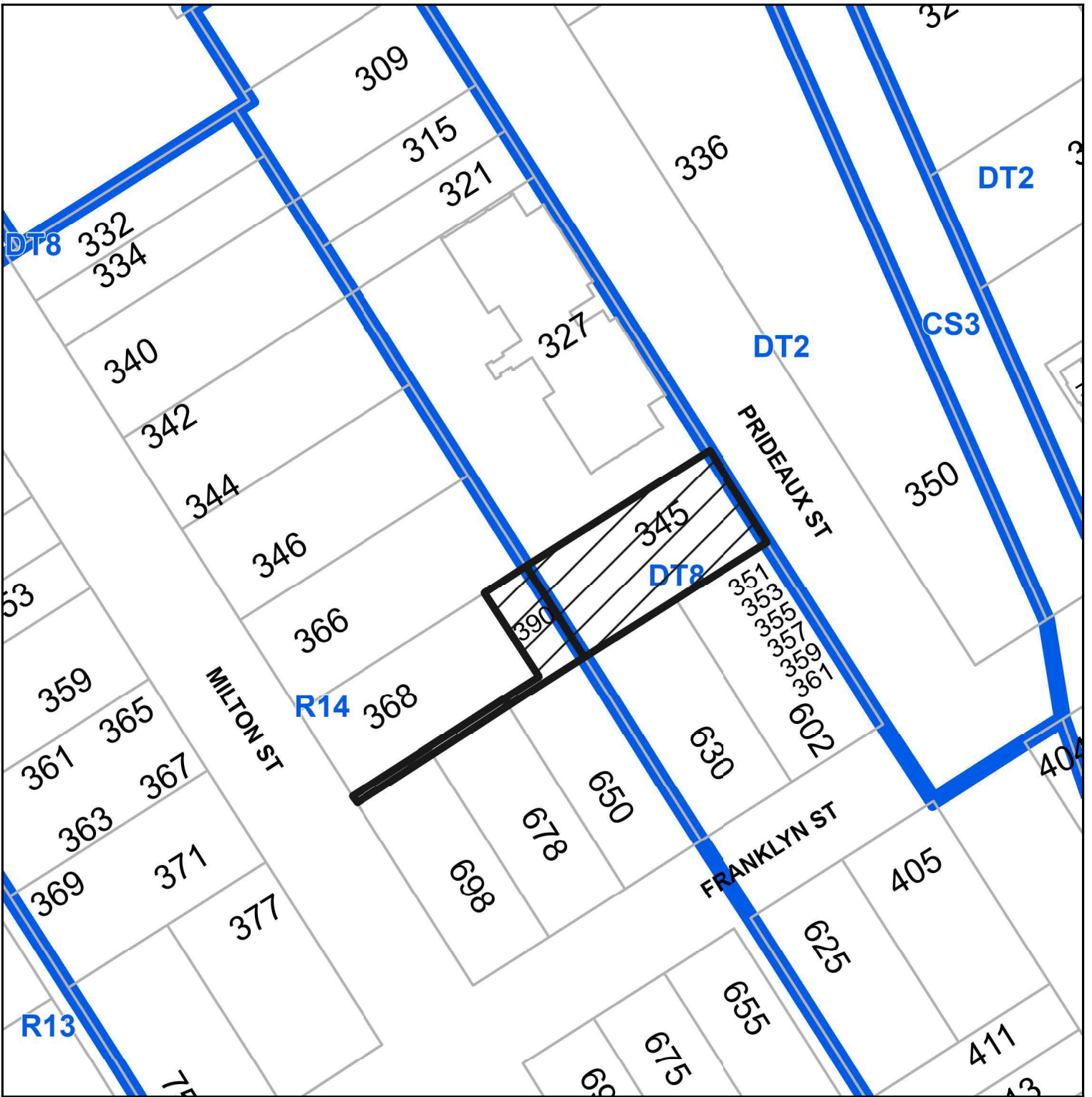


# SUBJECT PROPERTY MAP



 390 Milton / 345 Prideaux

## Design Intent

345 Prideaux Street, Nanaimo

Development Plan for a multi-family residential project that consists of 10 residential units. A mixture of 2 and 1 bedroom units has been used in the programming phase of this project in order to address the changing needs of the future residents. The development proposes a 3-storey building with enhanced surrounding landscaping and on-site parking for residents and visitors. Prominent edges and corners of the site and building have been designed with the intention of having a strong street presence, while blending in with the overall characteristics of the neighborhood.



# DEVELOPMENT PERMIT APPLICATION

345 Prideaux St, Nanaimo, BC V9R 2N4

AUGUST 2<sup>nd</sup> 2023 (ORIGINAL DP SUBMISSION)

SHEET LIST					
ARCHITECTURAL		CML		LANDSCAPE	
A00	COVER	C1	COVER	L1	LANDSCAPE PLAN
A1.1	PROJECT CONTEXT	C2	GENERAL NOTES	L2	PLANT SCHEDULE
A1.2	SITE CONTEXT PLAN & STATISTICS	C3	KEY PLAN		
A1.3	SITE PLAN	C4	GRADING PLAN		
A2.1	LEVEL 2 & 3 PLANS	C5	SERVICING PLAN		
A2.2	ROOF PLAN	C6	STORM WATER MANAGEMENT PLAN		
A3.1	ELEVATIONS AND MATERIAL BOARD	CT	SANITARY CATCHMENT PLAN		
A3.2	RENDERINGS				


2	NOV 01 23 ISSUED FOR UPDATED DP	PS	HR	
1	AUG 23 2023 ORIGINAL DEVELOPMENT PERM	PS	HR	
REV	DATE	DESCRIPTION	DR	RV

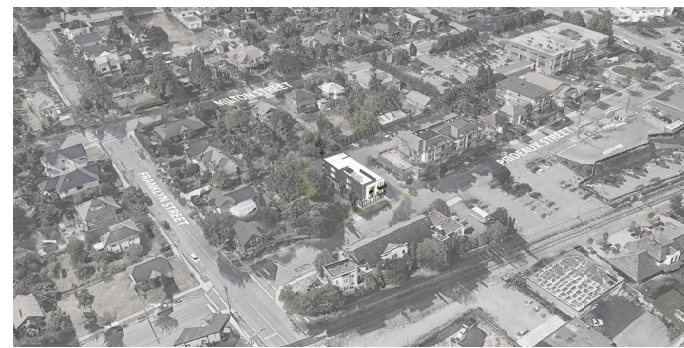
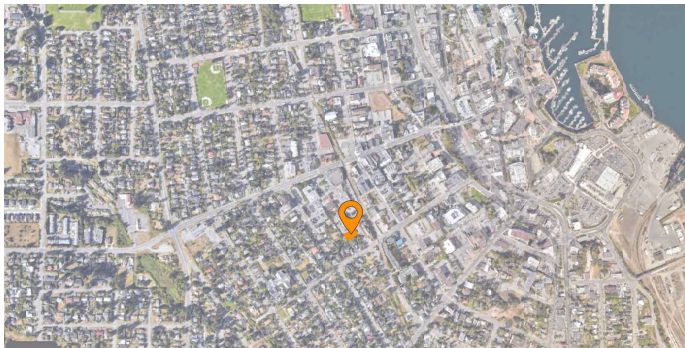
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PROJECT: MULTI-FAMILY DEVELOPMENT  
MILTON STREET, PRIDEAUX ST., NANAIMO, BC

