

ATTACHMENT J LANDSCAPE PLAN AND DETAILS



Curved Lawn with Layered Planting



6' Solid Board Fence with Lighter Top




Metal Picket Fence w/ low planting and hedge on Terminal



Pergola w/ seating in amenity area

E	2022-05-24	Re-issued for DP
D	2022-01-23	Issued for Review
C	2021-11-04	Issued for DP
B	2021-11-04	Issued for Review
A	2021-11-01	Issued for Review

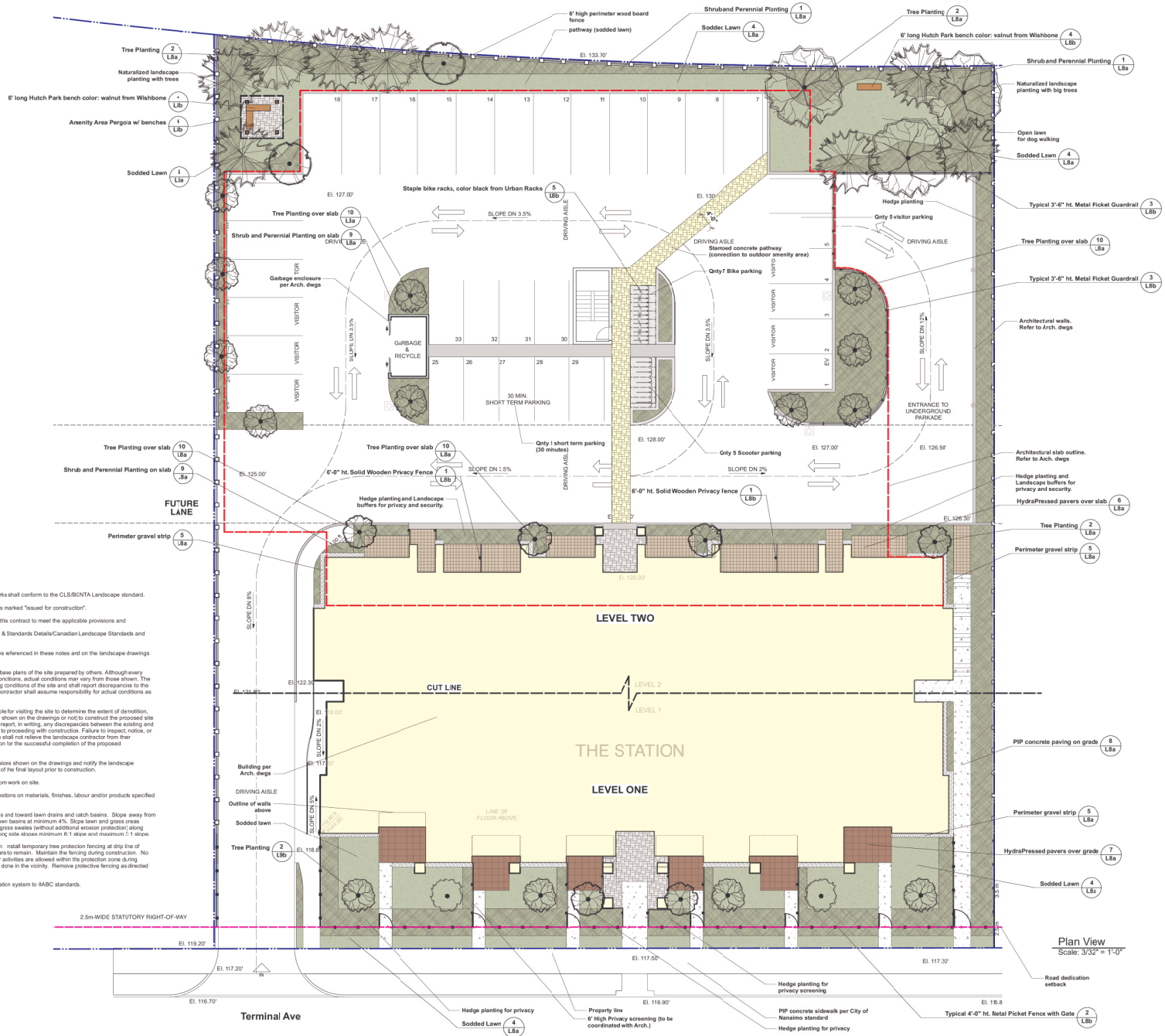
Date	Issue Notes



Prospect & Refuge
LANDSCAPE ARCHITECTS
#23-16879-01-000-0000-BC-142-7613
604-669-1000 info@prospectrefuge.ca
Building in over 25 years of history via Jonathan Lawson, Linc.

