

RESPONSE TO DESIGN ADVISORY PANEL RECOMMENDATIONS

2545 DOCTORS ROAD, NANAIMO

Development Permit Application: DP001238-2545 Doctors Rd

Per: 2545 DOCTORS ROAD, NANAIMO

Received: 2021-SEP-01

Hi Lainy,

Please accept this note as a brief of the changes made to the design to address the DAP comments received:

1. **Consider additional articulation and variation in materials for all buildings with particular attention to weather protection at building entrances.**
Deck extensions have been added to all Blocks to provide better weather protection at all building entrances. Angled post and beam deck supports add additional variation of materials to the entrance as well.
2. **Consider increased bio-diversity in plant selection and quantities throughout the site.**
Increased quantities and bio-diversity of plantings. Focus was given to flowering species for visual interest, and to attract bees and insects.
3. **Provide a more refined landscape plan with a focus on pedestrian experience.**
Landscape plan has been revised to the suggestions and advice of committee by adding defined paver stamped concrete pathways with lighting, increased bio-diversity, seating area, and easily accessible short-term bike storage.
4. **Consider a variation in texture, material, and pattern for the paved areas.**
Pedestrian walkways have been changed to paver style stamped colored concrete. This aids in understanding flow paths through the site.
5. **Take cues for the form and character and landscape design from the surrounding neighborhood.**
Plant selection has been updated and influenced by surrounding landscape.
6. **Provide more details regarding the height and materials for the proposed retaining walls.**
Maximum retaining wall height is 1.5m for all locations with a width of 0.2m. Retaining walls consist of form lined colored concrete which give a realistic rock wall look with the structural benefits of a concrete wall.
7. **Consider enhancing the amenity area with trellises and further landscaping.**
A pergola has been added to the rear of block 1, which includes an additional planting bed and short-term bike storage.
8. **Provide information regarding site lighting.**
Low voltage site lighting has been added to pedestrian walkways and parking area.

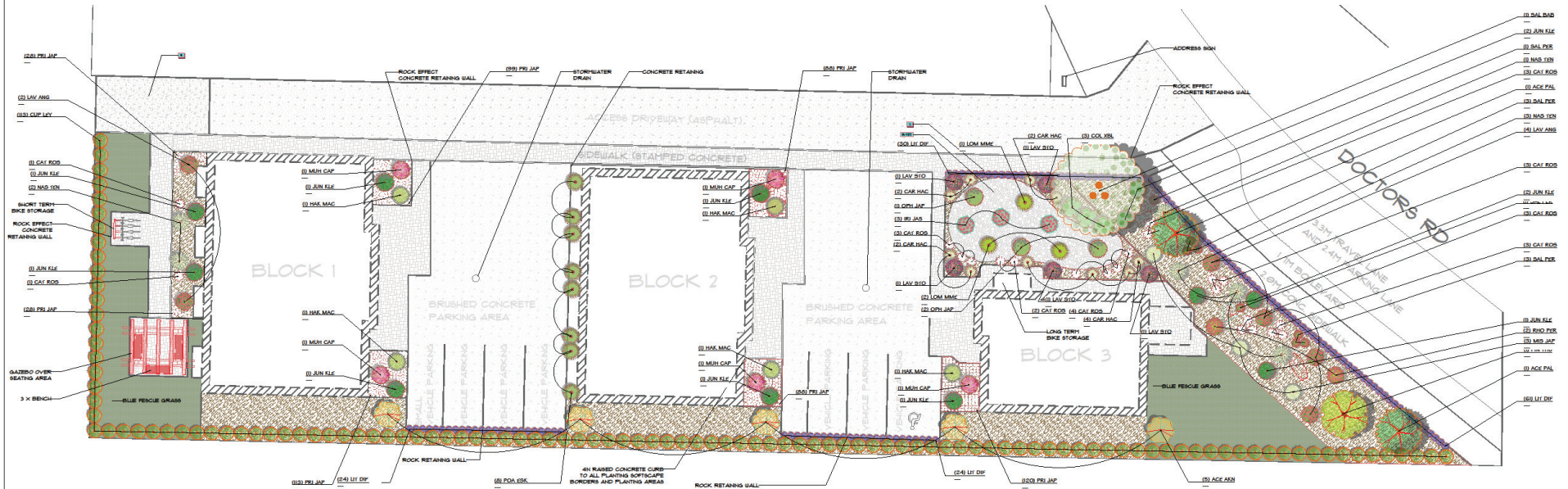
Regards,

Jeff Holmes,

Climate Landscaping

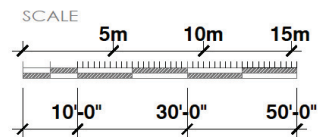
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Current Planning


FOR REVIEW



CLIENT:
McMANN HOMES

2640 STEVE ELLIS ROAD,
NANAIMO,
BC, V9R 0J7



PROJECT:	2545 DOCTORS RD, NANAIMO			CLD-1033-PLT-001	001	CLD-1033	MAY 2021	 PO BOX 41090 RPO WOODGROVE NANAIMO, BC PH: 250-240-5009	CLIMATE LANDSCAPE & DESIGN www.climatelandscaping.ca
TITLE:	LANDSCAPE PLAN			DRAWING NO.	SHEET	PROJECT NO.	DATE:		
	A6	ME	10/19/2021	AS SHOWN	ME	JH	A6		
	REVISION:	INITIAL:	DATE:	SCALE:	DRAWN:	CHECKED:	REVISION:		

