



May 09, 2023

DESIGN RATIONAL

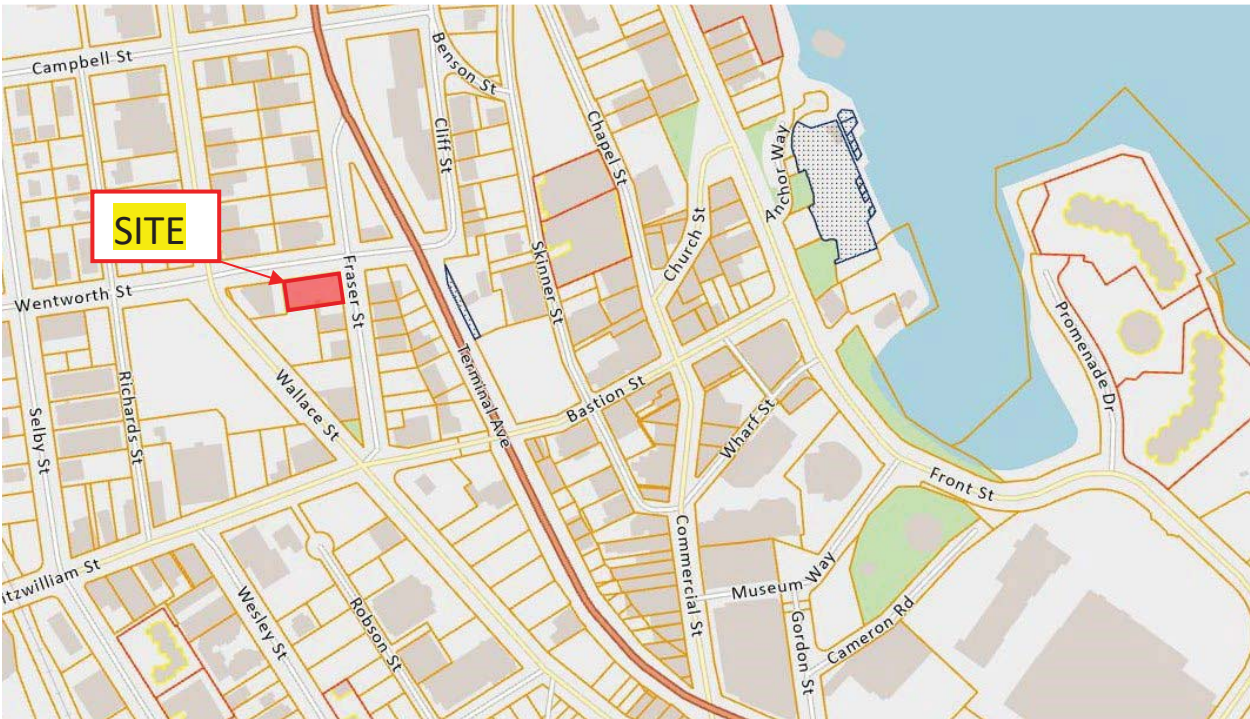
231 FRASER STREET, NANAIMO, BC

DEVELOPMENT PERMIT APPLICATION

LEGAL ADDRESS: Lot 5, Block 31, Section 1, Nanaimo District, Plan 584.

DEVELOPMENT PERMIT AREA HCA1 - DOWNTOWN

ZONING DT3 - SITE AREA 808.29 SQ.M.



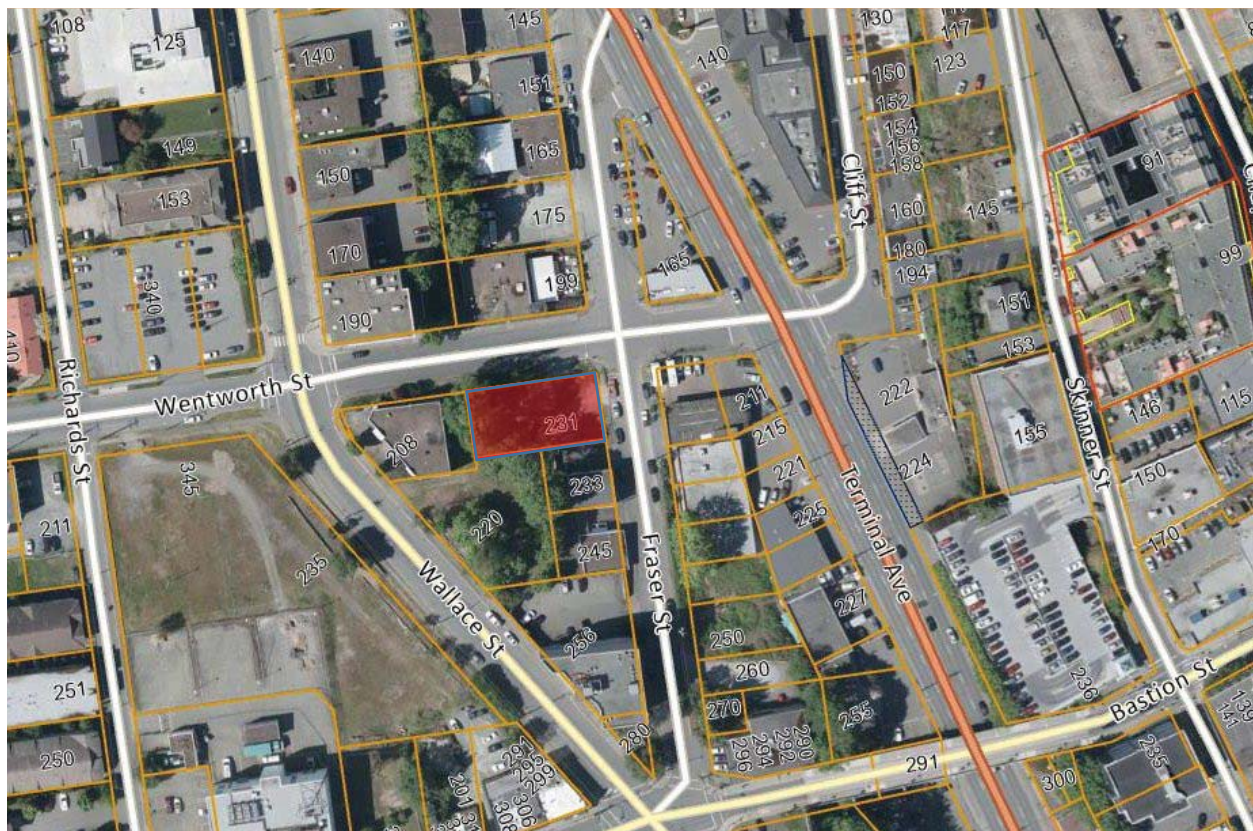
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Current Planning

LOCATION

The property is located within the Development Permit Area HCA1 Downtown and DPA8 Form and Character at the corner of Fraser Street and Wentworth Street. The property relates to the commercial /light industrial use adjacent to the island Highway on Terminal Avenue.

