

October 5, 2021

City of Nanaimo
Planning Department
455 Wallace Street
Nanaimo, BC V9R 5J6

Attn: Ms. Lainya Rowett, MCIP, RPP, Manager of Current Planning

RE: Development Permit Rationale – 6985 Island Hwy N, PID 030-901-952

PROPERTY INFORMATION

- Civic Address: 6985 Island Hwy N
- PID: 030-901-952
- Site Area: 2.90 acres
- Existing OCP Designation: Urban Node
- Proposed OCP Designation: No change
- Existing Zoning: North Nanaimo Urban Centre, CC4
- Proposed Zoning: No change

The project site is located within the area designated as the Woodgrove Urban Node of the Nanaimo Official Community Plan. The property abuts 6795 Island Highway N to the east, and is located between Island Highway N to the north and Nanaimo Parkway to the south. There are no servicing or infrastructure challenges to be expected with the development of this property. Specifically, our proposal as presented is for the development of the second phase of a purpose-built rental apartment located at 6975 Island Highway N.

CURRENT PLANNING POLICY

Official Community Plan

The property is within the Woodgrove Urban Node designation of the OCP. The Woodgrove area is a key economic generator that provide a range of goods and services to residents from Nanaimo and the surrounding area.

Current Zoning Information

The property is currently zoned CC4 Woodgrove Urban Centre. The current zoning designation provides for a regional commercial centre with a focus on intensive retail and service uses and medium to high density residential.

DEVELOPMENT PROPOSAL

DISTRICT

T 604.377.3382 200-8809 Heather Street
Vancouver BC V6P 3T1
districtgroup.ca

RECEIVED
DP1248
2021-OCT-07
Current Planning

District Developments is pleased to present the second phase of a best in class rental apartment project in Nanaimo, BC. The property is located near the City of Nanaimo city limits and is abutted by Island Highway to the north and Nanaimo Parkway to the south. To the east of the property is the completed first phase of the North Grove development, approved by the City of Nanaimo on May 3, 2018, which is comprised of three (3) four-storey buildings with 150 rental apartment units (DP 001083).

PROPOSED PLAN

This particular site has presented both challenges and opportunities with respect to design. Several factors have been considered in determining the layout and of the site including:

- The site as a gateway entry to the municipality;
- Architecture;
- Landscaping;
- Connectivity; and
- Consideration of Phase 1.

The site has been contextually planned so as to appropriately incorporate with the adjacent land uses and maintains consistency with the first phase of development, which introduced residential uses into a predominantly commercial area. We believe the second phase of the North Grove development will carry on with the success of phase one which injected residential uses in an area predominantly comprised of commercial services. Adding additional residential density at the proposed location is supportable as the site is proximal to a major transit hub in the City and is in close proximity to a major employment base.

The proposed Development Permit package illustrates our intention to develop two (2) five-storey purpose built rental residential apartment buildings constructed atop one discrete level of underground parking located within each building footprint; the remaining balance of parking is to be provided at the surface. A total of approximately 150 units will be constructed between the two rental residential apartment buildings. The proposed development will provide the area with a much-needed housing typology in an area that has proximal access to essential services including retail, commercial, and a new park which was dedicated as part of the first phase of the development located at 6875 Island Highway N. The development takes into consideration the Parkway Design Guidelines and respects the design guidelines as presented in the Official Community Plan.

As the site is located on the western most boundary of the City, a significant amount of attention was paid to the presentation of the property from the perspective of vehicular traffic approaching the city from the west. As part of the pre-application process, the applicant worked extensively with City staff throughout the site planning stage which

began in November 2020 through March 2021. The proposed buildings are set back from Island Highway N creating a landscape buffer that allows the buildings to be visually in and amongst the proposed new landscaping. As is indicated in the development guidelines parking has been strategically placed in areas that can be shrouded by screening along both the Parkway and the North Island Highway.

In order to decrease the amount of site coverage, we are proposing two 5 storey buildings. As the site is uniquely shaped and bound between the Parkway and Island Highway, increasing the height of the buildings from four to five storeys allows for a reduction in the building footprint, which in turn increases permeability and soft scaping. To further reduce the amount of site coverage the project contemplates one level of discrete underground parking situated within the building footprints.

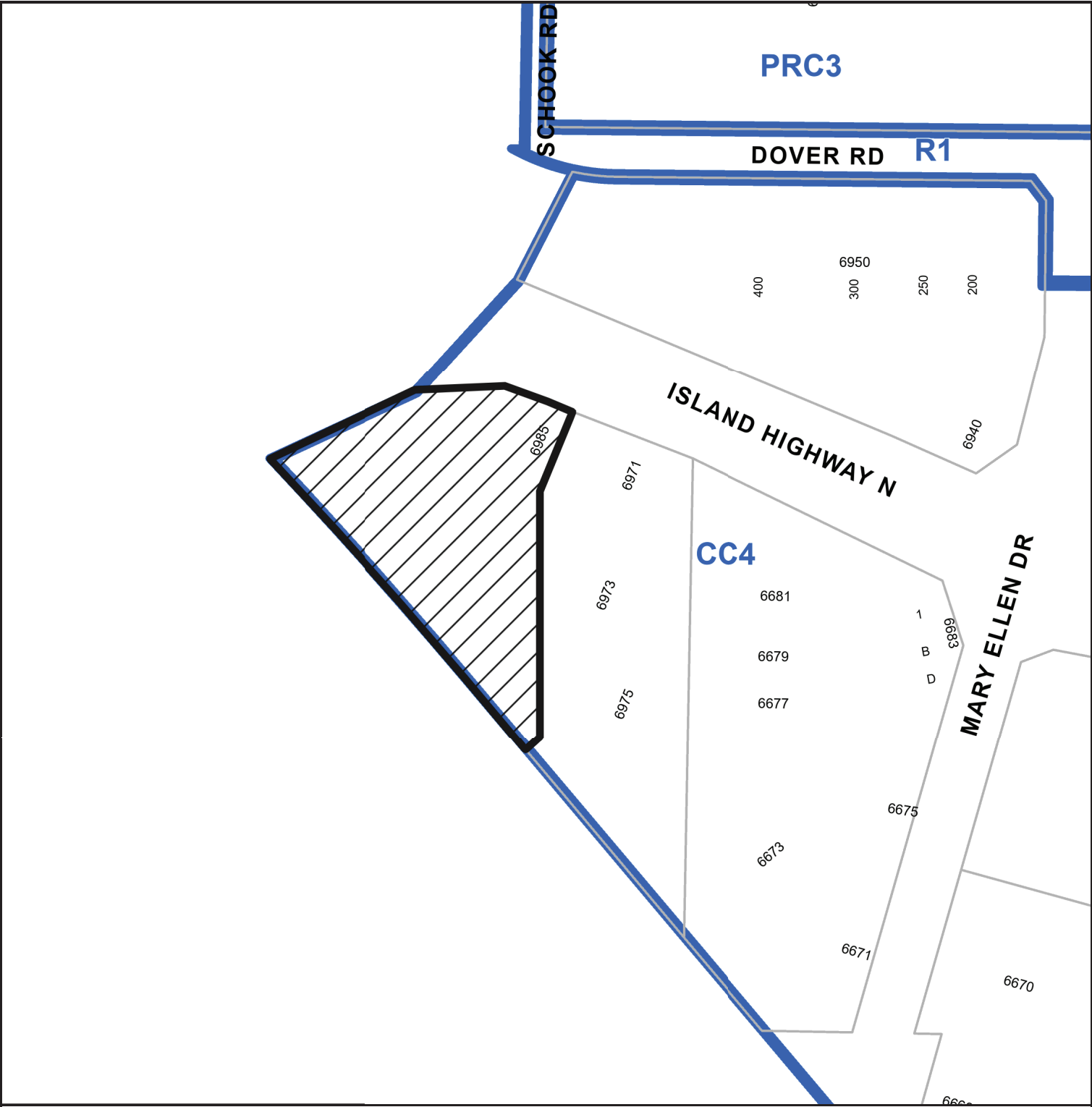
The proposed materials and colour palette are consistent with the first phase of the development (6975 Island Highway N) however, the building design varies from phase one to phase two in order to create a unique sense of place. A higher degree of detail will occur around the entries and the ground floor where there is an opportunity for people to touch and feel the materials. It is our belief that a simple approach to the architecture create timeless buildings and will allow the landscape treatments to stand out.

We trust this information and level of detail provided in our submission package reflects the tremendous amount of thought and effort we have put into the proposal. We look forward to working with you and other City of Nanaimo staff throughout the course of our Development Permit application.



DISTRICT

T 604.377.3382 200-8809 Heather Street
Vancouver BC V6P 3T1
districtgroup.ca

LOCATION PLAN

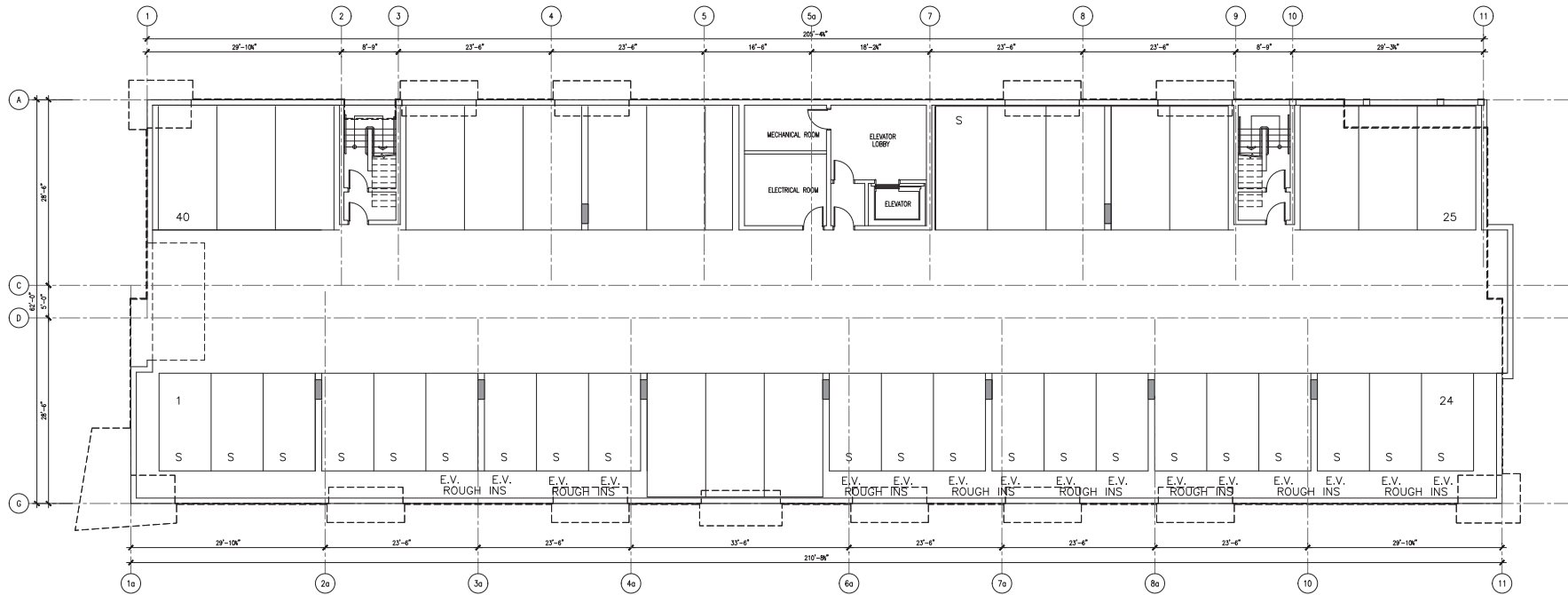


DEVELOPMENT PERMIT APPLICATION NO. DP001248



Subject Property

CIVIC: 6985 ISLAND HIGHWAY NORTH
LEGAL: LOT 2, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN EPP80768



UNDERGROUND PARKING FLOOR PLAN

NOTES

1. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS FOUND THEM TO BE AS SHOWN ON THE PRELIMINARY FLOOR PLAN. THE ARCHITECT HAS NOT CONDUCTED A FIELD SURVEY OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A FIELD SURVEY OF THE EXISTING CONDITIONS.

2. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS FOUND THEM TO BE AS SHOWN ON THE PRELIMINARY FLOOR PLAN. THE ARCHITECT HAS NOT CONDUCTED A FIELD SURVEY OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A FIELD SURVEY OF THE EXISTING CONDITIONS.