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SPECIFICATIONS										
1.0	GENERAL			6.0.1						
1.0.1	REFERENCES for all landscape work will refer to: The Canadian Landscape Standard - Latest Edition, published jointly by Canadian Society of Landscape Architects (CSLA) and Canadian Nursery Landscape Association (CNLA).			6.0.19	During the growing season, store all plants in containers, balled and buttressed or wire basket in an upright position if not planted immediately and take care to provide enough space between plants such that light reaches all portions of the plant in order to avoid burning plant out.					
1.0.2	SITE CONDITIONS The location of all existing utilities are to be confirmed prior to the installation of any landscaping. Reference to Site Plans, Civil Engineering documents. Also refer to IC/Call documents for City/Utilities services.			6.0.20	Protect rootballs of balled and buttressed material by heeling in with material suitable to protect them from drying out (ie. sawdust, peat moss, topsoil). Do not store containerized and buttressed plants intended to be planted in the open in a building or in an area of low intensity light for a period exceeding 7 days. Keep all plants well watered and protected from heat and frost.					
1.0.3	SITE REVIEW The landscape contractor should give adequate notice prior to project kick off to allow a site meeting between the stakeholder to review the plans, documents and landscape plan and any affecting change order.			6.0.21	Plants shall be acclimatized against the environmental conditions of their final planting location and shall not be taken directly from shade houses or greenhouses and planted in a drastically different environment. Preparation for the new environment should include an appropriate period of storage in an immediate environment, managing fertilizer applications to avoid excessively lush growth and provision of a graduated watering regime.					
2.0	EXISTING PLANT MATERIAL This section is not applicable.			6.0.22	The Landscape Contractor shall leave the work areas clean, tidy and safe on a daily basis.					
3.0	GRADING			6.0.23	All plant materials shall be guaranteed in writing to the owner for one year against death due to unhealthy supply and/or improper installation conditions and/or wrong selection of species or variety of plants. The one year period should begin at the date of Landscape Contractor final invoice.					
3.0.1	The General Contractor shall have the responsibility to establish all sub-grades to allow for landscape installation to levels and contours specified on the landscape design drawings.			6.0.	TREE PLANTING					
3.0.2	Remove and dispose to approved off-site disposal area all debris, building material, contaminated subsoil, visible invasive plants and anything else that may interfere with proper growth and development of planned finished landscape.			6.0.1	Tree planting pits shall be excavated to the dimensions indicated in the drawing. Pit sides wherever possible shall be dug with sloping sides at a preferred angle of 45 degrees, scarified to remove glazing and providing a roughened soil interface. A minimum 300mm depth scarified layer of native soil shall be created in the bottom of the tree pit. Remove all stones larger than 75mm.					
3.0.3	The sub-grade shall be scarified to a minimum depth of 150mm immediately before placing growing medium or drainage material.			6.0.2	Roughen bottom and sloping side surfaces of tree pit to remove glazing and provide a roughened soil interface prior to placement of tree and subsoil. Adjust elevation under where tree is to be placed so that the nursery soil line on the tree trunk will be 50mm above finish grade for settlement.					
3.0.4	Grade transitions of sub-grade shall be smooth and even, such that ponding cannot occur on sub-grade surface.			6.0.3	Remove wire basket prior to placement in planting pit. With the tree in the planting pit untie and remove burlap and cord from the top 1/3 portion of a balled and buttressed rootball. Completely remove, with care, impermeable containers from container-grown or bag-grown trees.					
3.0.5	Grade and sub-grade elevations 1' within the tolerances given below: Rough grades to follow the depths below finished grades, 150mm from grassed areas, 300mm for ornamental grasses, perennials and groundcovers, 450mm for shrubs.			6.0.4	Trees with the following defects shall be replaced at the contractor's expense: (a) Lack of rootball integrity; (b) Broken or abraded structural or main roots; (c) Presence of fungal mats or hollow bodies and discoloration; (d) Poor root development with few fibrous roots, or; (e) Any other evidence of pathogenic or accidental injury.					
4.0	GROWING MEDIUM			6.0.5	Unwrap and spread out encircling roots and tease out roots growing at the outside of the rootball.					
4.0.1	All topsoil, imported or on site, shall be tested and modified as required. When bidding a contractor must test the proposed soil and include the required modifications in the price for the work. Current soil analysis reports must be done and signed by a pre-approved analytical laboratory. A copy of the soil analysis must be sent to the Landscape Designer's office.			6.0.6	The tree shall be installed promptly and faced to provide the best appearance towards the primary viewing location, as determined by the Landscape Designer.					
4.0.2	Growing medium shall be placed at the following depths: 150mm for seeded areas, 300mm for ornamental grasses, perennials and groundcovers, 450mm for shrubs and 1 c.u. m for trees.			6.0.7	Place 2/3 depth of the topsoil and water to remove air voids.					
4.0.3	Where native soil remains in good condition no additional topsoil needs to be added but it may be amended to the recommendations in the soil test.			6.0.8	If indicated in the construction drawings, then prior to completion of backfilling, place tree stakes, avoiding penetration of the root system. Stakes shall be driven plumb and to a sufficient depth in the subgrade that the portion exposed above finished grade = 1 metre height.					
4.0.4	Topsoil shall not be worked in wet or frozen conditions or in any manner in which the soil structure is adversely affected.			6.0.9	Place remaining 1/3 of topsoil lightly boot tamping to remove air voids ensure soil level does not exceed original nursery soil line. Form outer saucer to retain water over root ball and water in the tree.					
5.0	PLANTING - GENERAL CONDITIONS			6.0.10	Secure tree to stakes with counter-tensioned, non-twisted loops of 19mm polypropylene webbing stapled to the stakes.					
5.0.1	All plants and planting to meet the Standards of Canadian Society of Landscape Architects (CSLA) and Canadian Nursery Landscape Association (CNLA).			6.0.11	Place 75mm or bark mulch over soil surface.					
