



Berwick on the Lake _ Additional Parking Renovations DP

2023 April 18

Berwick on the Lake Seniors Residence was completed in 1999 which accommodates 158 residential suites with amenity and support spaces to compliment seniors living.

As the demographics of the seniors living at Berwick on the Lake are increasingly more active and independent, the number of parking spots currently provided does not meet demand. Berwick Retirement Communities is looking into options to encourage less vehicle use provides a car service for residents. But in the meantime, additional parking on site is required to meet the demands of a more active population. They have also found it challenging for guests visiting the residents to find available parking. It has been noted that on street parking along Ross Road is more than often not available with the number of multi-family buildings in the neighborhood sharing the availability. Berwick's intent is to provide residents and guests available on-site parking to help alleviate the congestion on the Ross Road Street parking system.

Currently, there are 57 existing surface parking spaces. Although the current amount parking meets the off-street parking requirements of the Bylaw, it is a minimum standard only not a maximum. The proposed development permit will add 33 parking spaces to increase the number of parking spaces to 90 in total. The increased parking will also accommodate new EV charging services for EV cars.

To achieve the additional parking spaces, we are proposing a parking structure at the northeast corner of the site. As a result of the difference in grade of approximately 3m from Ross Road to the Building Entrance, we are able to locate the parking structure below the elevation of Ross Road. The parking structure is underground on three sides and is partially exposed on the west elevation towards the parking lot. From the street elevation at Ross Road, the parking structure is completely hidden. To make the parking layout comply with municipal bylaws, we are proposing to locate the parking structure as close to the east property line as possible. As a result of this, we are requesting a variance to the front yard set back. At the southeast corner of the parkade we are proposing a setback of 0m and at the northeast corner a setback of 1.8m as indicated on the Lower Level Parkade Plan.

R E C E I V E D
DP1306
2023-APR-26
Current Planning

The parkade structure has minimal impact on the view from Ross Road. A new stone entrance sign and retaining wall in keeping with the form and character of the architecture of the main building will be built along the east property line. The existing bus stop will be demolished and a concrete pad provided for a new BC Transit Bus Stop. New landscaping will act as a screen to the parking area above the structure. The new parking layout will accommodate permeable pavers and landscaping strips. The area of impermeable surface will be reduced by 20% with the proposed additional parking layout.

We believe that the design strategies described above to create much needed additional parking provides a solution that does not impact the form and character of the existing development and the streetscape along Ross Road.

Sincerely,
Low Hammond Rowe Architects Inc

A handwritten signature in black ink, appearing to read 'J. Low', with a stylized flourish at the end.

Jackson Low, Architect AIBC, MRAIC
Principal

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2023-APR-26
Current Planning



April 19, 2023

The Residents and visiting families at Berwick on the Lake have been experiencing ongoing difficulty in accessing our community given the lack of available parking on site. Several factors as discussed here, when combined, highlight the importance of the need for additional parking.

Of greatest significance and concern is the social isolation that our seniors have suffered during Covid restrictions at Seniors Communities. It has taken a toll not only on their well-being but that of their family and friends who have not been able to visit and support their loved ones. While these restrictions are easing, exacerbating the ability for visitation improvements is impeded by the insufficient availability of parking. Our community receives consistent feedback from families of residents that the lack of parking on and off site is the number one reason why visitation to our seniors is curtailed.

Berwick has taken active steps towards mitigating the lack of parking spaces with the introduction of our Berwick About Town car, operating now for the past 2 years. The focus of this service has been to encourage non-active car users to give up their vehicle and rely on our car service to meet their occasional needs of driving to places in the wider community. Additionally, to further our efforts, Berwick is planning on introducing its own EV car share program to further incentivize Residents to forgo the need to bring their car to our community and take advantage of EV vehicles that we will provide for their use.

Future residents are more active and independent than in the past. Today we have residents that would like to live in a supportive setting but will only do so if they can bring their car with them as part of their residency. Seniors today are receptive to the support that Berwick provides but are steadfast in using their vehicle to remain engaged with the wider community which they have lived in for decades. Improvements to the parking infrastructure will also facilitate the readiness for the growing number of new EV vehicles that residents are driving today. It is important to note that often when a senior moves to our community they are making available a home for a new family to move in and support the vibrancy of our neighborhood. Retirement communities play a vital role in the movement of housing supply in all neighborhoods they operate in. This is the essence of a community partnership.