The site is surrounded on two sides with steep roads Wentworth and Fraser and are not suitable for easy pedestrian mobility and does not connect easily with the downtown core. The immediate context of the site lies within three vehicle repair shops/ sales and one well established restaurant. The surrounding buildings are in need of repair built around the 1950's or earlier, of commercial use without any specific heritage character..

231 Fraser Street Location



SITE CONTEXT

The Site falls within the Wallace Precinct which incorporates the intersection of Fitzwilliam and Wallace where Fraser Street begins and drops down towards Wentworth Street further connecting the vista towards the Island Highway at Terminal Avenue. Within the Wallace/ Fraser/ Wentworth block there are several undeveloped sites including the

subject site. The Downtown Urban Design Guidelines suggest 4 -5 storey buildings with parking at first floor level. The neighbourhood primarily consists of single storey utilitarian light industrial/ commercial buildings in need of upgrading or redevelopment. One building at the intersection of Wallace and Fitzwilliam is a 4 storey concrete building, brutalist in design forms a counter point to the block and is visible from the Island Highway on account of the elevational difference. The other existing building stock is modest at best with many structures requiring refurbishing and maintenance and having no significant architectural heritage design quality present within the immediate block.



View south- Fraser Street.

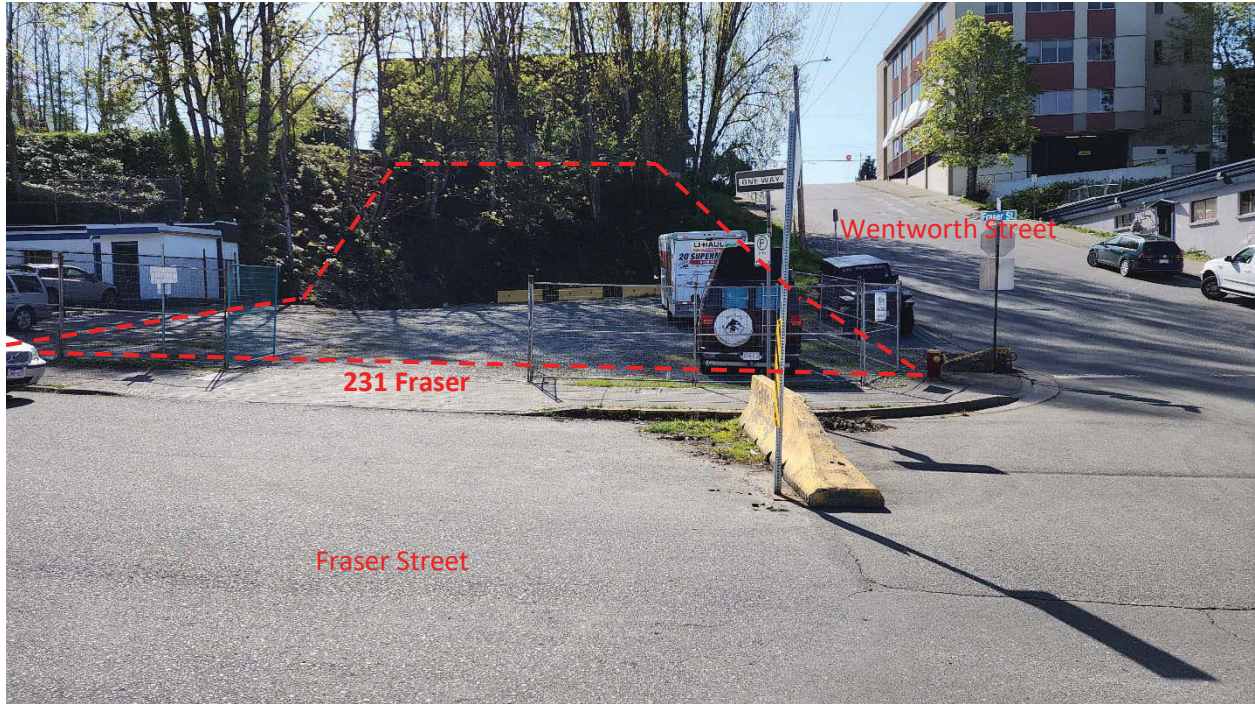


View of Fraser towards Wentworth Street



View of site at Fraser and Wentworth Street.

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View of Site from Fraser Street



View of Site looking north on Fraser



View of Wentworth



231 FRASER STREET SITE



View of bank at rear of site



Adjacent property on Fraser Street (Volvo Auto Repair)



View from rear of site looking North across Fraser Street



Restaurant on north corner of Wentworth and Fraser



Fraser Street towards Terminal Avenue

ZONING

DT3 – Downtown

Wallace DT3 This zone provides for residential and commercial uses with retail at the street level.

Zoning

DT3 Density	FAR 2.55=22,201.68 sq.ft.	MixedUse NA	Tier 1 +0.2	Tier 2 +0.25		
DT3 Setbacks	Min Lot Size 370 m2	Min Lot Frontage 12m	Min Lot Depth 25m			
DT3 Siting	Front Yd 3.0m	Side Yd 0.0m	Flank Yd 3.0m	Rear Yd 10.0m		
DT3 Lot Coverage	100%	Max Height 14.0m	Min Height NA			

PROJECT DATA:

Site area:	8,706.54 sq. ft.	808.86 m ²
FAR	0.09	
Gross project area:	792.0 sq.ft. (1 Level)	73.57m ²
Lot Coverage:	9.0%	
Density:	Project conforms to the permissible density allowed.	
Setbacks:	Setbacks conform to Zoning Bylaw	

TOPOGRAPHY

The topography of the site consists of a gentle slope, 1.0m over 80% of site and a steep slope at the rear of the property rising approximately 6.0m. Street level elevation at Fraser is 8.0m – back of site 9.0m rising to 16.0m elevation.

SITE DESIGN / LANDSCAPING

Main access to the site is from Fraser Street. Wentworth is considered too steep to have a satisfactory access for pedestrians and automobiles. Parking for the development is located at the rear of the building and accessed from Fraser Street.

Parking is designed to accommodate 8 regular size cars, and 6 small cars and one accessible parking space, for a total of 14 stalls, which complies with the Zoning Bylaw.

The landscape plan addresses the normal concerns of the zoning bylaw providing the appropriate screening for the adjoining properties. The plan also provides street trees along Wentworth Street with specimen trees on each corner of the Fraser frontage. Trees on the steep portion of the site will be retained with hydroseeding to provide ground cover and soil stabilisation.

The planting design does not create hidden areas and features low shrubs along the street frontages to maintain clear sightlines and limiting any hiding spots.