5.0.2	Plants shall be characteristic of the genus, species and cultivar as indicated on the construction drawings and those specified.			7.0.	SHRUB AND GROUND COVER PLANTING					
5.0.3	All plants shall be nursery grown under similar climatic conditions to the project site. Plants shall not be pruned prior to delivery unless pre-approved by the Landscape Designer. Container stock shall have been established in the size of container specified for at least 6 months prior to delivery. The roots shall not have grown beyond the limits of the container.			7.0.1	Shrub beds shall be a total of a 400mm layer of amended topsoil and a 50mm layer of bark mulch.					
5.0.4	It is the Contractor's responsibility to verify an comply with all regulations regarding the inter-regional movement of plant material, including nursery stock, within the Province of British Columbia. Imported plant materials must be accompanied by copies of the necessary permits and import licenses required by federal and provincial regulations.			7.0.2	Areas of ground cover shall be a total of a 300mm layer of amended topsoil and a 50mm layer of bark mulch.					
5.0.5	Plants shall be properly proportioned; not weak, thin or elongated.			7.0.3	Excavate individual pits in the placed topsoil mix for shrubs, to the same depth as the container holding the shrub and 1.5 times the width of the container. Place shrubs to show the best side towards the primary viewpoint. Water shrubs in the pits prior to backfilling with the planting medium.					
5.0.6	Plants shall have normal, well developed branches and vigorous, fibrous root systems. They shall be healthy and free from defects, decay, girdling roots, uncontrolled injuries, abrasions of the bark and plant diseases, insect pests, eggs, borers and all forms of infestation.			7.0.4	Rake shrub and ground cover beds to a smooth surface prior to placement of 50mm depth of bark mulch layer.					
5.0.7	Trees have straight stems unless characteristic for the species. Pruning wounds shall show healthy callous growth of the branch collar without bark tearing or fungal growth. Cambium tissue shall be moist and exhibit the correct coloration for the species. Plants exhibiting fungal staining shall be rejected.			7.0.5	Plant ground cover through bark mulch layer into the 'A' horizon layer below. The Contractor shall not plant ground cover into the mulch layer without full root ball into the soil.					
5.0.8	All plant materials shall conform to the measurements specified in the drawings except that plants larger than specified may be used if approved by the Landscape Designer. The use of these plants shall not change the contract price. If the size of the plant is increased then the ball of earth shall also be increased in the same proportion as the size of the plant. All plants shall be measured when the branches are in their normal position. Height and spread dimensions specified refer to the main body of the plant. Where trees are measured by caliper, reference is made to the diameter of the trunk measured 300mm above the ground as the trees stand in the nursery.			8.0.	PRUNING					
5.0.9	Native plants shall be propagated in nurseries and not harvested from wild sites, except where salvaged from an area where the native vegetation will be destroyed and authorization for the harvest has been obtained. All collected native plants shall be held and maintained in a nursery until new roots have formed through burlap or other suitable potting material, or in the case of containerized plants, until such time that the roots grow to fill and hold the soil within the container.			8.0.1	Trees which at the time of planting require the removal of damaged or diseased branches larger than 12mm diameter, that have broken leaders, or that have a damaged trunk, will be rejected by the Landscape Designer. Pruning shall be limited to the minimum necessary to remove dead or damaged secondary branches or twigs, or to provide safe head room adjacent to streets or sidewalks. Pruning shall be done in such a manner as to preserve the natural character of the plant.					
5.0.10	Collected plants shall not be used with prior approval in writing by the Landscape Designer.			8.0.2	For pruning cuts 12mm diameter or smaller use clean sharp secateurs. The cut shall be perpendicular to the branch angle and located at the outside edge of the branch collar only.					
5.0.11	Balled and buttressed container and trees in excess of 3 metres in height must have been dug with a sufficiently large 15m rootball to contain 75% of the fibrous and feeder root system. Rootballs shall be free of invasive weeds.			9.0.	MULCH					
5.0.12	Keep plants in a moist condition at all times. Protect all plants against damage and/or drying out until they are planted on the site.			9.0.1	Bark mulch shall be 50mm and minus Douglas Fir / Hemlock bark chips, dark brown in colour and shall be virtually free of invasive and noxious seeds and reproductive parts, soil, stones, salts or other harmful chemicals, or other extraneous matter that would prohibit seed germination or the healthy development of plant material.					
5.0.13	During loading, transportation, off-loading and planting, protect all trees against damage to stems and branches. Protect bark against chafing from chains, cables, equipment or other trees by a wrapping of cardboard or burlap. Separate entangled tree branches without damage to the branches.			10.0.	IRRIGATION					
5.0.14	Plants with broken or abraded trunks or major branches will not be accepted. Prune damaged twigs to specific pruning guidelines using secateurs.			10.0.1	An irrigation system is to be designed and installed by Landscape Contractor.					
5.0.15	Immediately cover and protect bare root stock from damage to roots by frost, sun and wind.			10.0.2	All work to conform to the BC Plumbing Code as amended to installation date.					
5.0.16	Handle materials supplied in pots and containers by the container only to reduce breakage of branches and leaves.			11.0.	RETAINING WALLS					
5.0.17	Handle balled buttressed plant materials with caution to maintain firmness of the balls. No plants shall be used when the ball of earth surrounding the roots has been cracked or broken prior to or during the process of planting, or when the burlaps, shaves and ropes required in connection with their transplanting have been removed.			10.0.1	Retaining walls should be subject to local building codes and General Contractor drawings and schedules.					
5.0.18	Do not lift trees in wire baskets by the trunk.									
PROJECT:										
2545 DOCTORS RD, NANAIMO				CLD-1033-PLT-001	002	CLD-1033	MAY 2021			
				DRAWING NO.	SHEET	PROJECT NO.	DATE:			
TITLE:				A2	ME	JH	A2			
LANDSCAPE PLAN - SPECIFICATION				AS SHOWN	ME	JH	A2			
				REVISION:	INITIAL:	DATE:	SCALE:			
				REVISION:	INITIAL:	DATE:	DRAWN:			
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DESIGN RATIONALE