D-ARCHITECTURE
6377 GARUS DRIVE, NANAIMO, BC V9Y 1A4
T: 250-933-1991, E: FIRGULU@SHAW.CA
DARYOUSH FIRGULU ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE
1/8" = 1'-0"
DRAWN
CHECKED
DATE
25 SEP 21

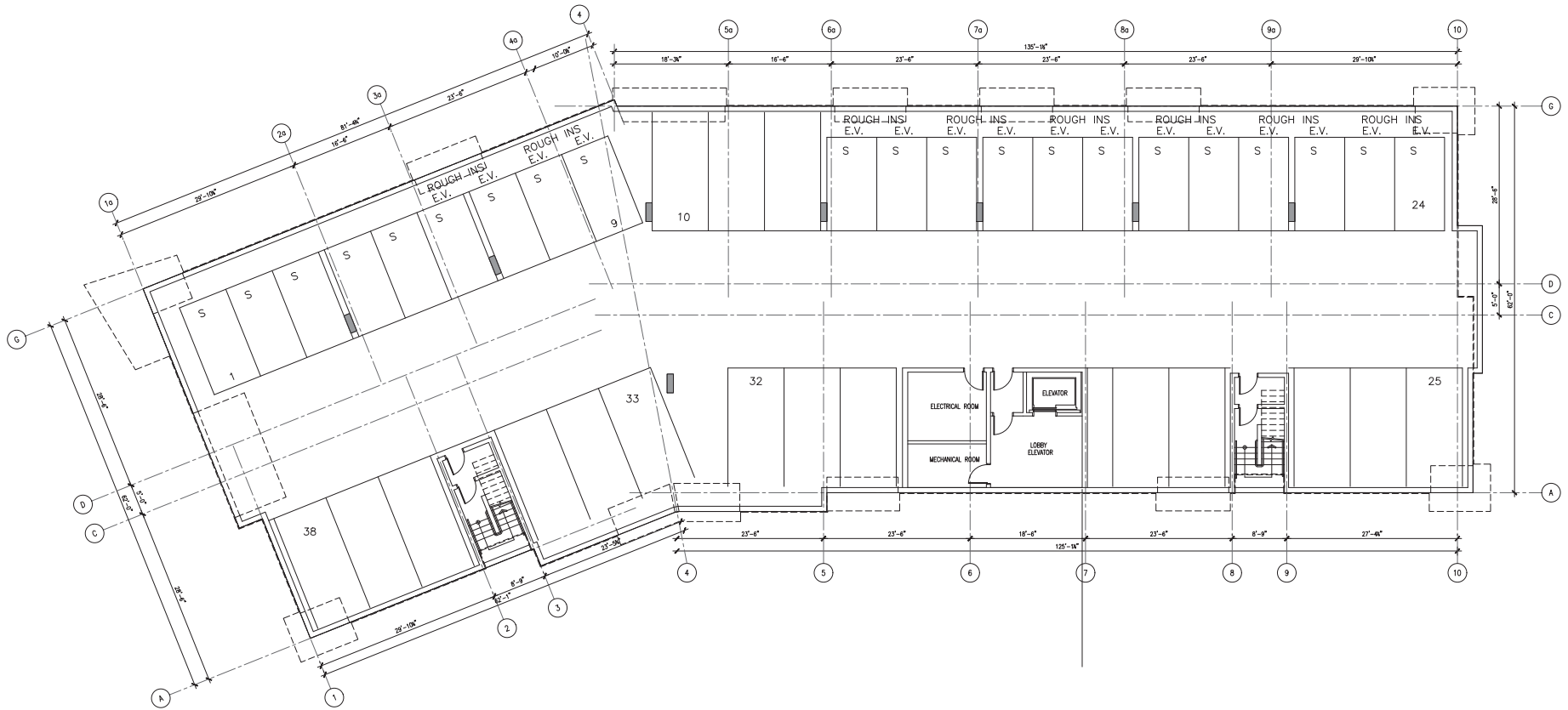
PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO.
2176

SHEET TITLE
UNDERGROUND PARKING
PRELIMINARY
BUILDING B

SHEET NO.
A2.0
REVISION

RECEIVED
DP1248
2021-OCT-07
DISTRICT PLANNING



UNDERGROUND PARKING FLOOR PLAN

RECEIVED
DP 1243
2021-OCT-07
DISTRICT PLANNING

NOTES

1. The drawings are the property of the architect and shall remain confidential. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.

2. The drawings are the property of the architect and shall remain confidential. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.



D-ARCHITECTURE
6377 GARDEN DRIVE, NANAIMO, BC V9Y 1W4
T: 250-633-1091, E: FIRUZLI@D-ARCH.COM
DARYOUSH FIRUZLI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE
1/8" = 1'-0"

DRAWN

CHECKED

DATE

25 SEP 21

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT

PROJECT NO.
2176

SHEET TITLE
UNDERGROUND PARKING
PRELIMINARY
BUILDING A

SHEET NO.
A3.0
REVISION



6985 ISLAND HIGHWAY N.
NANAIMO, BC
NORTH GROVE #2

ISSUED FOR DEVELOPMENT PERMIT
SEPTEMBER 25, 2021

SITE PARTICULARS		
CIVIC ADDRESS:	6985 Island Highway North, Nanaimo, BC	
LEGAL ADDRESS:	Lot 2, District Lot 26, Wellington District, Plan EPP80768	
SITE AREA:	2.90 Acres 126,497 sq.ft. (11,752 m ²)	
ZONING:	CC4 Woodgrove Urban Centre	
PROJECT DATA		
DESCRIPTION	ALLOWED / REQUIRED	PROPOSED (Building A & B)
USE	Multiple Family Dwelling	Multiple Family Dwelling
LOT AREA	126,497 sq.ft. (11,752 m ²)	126,497 sq.ft. (11,752 m ²)
LOT COVERAGE	50%	25% = 25,591 sq.ft. (2,377 m ²)
BUILDING GROSS FLOOR AREA		Building A & B: Main Floor Plan: 24,767 sq.ft. Second Floor Plan: 25,199 sq.ft. Third Floor Plan: 25,199 sq.ft. Fourth Floor Plan: 25,199 sq.ft. Fifth Floor Plan: 25,199 sq.ft. Total: 125,563 sq.ft.
DENSITY	1.25 = 158,121 sq.ft. (14,690 m ²)	0.99 = 125,563 sq.ft. (11,665 m ²) Overall
SETBACKS	FRONT: 24.60' (7.5 m) Min. REAR: 24.60' (7.5 m) Min. SIDE: 9.84' (3.0 m) Min. SIDE (flanking street): 19.69' (6.0 m) Min.	FRONT: 20.67' (6.3 m) Min. SIDE: 24.60' (7.5 m) Min. REAR: 9.84' (3.0 m) Min. SIDE (flanking street): 19.69' (6.0 m) Min.
HEIGHT OF BUILDINGS	45.93' (14 m) Max.	65' (18.28 m) Max.
AMENITY AREAS		999 S.F. AMENITY ROOM & BIKE S.
OFF-STREET PARKING	- 1.52 Stall per 3 bedroom units x 0 = 0.00 - 1.26 Stall per 2 bedroom units x 39= 49.14 - 0.88 Stall per 1 bedroom units x 94= 82.72 - 0.75 Stall per Studio units x 16 = 12.00 REQUIRED BY EXISTING BYLAW 144 STALLS	Large stalls 86 Small stalls 93 H/C stalls 4 Total: 183 Loading Bay 2

BUILDING CODE ANALYSIS

B.C. BUILDING CODE 2018

3.1 GENERAL

MAJOR OCCUPANCY CLASSIFICATION	3.2.2.50
GROUP C - RESIDENTIAL	3.2.2.82
GROUP F3 - PARKING	

OCCUPANCY LOAD	3.1.17.1.(1)
----------------	--------------

BUILDING A	0 BEDS = 00	BUILDING B	0 BEDS = 00
PARKING FLOOR	19 BEDS = 38	PARKING FLOOR	19 BEDS = 38
LEVEL 1 (MAIN FLOOR)	19 BEDS = 38	LEVEL 1 (MAIN FLOOR)	19 BEDS = 38
LEVEL 2	20 BEDS = 40	LEVEL 2	20 BEDS = 40
LEVEL 3	20 BEDS = 40	LEVEL 3	20 BEDS = 40
LEVEL 4	20 BEDS = 40	LEVEL 4	20 BEDS = 40
LEVEL 5	20 BEDS = 40	LEVEL 5	20 BEDS = 40

TOTAL OCCUPANT LOAD = 196	TOTAL OCCUPANT LOAD = 196
---------------------------	---------------------------

3.2 BUILDING FIRE SAFETY

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY	3.2.2.10
--	----------

BUILDING FACES 1 STREET	3.2.2.10
-------------------------	----------

GROUP C, UP TO 6 STOREYS, SPRINKLERED	3.2.2.50
---------------------------------------	----------

BUILDING AREA TO BE MAX. 1,000 SQ. FT. (93.0 M ²)	3.2.2.50
---	----------

BUILDING HEIGHT TO BE MAX. 5 STOREYS	3.2.2.50
--------------------------------------	----------

BUILDING MAY BE CONSTRUCTED OF NON-COMBUSTIBLE CONSTRUCTION	3.2.2.50
---	----------

FLOOR ASSEMBLIES TO BE FIRE SEPARATIONS W/ 1 HR. FIRE	3.2.4.1.(1)
---	-------------

FIRE ALARM AND DETECTION SYSTEMS	3.2.4.1.(1)
----------------------------------	-------------

PROVISIONS FOR FIRE FIGHTING	3.2.4.1.(1)
------------------------------	-------------

AUTOMATIC SPRINKLER SYSTEM IN CONFORMANCE WITH NFPA 13	3.2.4.1.(2)
--	-------------

3.3 TO 3.6 SAFETY WITHIN FLOOR AREAS

FIRE SEPARATION	FIRE RESISTANCE RATING	3.3.4.3
-----------------	------------------------	---------

SEPARATION SUITS / PARKING	1.5 HOUR	3.3.4.3
----------------------------	----------	---------

SEPARATION SUITS / RESIDENTIAL SUITES	1 HOUR	3.3.4.3
---------------------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

SEPARATION SUITS / PARKING	1 HOUR	3.3.4.3
----------------------------	--------	---------

DRAWING LIST

ARCHITECTURAL

A0.0 COVER SHEET

A1.1 SITE PLAN

BUILDING B

A2.0 PARKADE FLOOR PLAN

A2.1 MAIN FLOOR PLAN

A2.2 SECOND FLOOR PLAN

A2.3 THIRD FLOOR PLAN

A2.4 FOURTH FLOOR PLAN

A2.5 FIFTH FLOOR PLAN

A2.6 ROOF PLAN

BUILDING A

A3.0 PARKADE FLOOR PLAN

A3.1 MAIN FLOOR PLAN

A3.2 SECOND FLOOR PLAN

A3.3 THIRD FLOOR PLAN

A3.4 FOURTH FLOOR PLAN

A3.5 FIFTH FLOOR PLAN

A3.6 ROOF PLAN

A4.1 BUILDING ELEVATIONS (BLDG. A)

A4.2 BUILDING ELEVATIONS (BLDG. A)

A5.1 BUILDING ELEVATIONS (BLDG. B)

A5.2 BUILDING ELEVATIONS (BLDG. B)

CIVIL

C00 COVER SHEET

C01 KEY PLAN

C02 GRADING PLAN

C03 SERVICES PLAN

C04 DETAILS

C05 STORMWATER MANAGEMENT PLAN

MECHANICAL

STRUCTURAL

ELECTRICAL

EDP1 ELECTRICAL DEVELOPMENT PERMIT

LANDSCAPE

L1 GRAPHIC LANDSCAPE PLAN

L2 GRADING & MATERIAL PLAN

L3 GRADING & MATERIAL PLAN

L4 PLANTING PLAN

L5 PLANTING PLAN

L6 DETAILS

CONSULTANTS

ARCHITECTURAL

DARYOUSH FIROUZLI ARCHITECTURE INC.

1. 250-625-1881

2. 250-625-1881

3. 250-625-1881

4. 250-625-1881

5. 250-625-1881

6. 250-625-1881

7. 250-625-1881

8. 250-625-1881

9. 250-625-1881

10. 250-625-1881

11. 250-625-1881

12. 250-625-1881

13. 250-625-1881

14. 250-625-1881

15. 250-625-1881

16. 250-625-1881

17. 250-625-1881

18. 250-625-1881

19. 250-625-1881

20. 250-625-1881

21. 250-625-1881

22. 250-625-1881

23. 250-625-1881

24. 250-625-1881

25. 250-625-1881

26. 250-625-1881

27. 250-625-1881

SITE DATA

LEGAL DESCRIPTION:

LOT 2, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN EPP80768

CIVIC ADDRESS:

6985 ISLAND HIGHWAY NORTH, NANAIMO, BC

LOT AREA:

126,497 S.F. (11,752 M²)

FLOOR GROSS AREA BLDG. A

PARKADE (NOT IN TOTAL GROSS AREA)

MAIN FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FOURTH FLOOR PLAN

FIFTH FLOOR PLAN

TOTAL:

FLOOR GROSS AREA BLDG. B

PARKADE (NOT IN TOTAL GROSS AREA)

MAIN FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FOURTH FLOOR PLAN

FIFTH FLOOR PLAN

TOTAL:

NOTES

1. This drawing is an integral part of the project.

2. The owner is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

3. The owner is responsible for obtaining all necessary easements and rights of way from the appropriate authorities.

4. The owner is responsible for obtaining all necessary survey data and boundary information from the appropriate authorities.

5. The owner is responsible for obtaining all necessary utility information from the appropriate authorities.

6. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

7. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

8. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

9. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

10. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

11. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

12. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

13. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

14. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

15. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

16. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

17. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

18. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

19. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

20. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

21. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

22. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

23. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

24. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

25. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

26. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

27. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

28. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

29. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

30. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

31. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

32. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

33. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

34. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

35. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

36. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

37. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

38. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

39. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

40. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

41. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

42. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

43. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

44. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

45. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

46. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

47. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

48. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

49. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

50. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

51. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

52. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

53. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

54. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

55. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

56. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

57. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

58. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

59. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

60. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

61. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

62. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

63. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

64. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

65. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

66. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

67. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

68. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

69. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

70. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

71. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

72. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

73. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

74. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

75. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

76. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

77. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

78. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

79. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

80. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

81. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

82. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

83. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

84. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

85. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

86. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

87. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

88. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

89. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

90. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

91. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

92. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

93. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

94. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

95. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

96. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

97. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

98. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

99. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

100. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

101. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

102. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

103. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

104. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

105. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

106. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

107. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

108. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

109. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

110. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

111. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

112. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

113. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

114. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

115. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

116. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

117. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

118. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

119. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

120. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

121. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

122. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

123. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

124. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

125. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

126. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

127. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

128. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

129. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

130. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

131. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

132. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

133. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

134. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

135. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

136. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

137. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

138. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

139. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

140. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

141. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

142. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

143. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

144. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

145. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

146. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

147. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

148. The owner is responsible for obtaining all necessary cultural information from the appropriate authorities.

149. The owner is responsible for obtaining all necessary archaeological information from the appropriate authorities.

150. The owner is responsible for obtaining all necessary heritage information from the appropriate authorities.

151. The owner is responsible for obtaining all necessary social information from the appropriate authorities.

152. The owner is responsible for obtaining all necessary economic information from the appropriate authorities.

153. The owner is responsible for obtaining all necessary environmental information from the appropriate authorities.

154. The owner is responsible for obtaining all necessary historical information from the appropriate authorities.

155. The owner is responsible for obtaining all necessary cultural information from the



WEST ELEVATION



EAST ELEVATION

EXTERIOR MATERIALS & COLORS		
CODE	COLOR	MATERIAL
1		CEMENT COMPOSITE SIDING SLATE GRAY
2		CEMENT COMPOSITE SIDING IRON GREY
3		CEMENT COMPOSITE SIDING ARCTIC WHITE
4		8" HARDIE PLANK SIDING LIGHT MIST
5		FAUX WOOD CLADDING
6		VENEER BRICK DARK BROWN BRICK
7		BLACK ALUMINUM RAILING
8		BLACK VINYL WINDOWS/DOORS



NORTH ELEVATION

RECEIVED
DP1248
2021-DEC-03
CITY OF NANAIMO

NOTES

1. This drawing is an instrument of service to the property owner and is not to be used for any other purpose without the written consent of the architect. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any construction based on this drawing. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any construction based on this drawing. The architect is not responsible for the accuracy of the information provided by the owner or for the results of any construction based on this drawing.