Main areas and circulation paths are carefully lighted to allow clear visibility during winter months and nighttime periods for safety of occupants to the project.

The landscape architect will provide a detailed description of the plant material and overall concept.

A fully automatic irrigation system is provided and will be designed to minimise the water consumption through the use of water efficient fixtures with low volume heads and rain sensors. This will ensure the survival of the landscaping especially at the early planting stage before the landscaping is fully established.

BUILDING DESIGN

The building use is commercial and is developed as a minimum building for a short-term development until future adjacent land is acquired to facilitate a more comprehensive development. The function of the building is a site office to manage auto leasing and

sales. The site will be developed in the future to the full intent of the recommendations of the Downtown Design Guidelines. The overall massing of the building is a single storey and has been sited with minimum setbacks on the corner of Wentworth and Fraser. As the building is small we have provided additional structure to visually increase the massing and presence on that strategic corner. Special LED lighting is incorporated in the vertical metal siding to add interest and animation on the building corner which will be visible from Terminal Avenue travelling south. The building will be fenced with commercial aluminum picket fence to provide security.

The architectural design of the building incorporates increased articulation of the façade with vertical height elements to act as focal points as well as glazing around the front corner to maximise the animation and massing for this small building.



General Perspectives of the Development



Rendering of building at corner of Fraser and Wentworth



North elevation of building on Wentworth Street



Aerial view of building at Fraser and Wentworth



Aerial view of site on Fraser

Exterior materials on the building are a combination of horizontal metal siding (Linarte Cladding) for the facias and vertical elements and high quality acrylic Dryvit Outsulation stucco for the recessed panels, giving the overall project a high-quality commercial finish.

The frontage landscaping plays a fundamental role in the development, with low level plantings along the building front so as not to obscure the building but having focal points at the end of the site on Fraser and street trees on the sloping grade along Wentworth Street adhering to CEPTD planning principles throughout the project. The large mature fir trees on the steep bank at the rear will be protected and maintained. Ground cover on the steep bank will be hydroseeded variegated grasses to maintain the and stabilize the soil. The transition between the slope and the level areas will incorporate a landscape retaining wall at the toe of the slope with flowering shrubs in the backfilled area behind the retaining wall.

The architectural vocabulary of the building, choice of materials and articulation of the levels of the project and landscape design result in a high quality project with a sophisticated West Coast character respectful of the neighbours and responding to the Urban quality of the general area.

Sustainability

Development Density

The development consists of a very small building as a temporary holding on the property until other properties become available to assemble for a larger more comprehensive development with a residential component. In the meantime the developed density is negligible (0.09) but the future development would be 2.55 at a minimum.

Site Development

- All measures will be taken to maintain any significant existing landscaping
- Erosion and sediment control plan to meet City of Nanaimo requirements will be implemented
- Light colour permeable surfacing in addition to tree canopy and planted areas provide reflectivity and summer shade thus contributing to the reduction of heat island effect.
- Light pollution will be mitigated by minimised lighting levels for landscape and building lighting maintaining a *dark sky* approach
- Use of a high percentage of native and drought resistant planting to minimise water consumption through irrigation
- Low consumption plumbing fixtures and water sense certified appliances will be provided for all residential units including minimal wait and equal pressure hot water to further reduce water consumption.

- Low VOC materials will be used throughout the project including paints, coatings, adhesives, sealants to improve indoor air quality
- LED lighting will be specified where appropriate
- Roof overhangs and balconies as well as *brise soleil* provide solar shading to exposed faces

SAFETY AND SECURITY

Site lighting for the site will be provided to meet the requirements of good site design for security and safety of the parking and entrance areas. Landscape lighting along the transition of the sloped area and at entry points will observe the generally accepted CPTED principles.

Garbage:

A garbage storage area is located at the rear of the building and will be appropriately screened. Collection of recyclable materials and refuse will be by a private collector.

ON SITE PARKING

Vehicle access to the parking lot is provided through the Fraser Street Entrance.

PROJECT DATA:

Service Office area:	792.00 sq.ft.	(73.57 m2)
Sales area:	244.79 sq.ft.	(22.74m2) / 10.0 = 2.2 spaces
Total spaces required:	2	= 2 spaces

Parking provided on site:

Regular spaces =	8
Small car spaces =	6
Accessible space =	1 (incl)

Total Parking spaces provided 14 = **14 spaces**

ROAD DEDICATION

The project does not anticipate any road dedication.

FRONTAGE WORKS

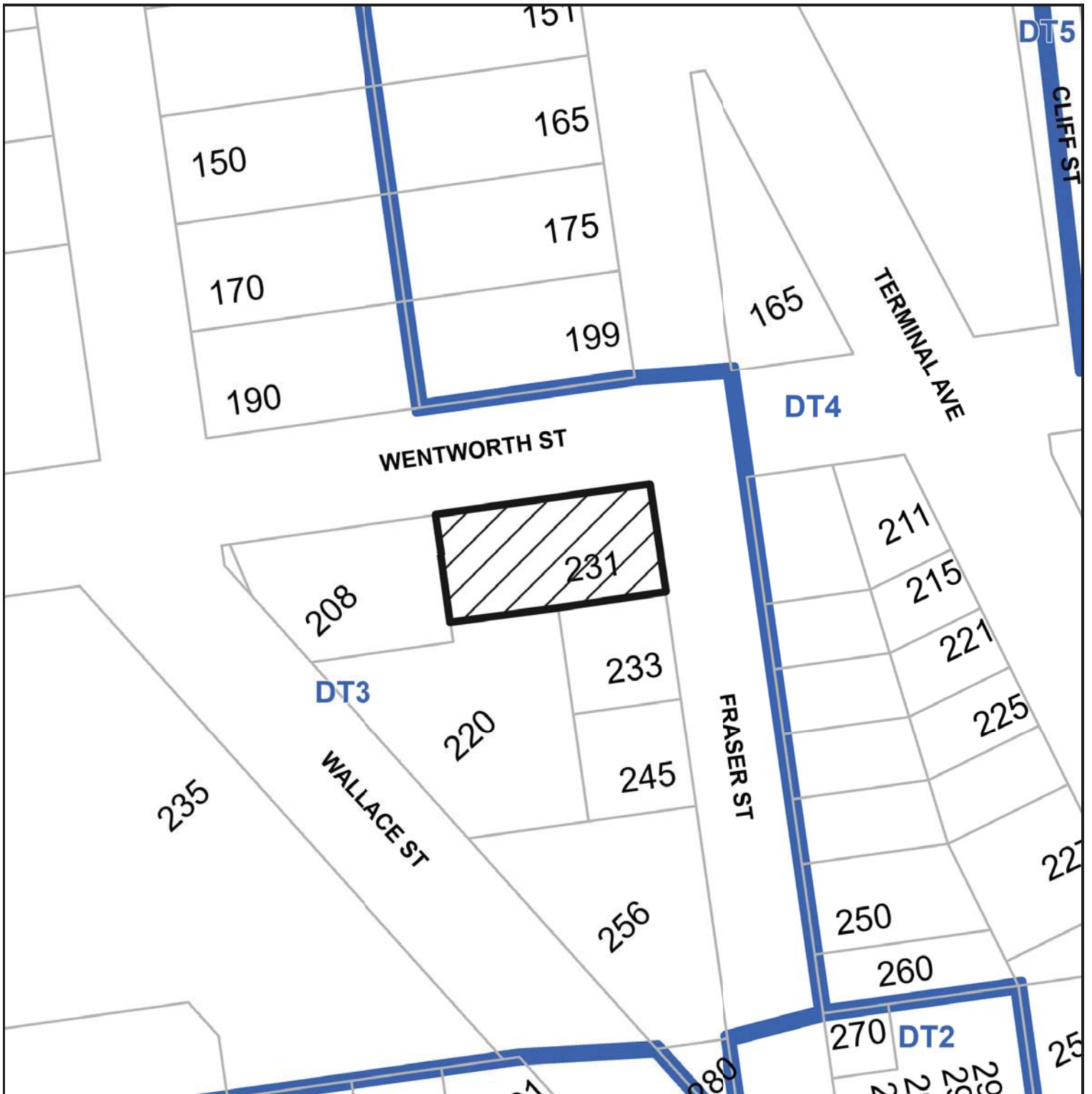
Please see the Civil report for some of the considerations for the project.