CONTEXT

The site lies on the west side of Doctors Road. The existing lot is bare, except for three dead cedars on the roadside of the site. The site has no natural screening, though the south adjacent lot has native cedars, fir, and alders providing some level of separation.

DESIGN CONCEPT

The objective of the landscape design is to create a setting for the McMann Homes town house development. The front of the lot is the focal point of the landscape design, which employs a combination of drought resistant grasses, evergreen shrubs, stone, and colorful deciduous trees. This also acts as a privacy buffer for the planned single residence.

























Planting
The planting design and choices compliment the strong contemporary and structural elements of the buildings.


The southern lot hedging [Leylandii] will provide an effective privacy screen between the properties. The shrubs will be evergreen with textured leaves and architectural forms, some light and movement will be provided by planting ornamental grasses.

The stormwater management feature includes a bioswale along the northeast corner of the property. This will collect and slow water movement to the lowest point of the property.

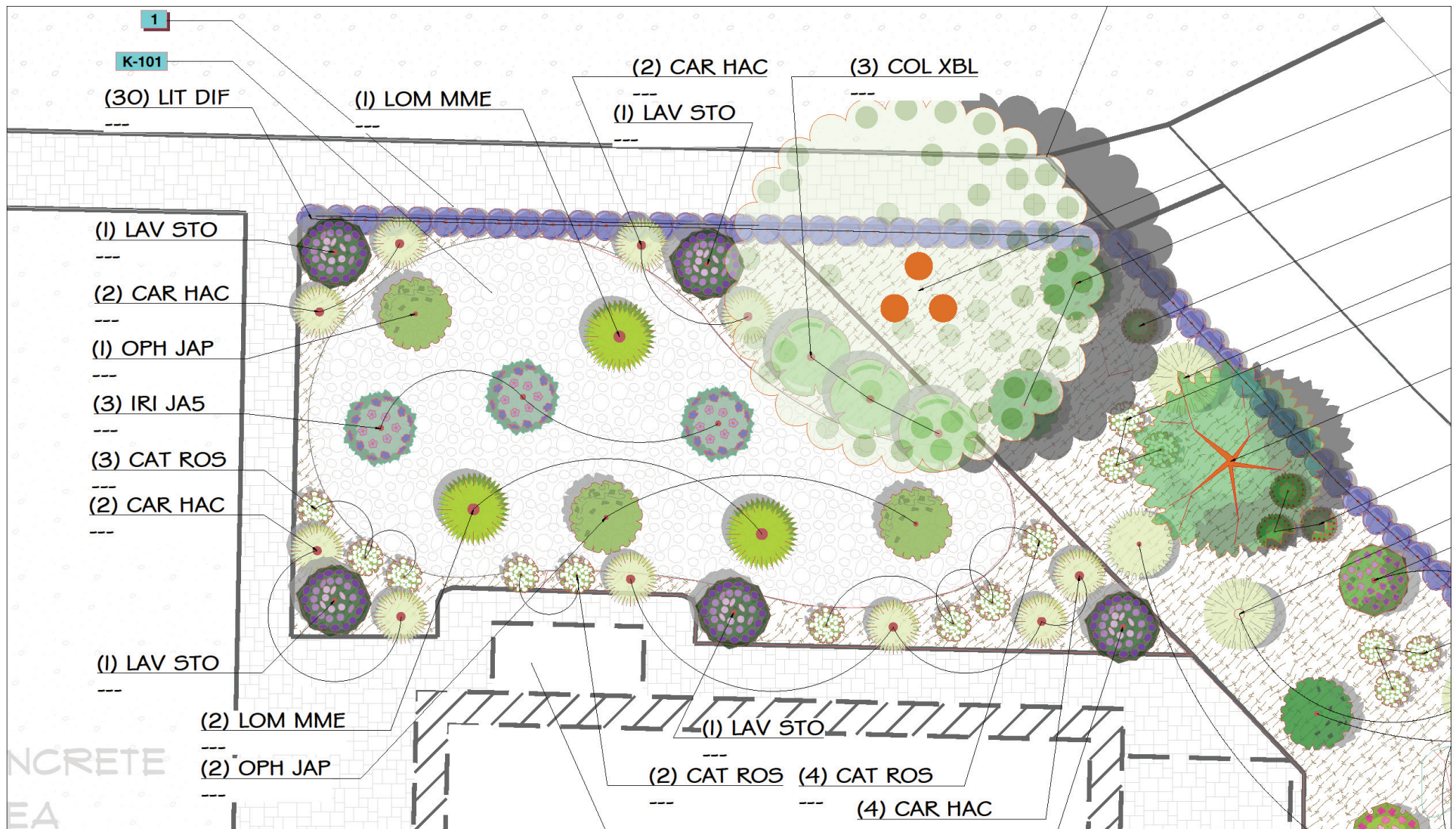
REFERENCE NOTES SCHEDULE


SYMBOL	DESCRIPTION	DETAIL
1	Fine Dark Mulch	
2	Stamp effect concrete. For pedestrian and light vehicular applications.	
3	Asphalt	
4	1/2in Blue Chip	
SYMBOL	ROCK DESCRIPTION	DETAIL
K-101	2in to 4in River Rock	

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	DETAIL	REMARKS
	ACE PAL	Acer palmatum / Japanese Maple	---	2		
	ACE AKN	Acer palmatum 'Akane' / Akane Japanese Maple	---	5		
	PIN THU	Pinus thunbergii / Japanese Black Pine	---	1		
	SAL BAB	Salix babylonica / Weeping Willow	---	1		
	CUP LEY	x Cupressocyparis leylandii / Leyland Cypress	---	113		
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	DETAIL	REMARKS
	CAR HAC	Carex hachijensis 'Evergold' / Evergold Japanese Sedge	---	10		
	CAT ROS	Catharanthus roseus / Periwinkle	---	23		
	COL XBL	Colocasia x 'Black Ripple' / Black Ripple Elephant Ear	---	3		
	HAK MAC	Hakonechloa macra / Japanese Forest Grass	---	5		
	IRI JA5	Iris ensata / Japanese Water Iris	---	3		
	JUN KLE	Juniperus chinensis 'Klehm Compact' / Chinese Juniper	---	12		
	LAV ANG	Lavandula angustifolia / English Lavender	---	6		
	LAV STO	Lavandula stoechas / Spanish Lavender	---	5		
	LIT DIF	Lithodora diffusa 'Grace Ward' / Grace Ward Lithodora	---	139		
	LOM MME	Lomandra longifolia longifolia / Spiny-headed Mat Rush	---	3		
	MIS JAP	Miscanthus sinensis / Eulalia Grass	---	3		
	MUH CAP	Muhlenbergia capillaris / Pink Muhly Grass	---	5		
	NAS TEN	Nassella tenuissima / Mexican Feather Grass	---	6		
	OPH JAP	Ophiopogon japonicus / Mondo Grass	---	3		
	POA ESK	Poa labillardieri 'Eskdale' / Tussock Grass	---	8		
	PRI JAP	Primula japonica / Japanese Primrose	---	596		
	RHO PER	Rhododendron periclymenoides / Pinxterbloom Azalea	---	2		
	SAL PER	Salvia nemorosa / Meadow Sage	---	8		
SOD/SEED	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	DETAIL	REMARKS
	TUR CAN	Turf Sod Canadian Blue Fescue / Canadian Blue Fescue	---			

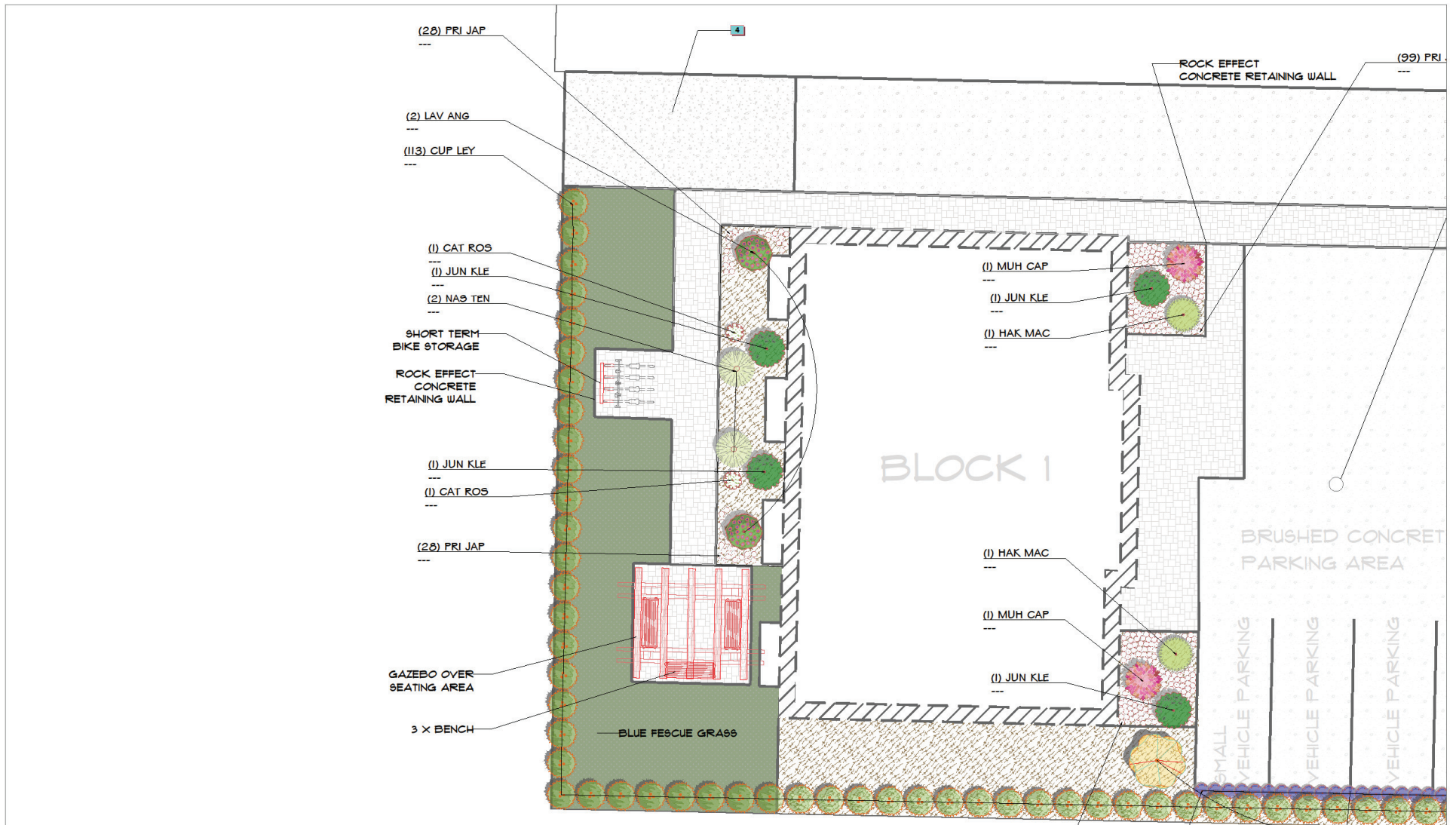
PROJECT:				CLD-1033-PLT-001	003	CLD-1033	MAY 2021	 PO BOX 41090 RPO WOODGROVE NANAIMO, BC PH: 250-240-5009	CLIMATE LANDSCAPE & DESIGN www.climatelandscaping.ca
	2545 DOCTORS RD, NANAIMO			DRAWING NO.	SHEET	PROJECT NO.	DATE:		
TITLE:		A2	ME	10/19/2021	AS SHOWN	ME	JH	A2	
LANDSCAPE PLAN - SCHEDULES		REVISION:	INITIAL:	DATE:	SCALE:	DRAWN:	CHECKED:	REVISION:	