D-ARCHITECTURE
5377 GARUS DRIVE, NANAIMO, BC V9V 1N4
T: 250-933-1991, E: FIDRULI@SHAW.CA
DAN YOUSSEF FIDRULI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE
1/8" = 1'-0"
DRAWN
CHECKED
DATE
02 DEC 21

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO.
2176

SHEET TITLE
BUILDING ELEVATIONS
BUILDING A
PRELIMINARY

SHEET NO.
A4.1
REVISION

EXTERIOR MATERIALS & COLORS

CODE	COLOR	MATERIAL
1		CEMENT COMPOSITE SIDING SLATE GRAY
2		CEMENT COMPOSITE SIDING IRON GREY
3		CEMENT COMPOSITE SIDING ARCTIC WHITE
4		8" HARDIE PLANK SIDING LIGHT MIST
5		FAUX WOOD CLADDING
6		VENEER BRICK GRAY / BROWN BRICK
7		BLACK ALUMINUM RAILING
8		BLACK VINYL WINDOWS/DOORS



RECEIVED
DP1248
2021-DEC-03
CITY OF NANAIMO

NOTES

This drawing is an instrument of service to the property of the client. It is to be used for the purpose intended and only for the project and location specified. It is not to be used for any other purpose without the written consent of the architect. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the construction of the building. The architect is not responsible for the performance of the building. The architect is not responsible for the safety of the building. The architect is not responsible for the health of the building. The architect is not responsible for the environment of the building. The architect is not responsible for the future of the building. The architect is not responsible for the past of the building. The architect is not responsible for the present of the building. The architect is not responsible for the future of the building. The architect is not responsible for the past of the building. The architect is not responsible for the present of the building.



D-ARCHITECTURE
6377 GARUS DRIVE, NANAIMO, BC V9V 1N4
T: 250-933-1991, E: PROZULI@SHAW.CA
DARYOUSH PROZULI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE
1/8"=1'-0"
DRAWN
CHECKED
DATE
02 DEC 21

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2









CLIENT
DISTRICT
PROJECT NO.
2176

SHEET TITLE
BUILDING ELEVATIONS
BUILDING A
PRELIMINARY

SHEET NO.
A4.2
REVISION



EXTERIOR MATERIALS & COLORS

CODE	COLOR	MATERIAL
①		CEMENT COMPOSITE SIDING EVENING BLUE
②		CEMENT COMPOSITE SIDING CHARCOAL / RICH ESPRESSO
③		CEMENT COMPOSITE SIDING ARCTIC WHITE
④		8" HARDIE PLANK SIDING SLATE GRAY
⑤		FAUX WOOD SIDING
⑥		VENEER BRICK DARK BROWN BRICK
⑦		BLACK ALUMINUM RAILING
⑧		BLACK VINYL WINDOWS/DOORS

NOTES

This drawing is an instrument of service to the property of **Centricus Pacific Architecture Inc., Architect** - Owner and may not be reproduced without their permission and unless the reproduction contains their name. All designs and other information shown on this drawing are for use on the specified project only and shall not be used otherwise without written permission of this office.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall not be held responsible for any dimensions and conditions shown on the drawing. Shop drawings shall be submitted to this office for approval before



D-ARCHITECTURE
6377 ICARUS DRIVE, NANAIMO, BC V9V 1N4
T: 250-933-1991, E: FROUZLI@SHAW.CA
DARYOUSH FIROUZLI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE	1	2	3	4	5	6	7	8	9	10
-------	---	---	---	---	---	---	---	---	---	----

$$1/8' = 1' - 0''$$

DIXON

CHECKED

[illegible]

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT

PROJECT NO.	2176
-------------	------

SHEET TITLE
BUILDING ELEVATIONS
BUILDING B
PRELIMINARY

doi:10.1017/S0022292412001619

A5.1

RESEARCH

RECEIVED
DP1248
2021-DEC-03
Current Planning

EXTERIOR MATERIALS & COLORS

CODE	COLOR	MATERIAL
①		CEMENT COMPOSITE SIDING EVENING BLUE
②		CEMENT COMPOSITE SIDING CHARCOAL / RICH ESPRESSO
③		CEMENT COMPOSITE SIDING ARCTIC WHITE
④		8" HARDIE PLANK SIDING SLATE GRAY
⑤		FAUX WOOD SIDING
⑥		VENEER BRICK GRAY / BROWN BRICK
⑦		BLACK ALUMINUM RAILING
⑧		BLACK VINYL WINDOWS/DOORS



RECEIVED
DP1248
2021-DEC-03
CITY OF NANAIMO

NOTES

1. This drawing is a preliminary drawing and is not for construction. It is intended to show the general concept and design of the project. It is not to be used for any other purpose without the written consent of the architect.

2. All dimensions shall be in Imperial units unless otherwise noted.

3. The architect shall be responsible for obtaining all necessary permits and approvals for this project.

4. The client shall be responsible for providing all necessary information and documents for this project.

5. The architect shall be responsible for coordinating all trades and subcontractors for this project.

6. The architect shall be responsible for providing all necessary drawings and documents for this project.

7. The architect shall be responsible for providing all necessary services for this project.

8. The architect shall be responsible for providing all necessary information and documents for this project.



D-ARCHITECTURE
6377 GARLES DRIVE, NANAIMO, BC V9V 1H4
T: 250-633-1091, E: FIRGULU@D-ARCH.COM
DARYDUSH FIRGULU ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE
1/8" = 1'-0"
DRAWN
CHECKED
DATE 02 DEC 21

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO. 2176

SHEET TITLE
BUILDING ELEVATIONS
BUILDING B
PRELIMINARY

SHEET NO.
A5.2
REVISION



NOTES

1. This drawing is the property of the architect and is not to be reproduced or used in any way without the written consent of the architect.

2. The architect is not responsible for any errors or omissions in this drawing.

3. The architect is not responsible for any construction costs or materials.

4. The architect is not responsible for any construction delays or schedule changes.

5. The architect is not responsible for any construction safety or health issues.

6. The architect is not responsible for any construction quality or workmanship issues.

7. The architect is not responsible for any construction legal or regulatory issues.

8. The architect is not responsible for any construction environmental or sustainability issues.

9. The architect is not responsible for any construction social or community issues.

10. The architect is not responsible for any construction economic or financial issues.



D-ARCHITECTURE

6377 GARUS DRIVE, NANAIMO, BC V9V 1M4
 T: 250-933-1091, E: FIRUZLI@D-ARCHITECTURE.COM
 DARYOUSH FIRUZLI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE

DRAWN

CHECKED

DATE 25 SEP 21

PROJECT

NORTH GROVE #2

6985 ISLAND HWY NORTH

NANAIMO, BC

PHASE #2

CLIENT

DISTRICT

PROJECT NO. 2176

SHEET TITLE

RENDERING

RECEIVED
DP1248
 2021-OCT-07

PRELIMINARY

SHEET NO.

A6.1

REVISION



NOTES	



D-ARCHITECTURE
 6377 CARLE BRIDGE, NANAIMO, BC V9V 1H4
 T: 250-933-1991, E: FIRGULZI@SHAW.CA
 DARYOUSH FIRGULZI ARCHITECTURE INC.



SCALE	
DRAWN	
CHECKED	
DATE	25 SEP 21

PROJECT	NORTH GROVE #2
	6985 ISLAND HWY NORTH
	NANAIMO, BC
	PHASE #2

CLIENT	DISTRICT
PROJECT NO.	2176

SHEET TITLE	RENDERING
	PRELIMINARY

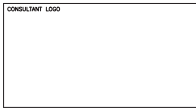
SHEET NO.	A6.2
REVISION	



NOTES	



D-ARCHITECTURE
 6377 GARLUS DRIVE, NANAIMO, BC V9V 1H4
 T: 250-933-1991, E: PIRGULI@D-ARCH.COM
 DARYOUSH PIRGULI ARCHITECTURE INC.



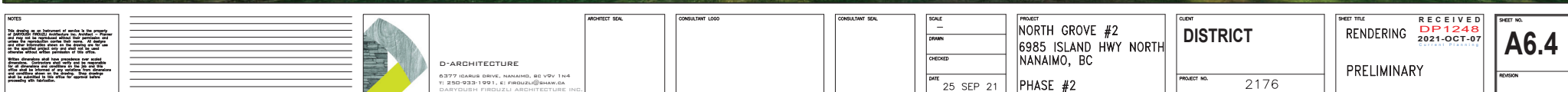
SCALE	
DRAWN	
CHECKED	
DATE	25 SEP 21

PROJECT
NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT	DISTRICT
PROJECT NO.	2176

SHEET TITLE	RENDERING
	RECEIVED DP1248 2021-OCT-07
	PRELIMINARY

SHEET NO.	A6.3
REVISION	





NOTES

1. This drawing is an architectural rendering of a proposed project. It is not a contract document. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities. The architect is not responsible for the accuracy of the information provided by the client or for the results of the project.

2. The client is responsible for providing all necessary information and documents to the architect in a timely manner. The architect is not responsible for the accuracy of the information provided by the client or for the results of the project.

3. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities. The architect is not responsible for the accuracy of the information provided by the client or for the results of the project.

4. The client is responsible for providing all necessary information and documents to the architect in a timely manner. The architect is not responsible for the accuracy of the information provided by the client or for the results of the project.



D-ARCHITECTURE
 8277 GARDEN DRIVE, NANAIMO, BC V9Y 1N4
 T: 250-933-1991, E: FIROUZ@D-ARCH.COM
 DARYOUSH FIROUZ ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE

—

DRAWN

CHECKED

DATE 25 SEP 21

PROJECT

NORTH GROVE #2

6985 ISLAND HWY NORTH

NANAIMO, BC

PHASE #2

CLIENT

DISTRICT

PROJECT NO. 2176

SHEET TITLE

RENDERING

PRELIMINARY

RECEIVED

DP 1248

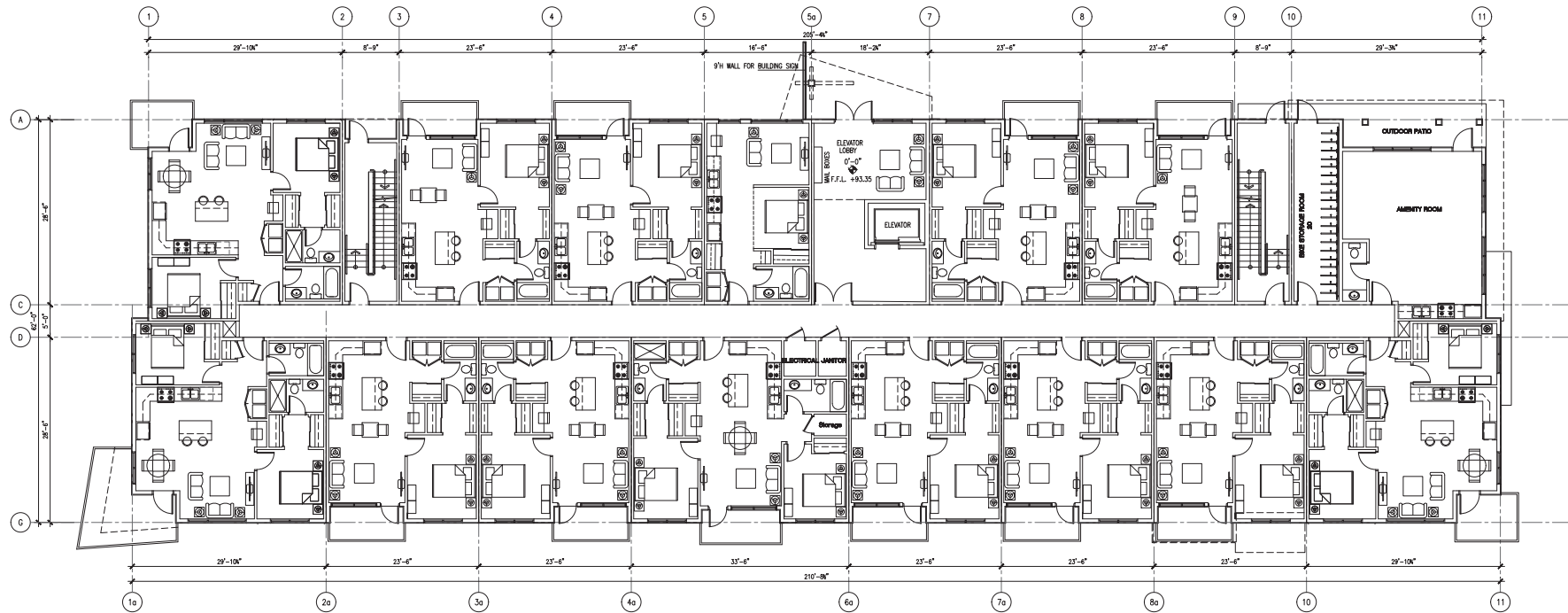
2021-OCT-07

CITY OF NANAIMO

SHEET NO.

A6.5

REVISION



RECEIVED
DP1248
2021-OCT-07

This drawing as an instrument of service is the property of SARNOUSH FROUZJAN Architects Inc. Architect - Planner and may not be reproduced without their permission and unless the reproduction carries their name. All designs and drawings are the property of the Architect and/or one of the specified project only and shall not be used otherwise without written permission of this office.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be inattentive of any variations in dimensions and conditions shown on the drawing. Shop drawings shall be submitted to this office for approval before proceeding with fabrication.



