

# **ATTACHMENT A PERMIT TERMS AND CONDITIONS**

## **TERMS OF PERMIT**

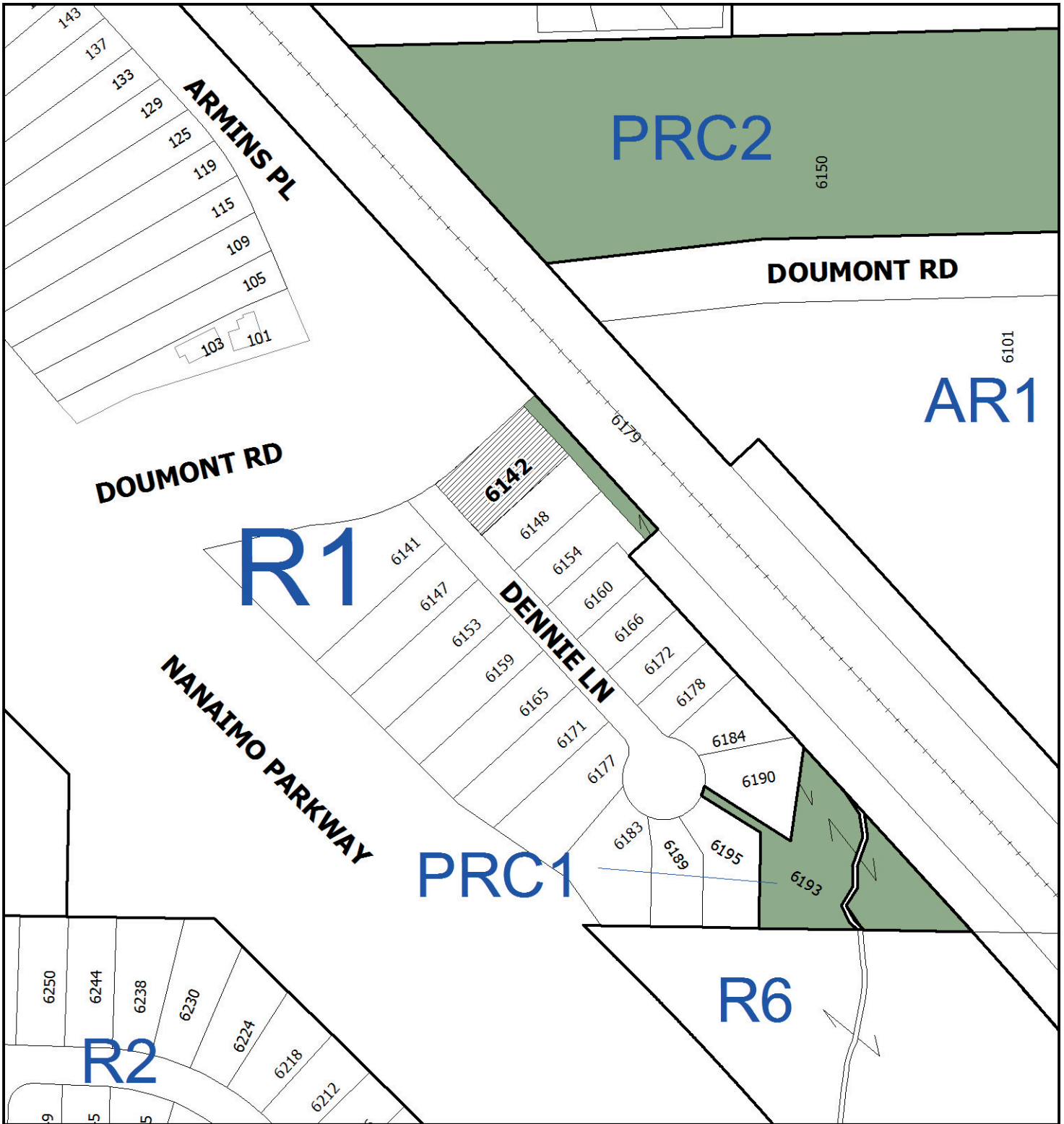
The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

1. *Section 7.5.1 Siting of Buildings* – to reduce the minimum flanking side yard setback for an accessory building from 4m to 2m.