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TITLE:	LANDSCAPE PLAN - STORMWATER DETAIL			DRAWING NO.	SHEET	PROJECT NO.	DATE:		
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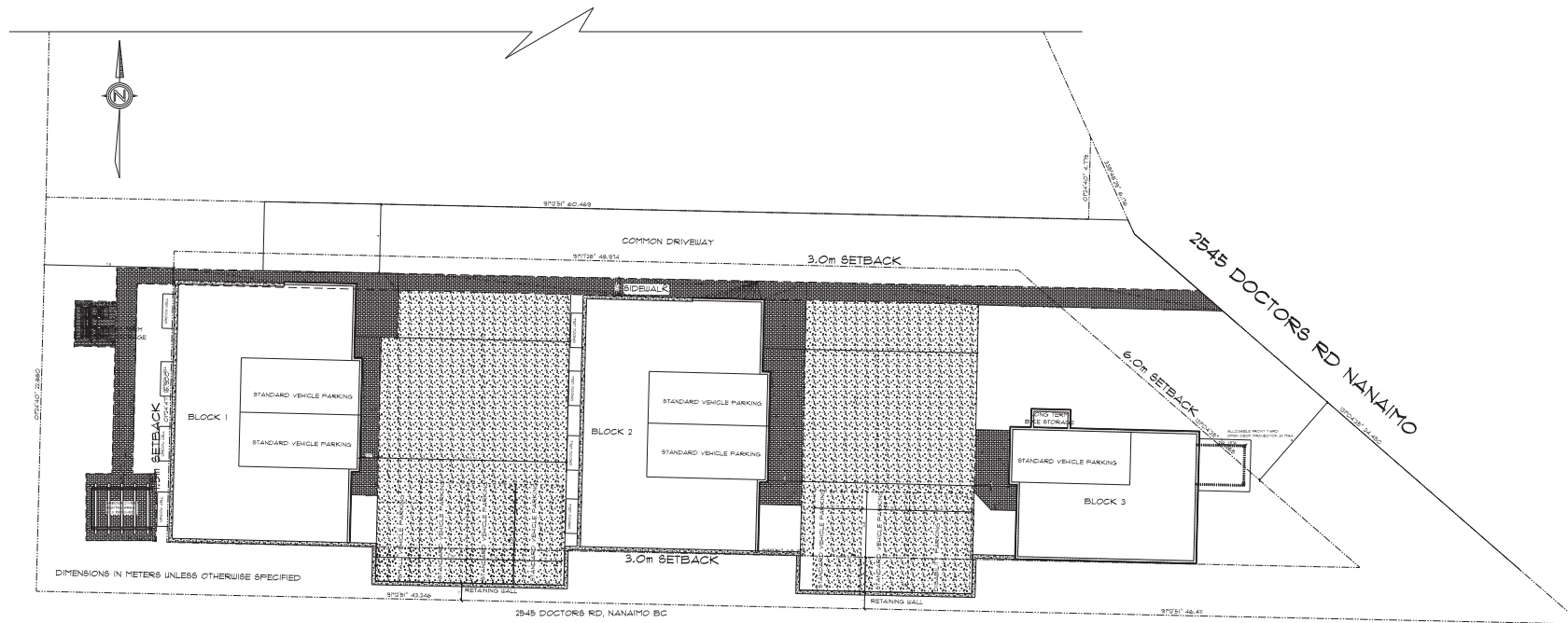
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2545 DOCTORS RD, NANAIMO					DRAWING NO.		SHEET	PROJECT NO.	DATE:		
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TITLE:		A2	ME	10/13/2021							
LANDSCAPE PLAN		A1	ME	10/01/2021							
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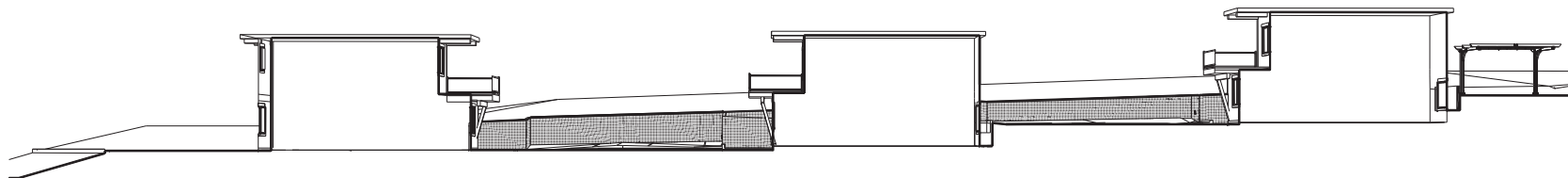