D-ARCHITECTURE
6377 ICARUS DRIVE, NANAIMO, BC V9V 1N4
T: 250-933-1991, E: FIROUZLI@SHAW.CA
DARYOUSH FIROUZLI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE	1/8"=1'-0"
DRAWN	
CHECKED	
DATE	25 SEP 21

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT

PROJECT NO.	2176
-------------	------

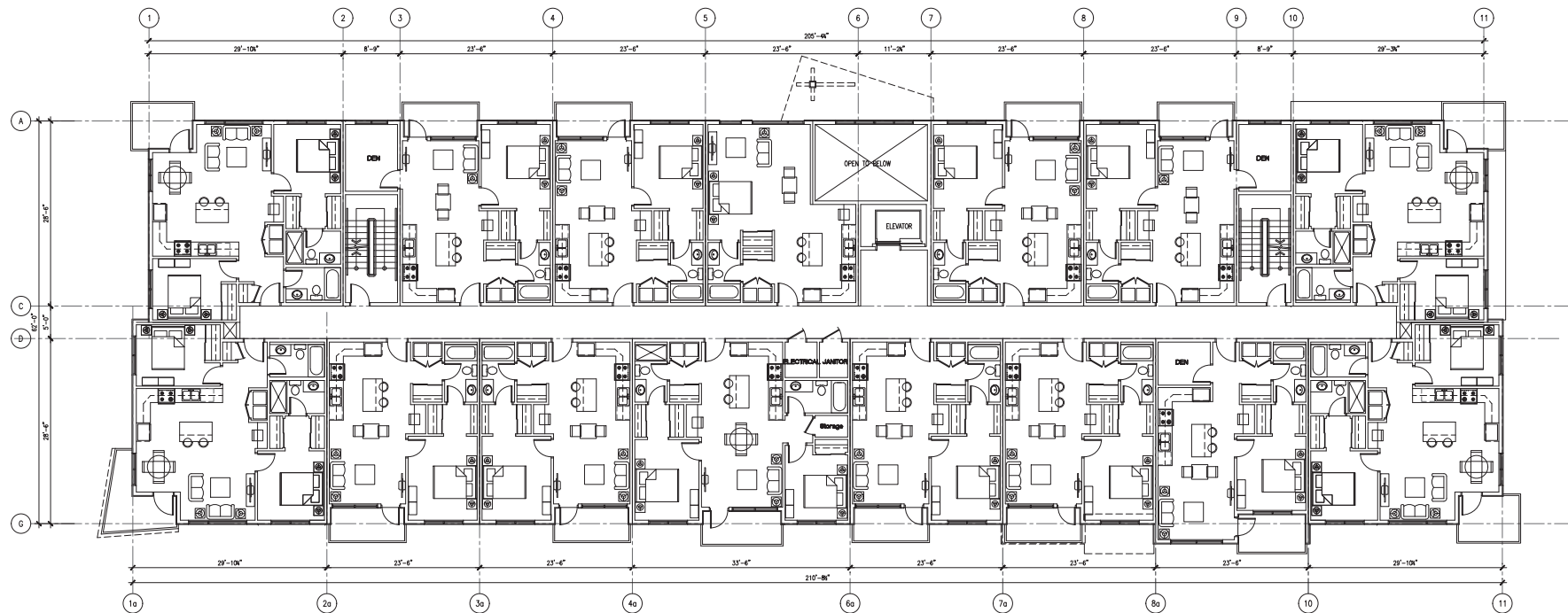
SHEET TITLE

MAIN FLOOR PLAN

PRELIMINARY

BUILDING B

A2.1



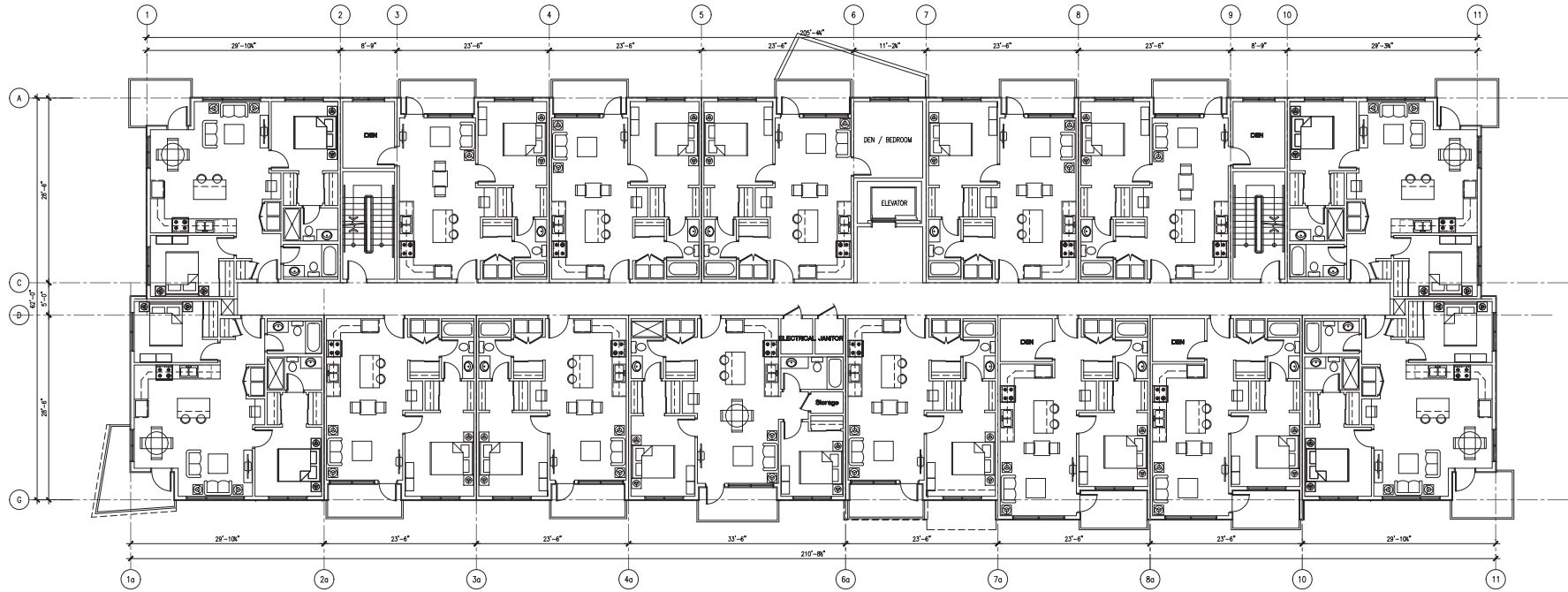
RECEIVED
DP1248
2021-OCT-07

This drawing as an instrument of service is the property of IMHOTEP FRODOU Architecture Inc. Architect – Planner and may not be reproduced without their permission and without the written consent of IMHOTEP FRODOU Architecture Inc. All other information shown on the drawing are for use on the specified project only and shall not be used otherwise without written permission of this office.

Written drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the site and this office shall be informed of any variations from drawings and conditions shown on the drawing. Shop drawings shall be submitted to this office for approval before proceeding with fabrication.



REGION



THIRD FLOOR PLAN

RECEIVED
DP1248
2021-OCT-07
DISTRICT PLANNING

NOTES

1. This drawing is an architectural drawing and is not to be used for any other purpose without the written consent of the architect. The architect is not responsible for the accuracy of the information provided by the client or for the results of any construction based on this drawing. The architect is not responsible for the accuracy of the information provided by the client or for the results of any construction based on this drawing.



D-ARCHITECTURE
6377 GARDEN DRIVE, NANAIMO, BC V9Y 1H4
T: 250-633-1991, E: FIRUZLI@SHAW.CA
DARYOUSH FIRUZLI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE
1/8" = 1'-0"

DRAWN

CHECKED

DATE

25 SEP 21

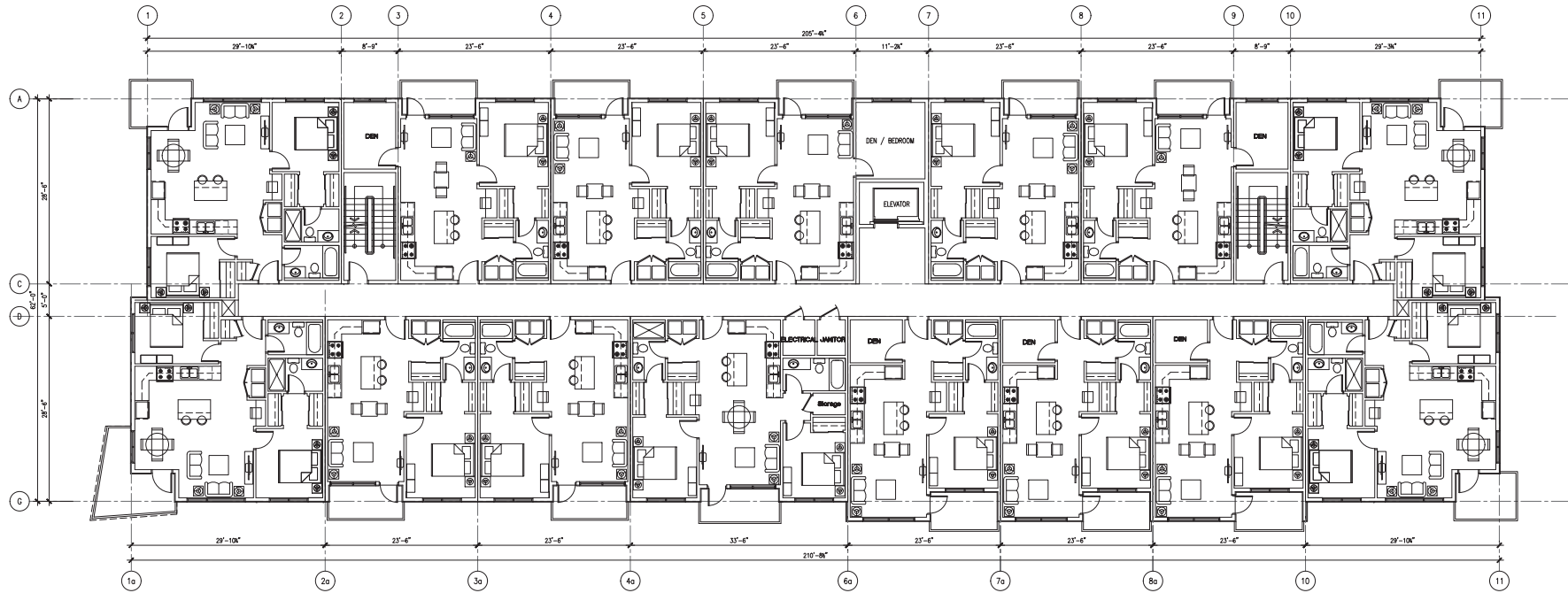
PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT

PROJECT NO.
2176

SHEET TITLE
THIRD FLOOR PLAN
PRELIMINARY
BUILDING B

SHEET NO.
A2.3
REVISION



FOURTH FLOOR PLAN

NOTES

1. This drawing is an architectural rendering of the proposed building and is not a construction document. It is intended to provide a visual representation of the proposed building and is not to be used for construction purposes. All dimensions and quantities are approximate and subject to change without notice. The architect assumes no responsibility for the accuracy of the information provided in this drawing.



D-ARCHITECTURE
6377 GARDEN DRIVE, NANAIMO, BC V9V 1A4
T: 250-933-1991, E: FIROUZLI@D-ARCHITECTURE.COM
DARYOUSH FIROUZLI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE 1/8"=1'-0"

DRAWN

CHECKED

DATE 25 SEP 21

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT

PROJECT NO. 2176

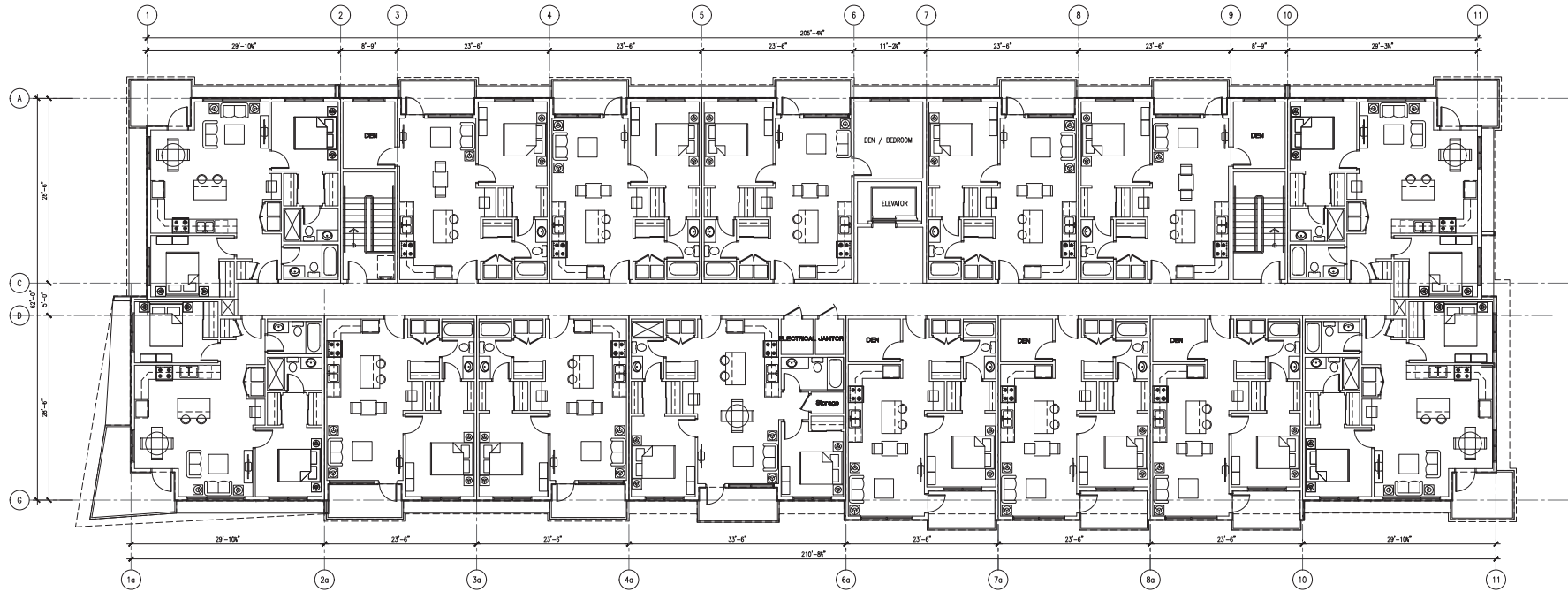
SHEET TITLE
FOURTH FLOOR PLAN
PRELIMINARY
BUILDING B

SHEET NO.