SHEET TITLE:

**COVER  
RECEIVED  
DP1316  
2023-NOV-01**

SCALE: 1/8" = 1'-0"	SHEET NO: 1
DRAWING NO: A0.0	PROJECT NO: 22-8023A

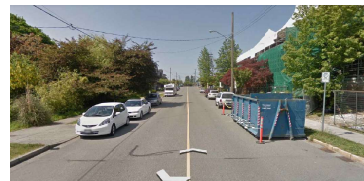


**1**  
A1.1 **BROADER CONTEXT**

**2**  
A1.1 **NEIGHBOURHOOD**



**3**  
A1.1 **STREETSCAPE ANALYSIS**



**4**  
A1.1 **STREET VIEWS (EXISTING)**


2 NOV 01/23	ISSUED FOR UPDATES	PS	HR	
1 AUG 22/23	ISSUED FOR DEVELOPMENT	PS	HR	
REV.	DATE	DESCRIPTION	DR	RV

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PROJECT:  
**MULTI-FAMILY  
DEVELOPMENT**  
MILTON STREET, PRIEBEAUX ST,  
NANAIMO, BC

STREET TITLE:  
**PROJECT  
CONTEXT**  
RECEIVED  
DATE  
**2023-NOV-01**  
City of Nanaimo

SCALE	1/8" = 1'-0"	REV	01
DRAWING NO.	A1.1	PROJECT NO.	22-8023A

**PROJECT STATISTICS**

**PROPERTY INFORMATION**

CIVIC ADDRESS: 345 Prideaux St, Nanaimo, BC V9R 2N4

**ZONING**

Existing Zone = DT8  
Proposed Zone = Same as above

**SETBACKS**

**Required Building Setbacks**  
Front Yard minimum (1<sup>st</sup> floor) = 3 m  
Front Yard minimum (2<sup>nd</sup> and 3<sup>rd</sup> floor) = 4 m  
Front Yard maximum (all floors) = 6 m  
Rear Yard = 3 m  
Side Yard = 3 m  
**Required Landscape Setbacks**  
Side Yard Setback = 1.8 m

**DENSITY**

Maximum Allowable Height = 10.5 m  
Proposed Maximum Height = 10.5 m  
Maximum Allowable Site Coverage = 50%  
Proposed Site Coverage = 22%  
Maximum Allowable FAR = 0.85  
Proposed FAR = 0.85

**PARKING**

**Vehicle Parking Requirements:**  
1 bedroom (area 5) = 0.50  
2 bedroom (area 5) = 0.90  
Visitor Parking = 1 per 22 required parking spaces (counted towards the total requirement)  
Accessible Parking = 1 stall (counted towards the total requirement)

**Vehicle Parking Requirement Calculation:**  
6 one bedroom units @ 0.50 = 3  
4 two bedroom units @ 0.90 = 3.6  
Visitor and accessible parking included in the above  
**TOTAL REQUIRED = 6.6 stalls**  
**TOTAL ROUNDED = 7** (rounding per clause 2.4 of Nanaimo Parking Bylaw)  
**TOTAL PROVIDED = 10 stalls**

**Vehicle Parking Stall Types:**  
Accessible stall = 1  
Standard stall = 5  
Small car = 4 (max. allowable 40% of total parking count)

**Bicycle Parking Requirement Calculation:**  
Short term:  
10 dwelling units @ 0.1 = 1  
**TOTAL (rounded) = 1 stall**  
Long term:  
10 dwelling units @ 0.5 = 5  
**TOTAL (rounded) = 5 stalls**

**STATISTICS**

Site Area = 808.54 sqm  
Main Floor Footprint = 182 sqm (1962 sqft)  
Site Coverage = 22% (Max. allowed 50%)  
Parking Provided = 10 stalls

**Residential Unit Mix:**  
One bedroom = 6  
Two bedroom = 4  
**TOTAL NUMBER OF UNITS = 10**

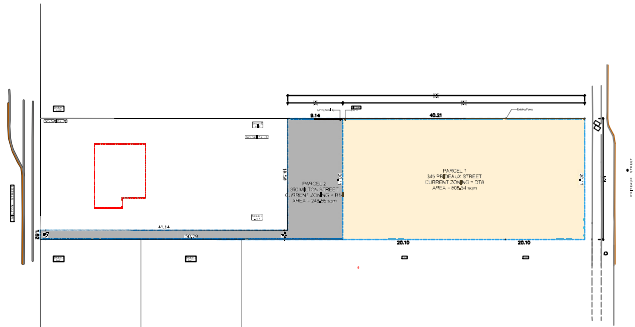
**GROSS FLOOR AREA CALCULATION**

**Main Floor:**  
+ Whole footprint (measured to the interior face of walls) = 1962 sqft  
+ Lobby = 380 sqft  
- Service room (max. reduction allowed is 100 sqft or 9.29 sqm) = 100 sqft  
- Storage room (max. reduction allowed is 100 sqft or 9.29 sqm) = 100 sqft  
**Main Floor G.F.A. = 1382 sqft**

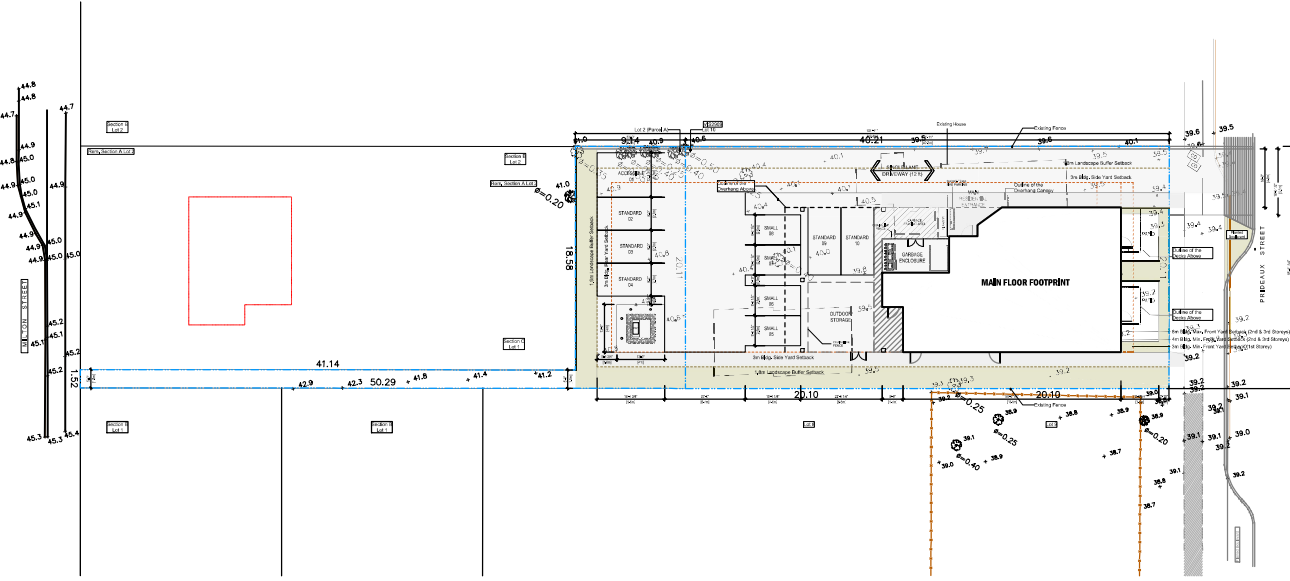
**Second Floor:**  
+ Whole floor (excluding decks) = 3293 sqft  
- Stair and elevator shaft = 277 sqft  
**Second Floor G.F.A. = 3016 sqft**