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TITLE:	LANDSCAPE PLAN - DOCTORS ROAD			DRAWING NO.	SHEET	PROJECT NO.	DATE:		
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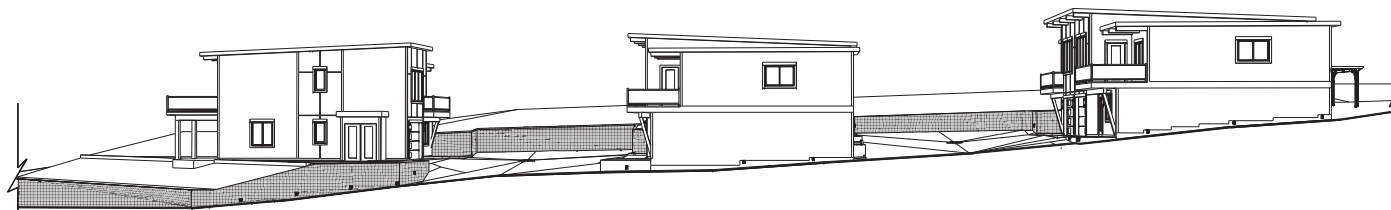
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SITE
SCALE: 1/125

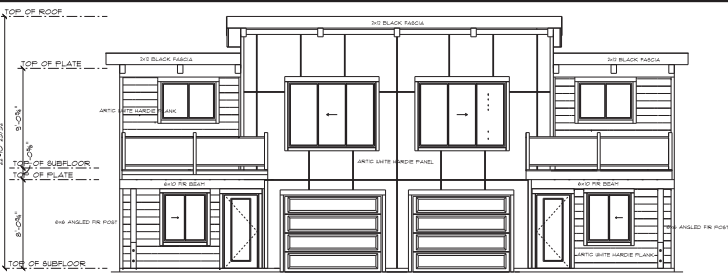


BUILDING ELEVATION
SCALE: NOT TO SCALE



ROAD ELEVATION
SCALE: NOT TO SCALE

ALL LUMBER TO BE S.P.F. #2 OR BETTER
 ALL LINTLS TO BE 2" X 10 UNAD. CONTRACTOR
 TO VERIFY ALL LINES, LEVELS, SURVEY'S, DIMENSIONS
 AND LOCATION OF SERVICES PRIOR TO
 STARTING CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.
 ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE
 SOIL OR ENGINEERED P.L. AND BELOW FROST DEPTH.
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 all lines, levels, survey, dimensions, specification, location
 of building on site, and location of all services prior to
 construction. All work to be done in accordance with the
 B.C. Building Code, current edition, and all local building
 bylaws. All work to be done in a prudent manner and to the
 approval of varying provider. Designer is not responsible
 for any field review or compliance to codes and/or prior
 building practices. Designer recommends the owner/builder
 retain independent inspectors to ensure proper design and
 construction of building envelopes.



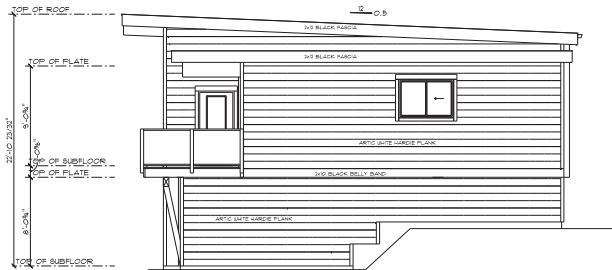
FRONT BLOCK 1

SCALE: 3/16" = 1'-0"



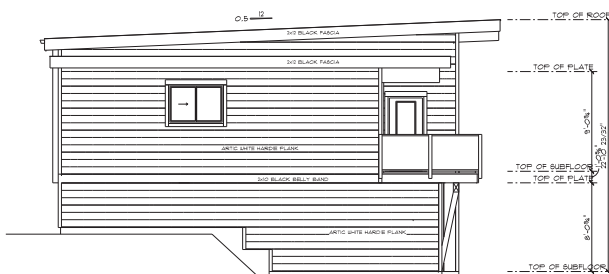
BACK BLOCK 1

SCALE: 3/16" = 1'-0"



RIGHT BLOCK 1

SCALE: 3/16" = 1'-0"



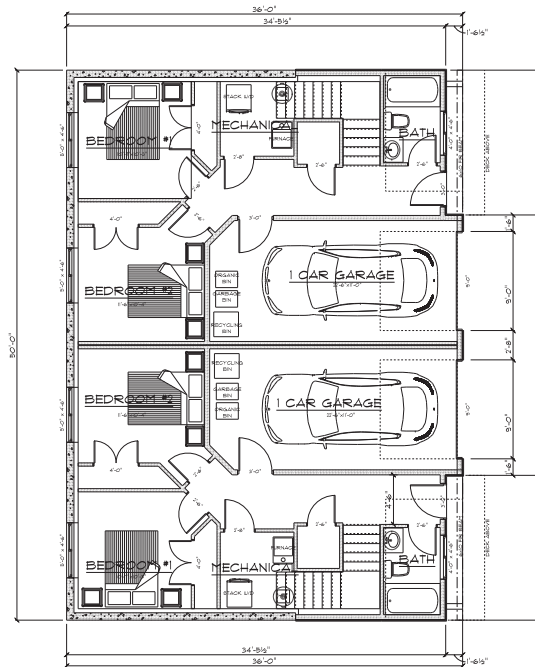
LEFT BLOCK 1

SCALE: 3/16" = 1'-0"

EXTERIOR FINISHING SCHEDULE	
ID	NOTE
1	ARCTIC WHITE HARDIE BOARD W/ 2x4 WOOD BATTENS
2	ARCTIC WHITE 8x4" HARDIE PLANK SIDING
3	ARCTIC WHITE HARDIE BOARD W/ METAL CHANNEL
4	2x12 WOOD FASCIA PAINTED BLACK
5	2x10 WOOD TRIM PAINTED BLACK
6	2x4 WOOD CORNER TRIM PAINTED BLACK
7	WINDOWS/DOOR: 2x6 HEAD TRIM W/ 2x4 SIDE & BOTTOM TRIM PAINTED BACK
8	FR ACCENT TIMBERS W/ NATURAL FINISH

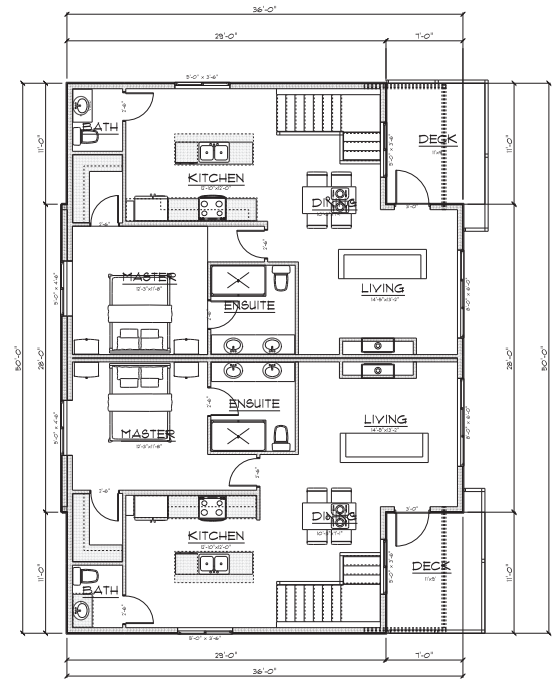
EXTERIOR FINISHING

BLOCK 1
280.60m²



BASEMENT FLOOR BLOCK 1

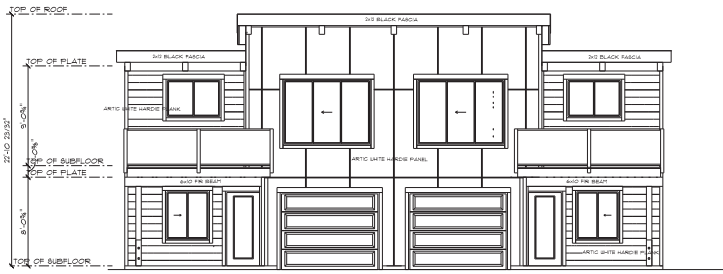
SCALE: 3/16" = 1'-0"