A2.4

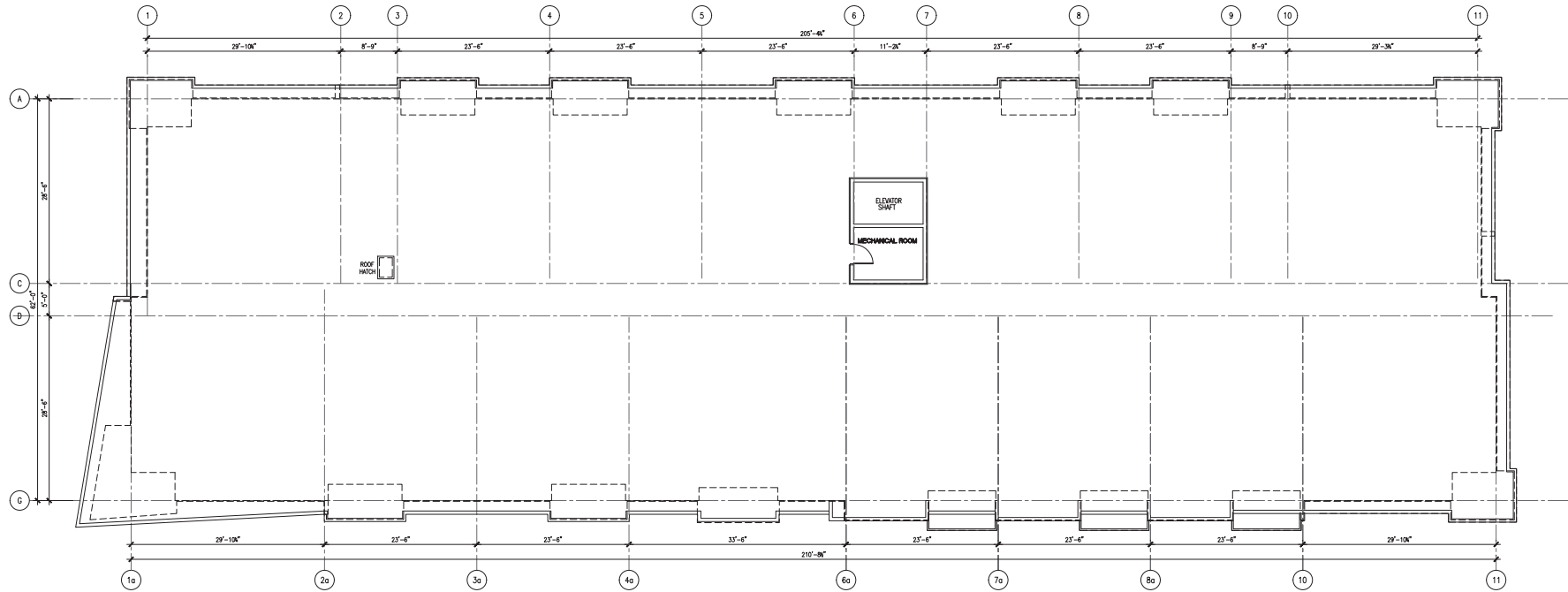
REVISION

RECEIVED
DP1248
2021-OCT-07



RECEIVED
DP1248
2021-OCT-07

SHEET NO.
A2.5
REVISION



ROOF PLAN

RECEIVED
DP1248
2021-OCT-07

NOTES

This drawing is an instrument of service to the property and shall not be used for any other purpose. The architect, engineer, or other professional shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom. The client shall be responsible for obtaining all necessary permits and for the accuracy of the information provided to the architect, engineer, or other professional. The architect, engineer, or other professional shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom. The client shall be responsible for obtaining all necessary permits and for the accuracy of the information provided to the architect, engineer, or other professional.



D-ARCHITECTURE
2277 GARDEN DRIVE, NANAIMO, BC V9V 1N4
T: 250-933-1991, E: PIROUZU@DASHAW.CA
DARYOUSH PIROUZLI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE
1/8"=1'-0"

DRAWN

CHECKED

DATE

25 SEP 21

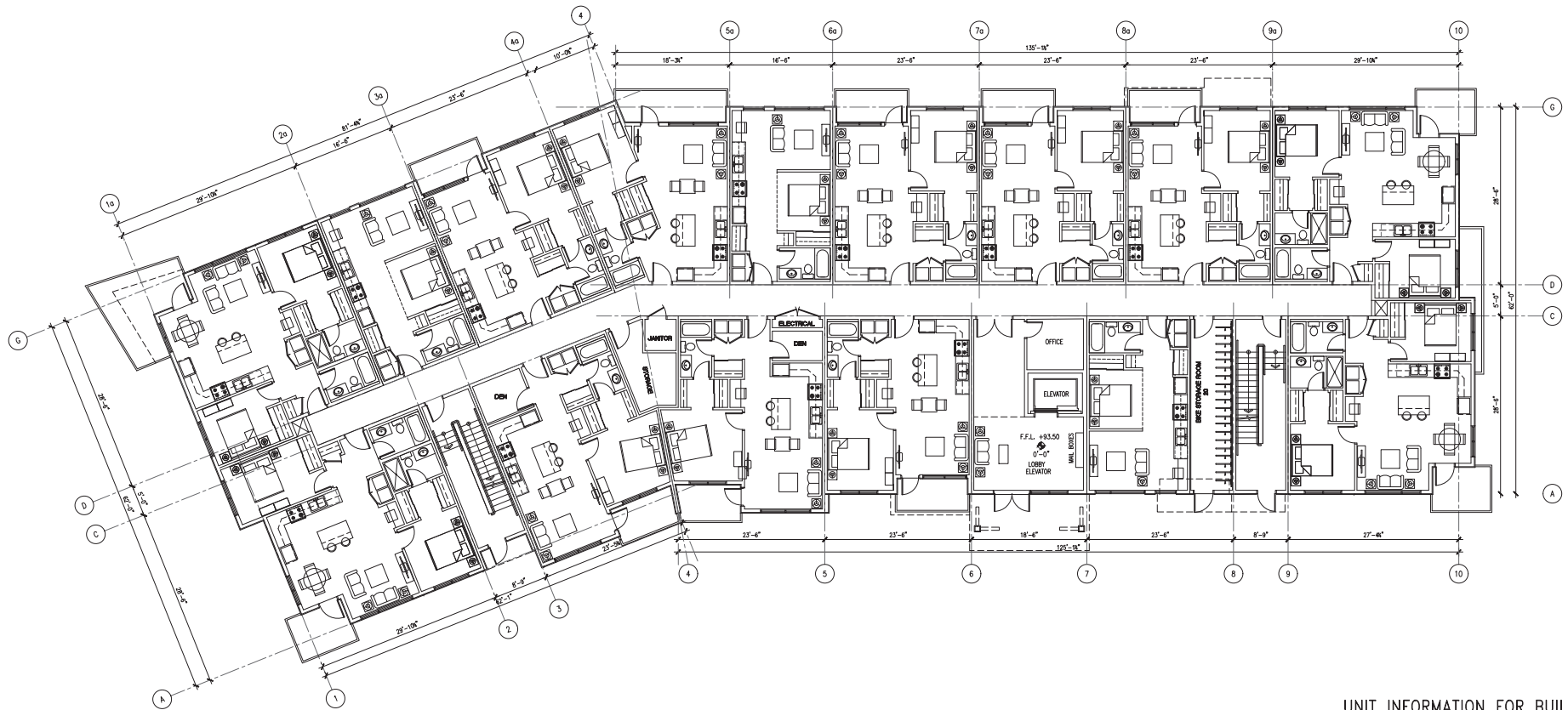
PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT

PROJECT NO.
2176

SHEET TITLE
ROOF PLAN
PRELIMINARY
BUILDING B

SHEET NO.
A2.6
REVISION



MAIN FLOOR PLAN

UNIT INFORMATION FOR BUILDING A

23 TWO BEDROOM UNITS

24 ONE BEDROOM & DEN UNITS

17 ONE BEDROOM UNITS

11 STUDIO UNITS

Total unit 75

FOOTPRINT 12,340 S.F.

RECEIVED
DP1248
2021-OCT-07
CITY OF NANAIMO

NOTES

1. This drawing is an architectural drawing and is not a legal document. It is not to be used for legal purposes. It is the responsibility of the user to verify the accuracy of the information provided in this drawing. The user is advised to consult with a professional engineer or architect for more information.



D-ARCHITECTURE
2277 GARDEN DRIVE, NANAIMO, BC V9Y 1A4
T: 250-933-1991, E: FIRGOUZI@D-A.COM
DARYOUSH FIRGOUZI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE

1/8" = 1'-0"

DRAWN

CHECKED

DATE

25 SEP 21

PROJECT

NORTH GROVE #2

6985 ISLAND HWY NORTH

NANAIMO, BC

PHASE #2

CLIENT

DISTRICT

PROJECT NO.

2176

SHEET TITLE

MAIN FLOOR PLAN

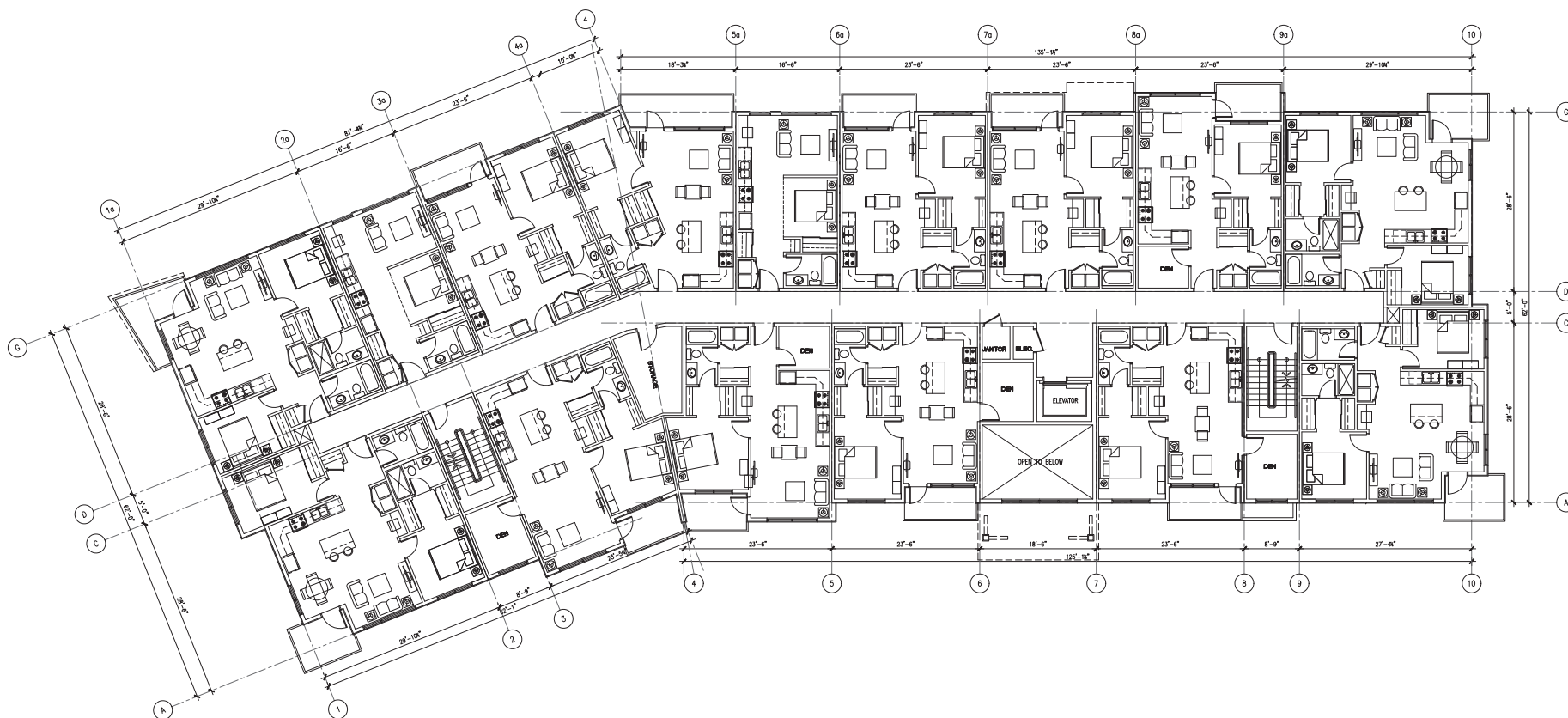
PRELIMINARY

BUILDING A

SHEET NO.