VARIANCES

No Variances are required.

Ian Niamath Architect

SUBJECT PROPERTY MAP



231 Fraser Street



WENTWORTH STREET

FRASER STREET

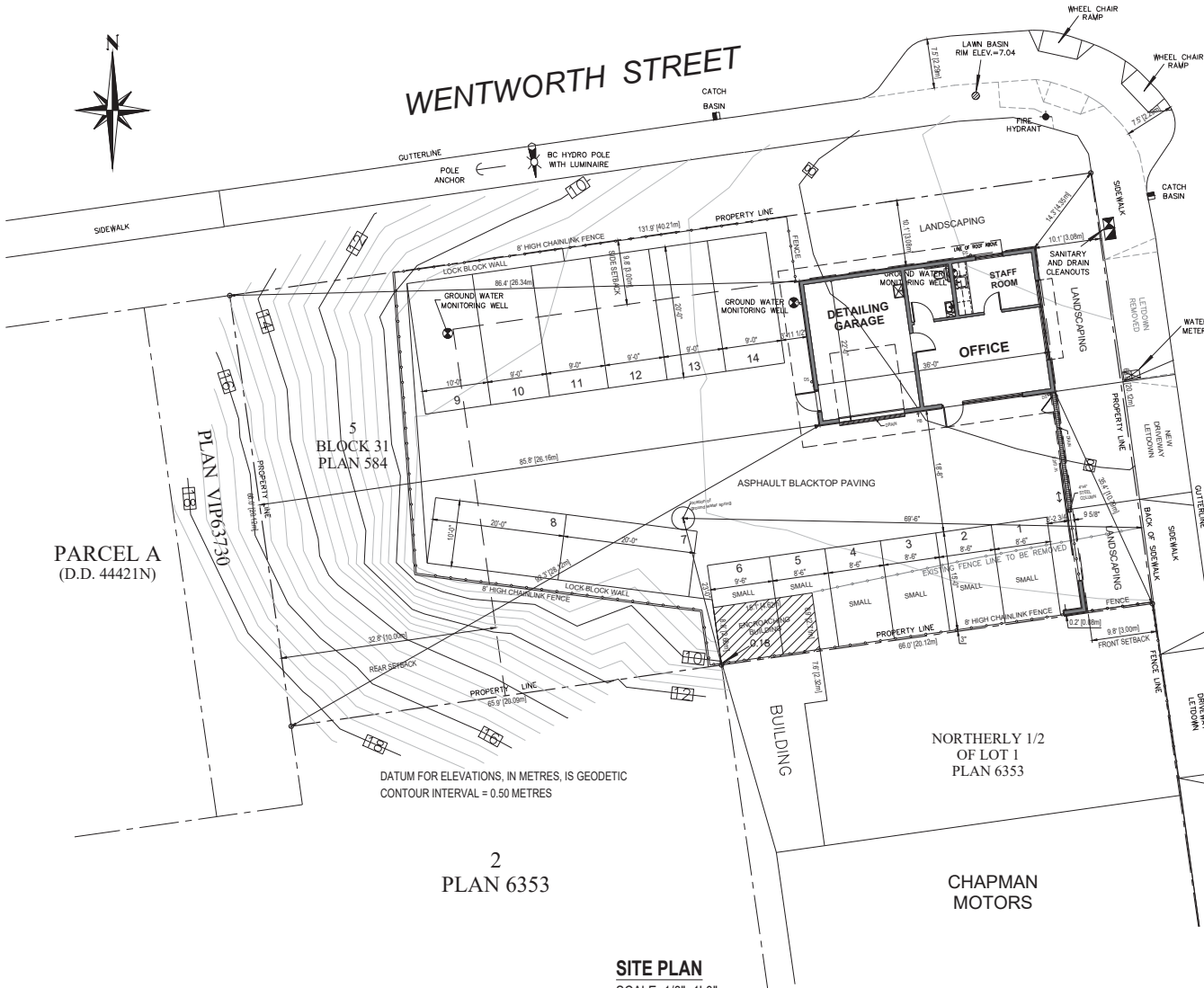
PARCEL A
(D.D. 44421N)

5
BLOCK 31
PLAN 584

2
PLAN 6353

SITE PLAN
SCALE: 1/8"=1'-0"

DATUM FOR ELEVATIONS, IN METRES, IS GEODETIC
CONTOUR INTERVAL = 0.50 METRES



SITE PARTICULARS

CIVIC ADDRESS: 231 Fraser Street, Nanaimo, BC
 LEGAL ADDRESS: Lot 5, Block 31, Nanaimo District, Plan 584
 SITE AREA: 0.1999 Acres (0.0809 Ha); 8706.54 sq.ft. (808.86 m²)
 ZONING: DT3 - Downtown 3

PROJECT DATA

USE	AUTO SALES
LOT AREA	8706.54 sq.ft. (808.86 m ²)
LOT COVERAGE	9% = 792 sq.ft. (73.58 m ²)
BUILDING GROSS FLOOR AREA	792 sq.ft. (73.58 m ²)
DENSITY	0.09 = 792 sq.ft. (73.58 m ²)
SETBACKS	FRONT: 10.1' (3.08 m) SIDE (South): 0.2' (0.08 m) REAR: 85.8' (26.16 m) SIDE (Wentworth St): 10.1' (3.08 m)
HEIGHT OF BUILDINGS	16.86' (5.14m) Measured from finished grade
OFF-STREET PARKING	8 Large stalls 6 Small stalls 14 Total
	Site is exempt from minimum on-site parking requirement as it falls within the Downtown specified area indicated in Schedule C (Bylaw 7266).



