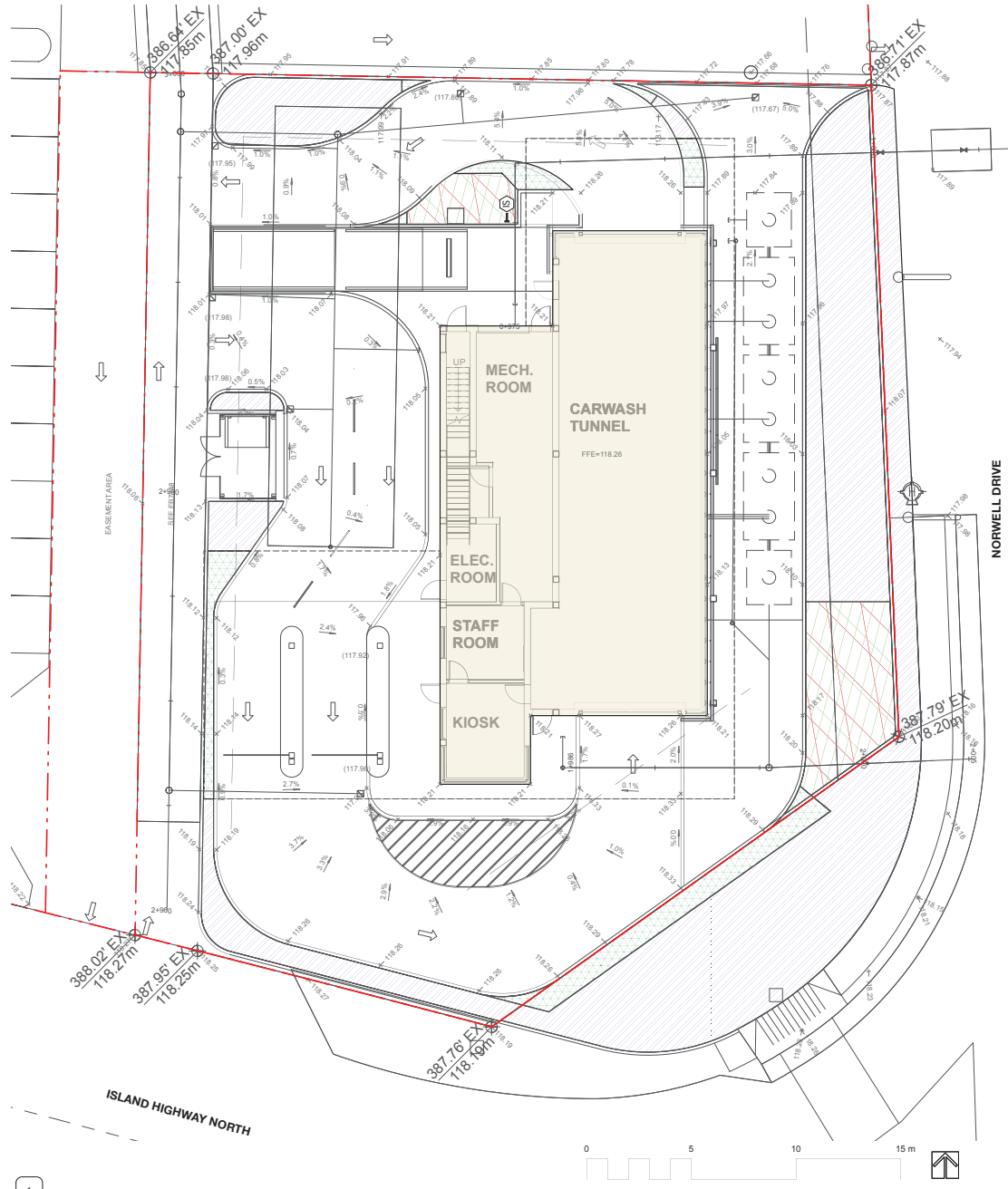
## NOTES

1. ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSEK STANDARDS FOR LEVEL 1 "CREATED" LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.  
2. SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON.  
3. N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST  
4. VERY SUITABLE/SUITABLE AS PER URBAN TREE LIST FOR METRO VANCOUVER IN A CHANGING CLIMATE  
5. IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS IN PLANT LIST AND PLANT STOCKS OR DRAWINGS, THE DRAWINGS TAKES PRECEDENCE. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.