The Station
529 Terminal Avenue N. Nanaimo, BC

Drawn Title	RECEIVED DP 1252 2022 MAY 24 COURT REPORTING
Project Manager: AS	Project No: 2021-47
Drawn By: NR	Scale: As Noted
Reviewed By: AS	Sheet No:
Date: 2021-10-26	L2.1

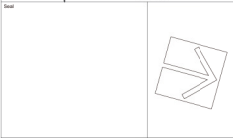


GENERAL LANDSCAPE NOTES:

1. All materials and execution of landscape works shall conform to the CLS/BONITA Landscape standard.
2. Do no construct from these drawings unless marked "Issued for construction".
3. All landscape works to be performed under this contract to meet the applicable provisions and recommendations set forth in the Master Municipal Specifications & Standards Details/Canadian Landscape Standards and respect all Municipal Bylaws.
4. The latest edition of the standards and codes referenced in these notes and on the landscape drawings shall apply.
5. The existing conditions were compiled from base plans of the site prepared by others. Although every effort has been made to accurately locate all conditions, actual conditions may vary from those shown. The contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the landscape architect before starting work. The contractor shall assume responsibility for actual conditions as they exist on site.
6. The landscape contractor shall be responsible for visiting the site to determine the extent of demolition, preparation, and removals necessary (whether shown on the drawings or not) to construct the proposed site improvements. The landscape contractor shall report, in writing, any discrepancies between the existing and proposed work to the landscape architect prior to proceeding with construction. Failure to inspect, notice, or report these discrepancies prior to construction shall not relieve the landscape contractor from their responsibility to perform the necessary operation for the successful completion of the proposed improvements without any changes to fee.
7. The landscape contractor shall verify dimensions shown on the drawings and notify the landscape architect if any discrepancies prior to the start of the final layout prior to construction.
8. Contractor to repair any damage resulting from work on site.
9. The landscape contractor shall refer any questions on materials, finishes, labour and/or products specified herein to the landscape architect.
10. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum 1% and maximum 2% slope. Slope grass swales (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 6" slope and maximum 3:1 slope.
11. Protection of existing trees/shrubs to remain: install temporary tree protection fencing at drip line of existing trees, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
15. All landscaping to have high efficiency irrigation system to IABC standards.

LEGEND		DETAIL
HARDSCAPE MATERIALS:		
	24 x 24" Texada Hydrapressed slab pavers Coor: Desert Sand	6 L8a
	24 x 24" Texada Hydrapressed slab pavers Coor: Tan	6 L8b
	Absolute Concrete Products, Pacific slate Colour: Granite Blend pattern: ashlar	6 L8c
	Stamped concrete	6 L8d
	PIP concrete paving	8 L8a
	Perimeter gravel strip	5 L8a
SOFTSCAPE MATERIALS:		
	Planting Bed	9 L8a
	Sodded lawn	4 L8a
LINE & SYMBOLS:		
	Property Line	1 L8a
	Architectural Slab	1 L8b
	3-6" high metal guardrail	3 L8b
	4" high metal fence	1 L8b
	6" high solid wood privacy screening	1 L8b

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Prospect & Refuge

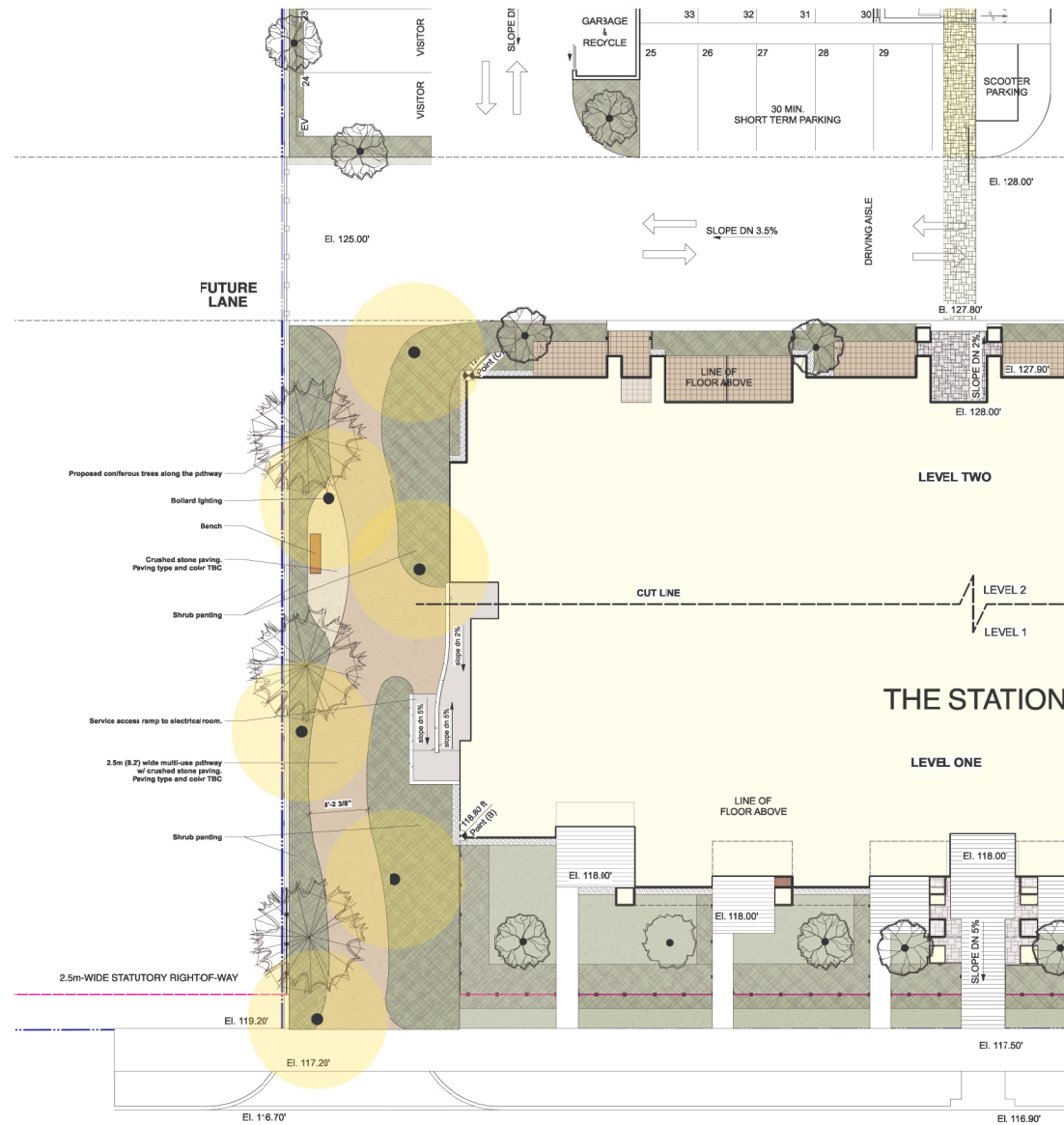
LANDSCAPE ARCHITECTS
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 604-683-1000 info@prospectandrefuge.ca
 Building over 25 years of history as Jonathan Lewis, Linc.