LOCATION PLAN
NOT TO SCALE

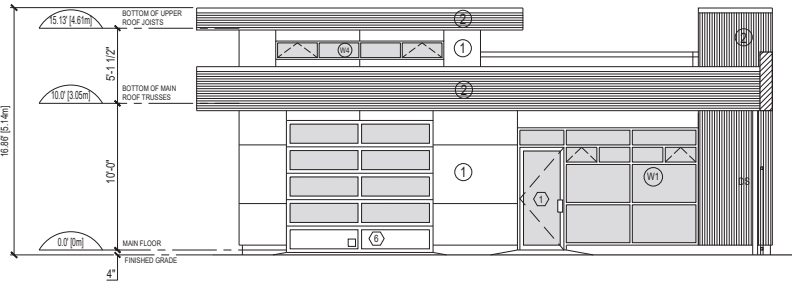
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 Ian A. Niamath
 151 Skinner Street, Nanaimo, BC
 Cell: 250.756.6786 Email: ian@ianamath.com

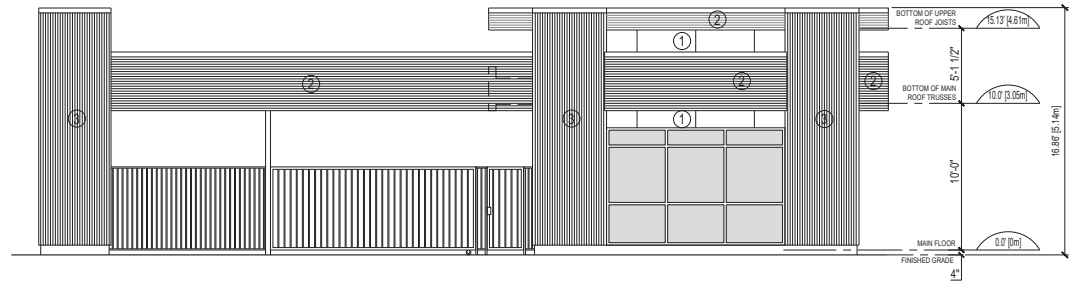
NO.	REVISION	DATE	NO.	REVISION	DATE
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ARCHITECT	PROJECT
ian a. niamath i.a.n.c.	COMMERCIAL BUILDING 231 FRASER STREET NANAIMO, BC

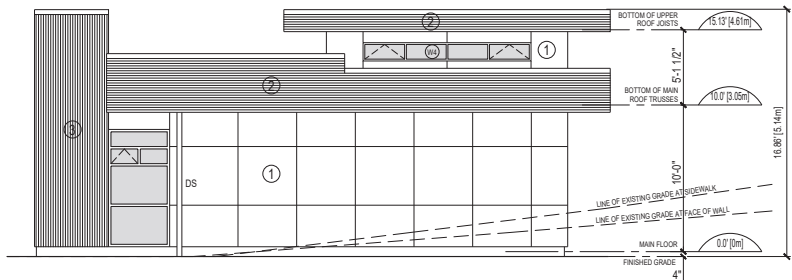
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SITE PLAN SITE PARTICULARS PROJECT DATA LOCATION PLAN	AS SHOWN	AUG 18, 2022
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	DRAWING NO.	
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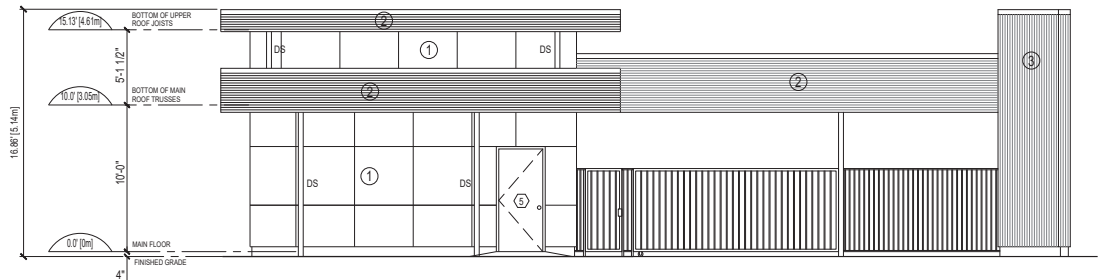
SOUTH (FRONT) ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



NORTH (REAR) ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

LEGEND

- ① STUCCO PANEL
- ② HORIZONTAL EXTRUDED ALUMINUM SIDING SYSTEM - LINIUS HORIZONTAL WALL CLADDING BY ATRIA DESIGNS
- ③ VERTICAL EXTRUDED ALUMINUM SIDING SYSTEM - LINARTE VERTICAL WALL CLADDING BY ATRIA DESIGNS

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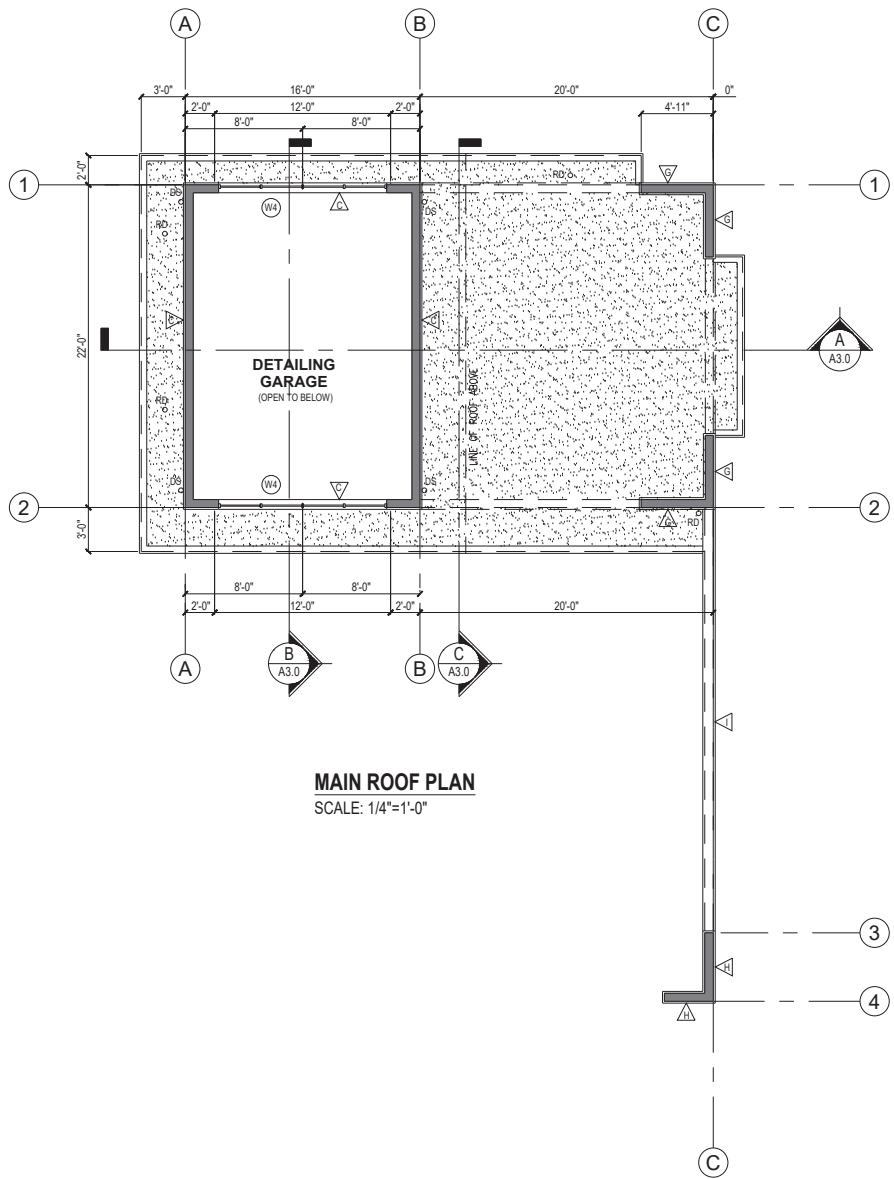