**Third Floor:**  
+ Whole floor (excluding decks) = 3293 sqft  
- Stair and elevator shaft = 277 sqft  
**Third Floor G.F.A. = 3016 sqft**

**TOTAL G.F.A. = 7414 sqft (688.78 sqm)**  
**SITE AREA = 8703 sqft (808.54 sqm)**  
**F.A.R. = 0.85**



**2 EXISTING ZONING PLAN**  
SCALE: 1/8" = 1'-0"  
TRUE NORTH PROJECT NORTH



**1 SITE CONTEXT PLAN**  
SCALE: 1/8" = 1'-0"  
TRUE NORTH PROJECT NORTH

2 NOV 21 23 ISSUED FOR UPDATES PS HR

1 AUGUST 2023 REVISION FOR DEVELOPMENT PS HR

REV DATE DESCRIPTION DR RV

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PROJECT: MULTI-FAMILY DEVELOPMENT

1201 - 1248 82 AVENUE, SURREY, B.C.

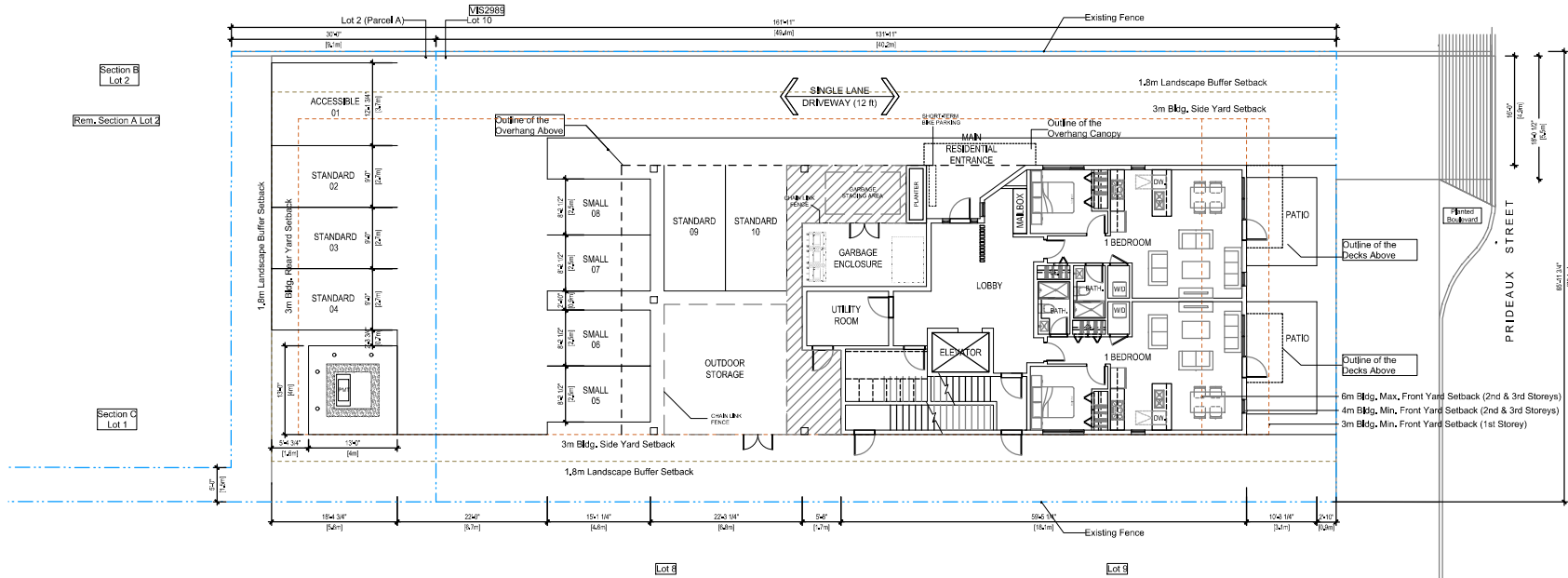
PROJECT TITLE: CONTEXT PLAN + STATISTICS

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DP1516  
2023-NOV-01

SCALE: 1/8" = 1'-0" PS: HR

DRAWING NO. PROJECT NO.

A1.2 22-8029A



REV	DATE	DESCRIPTION	DR	RV
3	NOV 01 23	ISSUED FOR UPDATES	PS	HR
1	AUG 02 22	RELEAS FOR DEVELOPMENT	PS	HR

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PROJECT: MULTI-FAMILY DEVELOPMENT

1111 TON STREET, PRIDEAUX ST., NANAIMO, BC

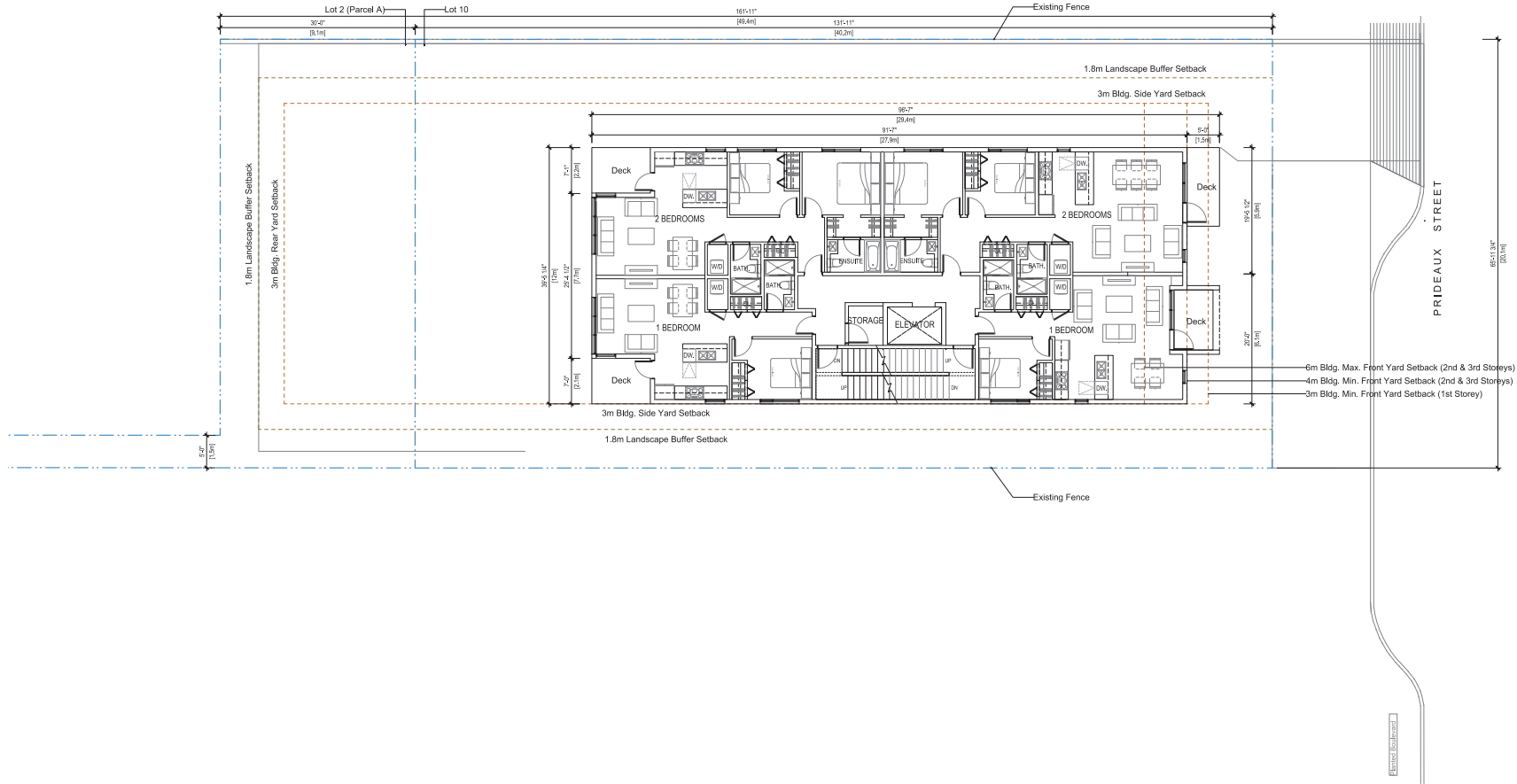
STREET TITLE:  
**SITE / GROUND FLOOR PLAN**