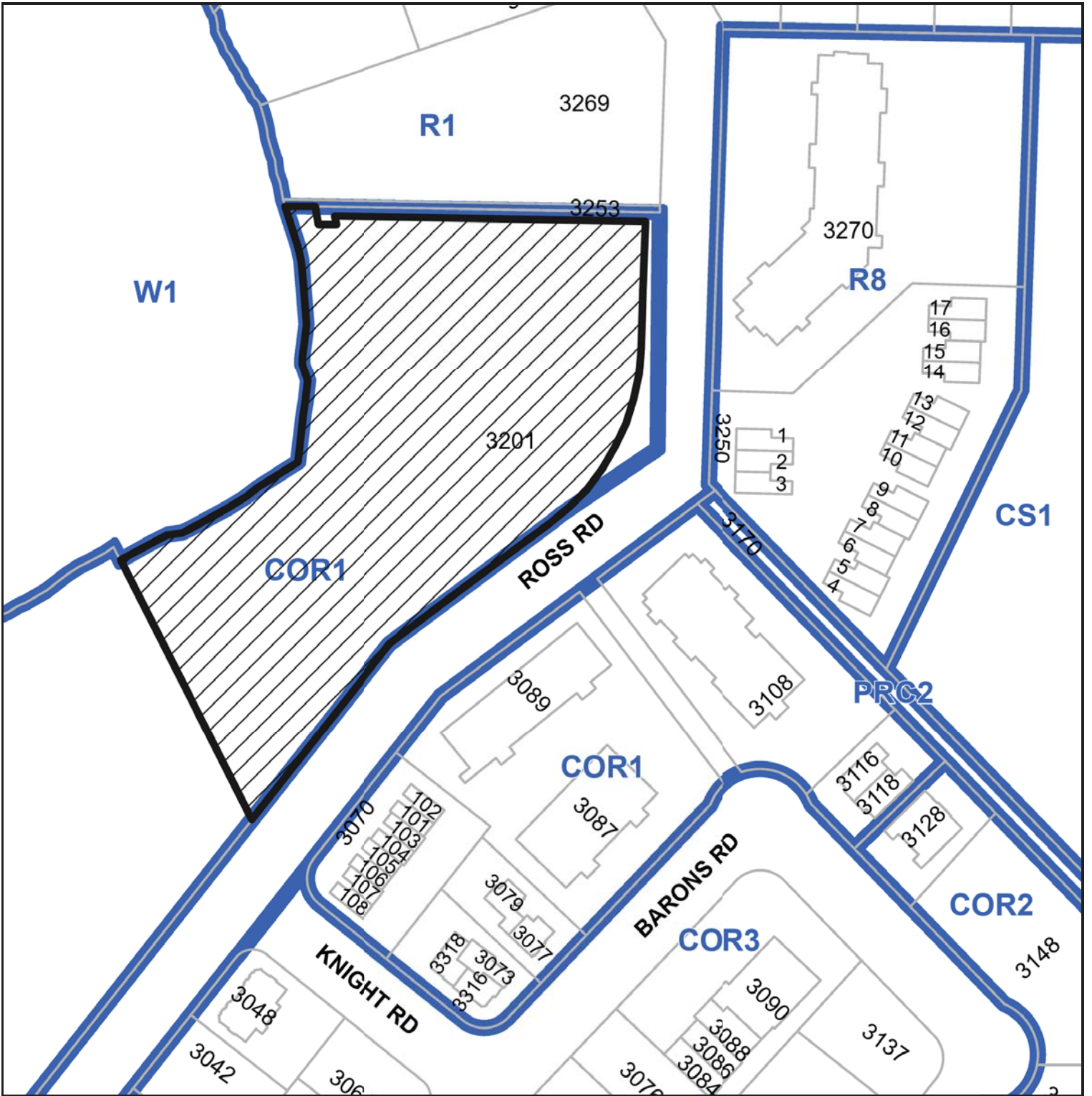
We ask the City of Nanaimo for their support and consideration of the variance that is being proposed to improve the parking options on site at Berwick on the Lake. Berwick has taken proactive steps and continues to do so as noted above within our operations to support these parking challenges. This, combined with new parking infrastructure will allow our seniors, families, and their support systems to further thrive by improving visitation but also accessibility to our community for seniors in the years ahead.


Sincerely,

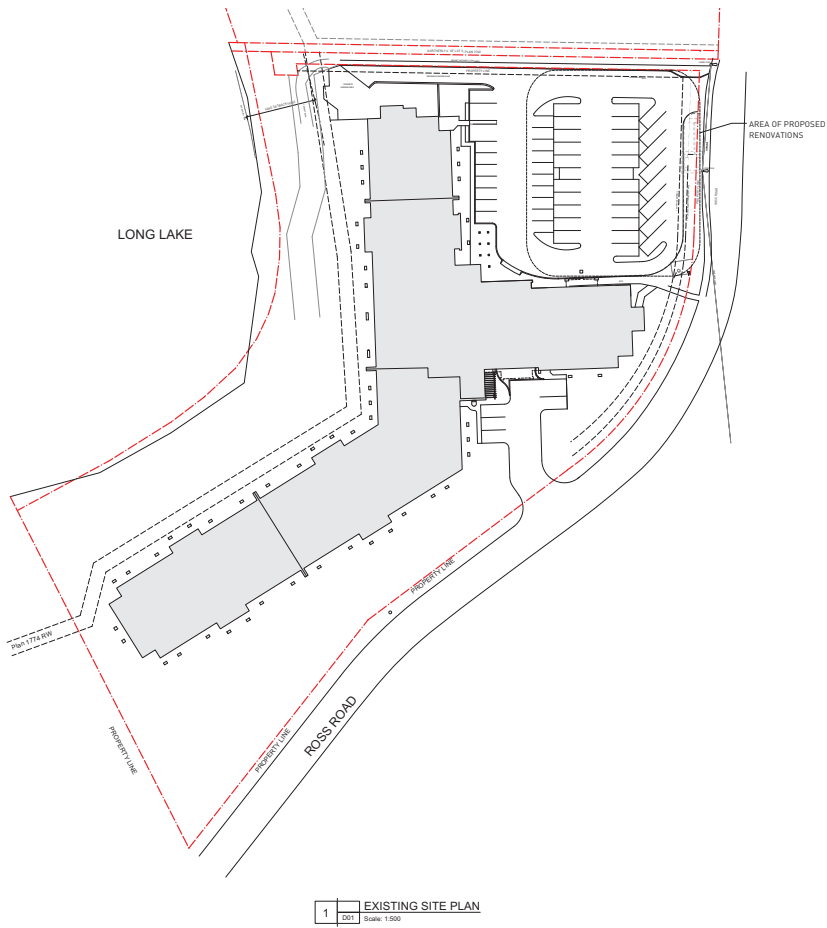
A handwritten signature in black ink that reads "Chris Denford". The signature is written in a cursive style with a large initial "C".