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MAIN ROOF PLAN
SCALE: 1/4"=1'-0"

- WALL TYPES**
- ▷ TYPICAL PERIMETER FOUNDATION WALL
DAMP PROOFING ON EXTERIOR SIDE
6" REINFORCED CONCRETE (SEE STRUCTURAL)
2" RIGID INSULATION ON INTERIOR SIDE
 - ▷ TYPICAL FOUNDATION WALL
6" REINFORCED CONCRETE (SEE STRUCTURAL)
 - ▷ TYPICAL EXTERIOR WALL
STUCCO ON METAL LATH
3/4"x1-1/2" PWF VERT. STRAPPING @ 16" O/C
OR ATRIA EXTRUDED ALUMINUM SIDING SYSTEM
19mm (3/4") AIR SPACE
3/4"x1/2" PWF VERT. STRAPPING @ 31-1/2" (800mm) O/C MAX.
TO ALIGN WITH ATRIA SIDING SYSTEM SUPPORTS
(SEE BUILDING ELEVATIONS FOR LOCATIONS)
TYVEK COMMERCIAL GRADE BUILDING WRAP
1/2" PLYWOOD SHEATHING
2x6 WOOD STUD @ 16" O/C
R20 INSULATION
6mil POLY VAPOUR BARRIER
1/2" GYPSUM BOARD
 - ▷ INTERIOR PARTITION WALL - DETAILING GARAGE TO OFFICE
1/2" GYPSUM BOARD (GARAGE SIDE)
2x6 WOOD STUD @ 16" O/C
R20 INSULATION
6mil POLY VAPOUR BARRIER
1/2" GYPSUM BOARD (OFFICE SIDE)
 - ▷ SOUND INSULATED PARTITION WALL
1/2" GYPSUM BOARD
2x4 WOOD STUDS @ 16" o/c
ACOUSTIC BATT INSULATION
1/2" GYPSUM BOARD
 - ▷ SOUND INSULATED PARTITION WALL
1/2" GYPSUM BOARD
2x6 WOOD STUDS @ 16" o/c
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 - ▷ RAISED PARAPET WALLS (@ FRONT OF BUILDING)
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ATRIA EXTRUDED ALUMINUM SIDING SYSTEM

FLOOR PLAN LEGEND

	EXTERIOR ELEVATION NUMBER SHEET NUMBER		ROOF NAME & NUMBER SEE ROOF PLAN SCHEDULE
	BUILDING SECTION NUMBER SHEET NUMBER		ROOM NAME & NUMBER SEE ROOM SCHEDULE
	DETAIL NUMBER SHEET NUMBER		EXTERIOR FINISH NAME SEE FINISH SCHEDULE
	SECTION NUMBER SHEET NUMBER		TOP OF SLAB ELEVATION

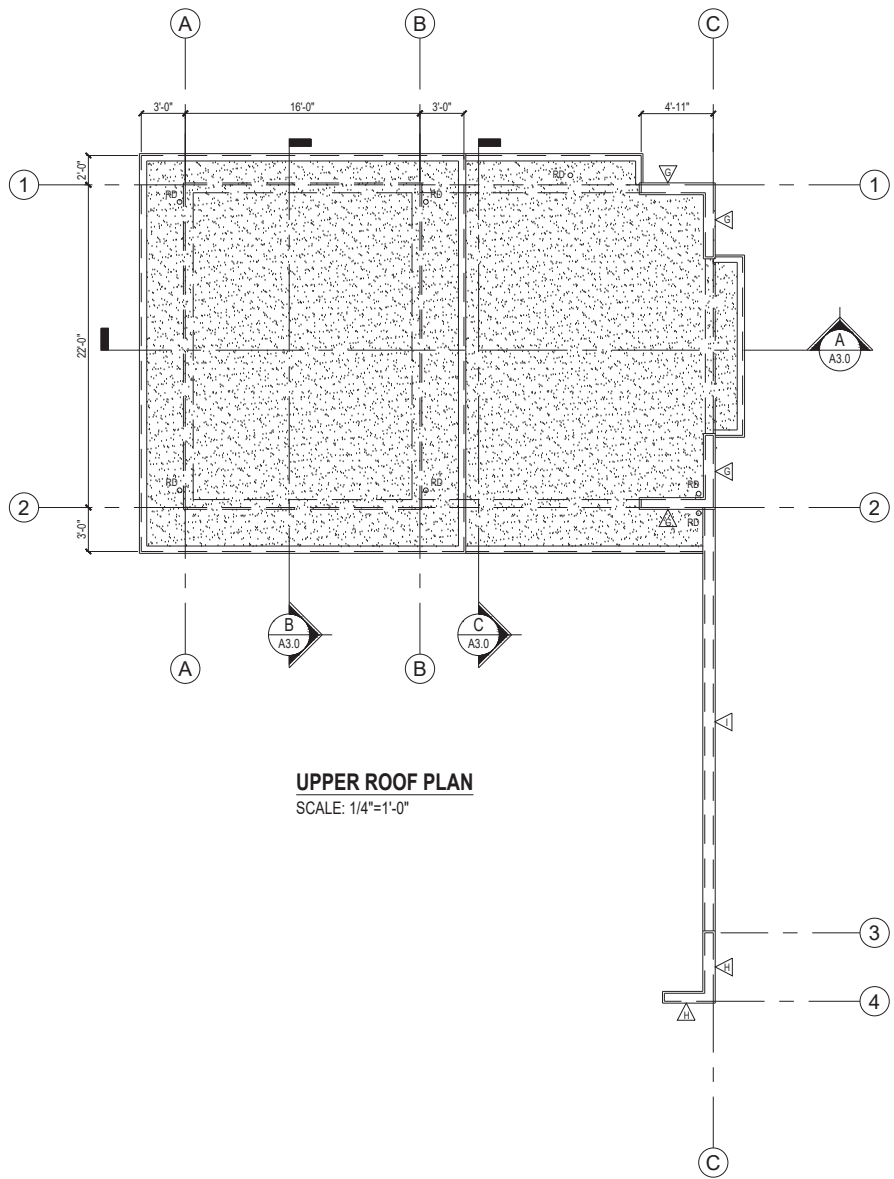
- ROOF PLAN GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS, MATERIALS, FINISHES, ELEVATIONS, AND LOCATIONS OF ALL ROOF STRUCTURE ELEMENTS AND PROVIDE TO THE ARCHITECT BEFORE PROCEEDING.
 - ALL DIMENSIONS SHOULD BE REPORTED TO THE CENTERLINE OF THE ROOF.
 - REFER TO STRUCTURAL DRAWINGS FOR ALL ROOF FINISHES AND DETAILS.
 - LOCATIONS OF STRUCTURAL ELEMENTS TO BE CONSIDERED WITH FINISHES.
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ALL WORK IS TO BE DONE IN ACCORDANCE TO THE CURRENT BC BUILDING CODE, LOCAL CODES & BYLAW AND NOTICES.							151 SUMNER STREET, NANAIMO, B.C. CELL: 250 756 8786 EMAIL: ianamath@ibcna.ca				
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2023-MAY-23
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A2.2