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DP 1316  
2023-NOV-01

SCALE	PROJECT NO.
1/8" = 1'-0"	22-8029A
<b>A1.3</b>	



**1 SITE / GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



REV	DATE	DESCRIPTION	DR	RV
2	NOV 01 23	ISSUED FOR UPDATED OP	PS	HR
1	AUG 22 22	ISSUED FOR DEVELOPMENT PERM	PS	HR

REV	DATE	DESCRIPTION	DR	RV
2	NOV 01 23	ISSUED FOR UPDATED OP	PS	HR
1	AUG 22 22	ISSUED FOR DEVELOPMENT PERM	PS	HR

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PROJECT:  
**MULTI-FAMILY DEVELOPMENT**

MILTON STREET, PRIDEAUX ST., NANAIMO, BC

SHEET TITLE:  
**LEVEL 2&3 PLANS**

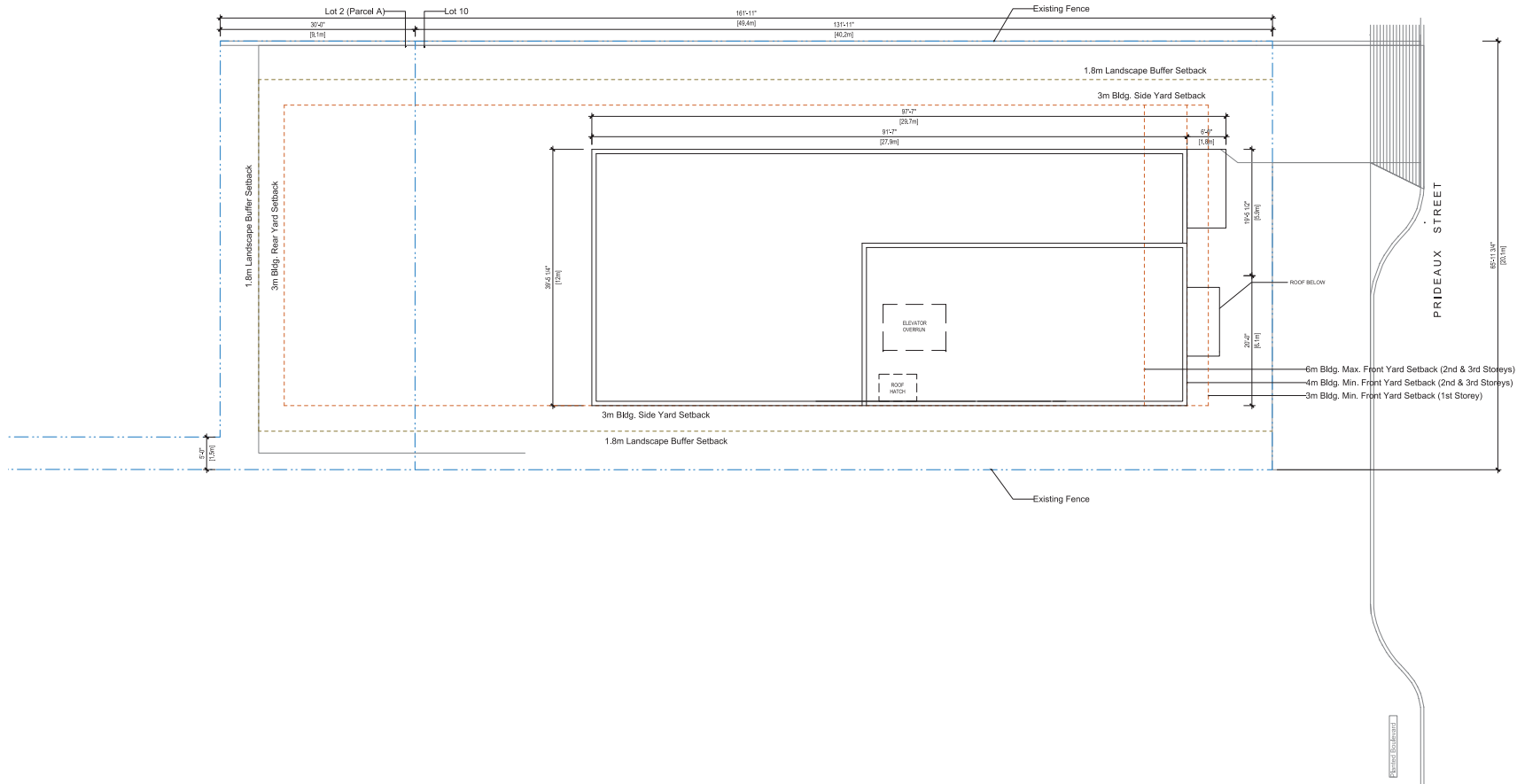
RECEIVED  
DP1316  
2023-NOV-01

SCALE	PROJECT NO.
1/8" = 1'-0"	22-8023A

**A2.1**



1  
A2.1  
SCALE: 1/8" = 1'-0"



1  
A2.2  
SCALE: 1/8" = 1'-0"

ROOF PLAN

REV.	DATE	DESCRIPTION	DR	RV
2	NOV. 01.23	ISSUED FOR UPDATED DP	PS	HR
1	AUG. 22.23	ISSUED FOR DEVELOPMENT PERM	PS	HR

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PROJECT: MULTI-FAMILY DEVELOPMENT