Chris Denford
President
Berwick Retirement Communities

SUBJECT PROPERTY MAP



 3201 Ross Road



PROJECT CONTEXT PLAN

LOW HAMMOND ROWE ARCHITECTS

PROJECT DATA		Berwick on the Lake Additional Parking		Project No.	2212
OWNER	Current	CBR - Residential Community			
LEGAL	PROVIDE LOT DIMENSIONS, LOT #, SECTION & WELLINGTON DISTRICT. PLAN VARIANTS EXCEPT PART IN PLAN VARIANTS. PROVIDE EXISTING AND LATEST RECORD DRAWINGS (NOV 2018)				
SITE AREA	12380 m ²	132208 sf			
EXISTING REQUIREMENTS CBR-1					
NET LOT SIZE	850.0 m ²				
MIN LOT FRONTAGE	18.0 m				
MIN LOT DEPTH	28.0 m				
LOT COVERAGE	68.0 %				
DENSITY (FPM)	1.00				
TRACKS:	Front 3.5 m Rear 7.5 m Flanking Side 4.5 m Interior Side 1.5 m				
MAX HEIGHT:	4.5 m				
PARKING:	Congregate Care 30mt				
BICYCLE PARKING:	N/A				
PROPOSED CBR-1					
LOT SIZE	12380 m ²				
LOT FRONTAGE	29.2 m				
LOT DEPTH	79.2 m				
LOT COVERAGE	31.89 % 8.9357160	32.00% PROPOSED			
DENSITY (FPM)	1.00				
TRACKS:	Front varies - 0m to 1.8m Rear EXISTING Side (South) EXISTING Side (North) 0m				
BUILDING HEIGHT:	3.00 m	Average Grade: 175.98 + 112.29 + 117.28 + 117.90 = 176.11			
PARKING:	Required 27 stalls Existing 57 stalls Proposed 97 stalls	* www.calculation.net/page			

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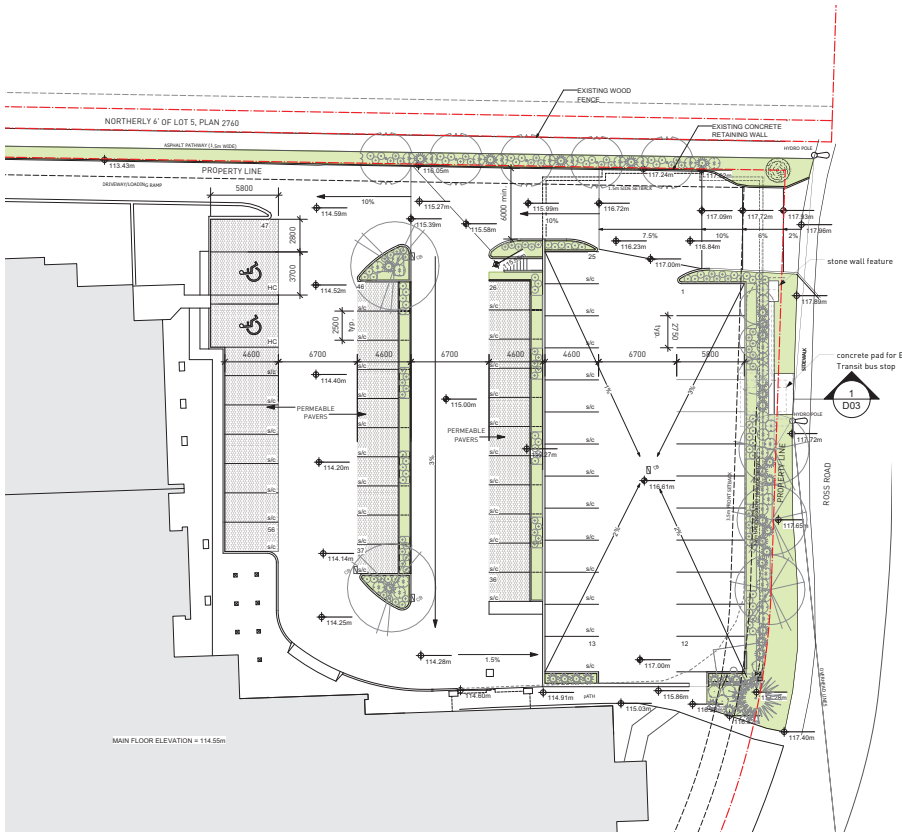
project
Berwick on the Lake - Additional Parking Renovations
3201 Ross Road, Nanaimo, BC

drawing number
D01

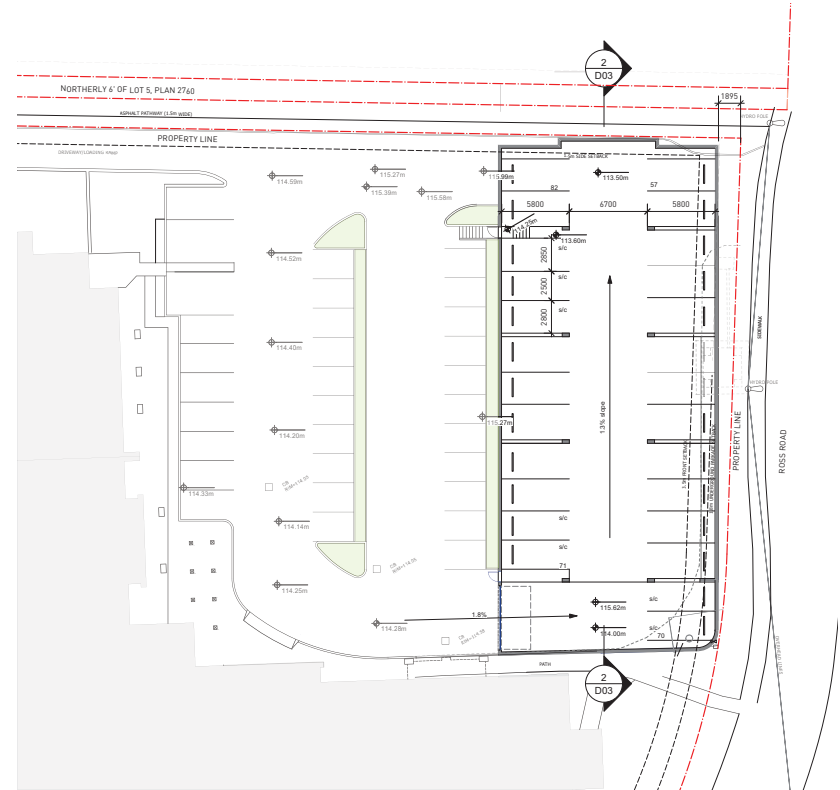
Rev. Date Description

drawing title
Overall Site Plan & Project Data

date
23.04.20
project no
19.16



2 Upper Level Parkade Plan
Scale: 1:200



1 Lower Level Parkade Plan
Scale: 1:200

PARKING CALCULATIONS:

REQUIRED STALLS BASED ON 188 RESIDENTIAL UNITS: 48

REGULAR STALLS: 28
ALLOWED SMALL CAR STALLS (40%): 19

EXISTING BACK PARKING LOT:

REGULAR: 3
SMALL CAR: 3

PROPOSED FRONT PARKING LOT:

LOWER LEVEL REGULAR: 21
LOWER LEVEL SMALL CAR: 7

UPPER LEVEL ACCESSIBLE: 2
UPPER LEVEL REGULAR: 13
UPPER LEVEL SMALL CAR: 41

TOTAL REGULAR STALLS: 37
TOTAL SMALL CAR STALLS: 51
TOTAL ACCESSIBLE STALLS: 2

TOTAL PARKING STALLS: 90

*EXISTING PARKING STALLS: 57
*ADDITIONAL PARKING STALLS EXCEEDING MIN. BYLAW REQUIREMENT: 42



owner
Berwick Retirement Communities

project
Berwick on the Lake - Additional Parking Renovations
3201 Ross Road, Nanaimo, BC

drawing title
Site Plan

Rev. Date Description

RECEIVED
DP 1306
2023-APR-26
11:41 AM



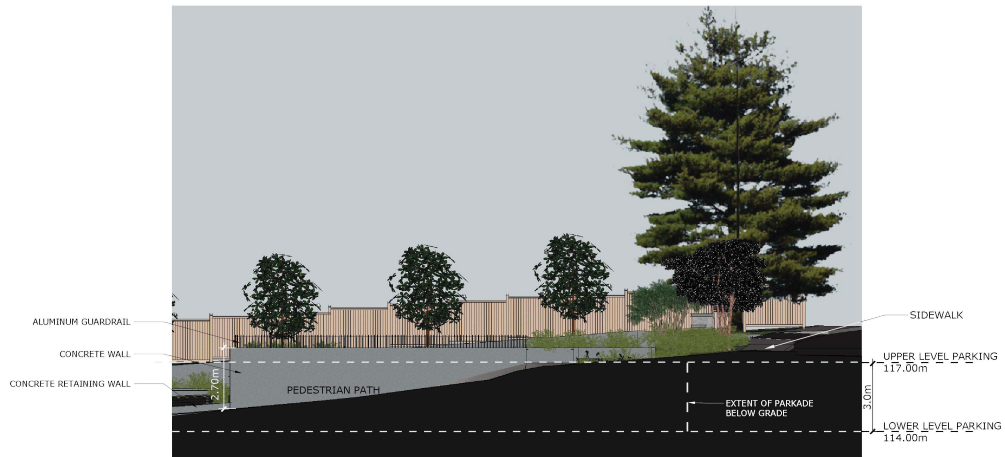
drawing number
D02

date
23.04.20

project no
19.16



WEST ELEVATION

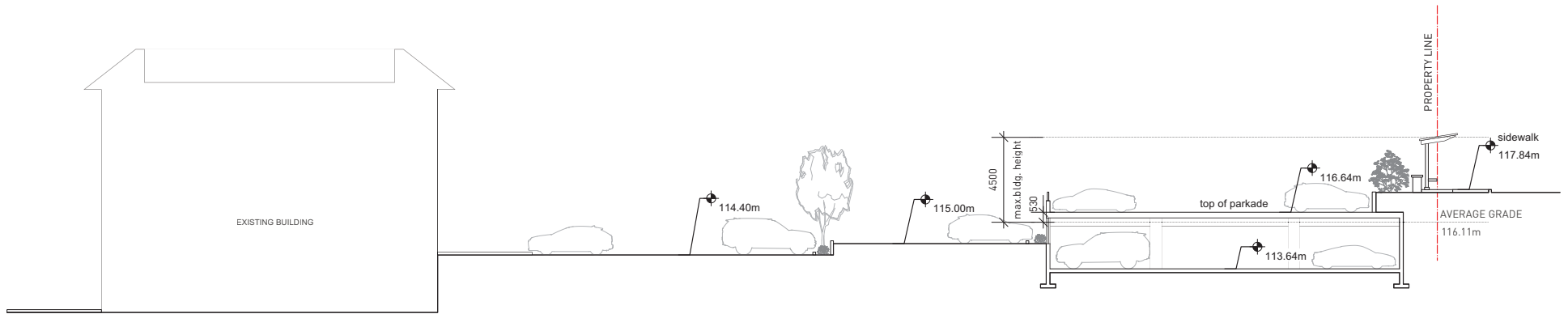


SOUTH ELEVATION

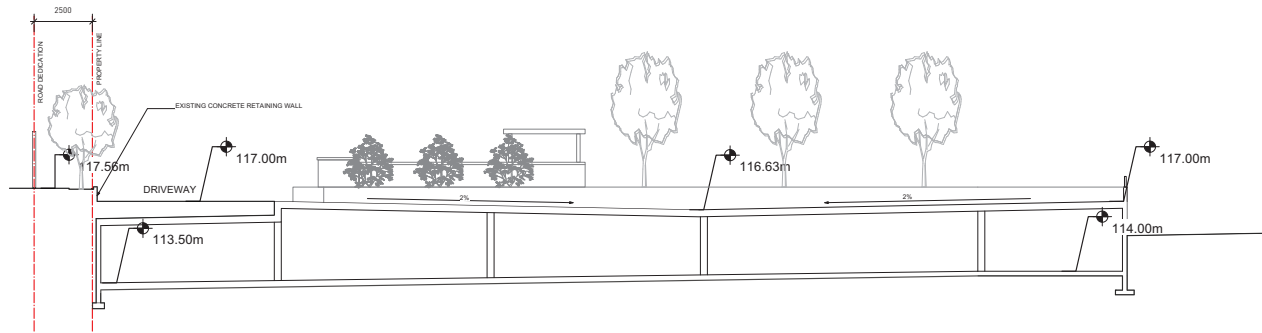
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2023-APR-26
 Current Planning



owner Berwick Retirement Communities	project Berwick on the Lake - Additional Parking Renovations 3201 Ross Road, Nanaimo, BC		drawing number D06
	drawing title Elevations		date 23.04.24
Rev. Date Description			project no 19.16