UPPER ROOF PLAN
SCALE: 1/4"=1'-0"

- WALL TYPES**
- A TYPICAL PERIMETER FOUNDATION WALL
DAMP PROOFING ON EXTERIOR SIDE
6" REINFORCED CONCRETE (SEE STRUCTURAL)
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ATRIA EXTRUDED ALUMINUM SIDING SYSTEM

FLOOR PLAN LEGEND

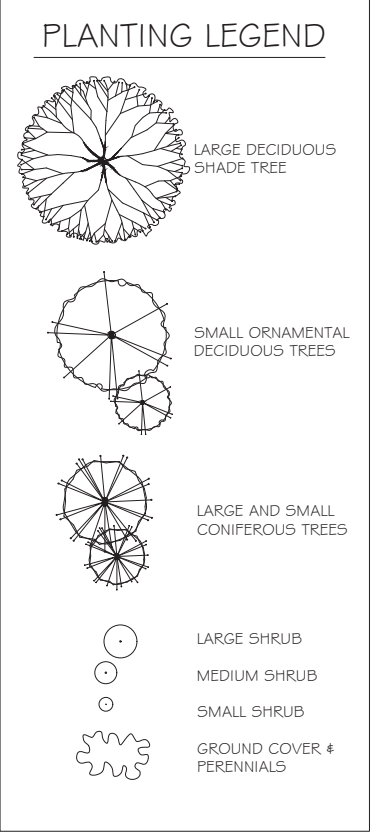
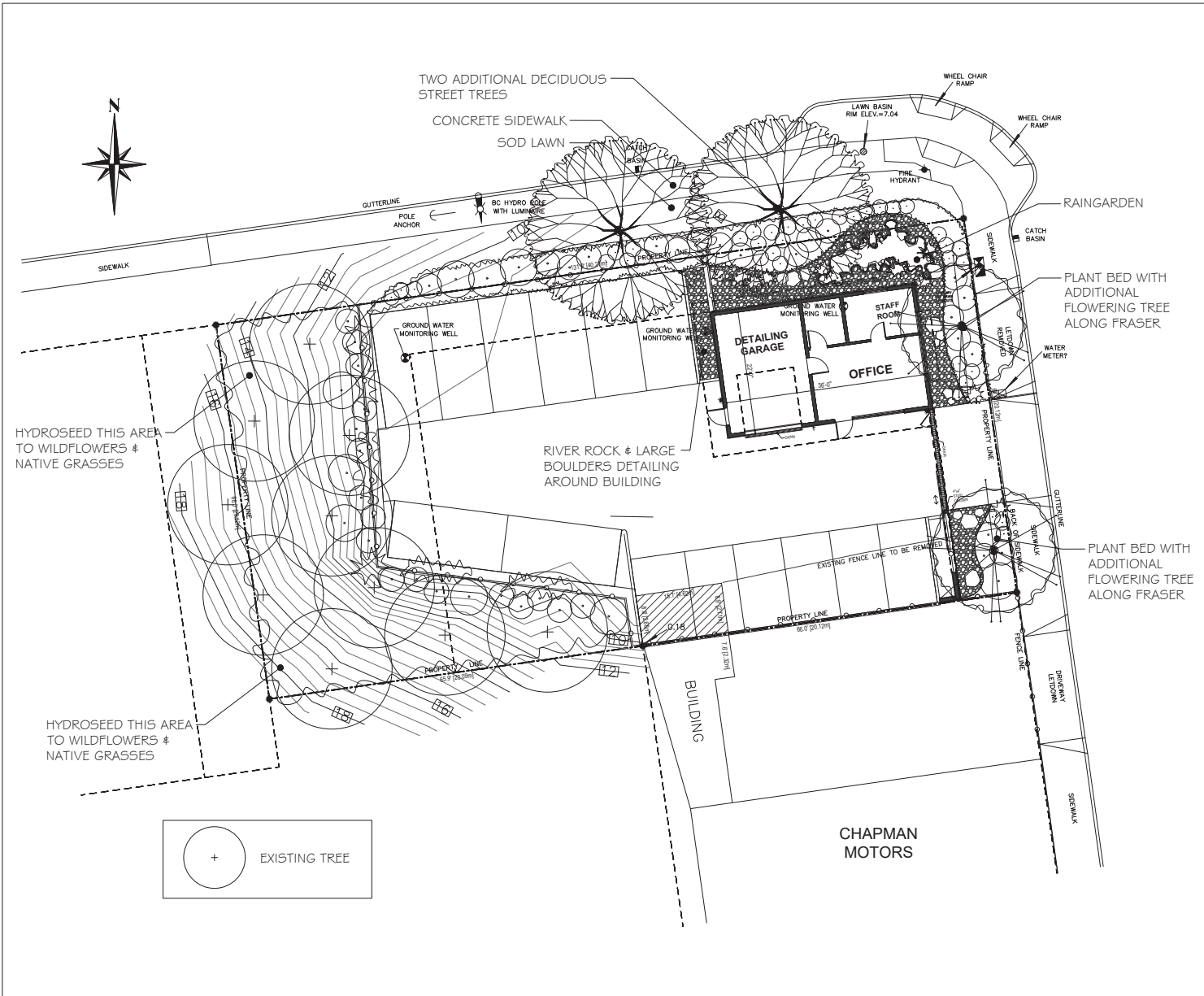
	EXTERIOR ELEVATION NUMBER SHEET NUMBER		ROOM NAME & NUMBER SEE ROOM PLAN SCHEDULE
	BUILDING SECTION NUMBER SHEET NUMBER		ROOM NAME & NUMBER SEE ROOM PLAN SCHEDULE
	VERTICAL NUMBER TOP OF SLAB ELEVATION		EXTERIOR ELEVATION NUMBER SEE EXTERIOR ELEVATIONS
	SECTION DETAIL NUMBER SHEET NUMBER		ROOM NAME & NUMBER SEE ROOM PLAN SCHEDULE