Project Title and Address
The Station
 529 Terminal Avenue N. Nanaimo, BC

Draw Title
Landscape Materials Plan

Project Manager: AS	Project No: 2021-47
Drawn by: NR	Scale: As Noted
Reviewed by: AS	Sheet No: L2.2
Date: 2021-10-26	

Plan View
 Scale: 3/32" = 1'-0"

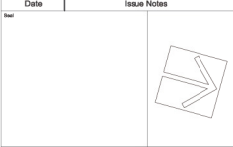


GENERAL LANDSCAPE NOTES:

1. All materials and execution of landscape works shall conform to the CLS/BCLNTA Landscape standard.
2. Do not construct from these drawings unless marked "Issued for construction".
3. All landscape works to be performed under this contract to meet the applicable provisions and recommendations set forth in the Master Municipal Specifications & Standards Detail/Canadian Landscape Standards and respect all Municipal Bylaws.
4. The latest edition of the standards and codes referenced in these notes and on the landscape drawings shall apply.
5. The existing conditions were compiled from base plans of the site prepared by others. Although every effort has been made to accurately locate all conditions, actual conditions may vary from those shown. The contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the landscape architect before starting work. The contractor shall assume responsibility for actual conditions as they exist on site.
6. The landscape contractor shall be responsible for visiting the site to determine the extent of demolition, preparation, and removals necessary (whether shown on the drawings or not) to construct the proposed improvements. The landscape contractor shall report, in writing, any discrepancies between the existing and proposed work to the landscape architect prior to proceeding with construction. Failure to inspect, notice, or report these discrepancies prior to construction shall not relieve the landscape contractor from their responsibility to perform the necessary operation for the successful completion of the proposed improvements without any changes to fee.
7. The landscape contractor shall verify dimensions shown on the drawings and notify the landscape architect of any discrepancies prior to the start of the final layout prior to construction.
8. Contractor to repair any damage resulting from work on site.
9. The landscape contractor shall refer any questions on materials, finishes, labour and/or products specified herein to the landscape architect.
10. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3:1 slopes. Slope grass areas (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 5:1 slope and maximum 3:1 slope.
11. Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
12. All landscaping to have high efficiency irrigation system to IABC standards.

LEGEND		DETAIL	
HARDSCAPE MATERIALS:			
	24" x 24" Texada Hydrapressed slate pavers Color: Desert Sand	6 Lib	6 Lib
	24" x 24" Texada Hydrapressed slate pavers Color: Tan	7 Lib	7 Lib
	Absoluteform Concrete Products, Pacific slate Colour: Granite Blend pattern: ashlar		
	Stamped concrete		
	PIP concrete paving	8 Lib	8 Lib
	Perimeter gravel strip	8 Lib	8 Lib
SOFTSCAPE MATERIALS:			
	Planting Bed	9 Lib	1 Lib
	Botted lawn	4 Lib	4 Lib
LINE & SYMBOLS:			
	Property Line		
	Architectural Slab		
	3'-6" high metal guardrail		
	4' high solid wood privacy screening		

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C 2021-11-09	Issued for DP
B 2021-11-04	Issued for Review
A 2021-11-01	Issued for Review



Prospect & Refuge
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 Building over 25 years of history in Jonathan Lewis, L2.3