1 East West Section
Scale: 1:100



2 North South Section
Scale: 1:100

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2023-APR-26
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BERWICK
RETIREMENT
COMMUNITIES

owner
Berwick Retirement Communities

project
Berwick on the Lake - Additional Parking Renovations

3201 Ross Road, Nanaimo, BC

drawing title
Building Sections

drawing number
D03

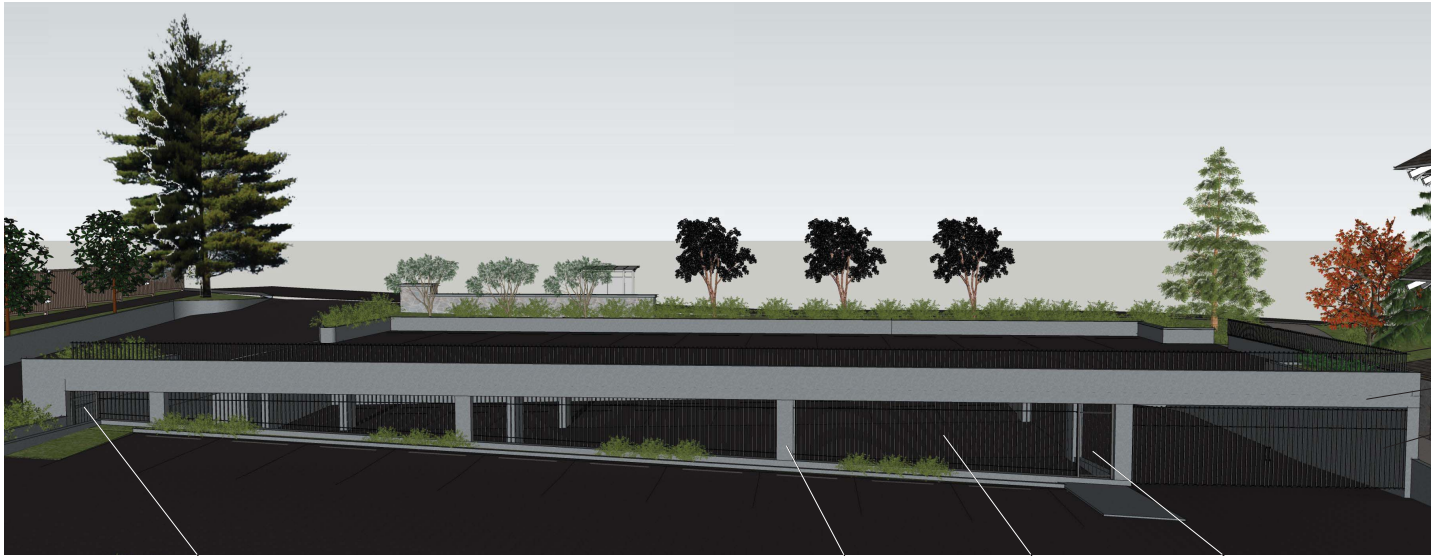
date
23.04.20

project no
19.16

Rev. Date Description



BERWICK ON THE LAKE ADDITIONAL PARKING RENOVATIONS
DEVELOPMENT PERMIT



PROPOSED WEST ELEVATION FROM PARKING LOT

ALUMINUM GUARDRAIL
 CONCRETE
 GARAGE GATE

PEDESTRIAN GATE
 CONCRETE COLUMNS
 ALUMINIUM PICKET SCREEN
 PEDESTRIAN GATE



PROPOSED SOUTH ELEVATION AT PEDESTRIAN PATH

ALUMINUM GUARDRAIL
 CONCRETE WALL

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 2023-APR-26



owner	Berwick Retirement Communities	
Rev.	Date	Description

project	Berwick on the Lake - Additional Parking Renovations 3201 Ross Road, Nanaimo, BC	
drawing title	3d Views	

drawing number	D05
date	23.04.24
project no	19.16



PROPOSED VIEW AT DRIVEWAY ENTRY FROM ROSS ROAD



CURRENT VIEW AT DRIVEWAY ENTRY FROM ROSS ROAD



CURRENT VIEW AT PEDESTRIAN PATH FROM ROSS ROAD



PROPOSED VIEW AT PEDESTRIAN PATH FROM ROSS ROAD



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BERWICK
RETIREMENT
COMMUNITIES

owner	Berwick Retirement Communities	
Rev.	Date	Description

project	Berwick on the Lake - Additional Parking Renovations	
	3201 Ross Road, Nanaimo, BC	
drawing title	3d Views	
	RECEIVED DP1306 2023-APR-26	

drawing number	D04
date	23.04.20
project no	19.16

GENERAL NOTES

1. THE LANDSCAPING CHARACTER AREA FOR THE SITE IS: NORTH NANAIMO
2. REFER TO SITE PLAN PREPARED BY LOW HAMMOND ROWE ARCHITECTS FOR PARKING LOT STRUCTURE & LAYOUT, BUS STOP DESIGN, SITE GRADING AND OTHER ARCHITECTURAL INFORMATION.
3. REFER TO CIVIL PLANS AND REPORT PREPARED BY CASCARA CONSULTING ENGINEERS LIMITED FOR ALL SITE SERVICES, SITE DRAINAGE AND STORMWATER MANAGEMENT INFORMATION.