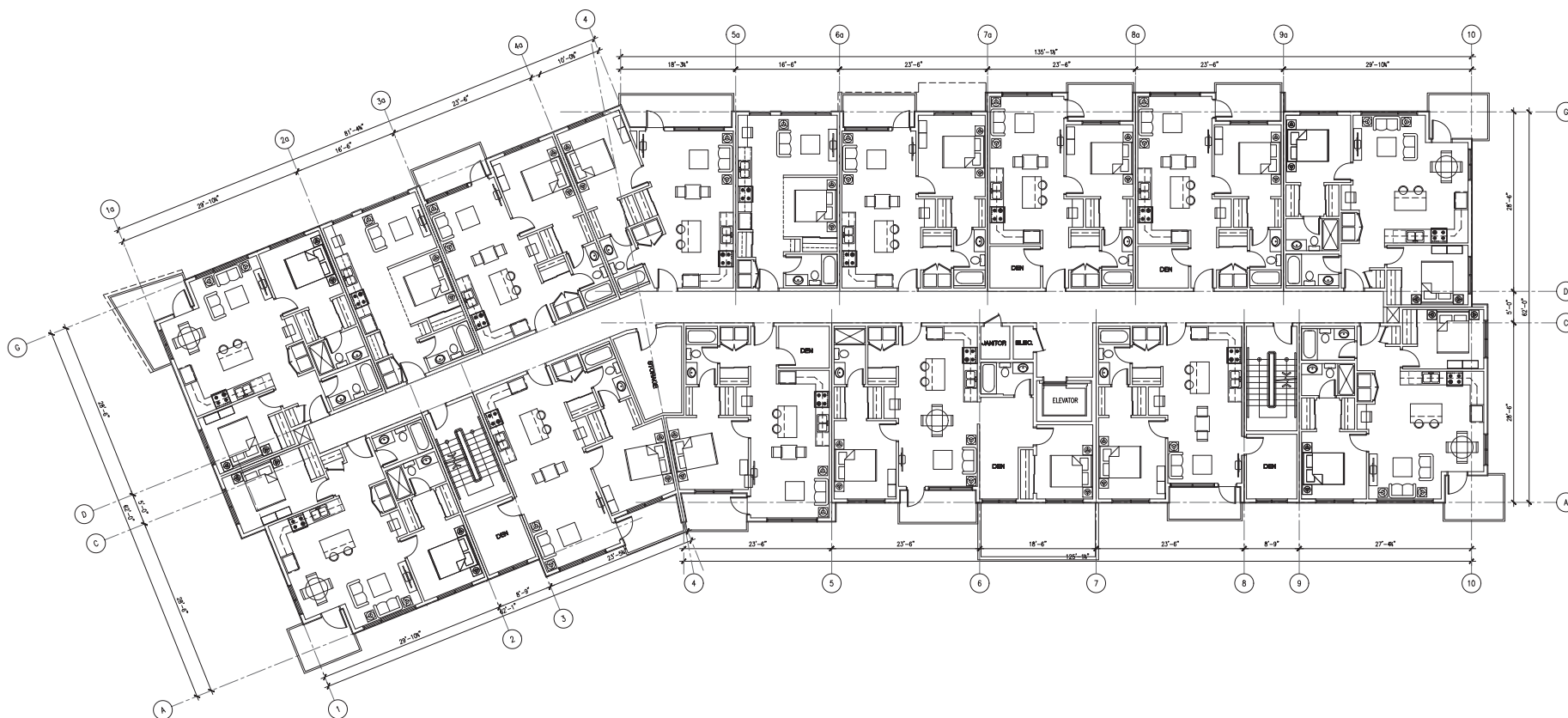
A3.1

REVISION



RECEIVED
DP1248
2021-OCT-07
Current Bibliography

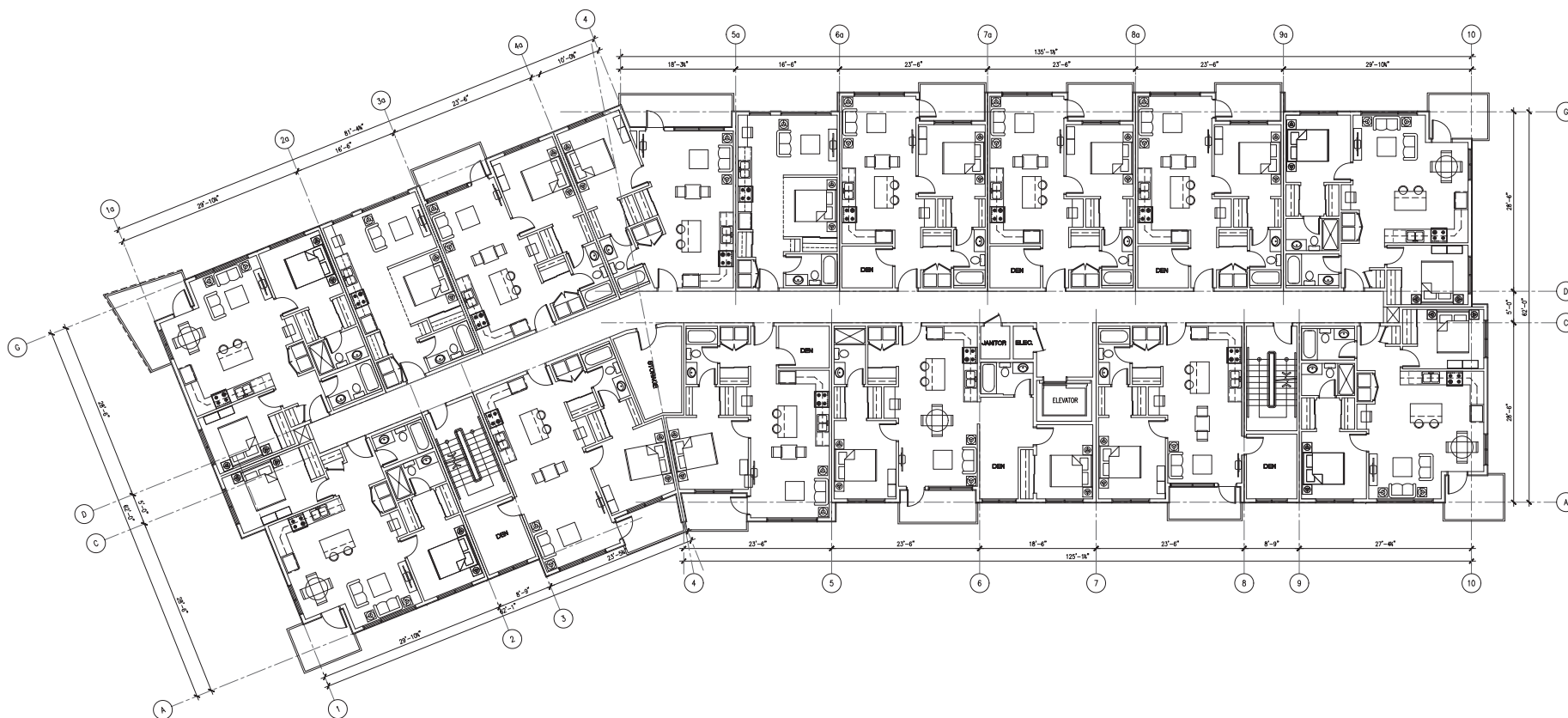
SHEET NO.
A3.2



RECEIVED
DP1248
2021-OCT-07
Current Planning



REVISION



RECEIVED
DP1248
2021-OCT-07

This drawing as an instrument of service is the property of JAMES R. FROST, Architect Inc., Architect - Planner and may not be reproduced without their consent and without the reproduction carries their name. All designs and other information shown on the drawing are for use on the specified project only and shall not be used otherwise without written permission of this office.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions shown on drawings. This office shall be informed of any variations from dimensions and conditions shown on the drawings. Shop drawings shall be submitted to this office for approval before fabrication.

[illegible]

D-ARCHITECTURE
6377 ICARUS DRIVE, NANAIMO, BC V9V 1N4
T: 250-933-1991, E: FIRDOUZI@SHAW.CA
DARYOUSH FIRDOUZI ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

DRAIN
CHECKED
DATE 25 SEP 21

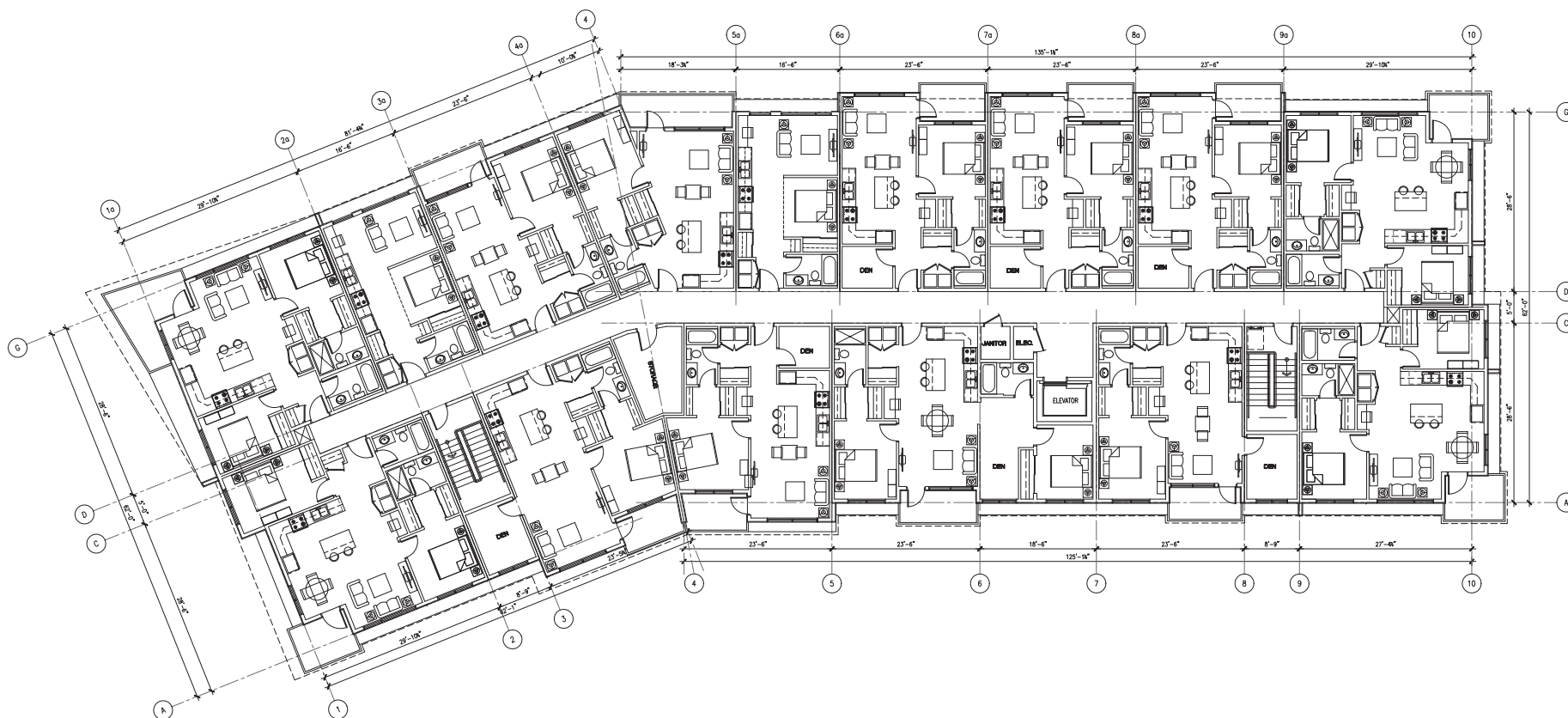
PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

PROJECT NO.	2176
-------------	------

SHEET NO.

A3.4

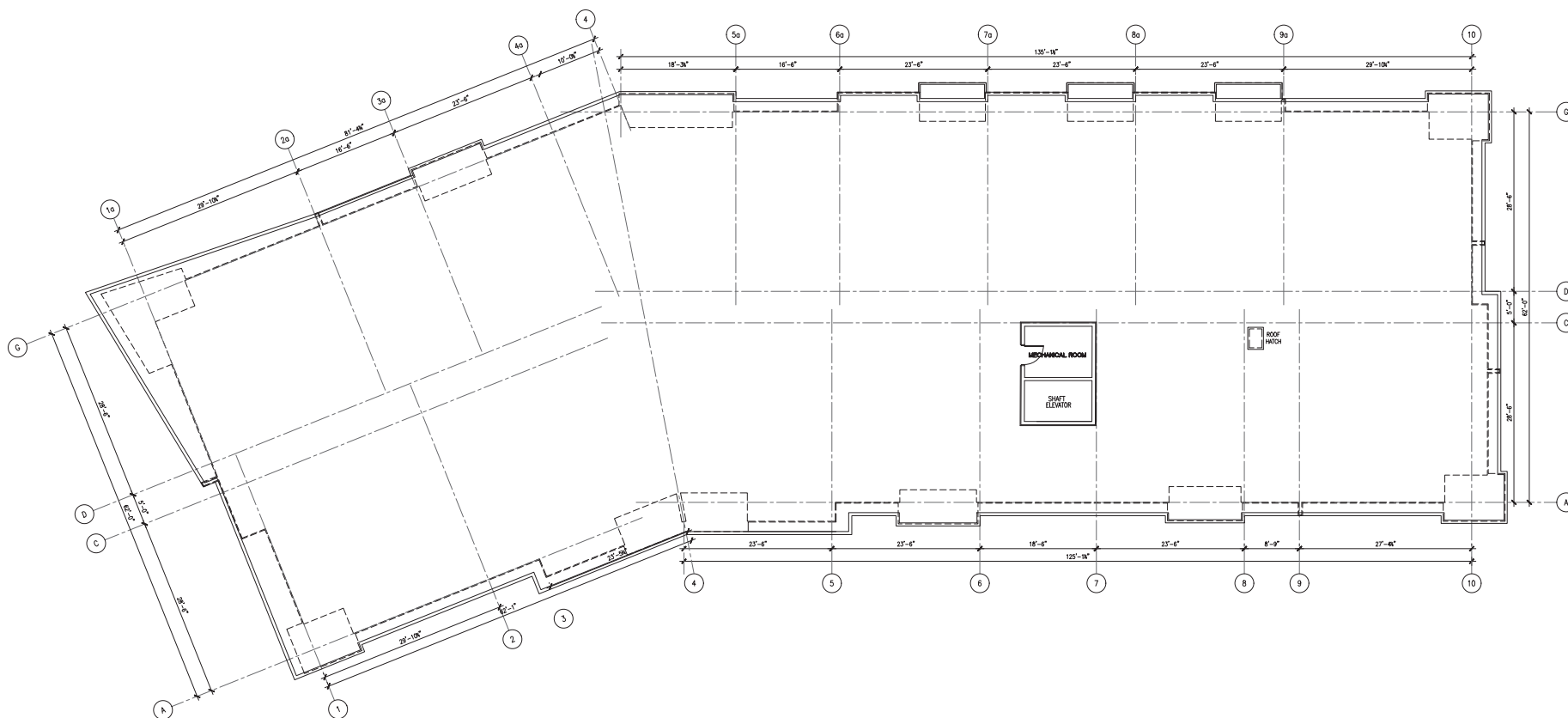
REVISION



RECEIVED
DP1248
2021-OCT-07

SHEET NO.
A3.5

REVISION



RECEIVED
DP1248
2021-OCT-07
Current Biology

SHEET NO.
A3.6
REVISION

REVISI

GENERAL NOTES

- General Notes**
- Refer to electrical drawings for all wall and slab finish and elevations, unless otherwise noted.
 - Refer to architectural drawings for all first landscape lighting layout and specifications.
 - Refer to architectural and mechanical drawings for all drain locations and air elevations.
 - All materials to be as specified or pre-approved equivalent.
 - All material and products to be installed per manufacturer's specifications.
- Planting Notes**
- All plants to be planted to be per BCMA and Canadian Landscape Standards.
 - Plant selection subject to availability at the time of planting.
 - Container for final species specified plant material and only other uses of search has been exhausted with substitutions be considered.
 - All trees to be planted in accordance with BCMA Standards.
 - All plants to be sourced from nurseries certified free of pests.
 - Final size and location container sizes are specified according to the B.C. Landscape Standards current edition. The container classes K3 and smaller plant sizes shall be as shown in the plant list and the standard for all other plants, both plant size and container size and be as shown in the plant list. Specifically, when the plant list calls for 45 litre containers, these shall be as defined in the BCMA (ANSI) Standards.
 - All off-site trees to have minimum 15 cubic metres of growing medium unless otherwise specified.
- SOIL NOTES**
- Soil Preparation and Placement Notes**
- Soil to be tested for an approved independent soil testing laboratory for each type of growing medium being used on the project. Results to be provided for: texture and composition. Clearly identify source and type for each. Material on or under until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. Minimum 15 cubic metres of growing medium unless otherwise specified.
 - Substrata shall be made of soil when (1) does prior placement.
 - Container shall not move or work growing medium or substrate when they are excessively wet, extremely dry or frozen or in any manner which will adversely affect growing medium or substrate. Growing media where used has been destroyed by handling, under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions.
 - Soil drainage shall be 15mm (3/4") diameter drain gravel free from any air and dry as shown in detail.
 - Place growing medium, except structural to required grades and minimum depths as detailed, unless shown otherwise.
- IRRIGATION NOTES**
- Irrigation Notes**
- Irrigation to be provided for all landscape areas shown on the drawing.
 - All landscape areas shall be irrigated with high efficiency design drip irrigation system to BABC Standards, with rain sensor.
 - All irrigation valves boxes equipped with backflow preventers.
 - Layout of the system and installation shall be to trade standards for projects of this scale and type, to provide for uniform complete "head to head" coverage of all lawn and planted areas within the area as depicted on the drawing.
 - Record Drawing: Submit with the operating and maintenance manuals, a recordable copy of the as-built condition of the system. Indicate a designated representative of the Owner in the complete operating and maintenance procedures for that system. Including, but not limited to, the system for the first time with the designated representative drawing.
- NOTE:** Sewing @ roadway to use schedule 80 PVC or cast iron piping.
- Quality Assurance**
- The irrigation system design and installation shall be in accordance with the irrigation industry of BC Standards and Guidelines. All irrigation work shall be done by an experienced and competent irrigation contractor having the facilities and personnel appropriate for the work specified. Minimum standard to BABC.