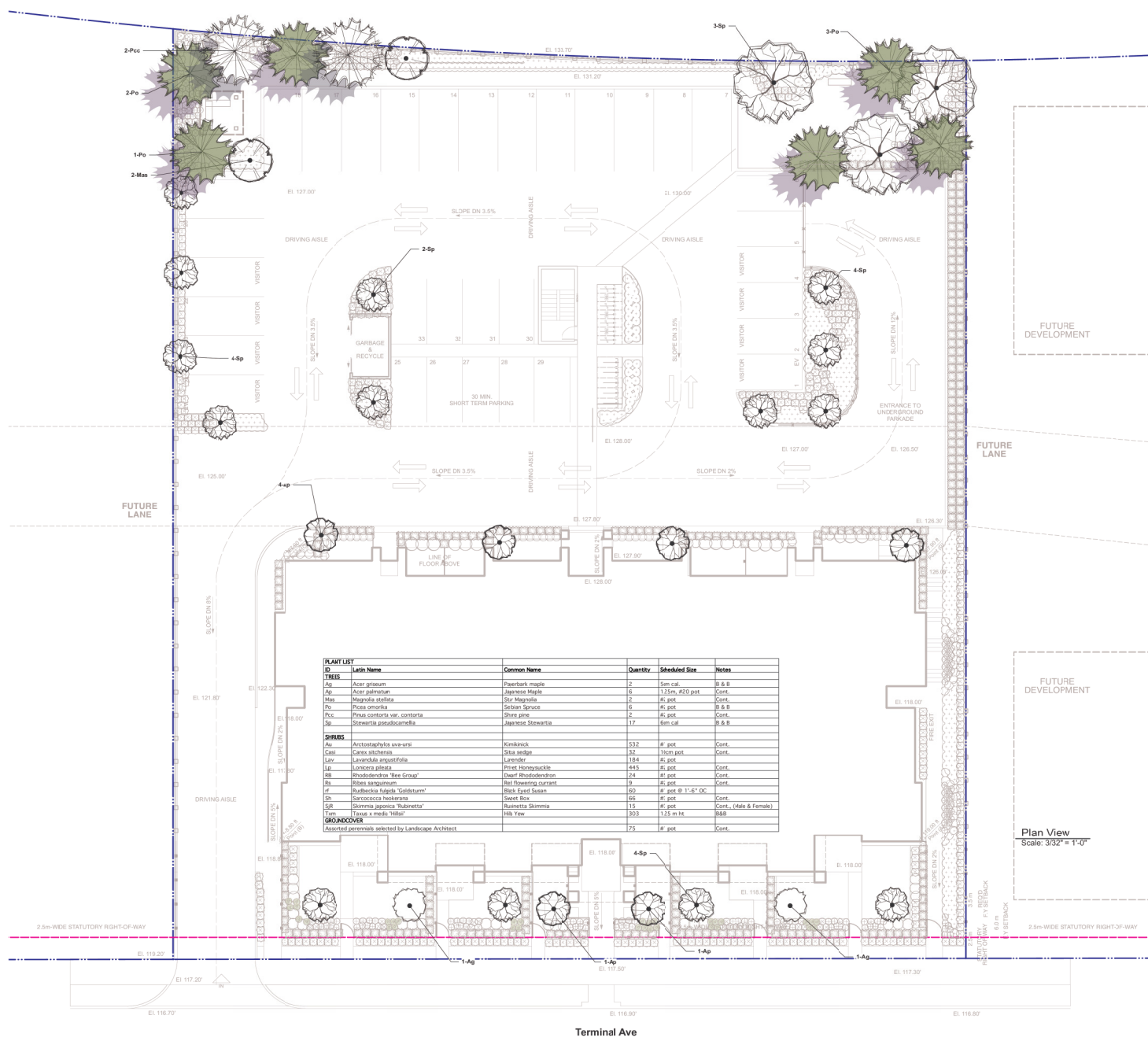
Project Title and Address:
The Station
 529 Terminal Avenue N. Nanaimo, BC

RECEIVED
 DP 12552
 2022-MAY-24
 CURRENT PLANNING

Draw Title:
Landscape Long-term Plan
 (Drive aisle's ultimate future use)

Project Manager:	AS	Project No.:	2021-47
Drawn By:	NR	Scale:	1/8"=1'-0"
Reviewed By:	AS	Sheet No.:	

Title:
L2.3




- PLANTING LANDSCAPE NOTES**
- All materials and execution of landscape works shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard. Refer to document for complete landscape documentation.
 - Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.
 - Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Soil analysis to be provided to the landscape architect for review and comment prior to delivery or site. Soil report shall be no older than one month.
 - Off site minimum soil depths are as follows unless noted differently on plans:
6" (150mm) for lawn areas
18" (450mm) for shrub beds
30" (900 mm) for trees
 - The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Scarify compacted subgrades to a minimum depth of 6" (150mm) immediately before placing growing medium.
 - All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to Canadian Landscape Standard for container grown stock.
 - Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supersede the list.
 - All plant material to be supplied on the site must be obtained from a nursery participating in the ECLNA Phytophthora ramorum Certification Program. Plant material provided by the contractor found to be carrying P.r. will be removed, disposed of and replaced at the contractor's expense.
 - Obstructions - If obstructions or other conditions detrimental to healthy plant growth are encountered, notify the Landscape Consultant and request additional instructions. The exact location of trees shall be determined on site and plants fit subject to obstructions where applicable.
 - Plants shall be nursery grown under climatic conditions similar to those in the location of the project. Plants shall be healthy, vigorous and of normal habit of growth to the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be puned prior to delivery except upon special approval.
 - Root balls to be free of pernicious weeds.
 - Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
 - Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Groomed' as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be order extended warranty until the June 1 of the following year.
 - The Landscape Consultant is to approve any plant material substitutions. Upon delivery, all plant material must meet CLS standards.
 - Planting material on City Boulevard is to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
 - All landscaping to have high efficiency irrigation system to IABC standards.

PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES					
Ag	Acacia greggiana	Paperbark maple	2	5m cal.	B & B
Ma	Acacia melanocoryna	Japanese Maple	6	1.25m #20 pot	Cont.
Mas	Magnolia speciosa	Star Magnolia	2	#6 pot	Cont.
Po	Picea omorika	Siberian Spruce	6	#6 pot	B & B
Poc	Picea canadensis var. contorta	Shore pine	2	#6 pot	Cont.
Sp	Stewartia pseudocamellia	Japanese Stewartia	17	6m cal.	B & B
SHRUBS					
Au	Arctostaphylos uva-ursi	Kimblewick	532	# pot	Cont.
Ca	Ceanothus americanus	Blue sage	32	10m pot	Cont.
Lav	Lavandula angustifolia	Lavender	184	# pot	Cont.
Pr	Prinos holoseriale	Prinos holoseriale	445	# pot	Cont.
Rh	Rhododendron 'Blue Group'	Over Rhododendron	24	# pot	Cont.
Rf	Ribes sanguinum	Red flowering currant	9	# pot	Cont.
Sa	Sarcococca angustata 'Goldstump'	Red Eyes Susan	60	# pot @ 1'-6" OC	Cont.
Sh	Sarcococca hookeriana	Sweet Box	66	# pot	Cont.
Si	Skimmia japonica 'Rubra'	Rumex Skimmia	15	# pot	Cont. (Male & Female)
Tm	Taxus canadensis 'Millar'	Hill Tree	393	1.25 m ht.	B&B
GRANDCOVER					
	Selected specimens selected by Landscape Architect		75	# pot	Cont.

Plan View
Scale: 3/32" = 1'-0"

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D 2022-01-23	Issued for Review
C 2021-11-04	Issued for Review
B 2021-11-04	Issued for Review
A 2021-11-01	Issued for Review

Date	Issue Notes



Prospect & Refuge
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#1-888-828-8888 Vancouver, BC V6J 1G3
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Building on over 25 years of history in Jonathan Lewis, Linc.

Project File and Address
The Station
529 Terminal Avenue N. Nanaimo, BC

Project Manager: AS
Drawn By: NR
Reviewed By: AS
Date: 2021-10-26

Project No.: 2021-47
Scale: As Noted
Sheet No.: L3.1

RECEIVED
DP 1252
2022 MAY 24
COURTESY



E 2022-05-24 Re-issued for DP
D 2022-01-23 Issued for Review
C 2021-11-04 Issued for Review
B 2021-11-04 Issued for Review
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Date	Issue Notes