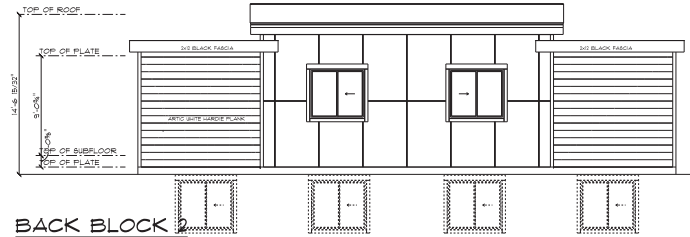
MAIN FLOOR BLOCK 1

SCALE: 3/16" = 1'-0"

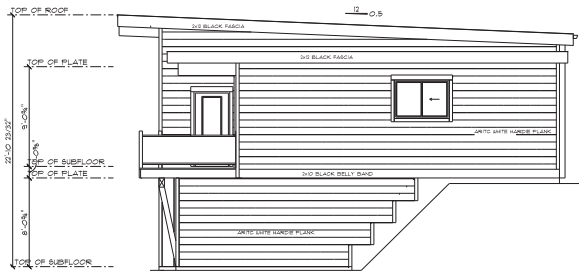
ALL LUMBER TO BE S.P.F. #2 OR BETTER
ALL LINTELS TO BE 2 - 2" x 10" UNAD. CONTRACTION
TO VERIFY ALL LINES, LEVELS, SURVEY'S, DIMENSIONS
AND LOCATION OF SERVICES PRIOR TO
STARTING CONSTRUCTION. CHANGES ARE NOT TO BE SCALED.
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retain independent inspectors to ensure proper design and
construction of building envelope.



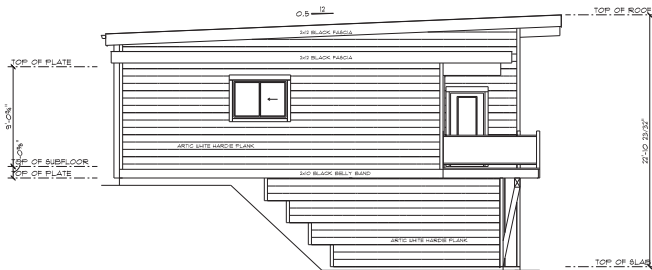
FRONT BLOCK 2
SCALE: 3/16" = 1'-0"



BACK BLOCK 2
SCALE: 3/16" = 1'-0"



RIGHT BLOCK 2
SCALE: 3/16" = 1'-0"

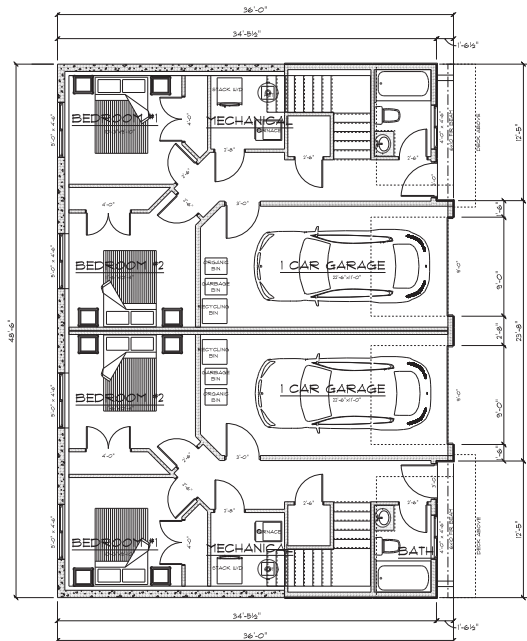


LEFT BLOCK 2
SCALE: 3/16" = 1'-0"

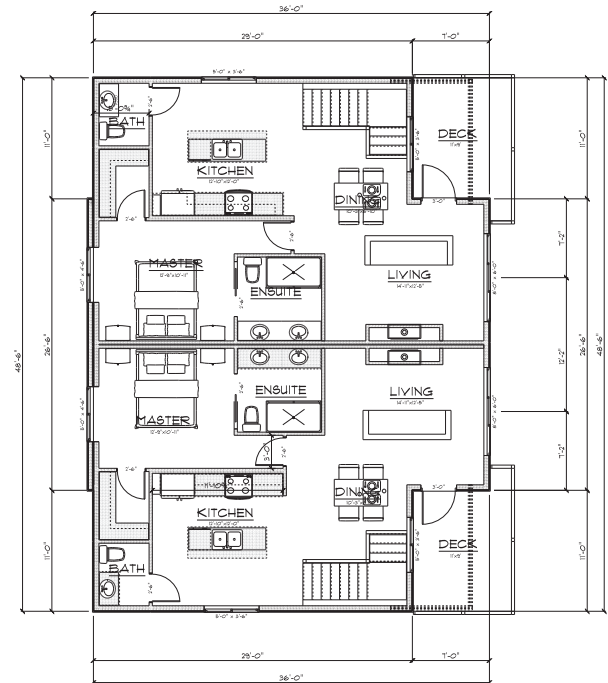
EXTERIOR FINISHING SCHEDULE	
ID	NOTE
1	ARCTIC WHITE HARDIE BOARD W/ 1/4" WOOD BATTENS
2	ARCTIC WHITE 8 1/4" HARDIE PLANK SIDING
3	ARCTIC WHITE HARDIE BOARD W/ METAL CHANNEL
4	2x12 WOOD FASCIA PAINTED BLACK
5	2x10 WOOD TRIM PAINTED BLACK
6	2x4 WOOD CORNER TRIM PAINTED BLACK
7	WINDOWS/DOOR: 2x6 HEAD TRIM W/ 2x4 SIDE & BOTTOM TRIM PAINTED BLACK
8	FIN ACCENT TIMBERS W/ NATURAL FINISH