- ROOF PLAN GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, DIMENSIONS, MATERIALS, AND FINISHES TO BE USED TO BE CORRECTLY IDENTIFIED AND APPLIED TO THE CORRESPONDING PARTS OF THE WORK.
 - ALL DIMENSIONS SHOULD BE REPORTED TO THE FRONT OF THE WORK.
 - REFER TO STRUCTURAL DRAWINGS FOR ALL ROOF FINISHES, DETAILS.
 - LOCATIONS OF STRUCTURAL ELEMENTS TO BE IDENTIFIED WITH DIMENSIONS.
 - REFER TO ALL RELEVANT TECHNICAL COMPANY DRAWINGS FOR ALL TECHNICAL COMPANY DRAWINGS.

- FLOOR PLAN GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, DIMENSIONS, MATERIALS, AND FINISHES TO BE USED TO BE CORRECTLY IDENTIFIED AND APPLIED TO THE CORRESPONDING PARTS OF THE WORK.
 - ALL DIMENSIONS SHOULD BE REPORTED TO THE FRONT OF THE WORK.
 - REFER TO STRUCTURAL DRAWINGS FOR ALL FLOOR FINISHES, DETAILS.
 - LOCATIONS OF STRUCTURAL ELEMENTS TO BE IDENTIFIED WITH DIMENSIONS.
 - REFER TO ALL RELEVANT TECHNICAL COMPANY DRAWINGS FOR ALL TECHNICAL COMPANY DRAWINGS.

NOTES	NO.	REVISION	DATE	NO.	REVISION	DATE	ARCHITECT	PROJECT	SHEET TITLE	SCALE	DATE
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING.	1						ian a. niamath a.i.b.c. 151 SKINNER STREET, NANAIMO, B.C. CELL: 250 756 6786 EMAIL: iniamath@ibc.ca	COMMERCIAL BUILDING 231 FRASER STREET NANAIMO, BC	UPPER ROOF PLAN	AS SHOWN DRAWN EX DRAWING NO.	AUG 18, 2022 CHECKED
										A2.3	

RECEIVED
D/P 309
2023-MAY-23
CREAT PLANNING



4★SITE
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ARCH STAMP

231 FRASER STREET
 NANAIMO, BC

CLIENT

REV. DATE	NUMBER	DESCRIPTION
22-09-23	1	LANDSCAPE CONCEPT PLAN FOR REVIEW
22-09-08	1	LANDSCAPE CONCEPT PLAN - REV

DATE: SEPTEMBER 8, 2022
 SCALE: 3/8" = 1'-0"

RECEIVED
 DP1389
 2023-MAY-23
 COURTESY PLANNING

DRAWN BY: BF/RF

LANDSCAPE CONCEPT PLAN

L100

SUGGESTED PLANT LIST

	<i>Key</i>	<i>Common Name</i>	<i>Latin Name</i>	<i>Size</i>
<i>Trees</i>	VMAP	Vine Maple	<i>Acer circinatum</i>	2.5m Ht.
	CRAT	Lavalle's Hawthorne	<i>Crataegus lavalii</i>	6cm Cal.
	GLED	Honeylocust	<i>Gleditsia tricanthos</i> var. 'Shade Master'	7cm Cal.
<i>Large Shrubs</i>	LRHA	Rhododendron	<i>Rhododendron</i> var. 'Pink Walloper'	#7 Pot
	MAH	Oregon Grape	<i>Mahonia aquifolium</i>	#7 Pot
<i>Medium Shrubs</i>	MRHA	Rhododendron	<i>Rhododendron</i> var. 'Unique'	#5 Pot
	VACC	Evergreen Huckleberry	<i>Vaccinium ovatum</i>	#5 Pot
	BAR	Dwarf Purple Barberry	<i>Berberis thunbergii</i> autropurpureum var. 'Rosy Glow'	#5 Pot
	ALAT	Winged Burning Bush	<i>Euonymus alata</i>	#5 Pot
<i>Small Shrubs</i>	SPIR	Gold Flame Spirea	<i>Spiraea bumalda</i> var. 'Gold Flame'	#1 Pot
	DWMP	Dwarf Mugo Pine	<i>Pinus mugo</i> var. 'Pumilo'	#2 Pot
	DWPJ	Dwarf Lily of the Valley Shrub	<i>Piens japonica</i> var. 'Debutante'	#1 Pot
	POLY	Sword Fern	<i>Polysticum munitum</i>	#1 Pot
	EUOF	Creeping Euonymus	<i>Euonymus fortunei</i> var. 'Emerald Gaiety'	#1 Pot
	BOX	Korean Boxwood	<i>Buxus sempervirens</i> var. 'Winter Gem'	#2 Pot
	AZAP	Evergreen Azalea	<i>Azalea japonica</i> var. 'Gumpo Pink'	#2 Pot
<i>Ground</i>	BEAR	Bearberry	<i>Arctostaphylos uva-ursi</i> var. 'Vancouver Jade'	SP4
	BERG	Heartleaf Bergenia	<i>Bergenia cordifolia</i> var. 'Bressingham Ruby'	SP5
<i>Vines</i>	VIRG	Self-clinging Virginia Creeper	<i>Parthenocissus quinquefolia</i> var. 'Englemanni'	#5 Pot
<i>Perennials</i>	CARX	Vanegated Sedge	<i>Carex morowei</i> var. 'Aureo-vanegatta'	#1 Pot
<i># Grasses</i>	KARL	Feather Reed Grass	<i>Calamagrostis acutifolia</i> var. 'Karl Foerster'	SP5
	LAVA	English Lavender	<i>Lavandula angustifolia</i> var. 'Hidcote'	SP5
	TEST	Flame Sedge	<i>Carex Tesetacea</i>	#1 Pot

Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification.

- All areas to be irrigated with an automatic underground system.