## **CONDITIONS OF PERMIT**

1. The subject property shall be developed in accordance with the Site Plan prepared by Blake Camp received 2018-MAR-12, as shown on Attachment C.
2. The development is in general accordance with the Elevations prepared by Blake Camp received 2018-MAR-12, as shown on Attachment D.

ATTACHMENT B  
LOCATION PLAN



DEVELOPMENT VARIANCE PERMIT NO. DVP00345



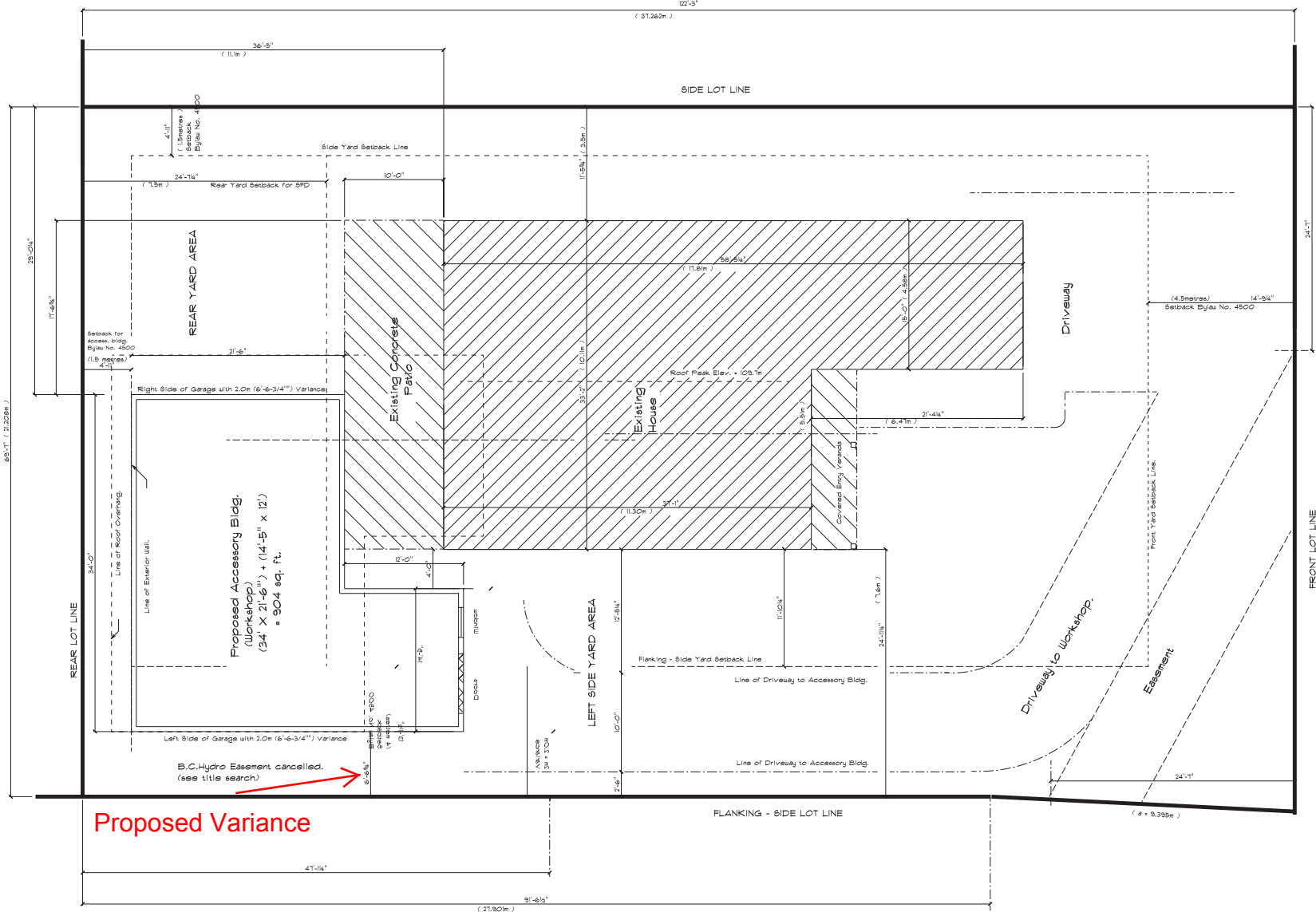
**LOCATION PLAN**



**Subject  
Property**

Civic: 6142 Dennie Lane  
Strata Lot 1, Section 10, Wellington District, Strata Plan VIS6351  
Together with an interest in the Common Property in Proportion  
to the Unit Entitlement of the Strata Lot as shown on Form V