PLANTING NOTES

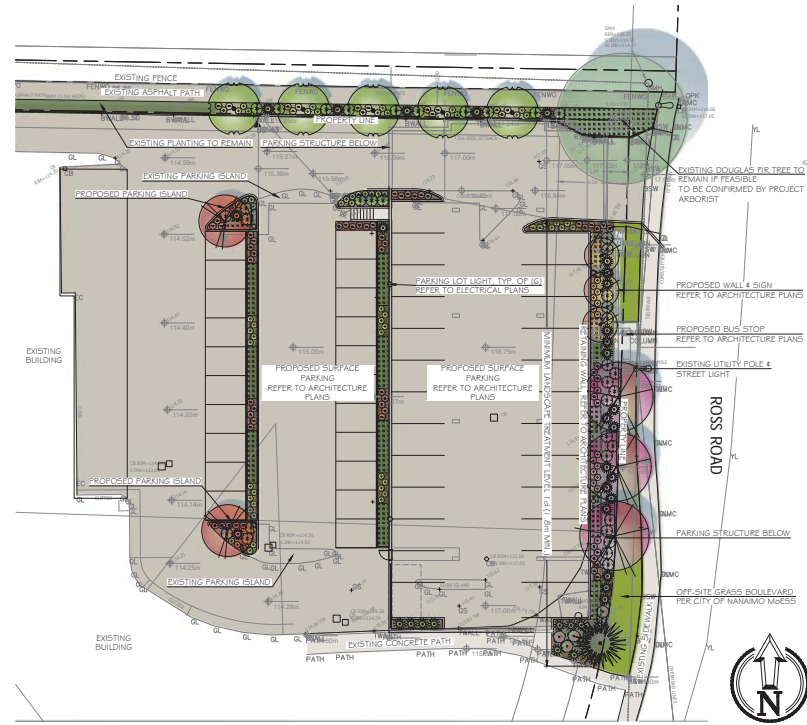
1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
2. GROWING MEDIUM SHALL MEET OR EXCEED THE PROPERTIES OUTLINED THE CANADIAN LANDSCAPE STANDARD PER SECTION 6 GROWING MEDIUM, TABLE 1-6.3.5.2. PROPERTIES FOR GROWING MEDIA:
LEVEL 2 'GROCOMED' - 2P
GROWING MEDIUM DEPTHS: SHRUBS - 450mm
TREES - 600mm BELOW AND AROUND ROOTBALL
3. MULCH SHALL BE COMPOST PER SECTION 10 MULCHING OF THE CANADIAN LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREE, SHRUB AND GROUNDCOVER PLANTING AREAS.
4. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CNLA STANDARDS FOR NURSERY STOCK.
5. ALL TREE, SHRUB, GROUNDCOVER AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UTILIZING SMART (ET) WEATHER-BASED) IRRIGATION CONTROL. IRRIGATION EMISSION DEVICES SHALL BE HIGH EFFICIENCY LOW VOLUME ROTARY NOZZLES OR DRIP IRRIGATION EQUIPMENT.
6. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
7. ALL PLANT MATERIAL SHALL MATCH TYPE AND SPECIES AS INDICATED ON THE PLANTING LEGEND. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
8. CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE FITS. EXCAVATED PLANT FITS SHALL HAVE POSITIVE DRAINAGE. PLANT FITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
9. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM SHALL BE RETROFIT DESIGN-BUILD BY THE OWNER.
2. IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
3. ALL PROPOSED ON-SITE PLANTING AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM UTILIZING THE EXISTING IRRIGATION CONTROLLER.
4. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR DRIP EQUIPMENT.
5. THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPREINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
6. ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
7. OPERATE IRRIGATION CONTROLLER WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY.	NOTES
TREES					
	ACER RUBRUM 'ARMSTRONG GOLD' / ARMSTRONG GOLD RED MAPLE	4cm CAL.	SEE PLAN	2	DROUGHT TOLERANT
	MAGNOLIA GRANDIFLORA 'EDITH BOGUE' / SOUTHERN MAGNOLIA	6cm CAL.	6m O.C. AVG.	5	EVERGREEN, DROUGHT TOLERANT
	PRUNUS SERRULATA 'KWANZAN' / KWANZAN FLOWERING CHERRY	6cm CAL.	6m O.C. AVG.	3	
	THUJA PLICATA 'EXCELSA' / EXCELSA WESTERN RED CEDAR	2.5m	SEE PLAN	1	CONIFEROUS, NATIVE CULTIVAR
SHRUBS					
	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	#1.5 STD.	3.0m O.C.	3	DROUGHT TOLERANT
	ERICA CARNEA 'KRAMERS RED' / RED HEATH	#2 POT	0.6m O.C.	76	DROUGHT TOLERANT
	ERICA CARNEA 'SCHNEEKUPPE' / WHITE HEATH	#2 POT	0.6m O.C.	74	DROUGHT TOLERANT
	PIERIS JAPONICA 'PURITY' / PURITY PIERIS	#2 POT	1.0m O.C.	34	DROUGHT TOLERANT
	PINUS MUGO 'PLUMLOT' / DWARF MUGO PINE	#2 POT	1.0m O.C.	25	DROUGHT TOLERANT
	POLYSTICHUM MUNITUM / SWORD FERN	#2 POT	1.0m O.C.	14	NATIVE SPECIES
	RHOODENDRON SSP. / RHOODENDRON	#2 POT	1.0m O.C.	3	MIX COLOUR & BLOOM TIME
GROUNDCOVER & PERENNIALS					
	ARCTOSTAPHYLOS UVA-URSI / KINKIKINICK	#1 POT	0.9m O.C.	37	PARKING ISLANDS
		10cm POT	0.45m O.C.	160	ROSS ROAD FRONTAGE & UNDER EXISTING FIR TREE



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Berwick on the Lake - Additional Parking
Denford Construction Management Ltd.
 3201 Ross Road, Nanaimo, BC

LANDSCAPE ARCHITECTURE PLAN
 Date: April 20, 2023
 Drawn: CM
 Checked: CM
 Scale: 1:200 metric
 Project Number: 23-0336
 DRAWING NUMBER: **L1 of 1**

#	REVISION	SCHEDULE	NOTES
0	28/MAR/2023	DP	Coordination
1	15/APR/2023	Issued for DP	
2	20/APR/2023	Issued for DP	

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 2023-APR-26
 CIVIL PLANNING