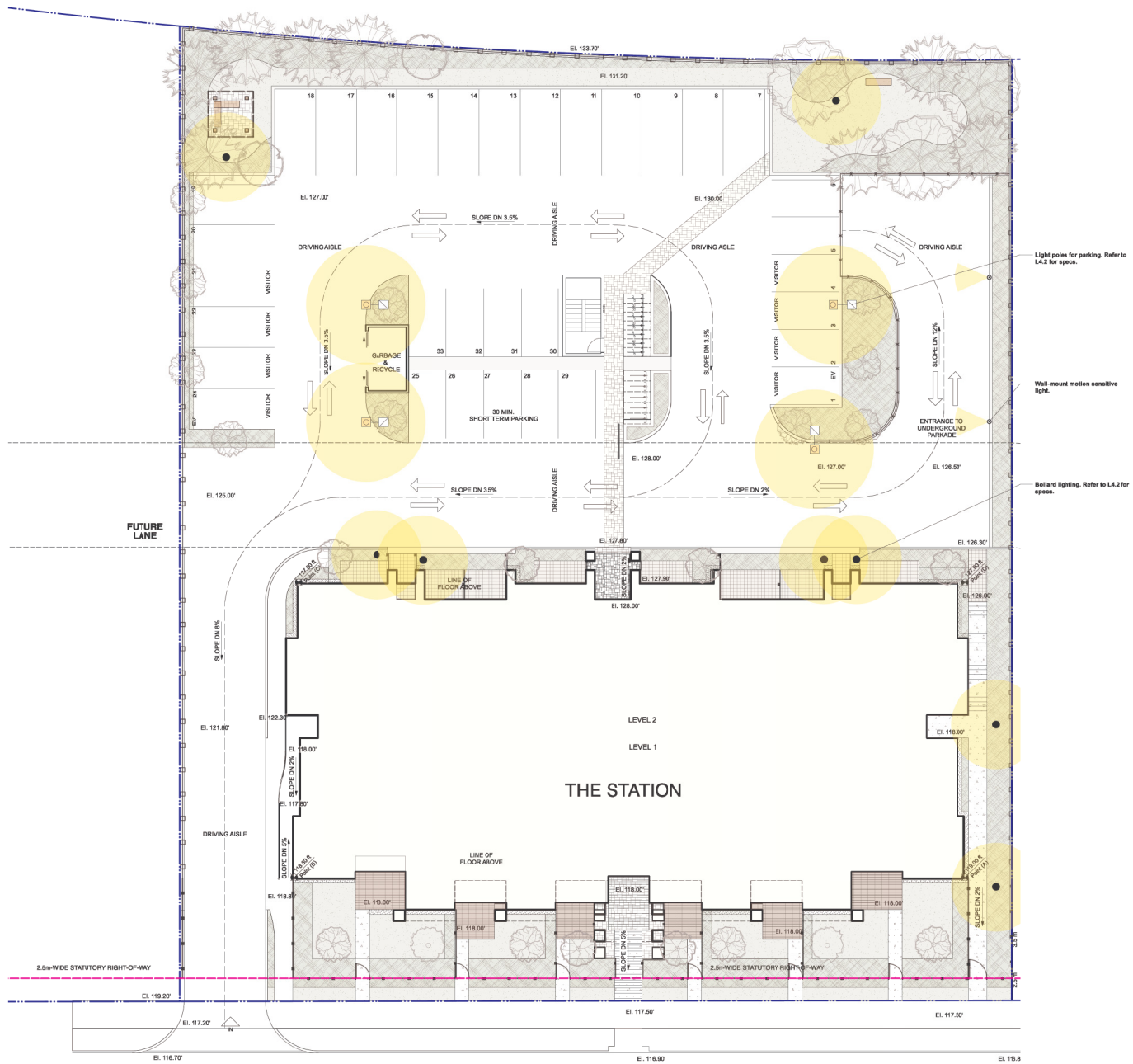
Prospect & Refuge
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Building on over 25 years of history in Jonathan Lewis, Linc.

Project File and Address
The Station
529 Terminal Avenue N. Nanaimo, BC




RECEIVED
DP 1252
2022 MAY 24
OUTDOOR PLANNING

Drawn Title
Landscape Shrub Planting

Project Manager: AS	Project No.: 2021-47
Drawn By: NR	Scale: As Noted
Reviewed By: AS	Sheet No.:
Date: 2021-10-26	L3.2



LEGEND

-  Light Pole
Lumark PIV-Prewall LED on 10' Post
-  42" One Sided Bollard Light
EON 303-01-LED81
-  Wall Mount Motion Sensitive Light
Lumark PIV-Prewall LED on wall mount with motion sensor activation

- E 2022-05-24 Issued for DP
- D 2022-01-23 Issued for Review
- C 2021-11-09 Issued for DP
- B 2021-11-04 Issued for Review
- A 2021-11-01 Issued for Review

Date	Issue Notes

Prospect & Refuge
 LANDSCAPE ARCHITECTS
 #1-16876 Columbia Street, Vancouver, BC V6L 1G3
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 Building in over 25 years of history via Jonathan Lewis, LSS.

Project Title and Address: **The Station**
 529 Terminal Avenue N. Nanaimo, BC

RECEIVED
 DP # 2352
 2022-MAY-24
 COURTNEY PLANNING

Lighting Plan

Project Manager: AS	Project No.: 2021-47
Drawn By: NR	Scale: As Noted
Reviewed By: AS	Sheet No.:
Date: 2021-10-26	L4.1

Project	Catalog #	Type	
Prepared by	Notes	Date	

Lumark

PRV / PRV-XL Prevall LED

Area / Site Luminaire

Typical Applications
Outdoor • Parking Lots • Walkways • Roadways • Building Areas

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 3
- Product Specifications page 3
- Energy and Performance Data page 4
- Control Options page 5

Quick Facts

- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficiencies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Prevall

13 1/2" (343mm) x 26 1/2" (688mm)

Prevall XL

17 3/8" (442mm) x 39 5/8" (1000mm)

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March 4, 2022, 3:10 PM

DESCRIPTION

Eon 303-B1-LEDB1 is a compact, low profile, dimmable, LED bollard that provides downlight only via a fixed head. 303-B1-LEDB1 has a single head on one side of the luminaire. The bollard comes standard with universal input LEC driver (120-277V, 60/50 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver or an optional D-10V dimming driver. Eon fixtures may be used indoors or outdoors and carry an IP68 rating. The patented LumLeve™ leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration.

CONSTRUCTION

The head of the 303-B1-LEDB1 is precision machined from corrosion-resistant 6061-T6 aluminum. Body is extruded aluminum and adjustable mounting base is cast from corrosion resistant aluminum alloy. Stainless steel hardware is included. Four (4) 3/8" x 12" galvanized anchor bolts and a galvanized steel anchor bolt template are standard. Specify option LAB and order the anchor bolt template kit separately (Catalog 7681-01PK).