MILTON STREET, PRIDEAUX ST., NANAIMO, BC

SHEET TITLE:

ROOF PLAN

RECEIVED  
DP1316  
2023-NOV-01

SCALE	PROJECT NO.
1/8" = 1'-0"	22-8023A

A2.2





3 WEST ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"

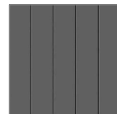


2 SOUTH ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"

**MATERIALS**



1 FLUTED/ALUMINUM PANEL



2 STANDING SEAM-CHARCOAL



3 STUCCO-LIGHT/DARK



REV	DATE	DESCRIPTION	DR	RV
2	NOV-01-23	ISSUED FOR UPDATES	PS	HR
1	AUG-02-23	RELEA FOR DEVELOPMENT	PS	HR

REV	DATE	DESCRIPTION	DR	RV
2	NOV-01-23	ISSUED FOR UPDATES	PS	HR
1	AUG-02-23	RELEA FOR DEVELOPMENT	PS	HR

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PROJECT: MULTI-FAMILY DEVELOPMENT

1101 TON STREET, PRIDEAUX ST., NANAIMO, BC

STREET TITLE: ELEVATIONS

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DP1316  
2023-NOV-01

SCALE	REV
1/8" = 1'-0"	1
DATE	PROJECT NO.
A3.1	22-8029A




2	NOV 01 23	ISSUED FOR PERMITTED DP	PS	HE
1	APR 24 23	REVISED FOR DEVELOPMENT PERM	PS	HE

REV.	DATE	DESCRIPTION	DR.	REV.

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PROJECT: **MULTI-FAMILY DEVELOPMENT**

MILTON STREET, PREDEAUX ST., NANAIMO, BC

SHEET TITLE:

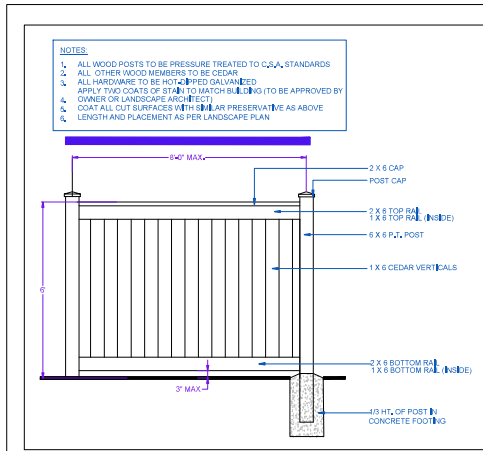
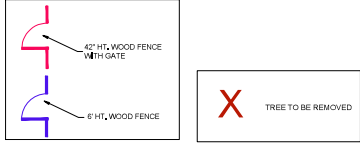
**RENDERINGS**

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**DP1316**  
 2023-NOV-01

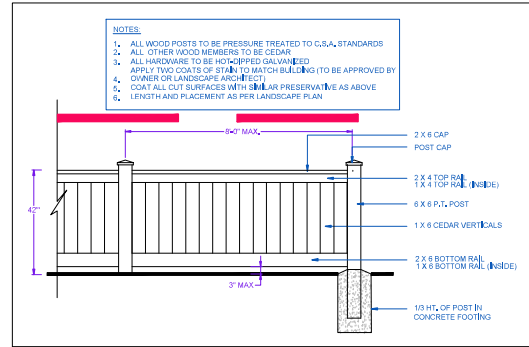
SCALE: 1/8" = 1'-0"	SHEET NO: 1
DATE PLOTTED: A3.2	PROJECT NO: 22-8023A

PLANT SCHEDULE				PMG PROJECT NUMBER: 23-087	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	REMARKS
<b>TREE</b>					
1		ACER PALMATUM 'NOMINI'S RED SENTINEL'	COLUMNAR RED JAPANESE MAPLE	12M HT. B&B	
2		ACER PLATANOIDES 'EMERALD QUEEN'	EMERALD QUEEN NORWAY MAPLE	6CM CAL; 2M STD; B&B	
8		ACER RUBRUM 'KARPOK'	COLUMNAR KARKOP MAPLE	6CM CAL; 2M STD; B&B	
3		FRAXINUS PENNSYLVANICA 'PRAIRIE SPIRE'	PRAIRIE SPIRE ASH	6CM CAL; 1.6M STD; B&B	
<b>SHRUB</b>					
4		AZALEA JAPONICA 'HINO CRIMSON'	AZALEA SINGLE DEEP CRIMSON	#2 POT; 25CM	
14		FOETICELLA MAJOR 'MOUNT ABERY'	MOUNT ABERY FOTHERGILLA	#2 POT; 40CM	
1		HYDRANGEA PANICULATA 'LIME LIGHT'	LIME LIGHT HYDRANGEA	#3 POT; 90CM	
30		PRUNUS LAUROCEASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#2 POT; 30CM	
7		RHOODODENDRON 'BOW BELLS'	RHOODODENDRON PINK	#3 POT; 30CM	
22		ROSA 'HIGHLAND ROSE'	HIGHLAND ROSE CORAL PINK	#2 POT; 40CM	
127		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	12M HT. B&B	
1		VIORNIUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIORNIUM	#7 POT; 80CM	
<b>GRASS</b>					
23		CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT	
15		HELIOTROPION SEMPERVIRENS	BLUE OAT GRASS	#1 POT	
41		IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT	
48		JUNCUS EFFRUSUS	COMMON RUSH	#1 POT	
<b>PERENNIAL</b>					
48		IBERIS SEMPERVIRENS 'SNOWFLAKE'	SNOWFLAKE EVERGREEN CANDYTUFF	15CM POT	
57		VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT; 30CM	