EXTERIOR FINISHING

BLOCK 2
271.26m2

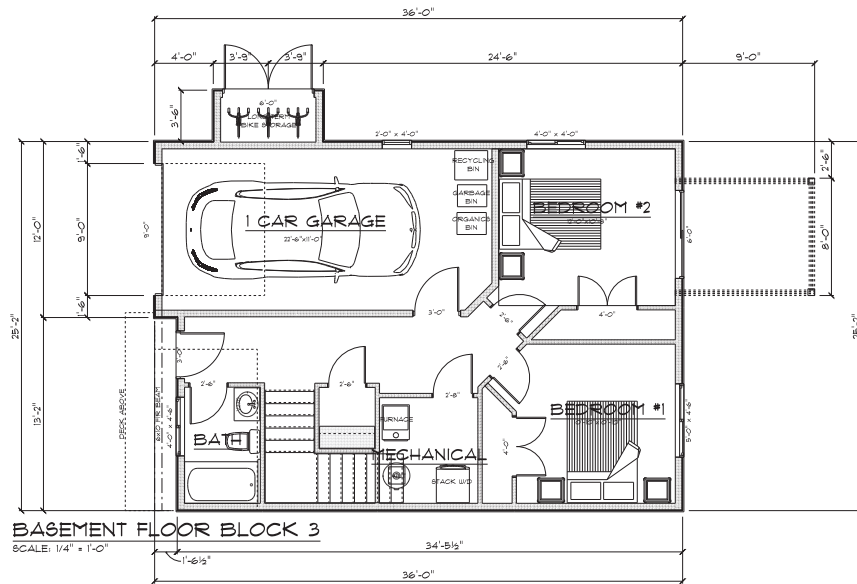
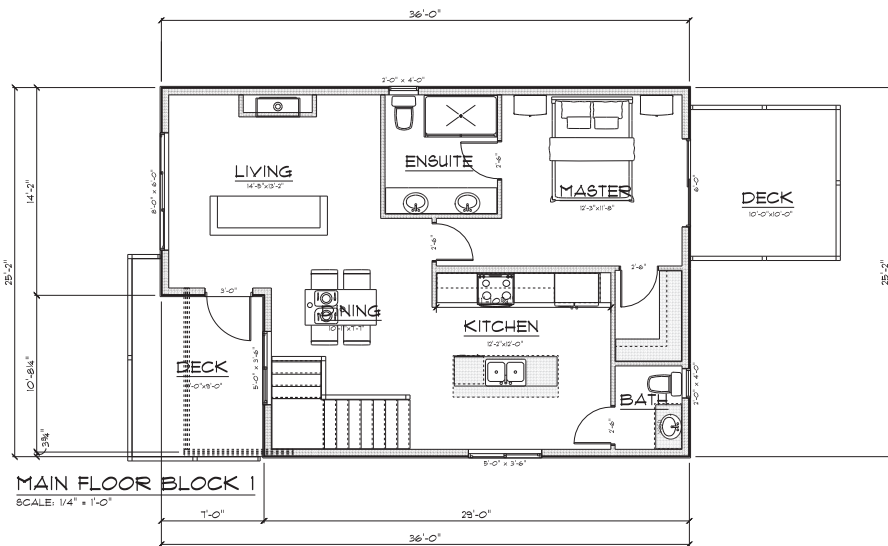


BASEMENT FLOOR BLOCK 2
SCALE: 3/16" = 1'-0"

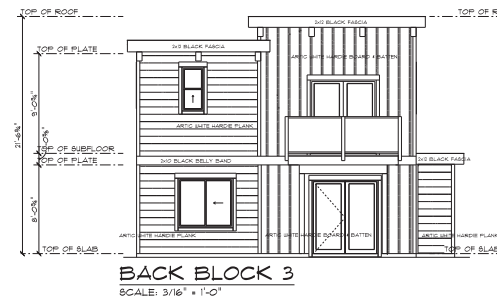
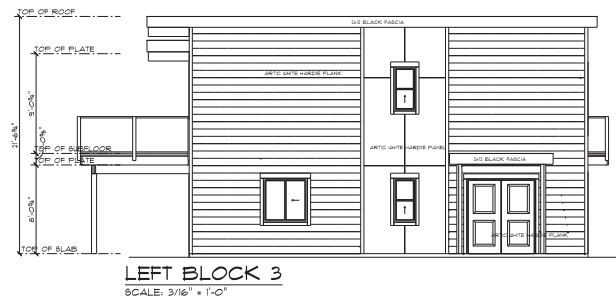
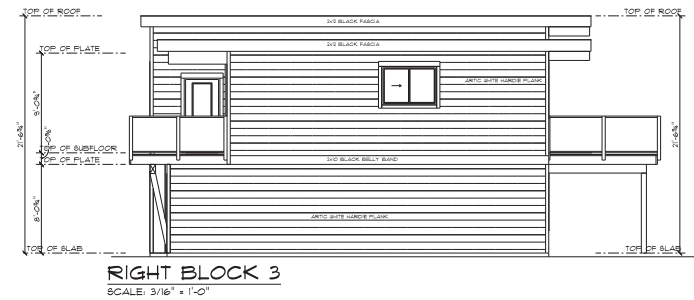
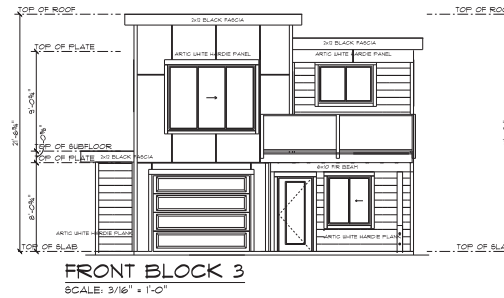


MAIN FLOOR BLOCK 2
SCALE: 3/16" = 1'-0"

ALL LUMBER TO BE S.P.F. #2 OR BETTER
ALL LUMBER TO BE 2" X 10 UNLESS NOTED OTHERWISE
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AND LOCATION OF SERVICES PRIOR TO
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building practices. Designer recommends that owner/owner
retain independent inspectors to ensure proper design and
construction of building envelope.



BLOCK 3 140.45m²



EXTERIOR FINISHING SCHEDULE	
ID	NOTE
1	ARCTIC WHITE HARDIE BOARD W/ 1/4" WOOD BATTENS
2	ARCTIC WHITE 8 1/4" HARDIE PLANK SIDING
3	ARCTIC WHITE HARDIE BOARD W/ METAL CHANNEL
4	2x12 WOOD FASCIA PAINTED BLACK
5	2x10 WOOD TRIM PAINTED BLACK
6	2x4 WOOD CORNER TRIM PAINTED BLACK
7	WINDOWS/DOOR: 2x6 HEAD TRIM W/ 2x4 SIDE & BOTTOM TRIM PAINTED BLACK
8	RIP ACENT TIMBERS W/ NATURAL FINISH

EXTERIOR FINISHING SCALE: 1/4" = 1'-0"

ALL LUMBER TO BE S.P.F. #2 OR BETTER
ALL LUMBER TO BE 2" x 10" UNLESS OTHERWISE NOTED
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AND LOCATION OF SERVICES PRIOR TO
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building practices. Designer recommends the contractor
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construction of building envelope.

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