Optical

LightBeam™ and optical assembly are sealed by a clear, impact resistant tempered glass lens. The optical assembly is available in three distributions: T2 (lateral throw), T1 (forward throw) and TSX (flood). Available in several color temperatures: 2700K, 3000K, 3500K, 4000K and TSAM (Amber). Both color temperature and distribution must be specified when ordering – see catalog logic for details. An edge-fit option is available.

Electrical

The bollard is standard with an ELV trailing edge phase dimmable driver that accepts a universal input (120-277 V, 60/50Hz). An optional D-10V universal dimming driver is also available. Both driver options incorporate surge protection. The receptacle option incorporates a specification grade, 120V, 15A, tamper proof and weather resistant duplex outlet. The photocell option comes in either a 120V or 277V. Please see Option section for more detail.

Finish

Luminaire and mounting base are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish. The mounting base is painted black. The luminaire housing and head are available in a variety of standard colors. RAL and custom color finishes are available upon request. As an option, the Eon bollards are also available in colors to match other outdoor Eon product lines, such as Invis. See the Finish section in the ordering detail for more detail.

Warranty

Lumiere warrants the EON series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty.

Catalog #	Type		
Project		Date	
Comments			
Prepared by			

Lumière

303-B1-LEDB1

EON LED

CERTIFICATION DATA

UL and ETL (UL Location Label)
LM78 / LM81 Compliant
RoHS Compliant
IP68 Ingress Protection Rated

TECHNICAL DATA

0°C Maximum Temperature Rating
External Supply Wiring 8°C Maximum

APPLICATIONS:
BOLLARD

Under side profile view

ORDERING INFORMATION

Sample Number: 303-B1-LEDB1-T270-120-T2-DM10-BK-42-EDGE-PC1-RFL-LAB

Series*	Color Temperature	Input Voltage	Optics	Dimming	Finish*	Height*	Options*
303-B1-LEDB1	2700-3000K	UNV-120/277V	T2 - Type I, Lateral Throw	EMSELY-Trailing Edge Phase Dim	Painted Black	32-12" (813mm)	EDGE-Edge fit glass lens PC1-Photocell 120V
	3000-3000K	120-277V	T4 - Type IV, Forward Throw	ELV-Driver	Black/White	36-20" (914mm)	PC2-Photocell 208/277V
	4000-4000K	277/277V	DM10-D-10V Dimming Flood	DM10-D-10V Dimming Driver	Clear/Silver	36-20" (914mm)	RM-Remoteless In Use (100% On)
	TSAM-Turkey Sulu Amber (655nm)		TN - Type V, Forward Flood		Painted Black	32-12" (813mm)	IPFL-Photoeye
					AP-Drive	32-12" (813mm)	LAB-Lead Anchor Bolt & Template
					DM-Orange Mastix		

NOTES: 1. Standard height 32" (813mm) is standard unless specifying Photocell or Remoteless or In Use. 100% On/Off. 2. Specify for other options. Eon and Refuge are available upon request. Consult Refuge for further information. 3. Bollard height is overall shown in inches. 4. 12" length not available with PC1 or RM options. 5. Add suffix to the order when a 3/4" blue epoxy chip is required. 6. When specifying LAB option the center hole and template need to be ordered separately. 7. 60" height, 8" length/24" diameter/1" thick and 60" height, 6" length/24" diameter/1" thick are not available. 8. 60" height, 6" length/24" diameter/1" thick are not available. 9. 60" height, 6" length/24" diameter/1" thick are not available. 10. 60" height, 6" length/24" diameter/1" thick are not available. 11. 60" height, 6" length/24" diameter/1" thick are not available.

TS001001EN
March 14, 2019

E	2022-05-24	19-issued for DP	
D	2022-01-23	issued for Review	
C	2021-11-09	issued for DP	
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A	2021-11-01	issued for Review	
	Date	Issue Notes	

Prospect & Refuge

LANDSCAPE ARCHITECTS

#101681910-0101-0101-0101-0101
65-689-1003 info@prospectrefuge.ca

Building for over 25 years of history on Jonathan Lane, L55.

Project Title and Address

The Station
529 Terminal Avenue N. Nanaimo, BC

Draw Title
Lighting Specs

Project Manager: AS **Project No.:** 2021-47

Drawn By: NR **Scale:** As Noted

Reviewed By: AS **Draw No.:**

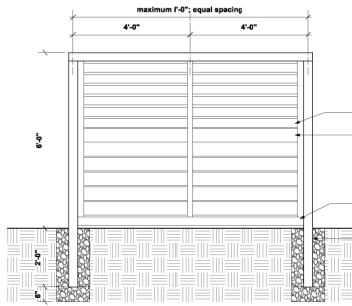
Title: 2021-10-26

RECEIVED

2022-MAY-24

GUYER PARKING

L4.2

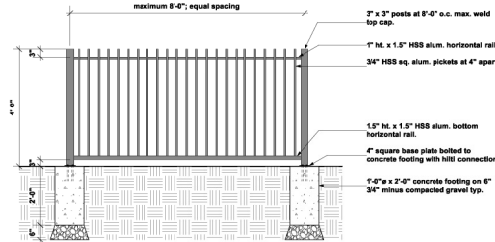


NOTES:
 1. All Cedar to be BTX, S132E - no checks, splits, warp or warpage.
 2. Stain with two coats of water based stain-colour as selected by Architect.