DRAWING LIST

- L1- Graphic Site Plan, Legend
L2- Grading Plan, East
L3- Grading Plan, West
L4- Planting Plan, East
L5- Planting Plan, West
L6- Details
L7- Detail

DETAIL	KEY	TAG	MATERIAL
			CIP Concrete (On site)
			Stamped & Coloured Asphalt
			Concrete Pavers: "Venetian Cobble" 80% Chalk, 10% Canyon 10% Redwood Pavers: Redwood
			Vehicular Permeable Paving
			Round River Rock
			Hydrapressed Patio Pavers
			Hydroseeded Pollinator Mix
			Sod Lawn
			Planting
			Hedge

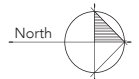
			Bike Stalls
			Wood Bench
			Boulder Wall 18"-20" Height
			Retaining Wall
			Bollard Lighting
			Wooden Fence

GRADING KEY	MECHANICAL KEY

Trees				
	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	5	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	6cm cal. WB
	19	Acer circinatum	Vine Maple	5cm cal. WB
	4	Cornus kousa	Chinese Dogwood	5cm cal. WB
	35	Picea omorika 'Bruni'	Serbian Spruce	2.5m Ht B+B
	8	Populus tremuloides	Trembling Aspen	4cm cal. WB
	6	Prunus serotina 'Kwanan'	Kwanan Flower Cherry	7cm cal. WB
	1	Malus galeata	Dawn Redwood	2.5m Ht WB
	11	Quercus garryana	Garry Oak	2m Ht WB
	12	Pseudotsuga menziesii var. glauca	Rocky Mtn. Doug Fir	2.5m Ht WB

Shrubs					
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
(A)	18	Arbutus unedo 'compacta'	Dwarf Strawberry Tree	#3	pot 48" o.c.
(C)	74	Cornus sericea 'Vasey'	Dwarf Red-Osier Dogwood	#2	pot 30" o.c.
(L)	144	Lavender 'Hidcote'	Lavender	#2	pot 60" o.c.
(M)	6	Pinus mugo 'pumila'	Dwarf Pine	#2	pot 24" o.c.
(A)	50	Rhododendron Cunningham's White	Dwarf Arctic Willow	#2	pot 30" o.c.
(S)	17	Salix purpurea 'Nana'	Dwarf Arctic Willow	#2	pot 30" o.c.
(S)	19	Spirea betulifolia	Birch Leaf Spirea	#2	pot 18" o.c.
(I)	560	Thuja 'smirnovii'	Cedar Hedge	1.2m B+B	
(S)	58	Ribes sanguineum	Red Currant	#2	pot 24" o.c.
(R)	22	Rosa rugosa	Beach Rose	#2	pot 24" o.c.

Perennials / Ferns / Grasses / Groundcovers					
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
(J)	12	Juncus acuminatus	Taper-Tipped Rush	#2	pot 30" o.c.
(M)	112	Malva repens	GC Mahonia	#2	pot 24" o.c.
(J)	126	Pachyandra terminalis	Japanese Spurge	4"	pot 12" o.c.
(M)	48	Polystichum munifolium	Western Sword Fern	#2	pot 24" o.c.
(J)	119	Polystichum acrostichoides	Christmas Fern	#2	pot 18" o.c.
(J)	26	Rudbeckia hirta	Black Eyed Susan	#2	pot 24" o.c.



1 04 Oct 2021 Issue for DP
no.: date item:

Revisions:

Durante Krewk Ltd.
102 - 1637 West 5th
Avenue Vancouver BC V6J
6N64 684 4611
F: 604 684 0577
www.dk3c.ca

Project:

North Grove Phase 2

Drawn by: TB

Checked by: SV

Date: July 29 2021

Scale: 1:300

Drawing Title:

Graphic Landscape Plan

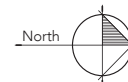
RECEIVED
DP1248
2021-OCT-07

Project No.:

21034

Sheet No.:

L-1 of 7



1 04 Oct 2021 Issue for DP
no.: date: item:
Revisions:

dk Durante Kreuk Ltd.
102 - 1637 West 5th
Avenue Vancouver BC V6J
6N84 684 4611
t: 604 684 0577
www.dk.bc.ca

Project:
North Grove

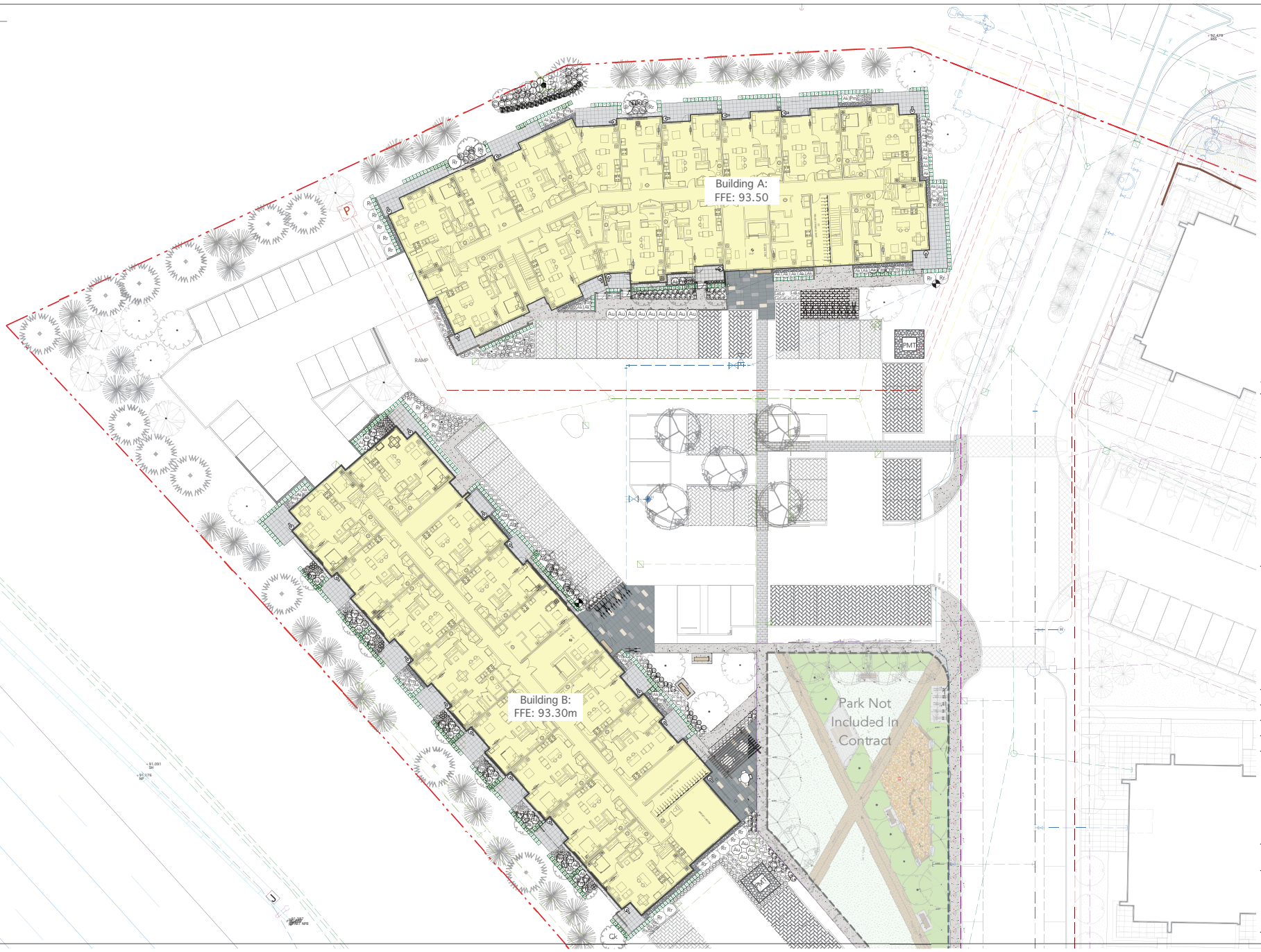
Drawn by: TB
Checked by: SV
Date: July 29 2021
Scale: 1/16" = 1'

Drawing Title:
Grading & Materials Plan

RECEIVED
DP1248
2021-OCT-07

Project No.:
21034
Sheet No.:

L-2 of 7



1	04 Oct 2021	Issue for DP
no.:	date:	item:
Revisions:		

 Durante Kneuk Ltd.
102 - 1637 West 5th
Avenue Vancouver BC V6J
6N84 684 4611
t: 604 684 0577
www.dk.bc.ca

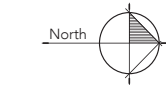
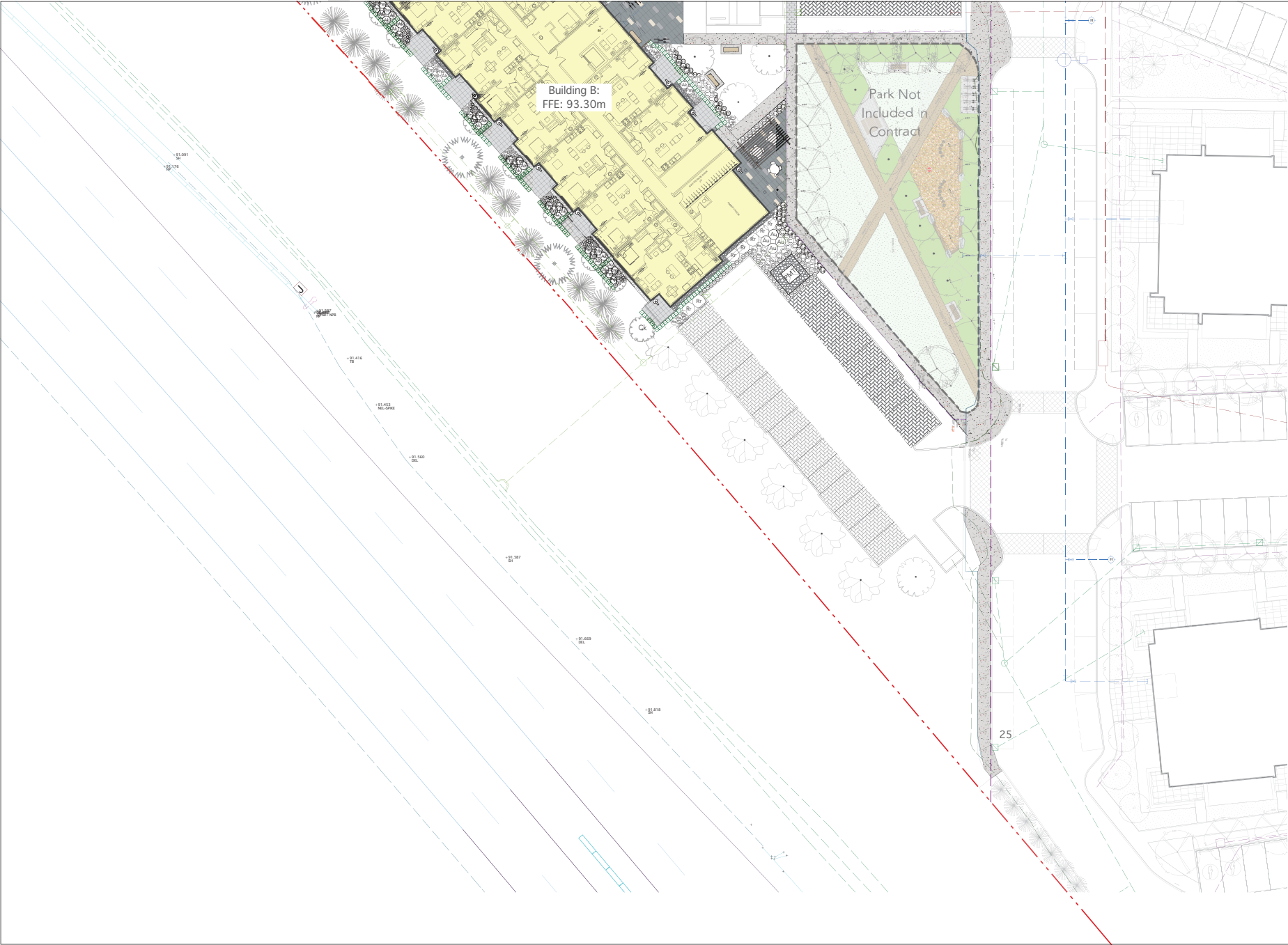
Project:
North Grove

Drawn by:	TB
Checked by:	SV
Date:	July 29 2021
Scale:	1/16" = 1'

Drawing Title:
Planting Plan

RECEIVED
DP1248
2021-OCT-07

Project No.:	21034
Sheet No.:	



1	04 Oct 2021	Issue for DP
no.:	date:	item:
Revisions:		

DK Durante Kreuk Ltd.
102 - 1637 West 5th
Avenue Vancouver BC V6J
1N84 6B4 4611
1-804-684-0577
www.dk.bc.ca

Project:
North Grove

Drawn by:	TB
Checked by:	SV
Date:	July 29 2021
Scale:	1/16" = 1'

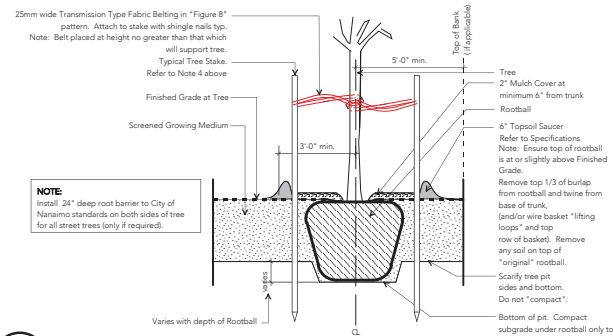
Drawing Title:
Planting Plan

RECEIVED
DP1248
2021-OCT-07

Project No.:
21034
Sheet No.:

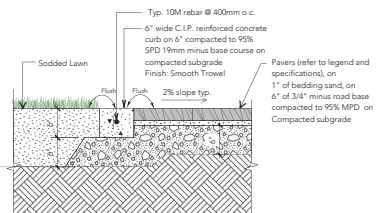
Depth of Growing Medium Total (mm)	Area (M2)	Variation 1 Size of Surface Square	Variation 2 Size of Surface Circle
18"	120	11 x 11 FT	12.5 FT Ø
24"	90	9.5 x 9.5 FT	10.6 FT Ø
30"	72	8.5 x 8.5 FT	9.5 FT Ø

- NOTES:**
- Do not cut Tree Leader.
 - Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
 - Ensure tree location does not conflict with Underground Services. "Call before digging".
 - All street trees to be staked with 2" x 4" x 8' 0" long. Minimum depth of stake embedment is 3'-0". Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centerline.
 - Provide min. 5 cubic meters of growing medium per tree.
 - Refer to Growing Medium Chart below for surface area depth of Growing Medium.

