

# ATTACHMENT I VIEW ANALYSIS

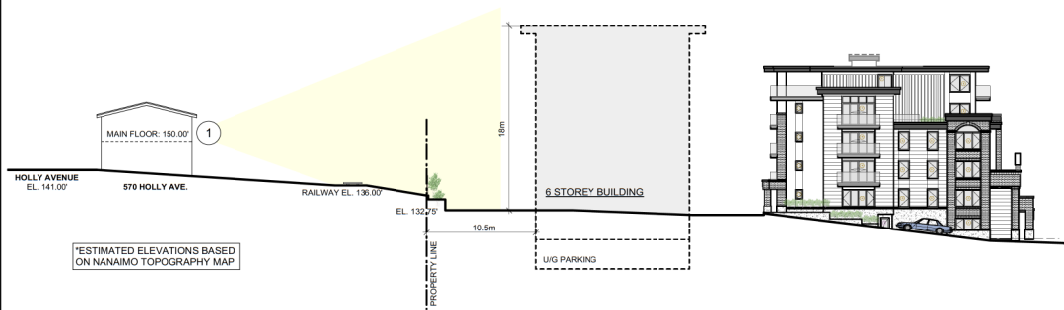


1 VIEW FROM A MAIN FLOOR LIVING RM. ON HOLLY AVE.  
Scale: NTS

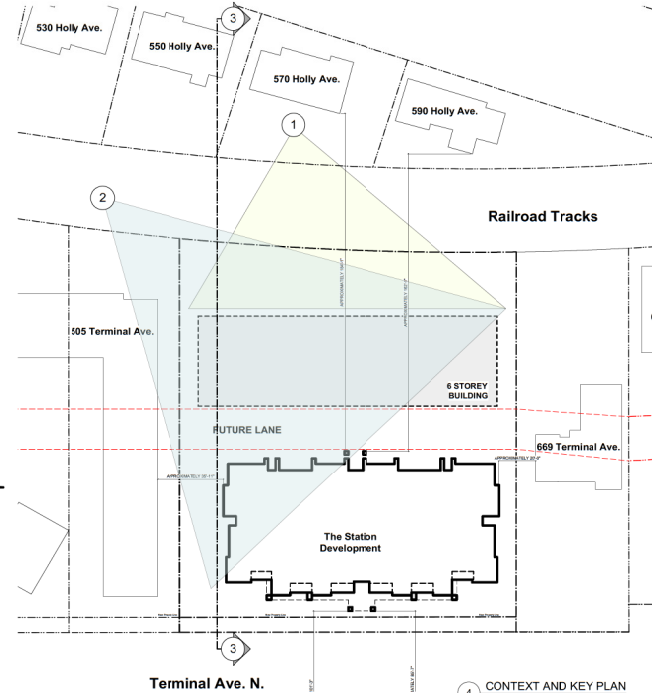


2 SOUTH -WEST VIEW  
Scale: NTS

"6 STOREY BUILDING" ILLUSTRATES THE LOCATION, MASSING & HEIGHT (18m) OF A STRUCTURE THAT COULD BE APPROVED UNDER THE CURRENT ZONING BY-LAW



3 CONTEXT ELEVATION  
Scale: NTS



4 CONTEXT AND KEY PLAN  
Scale: NTS

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**THE STATION**

ADDRESS: 529 Terminal Avenue N. Nanaimo, BC  
Legal Description: Lot A and B Plan 0510, Lot 5 Plan 4748

No.	Date	Issue Notes
01	2021-10-01	DP APPLICATION
02	2021-11-11	DP RE-SUBMISSION
03	2022-01-24	DAP REVISION
04	2022-05-21	DP COMP. LETTER REPLY

No.	Date	Revision Notes

**RECEIVED**  
**DP 1252**  
**2022-JUN-01**  
Current Planning

Sheet Title:  
**PERSPECTIVE FROM  
HOLLY AVENUE**

Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.: <b>A0.3</b>
Scale: AS NOTED	Date: Jun 1, 2022
CAD File: TBD	