1 Scale: 1:100





**LEGEND**

Irrigation Stubout  
Final location per Mechanical

Note:  
1. All planting areas with shrubs and groundcovers to have min. 610mm growing medium  
2. All planting areas with trees to have min. 915 mm growing medium  
2. All planting areas to be irrigated  
2. Irrigation system design as per irrigation design build contractor

**PLANTING SOIL DEPTH LEGEND**

150 mm (6") Drain Rock Depth  
32.6 sq.m

610 mm (24") Soil Depth  
278.7sq.m = 170.0cu.m

915 mm (36") Soil Depth  
43.7sq.m = 40.0cu.m

Note:  
1. All softscape areas to include min. 75mm gravel drainage layers in addition to indicated soil depth for on slab conditions.  
2. All onsite planted areas to be irrigated. Irrigation design provided by others. Shop Drawings reviewed by Landscape prior to construction. Offsite irrigation per City standards.

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	2023-10-08	Issued for DP

Professional Seal

**eta** landscape architecture

1690 West 2nd Avenue  
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Project

**Car Wash**

3180 Island Highway North  
Nanaimo

Drawing Title

**Soil Depths &  
Irrigated Areas**

**RECEIVED**  
**DP1324**  
**2023-NOV-17**  
Landscape Current Planning

Project Manager	Project ID
KD	22318
Drawn By	Scale
KD	N/A
Reviewed By	Drawing No.
DT	L3.0
Date	4
	5

MBR-0500-00001

Legacy # MBR500-DB

Sustainability Facts

Material: Galvalume steel with zinc coating

Weight: 1.5 kg (3.3 lbs)

Total energy use (TUE): 1775 MJ/kg

Water use (WUE): 0.003 m³/kg water

Material recyclability: 100%

MBR-0500-00001

Type II Environmental Product Declaration

Material: Galvalume steel

Low VOC Product

Low VOC Product

DESCRIPTION:

500 Series - 500 Bike Rock: 11.5" Steel Tube, Direct Burial, 2 Bike Configuration

FINISH:

All steel components are protected with 5-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces. An optional galvanized finish is also available.

INSTALLATION:

The bike rock is delivered pre-assembled. It is available in direct burial installation.

TO SPECIFY:

Select MBR-0500-00001

Choose

Pre-assembled Color

HEIGHT: 33" (840 mm)

LENGTH: 59.25" (1505 mm)

DEPTH: 1.67" (42 mm)

WEIGHT: 39.4 lbs (17.9 kg)

MAGLIN

1200-10-0001

www.maglin.com

1

CUTSHEET: Bike Rack

Scale: NTS

2

DETAIL: Planting at Grade

Scale: 1:10

3

DETAIL: Tree at Grade

Scale: 1:20

4

DETAIL: Permeable Pavers

Scale: 1:10

5

DETAIL: Drain Rock

Scale: 1:10

6

SECTION: East PL

Scale: 1:50

7

SECTION: Offsite Planting

Scale: 1:50

8

SECTION: South PL

Scale: 1:50

Revision	No.	Date	Revision Notes
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Issue	No.	Date	Issue Notes
	A	2023-10-06	Issued for CP