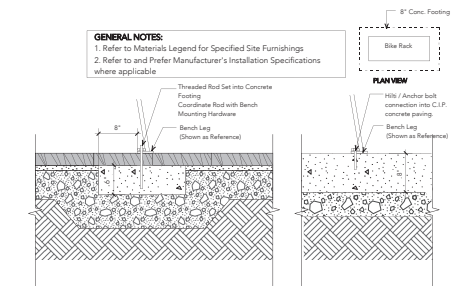


Ld-01
L-1.6

Note:
Provide Mock-up of paver installation for review and approval by Landscape Architect.
Cut all Pavers as required to minimum dimensions as shown on Layout Plans. All pavers to be cut with Concrete Stone Saw. no gullies or cuts will be allowed.

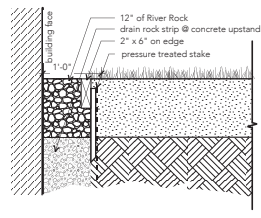


Ld-05
L-1.2

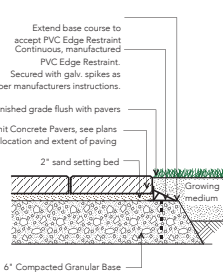


Ld-08
L-1.2

Note:
Beds to be 4" x 8" Charcoal (BRES) from Northwest Landscape. Supply or approved alternative.



Ld-09
L-1.2



Ld-10
L-1.1

Palisade

Product Data Sheet



- Bench**
- Bench ships fully assembled.
 - The bench is only available in black.
 - Bench is available in exterior or interior woods.
 - Available in two lengths, the 72" and 96" bench.
 - Free-standing or surface mounting available.
- Finishes**
- Exterior woods are unfinished and will weather to a soft powder grey, requiring no future maintenance.
 - Interior woods are finished with Landscape Forms' exclusive L-F-BI wood finish, a clear, catalyzed acrylic lacquer.
 - Model is finished with Landscape Forms' proprietary Pargent BB polyurethane powdercoat, a hard yet flexible finish that resists staining, chipping, peeling and fading.

	72" x 24"	96" x 24"	96" x 36"	96" x 48"
1	18.5"	32"	48"	64"
2	18.5"	32"	48"	64"

landscape forms

Metro40 Collection

Product Data Sheet

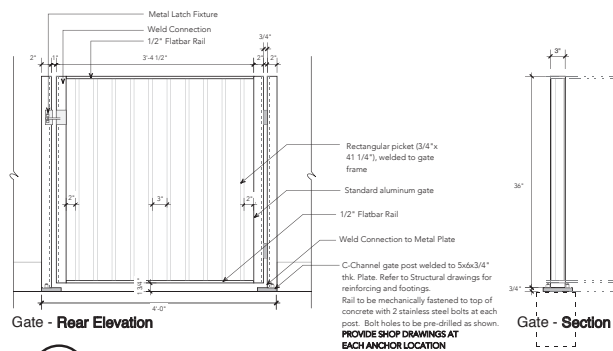


- Ride™ Bike Rack**
- Capacity: 2 bikes
 - Surface mount or embedded to concrete surface.
 - Requires only two bolts to mount, with extra surface mount anchor hole provided.
 - 4 stainless steel leading slides within the base are provided for fine adjustment from top side of base.
 - Cover plate over bike rack base provides seamless appearance.

	72" x 24"	96" x 24"	96" x 36"	96" x 48"
1	18.5"	32"	48"	64"
2	18.5"	32"	48"	64"

Ld-07
L-1.2

Bike Rack
NTS



Ld-11
L-1.2

36" Height Metal Fence (Wall Mounted)
Scale: 1" = 1'-0"

1 04 Oct. 2021 Issue for DP
no. | date | item:
Revisions:

Durante Kneuk Ltd.
102 - 1037 West 5th
Avenue Vancouver BC V6J
1N8A 6B4 4811
t: 604 684 0577
www.dkl.bc.ca

Project:
North Grove

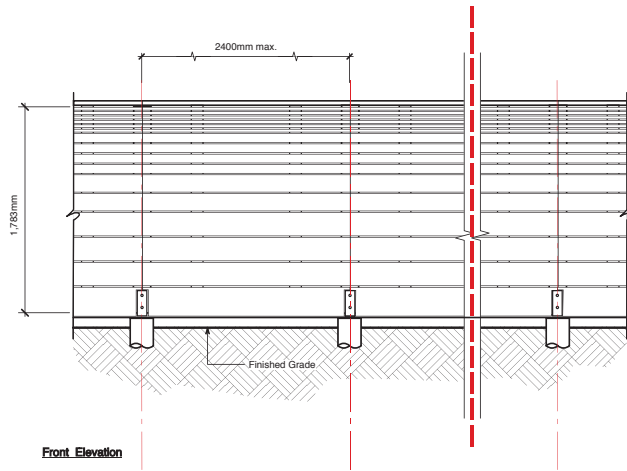
Drawn by: TB
Checked by: SV
Date: July 29 2021
Scale: 1/16" = 1"

Drawing Title:
Details

Project No.:
21034

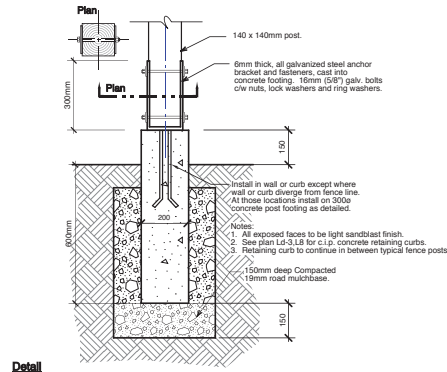
Sheet No.:

L-6 of 7



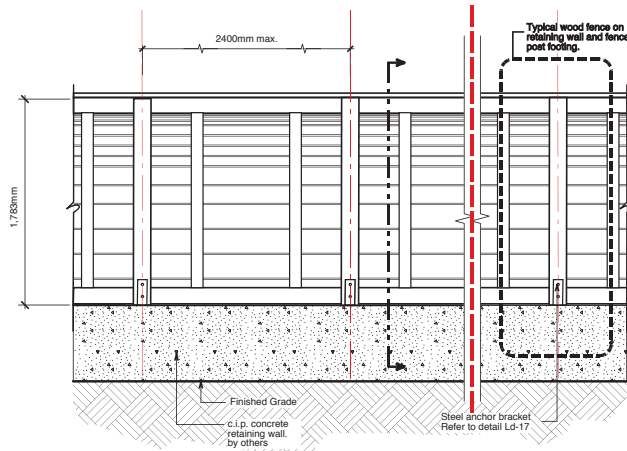
Front Elevation

Ld-01
L-1.0 Wooden Fence
Scale: 1/2" = 1'-0"



Detail

Fence post footing detail on c.i.p. concrete retaining curb
Scale: 1:10

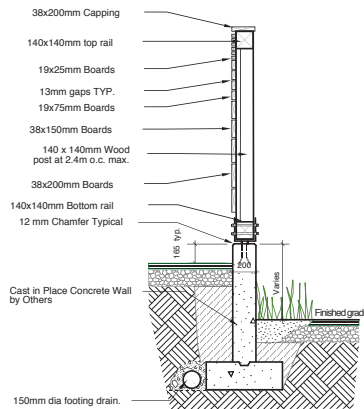


Back Elevation

Ld-02
L-1.0 Wooden Fence on Retaining Wall
Scale: 1/2" = 1'-0"

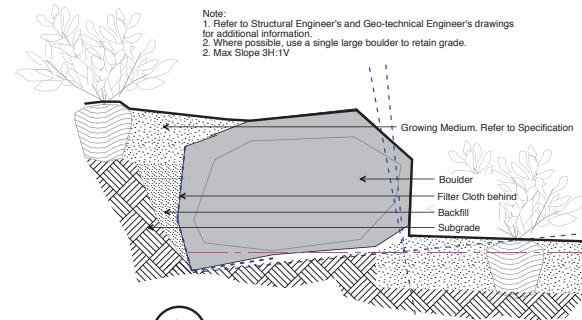
NOTE: All fence material to be select western red cedar resawn, pressure treated (P.T.) Hem/fir where noted. All spikes and fasteners to be hot-dipped galvanized.

Notes:
1. Refer to Structural / Civil Drawings for Reinforcing / Wall Detail.

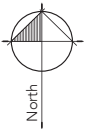


Section

Wooden Fence on Retaining Wall, Section
Scale: 1/2" = 1'-0"



Ld-03
L-1.0 Rock Retaining Wall
Scale: 1" = 1'



1 04 Oct. 2021 Issue for DP
no.: date: item:
Revisions:

DK Durante Kreuk Ltd.
102 - 1637 West 5th
Avenue Vancouver BC V6J
6N8x 684 4811
T: 604 684 0577
www.dk.bc.ca

Project:
North Grove

Drawn by: TB
Checked by: SV
Date: July 29 2021
Scale: 1/16" = 1'

Drawing Title:
Details

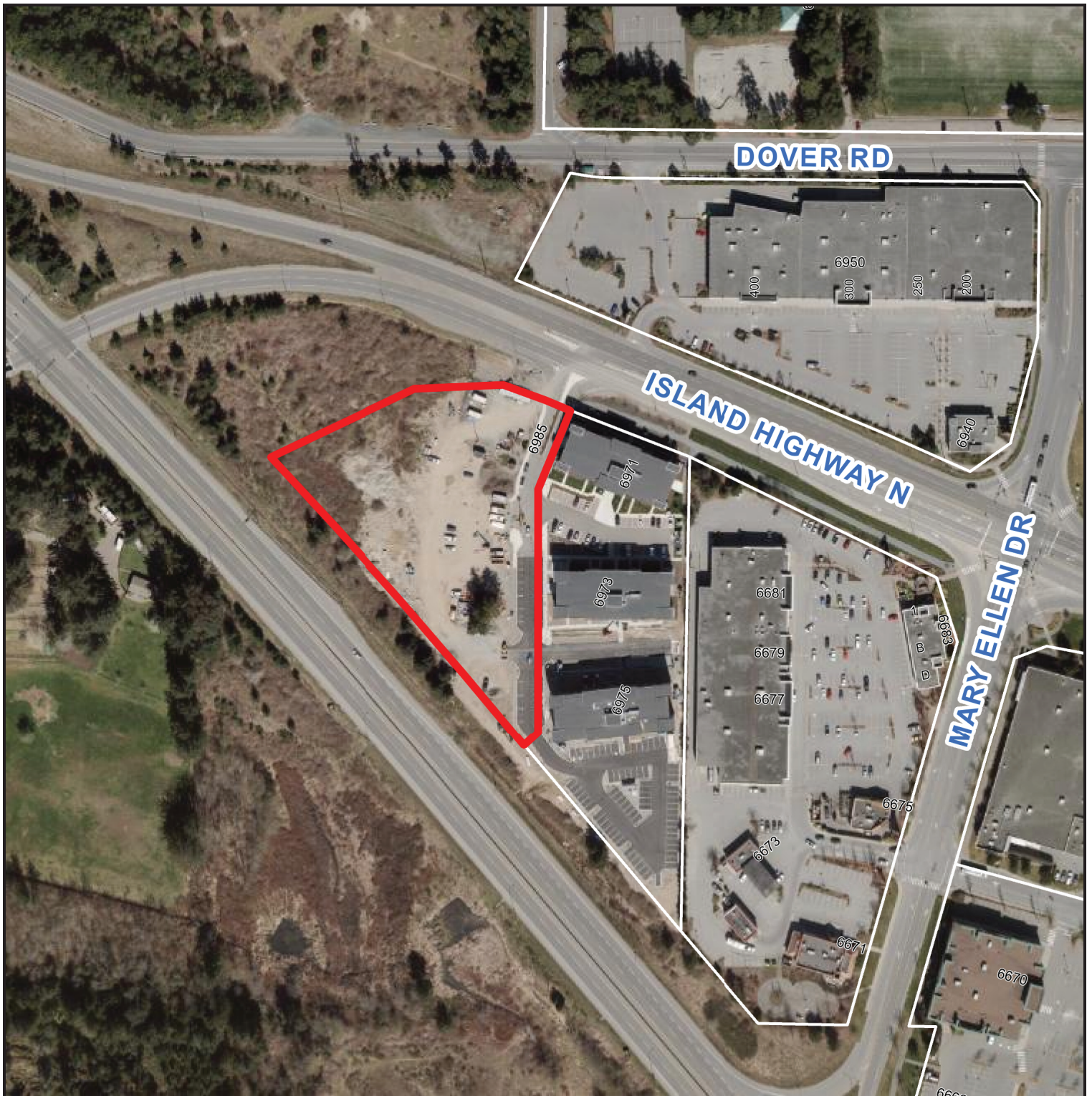
Project No.:
21034

Sheet No.:

RECEIVED
DP1248
2021-OCT-07

L-7 of 7

AERIAL PHOTO



DEVELOPMENT PERMIT APPLICATION NO. DP001248

 6985 ISLAND HIGHWAY NORTH