BERWICK ON THE LAKE - ADDITIONAL PARKING RENOVATIONS

3201 ROSS ROAD, NANAIMO, BC
 ISSUED FOR DEVELOPMENT PERMIT
 APRIL 19, 2023

DRAWING LIST	
E00	COVER PAGE AND LEGENDS
E100	REVISED PARKING ELECTRICAL LAYOUTS
E200	SCHEDULES AND DETAILS

ELECTRICAL SYMBOL LEGEND	
ABBREVIATIONS	
NOTE	EQUIPMENT SHOWN DOTTED TO INDICATE TO REMAIN UNLESS INDICATED OTHERWISE
RR	EXISTING DEVICE TO BE REMOVED AND RELOCATED
RE	EXISTING DEVICE IN NEW RELOCATED POSITION
LIGHTING	
—	SURFACE MOUNTED LINEAR FIXTURE
⊖	POLE MOUNTED LUMINAIRE
⊖	DUAL HEAD POLE MOUNTED LUMINAIRE
⊖	BOLLARD LUMINAIRE
⊖	OCCUPANCY SENSOR, CEILING MOUNTED
⊖	DAY LIGHT SENSOR, CEILING MOUNTED

LIGHTING COMPLIANCE DOCUMENTATION			
CODE	YES	NO	N/A
ASHRAE 90.1-2019	X		
NE CB-2019			X
COMPLIANCE PATH			
PRECEDENCE			
SPACE BY SPACE			
BUILDING AREA	X		
PERFORMANCE			
INDEPENDENT PROVISIONS CHECKLIST			
LIGHTING CONTROLS			
AUTOMATIC LIGHTING SHUTOFF CONTROLS ARE PROVIDED BASED ON EITHER A SCHEDULING DEVICE OR AN OCCUPANCY SENSOR	X		
EACH ILLUMINATED SPACE HAS ITS OWN CONTROLS INCLUDING BI-LEVEL OR OCCUPANCY BASED WHERE REQUIRED.	X		
CONTROLS FOR PARKING GARAGES INCLUDING BI-LEVEL, TRANSITION AND PERIMETER CONTROLS AS REQUIRED.	X		
AUTOMATIC DAYLIGHTING CONTROLS FOR PRIMARY SELEDIGHTEED AREAS	X		X
AUTOMATIC DAYLIGHTING CONTROLS FOR TYPICAL LIGHTING	X		
ADDITIONAL CONTROLS FOR USER AVAILCENT, CASE, GUEST ROOM, TASK, RECREATIONAL AND SUBSTITUTION LIGHTING APPLICATIONS			X
EXTERIOR LIGHTING CONTROLS INCLUDING AUTOMATIC SHUTOFF AND BI-LEVEL AS REQUIRED.	X		
EXIT SIGNS SOURCE EXCELED BY PER FACE			X
INTERIOR LIGHTING POWER BELOW ALLOWABLE LFD	X		X
EXTERIOR LIGHTING POWER BELOW ALLOWABLE LFD	X		X
FUNCTIONAL TESTING TO BE PERFORMED BY FACTORY CERTIFIED TECHNICIAN	X		



EXISTING PARKADE
1:500



LOCATION OF WORK

LOCATION OF WORK
1:5

PRODUCTION DRAWINGS BY:



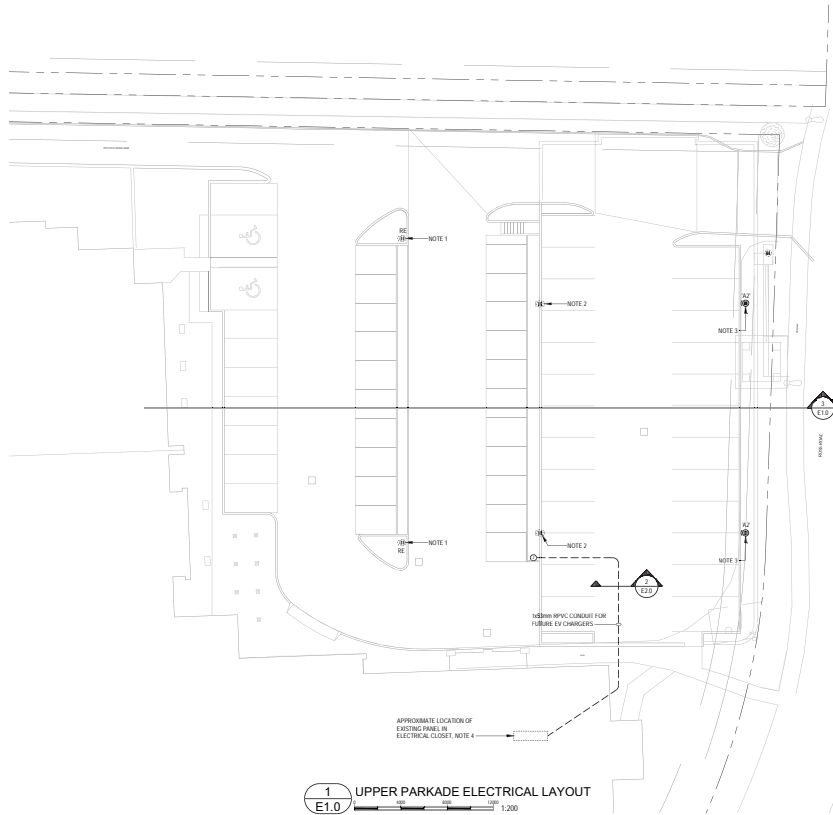
LOW HAMMOND ROWE ARCHITECTS



BERWICK RETIREMENT COMMUNITIES

owner Berwick Retirement Communities	project Berwick on the Lake - Additional Parking Renovations 3201 Ross Road, Nanaimo, BC	drawing number E0.0
Rev. 1 Date 04/19/2023 Description ISSUED FOR DEVELOPMENT PERMIT	drawing title COVER PAGE AND LEGENDS	date April 2023
		project no. 0123.0302