Professional Seal

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Project

Car Wash

3180 Island Highway North  
Nanaimo

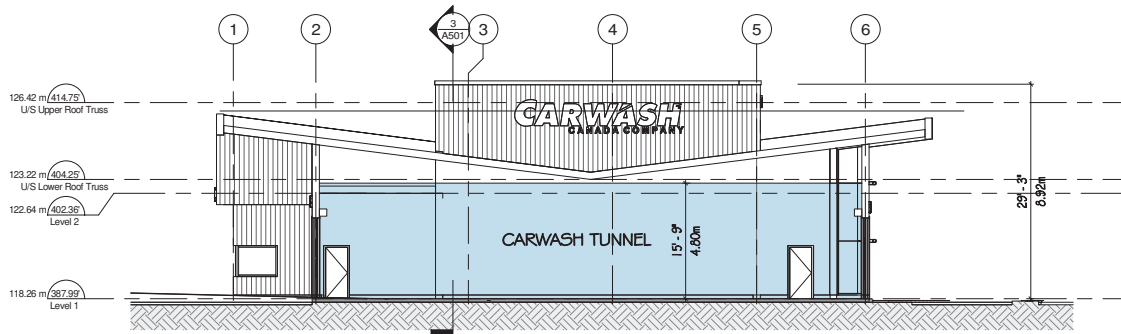
Drawing Title

Landscape Details  
& Sections

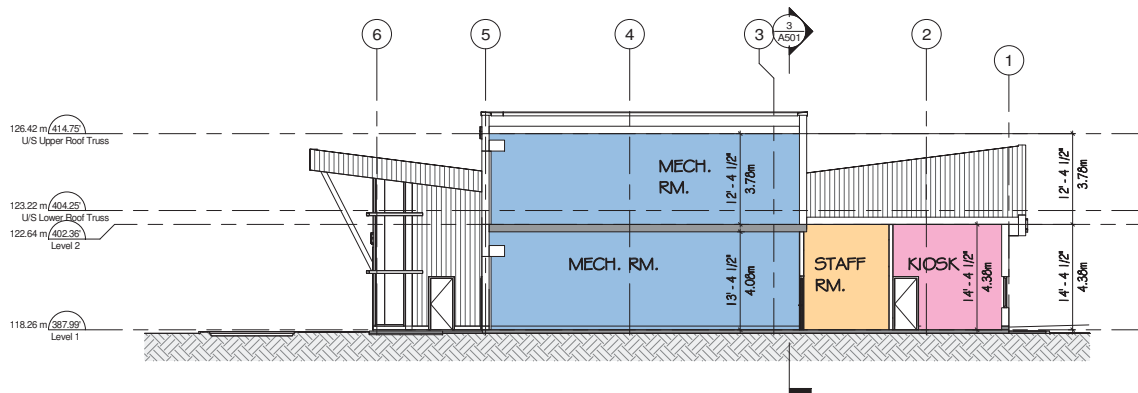
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DP1324  
2023-NOV-17  
CURRENT PLANNING

Legal

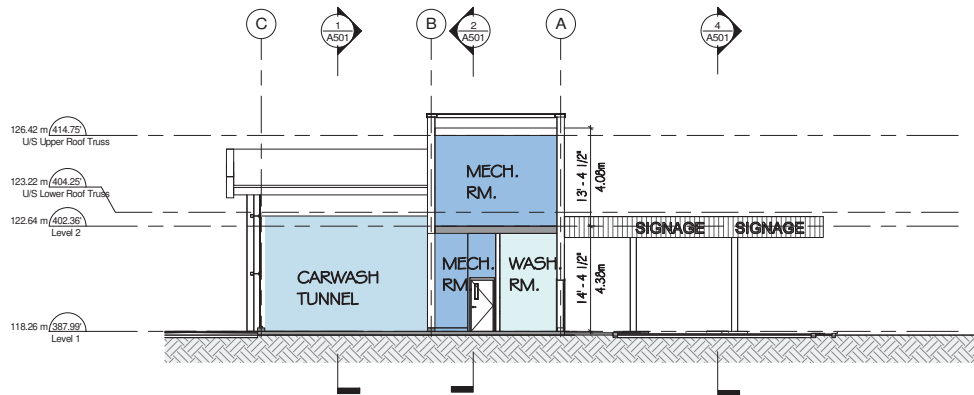
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KD	22318
Drawn By	Scale
KD	AS SHOWN
Reviewed By	Drawing No.
DT	L4.0
Date	5
	5



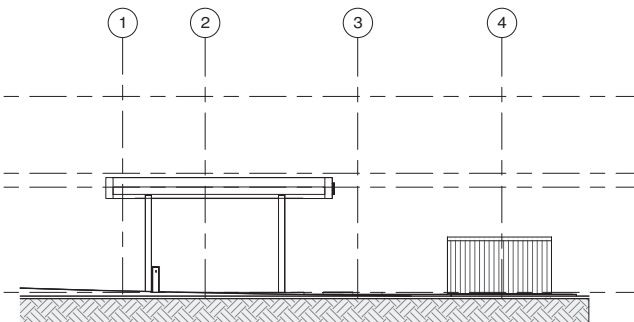
1 LONGITUDINAL SECTION 1



2 LONGITUDINAL SECTION 2



3 CROSS SECTION



4 PAY STATION SECTION

RECEIVED  
DP1324  
2023-NOV-17  
CURRENT PLANNING

**bfa** studio  
architects

BCO-REGIONAL ARCHITECTURE - INTERIOR DESIGN  
600 - 555 Burrard Street Vancouver, BC V6C 2B8  
www.bfa-studioarchitects.com T: 604 682 8544 F: 604 682 4962 info@bfa-studioarchitects.com