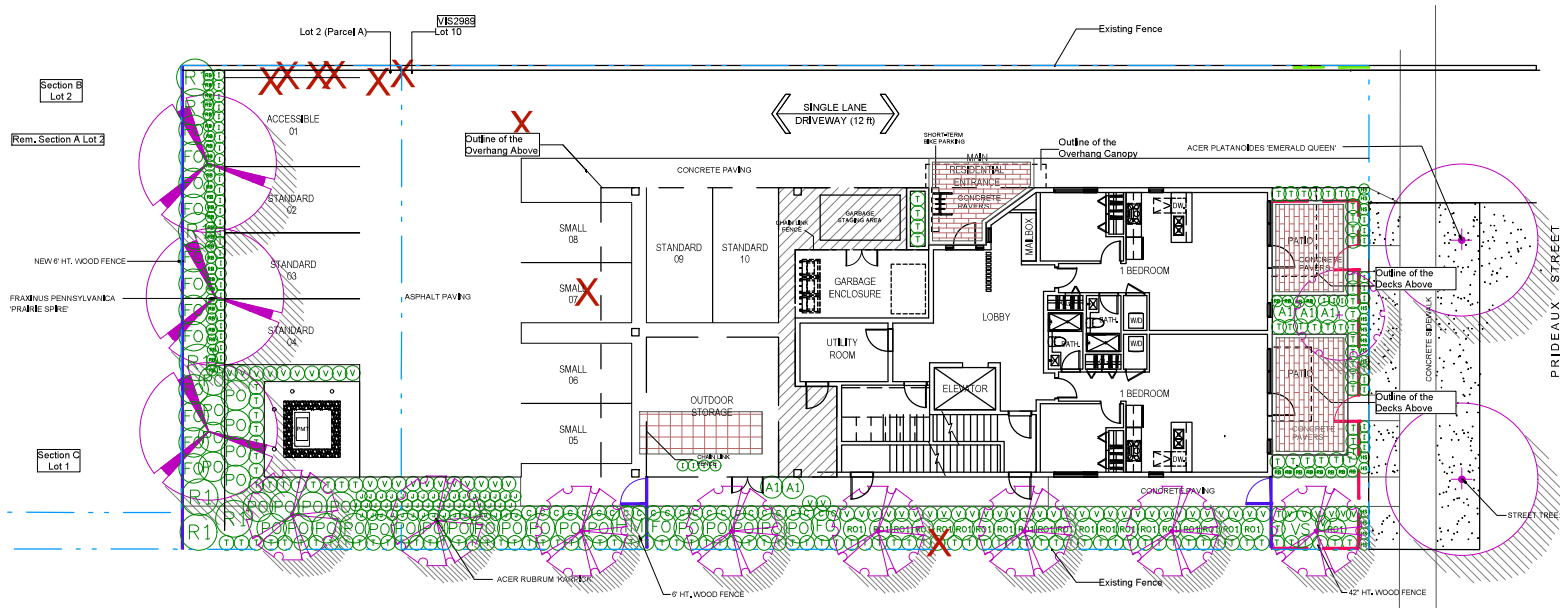
NOTES: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIMAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF 14 DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



1 6' HT. WOOD FENCE  
1/2" = 1'-0"



2 42' HT. WOOD FENCE  
1/2" = 1'-0"



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Burnaby, British Columbia, V5C 6G9  
p. 604-294-0111 • f. 604-294-0022

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	23NOV23	BE CORNER WALKWAY	BA
2	23NOV23	NEW SITE PLAN	MM
3	23NOV23	NEW SITE PLAN	MM
4	23NOV23	NEW SITE PLAN	MM
5	23NOV23	SECTIONAL TREE REMOVED	MM
6	23NOV23	CHG. INFO ADDED TO ISSUE	MM
7	23NOV23	NEW SITE PLAN CLIENT COMMENTS	MM

CLIENT:

PROJECT:

**MIXED USE BUILDING**  
MILTON & PRIDEAUX STREETS  
NANAIMO, B.C.

DRAWING TITLE:  
**LANDSCAPE PLAN**

DATE: 23 JUN 01 DRAWING NUMBER:  
SCALE: 1/8" = 1'-0"  
DRAWN: MM  
DESIGN: MM  
CHKD: BA  
**L1**  
RECEIVED  
DP1316 OF 2  
2023-NOV-01

SEAL:

TREES



ACER PALMATUM 'TWOMBLY'S RED SENTINEL'    ACER PLATANOIDES 'EMERALD QUEEN'    ACER RUBRUM 'KARPICK'    FRAXINUS PENNSYLVANICA 'PRAIRIE SPIRE'

SHRUBS



AZALEA JAPONICA 'HINO CRIMSON'    FOTHERGILLA MAJOR 'MOUNT AIRY'    HYDRANGEA PANICULATA 'LIMELIGHT'    PRUNUS LAUROCERASUS 'OTTO LUYKEN'    RHODODENDRON 'BOW BELLS'    ROSA MEIDLAND 'FERDY'    THUJA OCCIDENTALIS 'SMARAGD'

GRASSES



CAREX OSHIMENSIS 'EVERGOLD'    IMPERATA CYLINDRICA 'RED BARON'    JUNCUS EFFUSUS    HELICTOTRICHON SEMPERVIRENS

GROUND COVERS



IBERIS SEMPERVIRENS 'SNOWFLAKE'    VACCINIUM VITIS-IDAEA


1	2305101	BE CORNER WALKWAY	BA
1	2305101	NEW SITE PLAN	MM
4	2305123	NEW SITE PLAN	MM
1	2305123	REVISIONS TREE REMOVAL	MM
2	2305126	CHK INFO ADDED ON ISSUE	MM
1	2305126	NEW SITE PLAN CLIENT COMMENTS	MM

NO., DATE    REVISION DESCRIPTION    DR.

CLIENT:

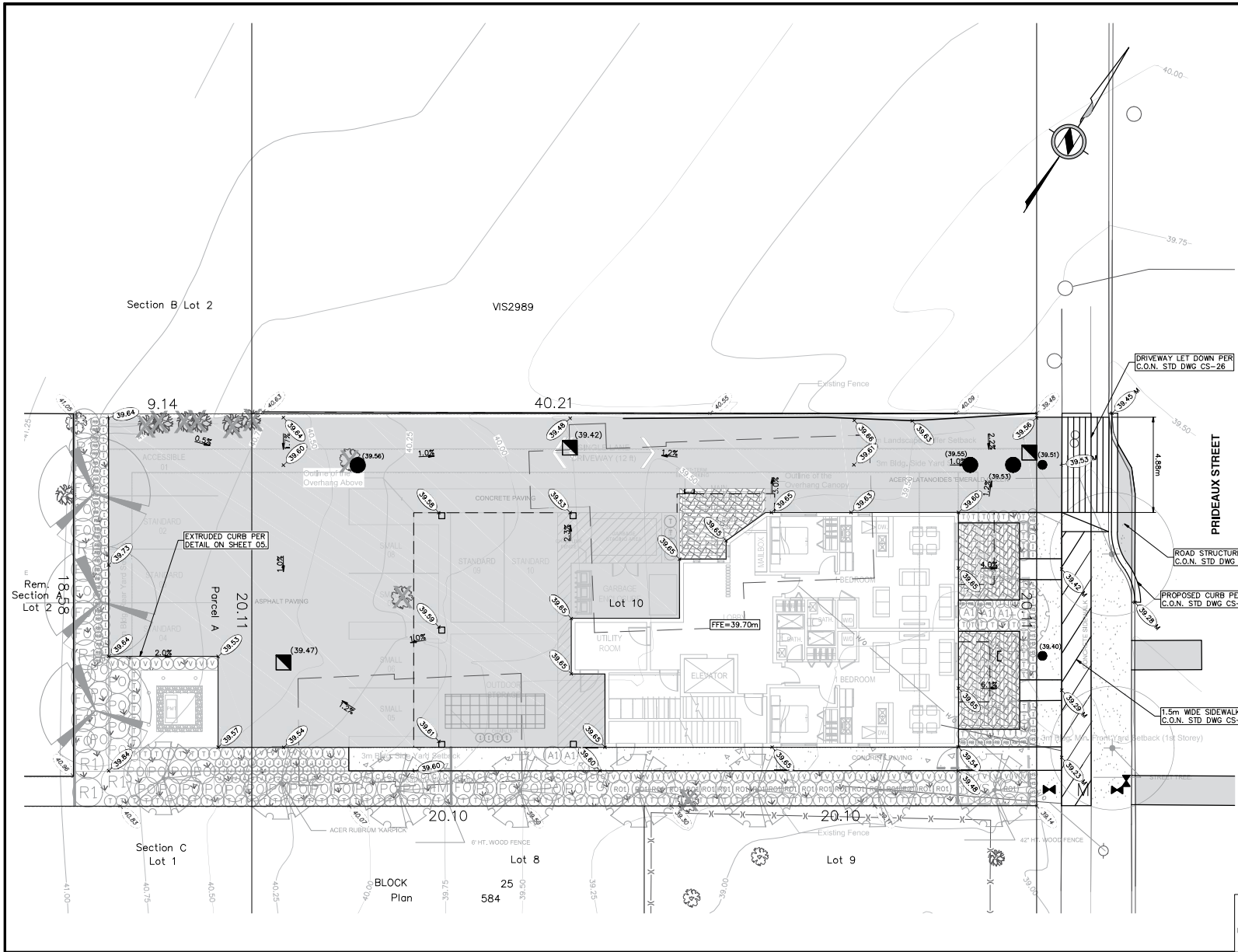
PROJECT:

**MIXED USE BUILDING**  
MILTON & PRIDEAUX STREETS  
NANAIMO, B.C.

DRAWING TITLE:  
**PLANT IMAGES**

DATE: 13JUN.01    DRAWING NUMBER:  
SCALE:  
DRAWN: MM  
DESIGN: MM  
CHKD: BA

**L2**  
**RECEIVED**  
**OP1316**  
**2023-NOV-01**  
**OF 2**



- SITE GRADING NOTES:**
- REFER TO GENERAL NOTES SHEET FOR MINIMUM PIPE COVER, PIPE MATERIALS, AND TESTING PROCEDURES.
  - THE CONTRACTOR MUST CONTACT THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.
  - ALL CONSTRUCTION WITHIN PRIVATE PROPERTY IS TO BE IN ACCORDANCE WITH BRITISH COLUMBIA BUILDING CODE 2018, BRITISH COLUMBIA PLUMBING CODE 2018, AND IS TO BE ACCEPTABLE TO THE MUNICIPAL BUILDING AND PERMITS DEPARTMENT.
  - ALL BUILDINGS AND ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
  - ALL DIMENSIONS AND ELEVATIONS ARE IN METERS AND TO GEODETIC DATUM, UNLESS OTHERWISE NOTED.
  - ALL EXCAVATION, FILL PLACEMENT AND COMPACTION TO BE IN ACCORDANCE WITH GEOTECHNICAL CONSULTANTS REPORT.
  - ALL ON-SITE ASPHALT PAVEMENT TO BE CONSTRUCTED AS PER PAVEMENT STRUCTURE DETAIL ON THE DETAIL SHEET.
  - CHANGES TO GRADE SHALL BE FORMED BY SMOOTH CURVES.
  - ALL BUILDINGS EXIT TO GRADE FROM THE LOWER FLOOR, UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO EMPLOY GEOTECHNICAL CONSULTANT FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUBGRADE AND CONSTRUCTION OF THE PAVEMENT STRUCTURE.
  - CONTRACTOR TO REVIEW DETAILS SHEET TO CONFIRM SITE SPECIFIC DESIGN REQUIREMENTS. REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD PRIOR TO THE START OF CONSTRUCTION.

**SITE GRADING LEGEND**

EXISTING GROUND ELEVATION	+ 99.99
FINISHED GROUND ELEVATION	+ 99.99
FINISHED GROUND ELEVATION AT TOP OF WALL	+ 99.99/TW
FINISHED GROUND ELEVATION AT BOTTOM OF WALL	+ 99.99/BW
FINISHED GROUND ELEVATION TO MEET EXISTING ELEVATION	+ 99.99/M
GRADE	9.9%
EXISTING GROUND CONTOUR	99.5
MINIMUM BUILDING ELEVATION	MBE=95.99m
FINISHED FLOOR ELEVATION	FFE=99.99m
CURB & GUTTER - SEE DETAIL	
EDGE OF ASPHALT PAVEMENT	
RETAINING WALL - BY OTHERS	
EXPOSED FOUNDATION WALL	
CATCH BASIN	
LAWN BASIN	
DRAINAGE SWALE	
RIM ELEVATION	(99.99)
ASPHALT PAVEMENT - SEE DETAIL	
CONCRETE PAVEMENT - SEE ARCH.	
LANDSCAPING AREA - SEE LARCH.	
GRAVEL AREA - SEE LARCH.	
PERMEABLE PAVERS - SEE LARCH.	
ROOF AREA - SEE ARCH.	

**NOT FOR CONSTRUCTION**

**NOTICE TO CONTRACTOR**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEER'S DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.

LEGAL DESCRIPTION: PARCEL A (DD 30530N) OF SECTION A, OF LOT 2 AND LOT 10, BLOCK 25, SECTION 1, NANAIMO DISTRICT, PLAN 584

BENCHMARK MONUMENT: 77H5068, ELEVATION: 38.462m  
LOCATED AT: FRANKLYN STREET & PRIDEAUX STREET

REV. NO.	DESCRIPTION	DR	CH	DATE	APP
0	ISSUED FOR DEVELOPMENT PERMIT COORDINATION	PAW	MB	2023JUN23	SAL
1	ISSUED FOR DEVELOPMENT PERMIT	PAW	MB	2023JUL18	SAL
2	ISSUED FOR COORDINATION	PAW	MB	2023SEP29	SAL
3	ISSUED FOR DEVELOPMENT PERMIT	PAW	MB	2023OCT13	SAL
4					

**APLIN MARTIN**

EGBC Permit to Practice Number #1001018  
ApIn & Martin Consultants Ltd.  
#104 - 6596 Applecross Road, Nanaimo, B.C., Canada V9V 0A4  
Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com

CLIENT: **STONEHAUS REALTY - 1371754 BC LTD.**  
103-20353 64 AVENUE, LANGLEY, BC V2Y 1N5  
Email: info@cheridall.com

PROJECT: **390 MILTON/345 PRIDEAUX MULTI-FAMILY RESIDENTIAL**  
390 MILTON STREET/345 PRIDEAUX STREET, NANAIMO, BC

The location of existing underground utilities are shown in an approximate way only & verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might be occasioned by the contractor's failure to readily locate and preserve any and all underground utilities.