# ATTACHMENT C SITE PLAN



**Proposed Variance**

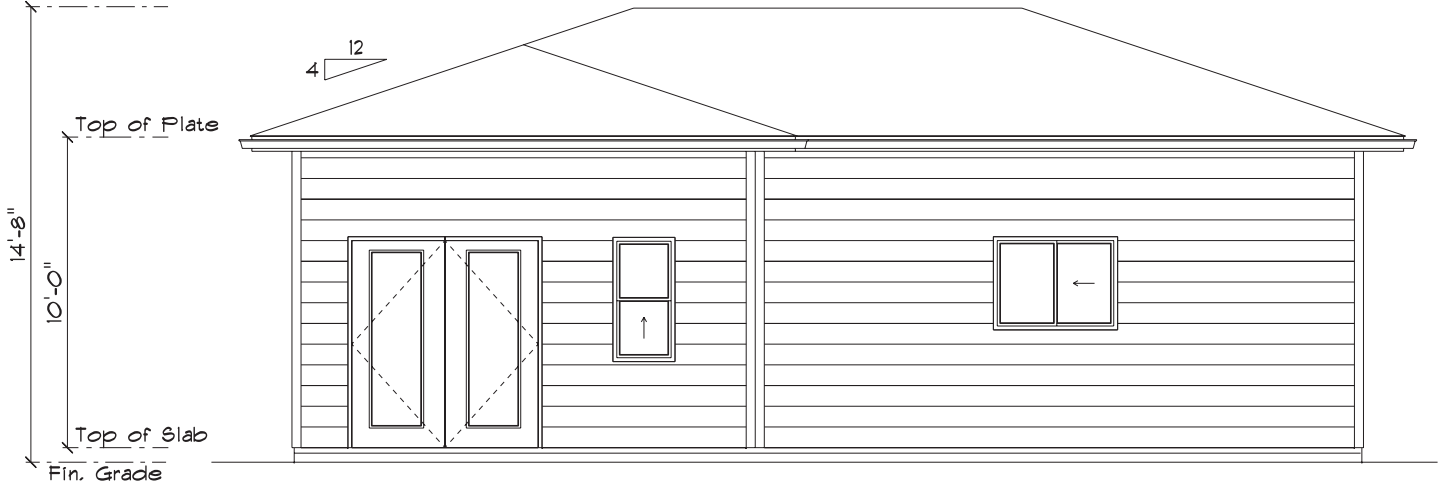
**Dennie Lane**

**SITE PLAN: PROPOSED ACCESSORY BUILDING**  
**6142 DENNIE LANE, STRATA LOT 1, SL PLAN Y186351,**  
**SECT. 10, WELLINGTON DISTRICT SCALE: 3/32" = 1'-0"**

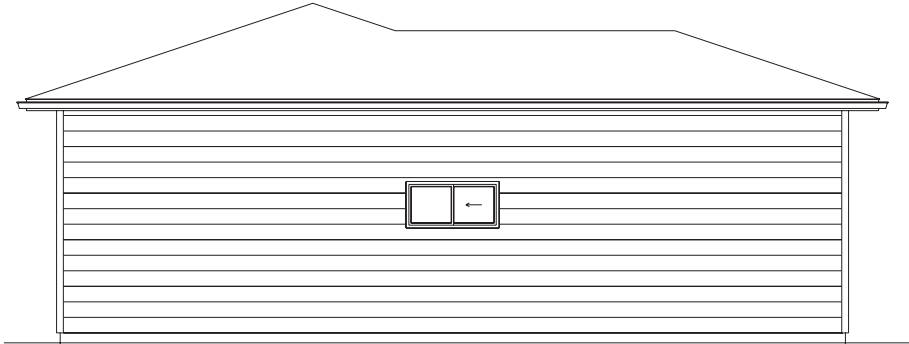
**RECEIVED**  
**DVP345**  
**2018-MAR-12**  
Connet Planning & Consultancy