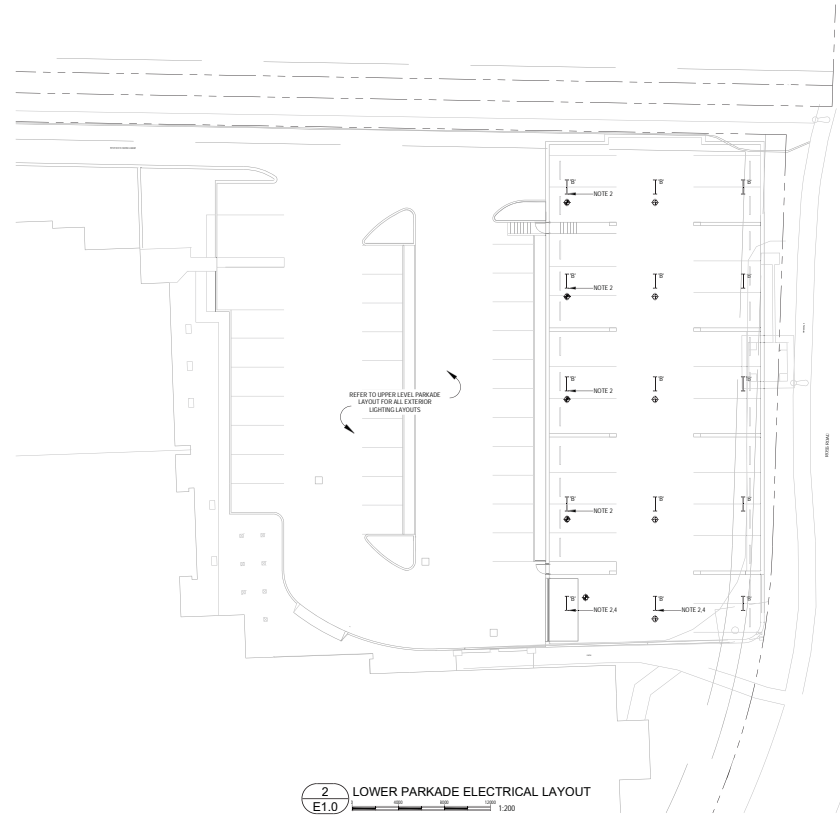
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 APR 20 2023-APR-26
 CityPlan Planning



1
E1.0 UPPER PARKADE ELECTRICAL LAYOUT
1:200

NOTES:

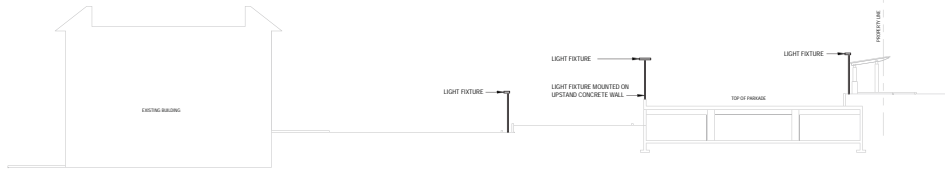
1. PROVIDE NEW POLE BASE FOR RELOCATED LIGHT POLE AND POLE MOUNTED LUMINAIRE. NEW POLE BASE TO MATCH EXISTING. REFER TO SETS FOR MOUNTING DETAIL.
2. RELOCATED LIGHT POLE ON STAND CONCRETE WALL. REFER TO SECTION 3E1.6 PROVIDE NEW POLE MOUNTED AREA LUMINAIRE AT THE OPPOSITE SIDE OF THE EXISTING LUMINAIRE.
3. NEW POLE HEIGHT AND COLOR TO MATCH EXISTING.
4. PROVIDE TIME CLOCK FOR PARKING LIGHT CONTROL IN ELECTRICAL CLOSET. PROVIDE NEW JAY TO BEAKER IN EXISTING PANELS FOR PARKING LIGHTING CIRCUIT. PROVIDE 2#2 AWG CU - BND IN 25mm CONDUIT FOR LIGHTING CIRCUIT.



2
E1.0 LOWER PARKADE ELECTRICAL LAYOUT
1:200

LIGHTING CONTROL NOTES:

1. ALL TYPE A1 AND A2 FIXTURES TO BE CONTROLLED BY ITS INTEGRAL PHOTOCELL FOR DIMMING LEVEL, AND TO BE FULLY TURNED OFF WHEN SUFFICIENT DAY LIGHT IS AVAILABLE.
2. NOTES TYPE B FIXTURES TO BE CONTROLLED BY DAYLIGHT SENSOR AND DIM DOWN TO 50% IN RESPONSE TO DAY LIGHT.
3. ALL TYPE B FIXTURES TO BE FULLY TURNED OFF WHEN NO ACTIVITY DETECTED FOR 30 MINUTES.
4. FIXTURE INDICATED WITH NOTE 4 TO BE CONTROLLED BY A TIME CLOCK LOCATED IN THE ELECTRICAL ROOM AND PROGRAMMED TO THAT THE MAXIMUM OUTPUT IS LIMITED TO SIX HOUR DURING 1 TO 5 PM.
5. CONTRACTOR TO CONFIRM CONTROLS FOR RELOCATED EXISTING POLE MOUNTED LUMINAIRES AND ALLOW FOR ADDITIONAL PHOTOCELL AND PROGRAMMING TO ACHIEVE THE FUNCTION DESCRIBED IN NOTE 1.



3
E1.0 SITE LIGHTING SECTION
1:200



owner	Berwick Retirement Communities	
Rev.	Date	Description
1	04/19/2023	ISSUED FOR DEVELOPMENT PERMIT

project	Berwick on the Lake - Additional Parking Renovations	
	3201 Ross Road, Nanaimo, BC	
drawing title	REVISED PARKADE ELECTRICAL LAYOUTS	
drawing number	E1.0	
date	April 2023	
project no	0123.0302	

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 -MS2001-1-13-APP-23-05-06
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AERIAL PHOTO



 3201 Ross Road