Permit to Practice #1001018  
2023-11-01

TITLE: **GRADING PLAN**

DESIGN: PAW CHECK: MB  
DRAWN: PAW APPR: SAL

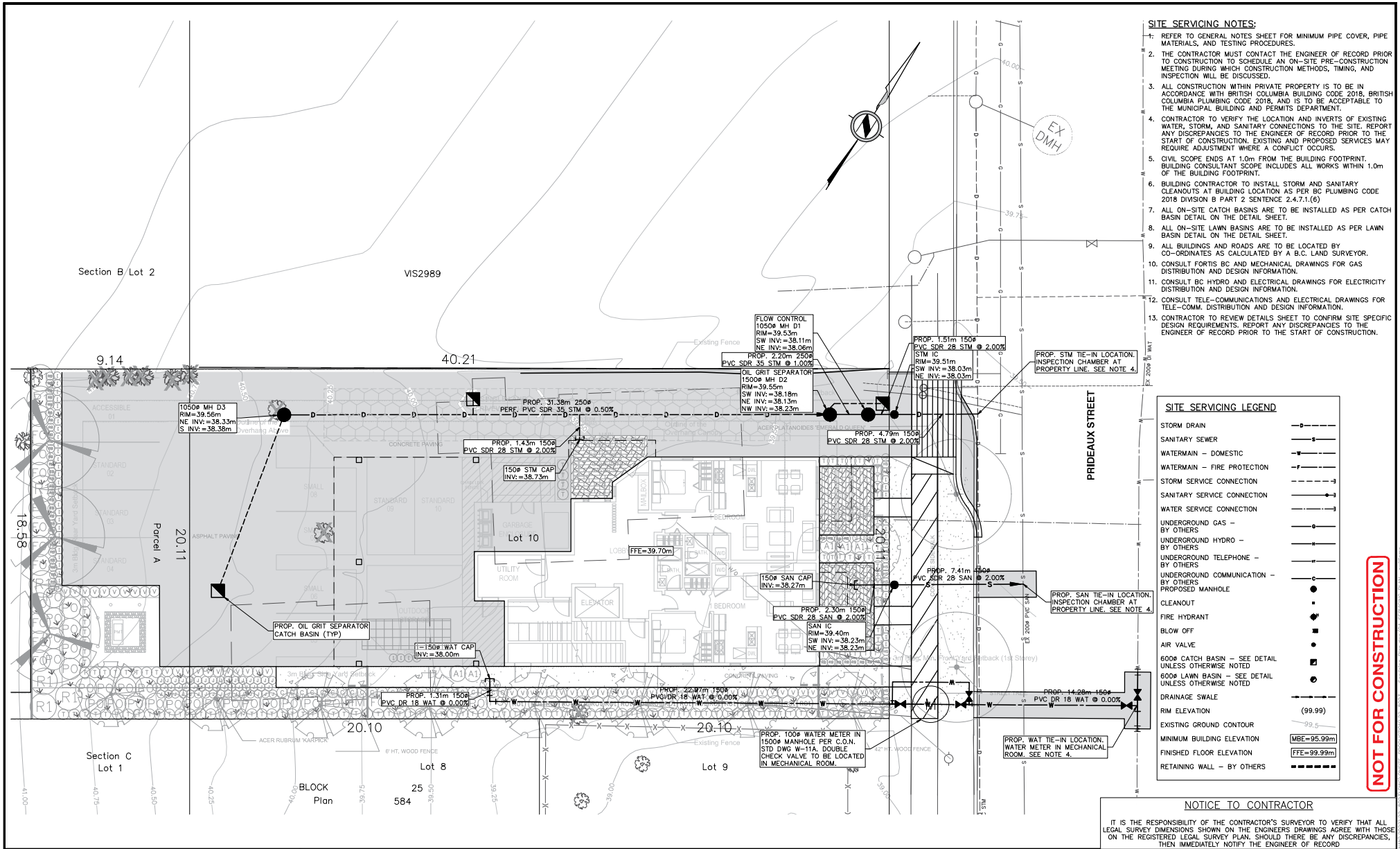
A & M FILE: **22-8023**

DRAWING DATE: **FEB, 2023**

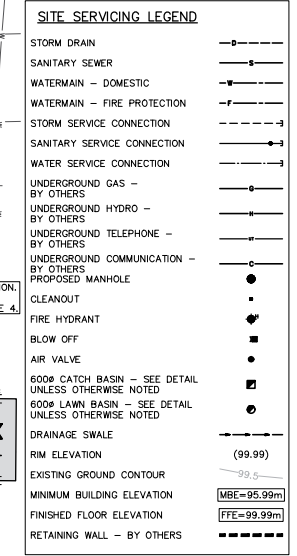
PROJECT NO. SCALE: HORIZ: AS NOTED  
VERT: N/A

A & M DRAWING NO. SHEET NO. REV.  
**22-8023- C100** **03 OF 08** **3**

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**2023-NOV-01**  
Current Planning



- SITE SERVICING NOTES:**
- REFER TO GENERAL NOTES SHEET FOR MINIMUM PIPE COVER, PIPE MATERIALS, AND TESTING PROCEDURES.
  - THE CONTRACTOR MUST CONTACT THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.
  - ALL CONSTRUCTION WITHIN PRIVATE PROPERTY IS TO BE IN ACCORDANCE WITH BRITISH COLUMBIA PLUMBING CODE 2018, BRITISH COLUMBIA PLUMBING CODE 2018, AND IS TO BE ACCEPTABLE TO THE MUNICIPAL BUILDING AND PERMITS DEPARTMENT.
  - CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM, AND SANITARY CONNECTIONS TO THE SITE. REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD PRIOR TO THE START OF CONSTRUCTION. EXISTING AND PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS.
  - CIVIL SCOPE ENDS AT 1.0m FROM THE BUILDING FOOTPRINT. BUILDING CONSULTANT SCOPE INCLUDES ALL WORKS WITHIN 1.0m OF THE BUILDING FOOTPRINT.
  - BUILDING CONTRACTOR TO INSTALL STORM AND SANITARY CLEANOUTS AT BUILDING LOCATION AS PER BC PLUMBING CODE 2018 DIVISION B PART 2 SENTENCE 2.4.7.1.(6)
  - ALL ON-SITE CATCH BASINS ARE TO BE INSTALLED AS PER CATCH BASIN DETAIL ON THE DETAIL SHEET.
  - ALL ON-SITE LAWN BASINS ARE TO BE INSTALLED AS PER LAWN BASIN DETAIL ON THE DETAIL SHEET.
  - ALL BUILDINGS AND ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
  - CONSULT FORTIS BC AND MECHANICAL DRAWINGS FOR GAS DISTRIBUTION AND DESIGN INFORMATION.
  - CONSULT BC HYDRO AND ELECTRICAL DRAWINGS FOR ELECTRICITY DISTRIBUTION AND DESIGN INFORMATION.
  - CONSULT TELE-COMMUNICATIONS AND ELECTRICAL DRAWINGS FOR TELE-COMM. DISTRIBUTION AND DESIGN INFORMATION.
  - CONTRACTOR TO REVIEW DETAILS SHEET TO CONFIRM SITE SPECIFIC DESIGN REQUIREMENTS. REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD PRIOR TO THE START OF CONSTRUCTION.



**NOT FOR CONSTRUCTION**

**NOTICE TO CONTRACTOR**

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PROJECT: **390 MILTON/345 PRIDEAUX STREET, NANAIMO, BC**



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TITLE: **SERVICING PLAN**

DESIGN: PAW  
DRAWN: PAW  
CHECK: MB  
APPR: SAL

A & M FILE: **22-8023**

DRAWING NO.: **22-8023- C200**

PROJECT NO.: **A & M DRAWING NO. 22-8023- C200**

SCALE: HORIZ. AS NOTED  
VERT. N/A

DRAWING NO.: **A & M DRAWING NO. 22-8023- C200**

SHEET NO.: **04 OF 08**

REV. **3**

DATE: **FEB, 2023**

**RECEIVED**  
**DP1316**  
**2023-NOV-01**  
Current Planning