Horizontal 1" x 4" top 6 rails at 1" apart.
 Horizontal 1" x 6" bottom 6 rails at 1/2" apart.

4" x 4" bottom horizontal rails.
 Backfill post hole with clear gravel, tamper in 8" lifts.

1 6'-0" ht. Solid Wooden Privacy Fence
 Scale: 1/2" = 1'-0"



NOTES:
 All metal primed and powder coated
 Colour: Black

3" x 3" posts at 8'-0" o.c. max. weld top cap.

1" H. x 1.5" HSS alum. horizontal rail.

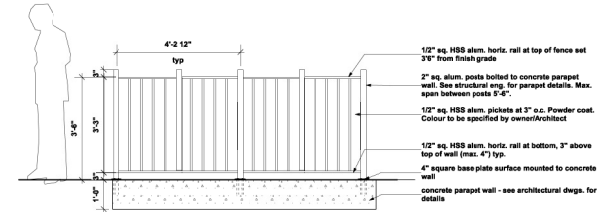
3/4" HSS sq. alum. pickets at 4" apart.

15' H. x 1.5" HSS alum. bottom horizontal rail.

4" square base plate bolted to concrete footing with HSS connection.

1'-0" x 2'-0" concrete footing on 6" 3/4" minus compacted gravel typ.

2 Typical 4'-0" ht. Metal Picket Fence with Gate
 Scale: 1/2" = 1'-0"



12" sq. HSS alum. horiz. rail at top of fence set 3/8" from finish grade

2" sq. alum. posts bolted to concrete parapet wall. See structural eng. for parapet details. Max. span between posts 9'-6".

12" sq. HSS alum. pickets at 3" o.c. Powder coat. Colour to be specified by owner/Architect

12" sq. HSS alum. horiz. rail at bottom, 3" above top of wall (max. 4") typ.

4" square base plate surface mounted to concrete wall

concrete parapet wall - see architectural dwgs. for details

3 Typical 3'-6" ht. Metal Picket Guardrail
 Scale: 1/2" = 1'-0"



Urban Staple Racks - Installation Guidelines
 Model: Urban

The ground mounted Urban Staple Racks need to be anchored in concrete surface to ensure a stable and safe installation. Minimum concrete specifications should be followed as indicated below.

MINIMUM CONCRETE REQUIREMENTS

Recommended Thickness: 2"per Foot, 4" x 4"
 For most locations, allow up to 100 days for full concrete curing.

Tools Required
 1/2" x 1/2" Socket or 3/8" Drive
 1/2" Socket Wrench
 1/2" Drive Bit
 Hammer
 Level
 1/2" x 1/2" Socket Wrench

Installation
 The recommended spacing between racks is 10' on center, with a minimum spacing of 6' on center, although this limit of 6' on center is only applicable for the 4' x 4" model. Spacing should be increased for larger models. The racks should be installed on a level surface. The racks should be installed on a level surface. The racks should be installed on a level surface.

Anchoring Detail
 The rack should be anchored as required with the specified concrete wedge anchors. The rack should be anchored as required with the specified concrete wedge anchors. The rack should be anchored as required with the specified concrete wedge anchors.

URBAN RACKS
 RECYCLED METAL
 488-111-1111 | www.urbanracks.com
 100% Recycled Metal and Powder Coated
 Please visit us at www.urbanracks.com

5 Staple bike racks, color black from Urban Racks
 Scale: 1/2" = 1'-0"
 Surface-mounted with tamper proof hardware.



4 6' long Hutch Park bench color: walnut from Wishbone
 Scale: 1/2" = 1'-0"
 Available from www.wishboneid.net
 Surface-mounted with tamper proof hardware



6 Amenity Area Pergola w/ benches
 Scale: N/A
 (Concept image)

E	2022-05-24	Issued for DP
D	2022-01-23	Issued for Review
C	2021-11-09	Issued for Review
B	2021-11-04	Issued for Review
A	2021-11-01	Issued for Review

Date	Issue Notes

Prospect & Refuge
 LANDSCAPE ARCHITECTS
 #10-1688 W. 10th Ave. Vancouver, BC V6J 1G3
 604-689-1000 | info@prospectandrefuge.ca
 Building on over 25 years of history as Jonathan Lewis, Ltd.

Project Title and Address
The Station
 529 Terminal Avenue N. Nanaimo, BC

RECEIVED
 13 11 2023
 2022-MAY-24
 OUTPOST PLANNING

Draw Title
Landscape Details

Project Manager	AS	Project No.	2021-47
Client	NIR	Scale	As Noted
Reviewed By	AS	Sheet No.	
Date	2021-10-26		

L8b