REVISIONS  
NO. DESCRIPTION DATE  
ISSUED FOR DP 06 OCT 2023

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CLIENT  
ZEN GROUP

PROJECT NO. 22528  
PROJECT AUTOMATED CAR WASH BUILDING  
3180 NORTH ISLAND HIGHWAY NANAIMO, BC

DRAWING TITLE  
SECTIONS

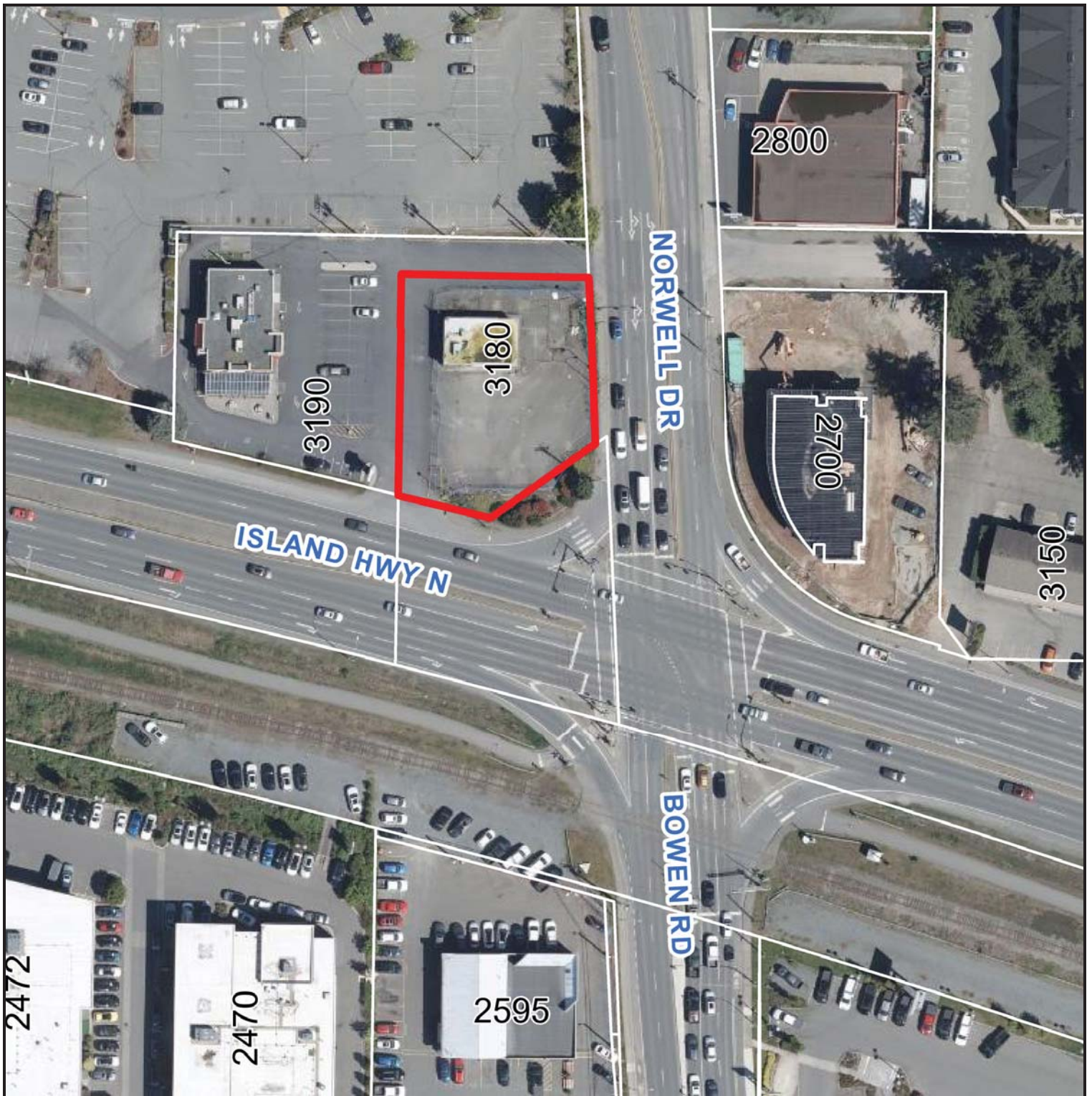
SCALE

DRAWING NO. REVISION

A501

DATE 03/13/23 DRAWN Author  
SCALE 1/8" = 1'-0" CHECKED  
1/8" = 1'-0" Checker

# AERIAL PHOTO



3180 Island Highway North