Client: <b>Carson &amp; Rochelle Marsman</b> 6142 Denmie Lane	Scale: 1/4" = 1'-0" UNO Revision:	It is the sole responsibility of the Builder/Contractor to verify all dimensions, details, specifications etc. and meet all Municipal Bylaws and the B.C. Building Code.
Page 1 of 3		

# ATTACHMENT D BUILDING ELEVATIONS



**FRONT ELEVATION**  
1/4" = 1'-0"



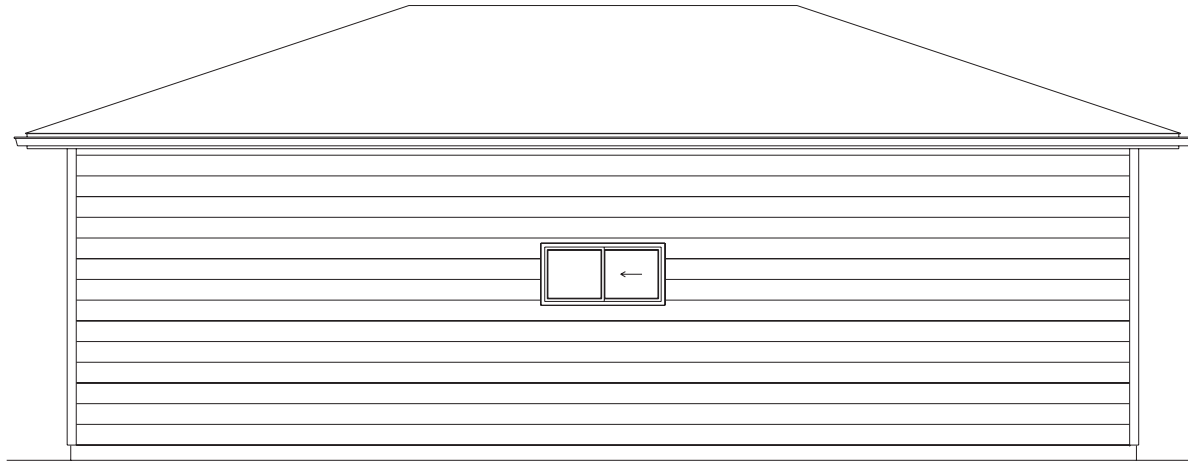
**LEFT ELEVATION**  
3/16" = 1'-0"

It is the sole responsibility of the Builder/Contractor to verify all dimensions, details, specifications etc. and meet all Municipal Bylaws and the B.C. Building Code.

Scale: 1/4" = 1'-0" UNO  
Revision:

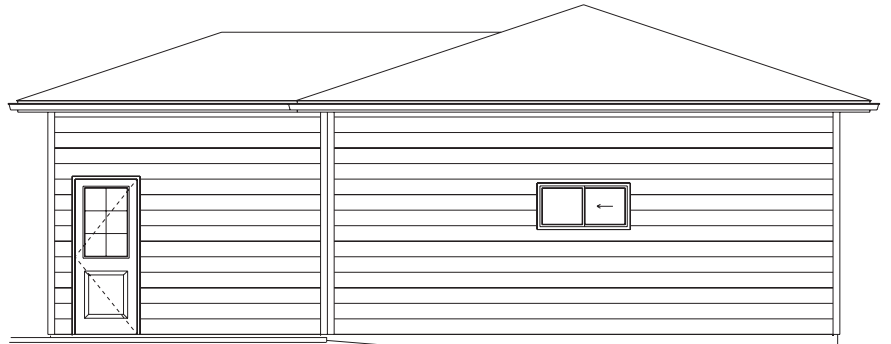
Client: Caron & Rochelle Marsman  
6142 Dennis Lane

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**DVP345**  
2018-MAR-12  
Current Planning & Subdivision



REAR ELEVATION

1/4" = 1'-0"



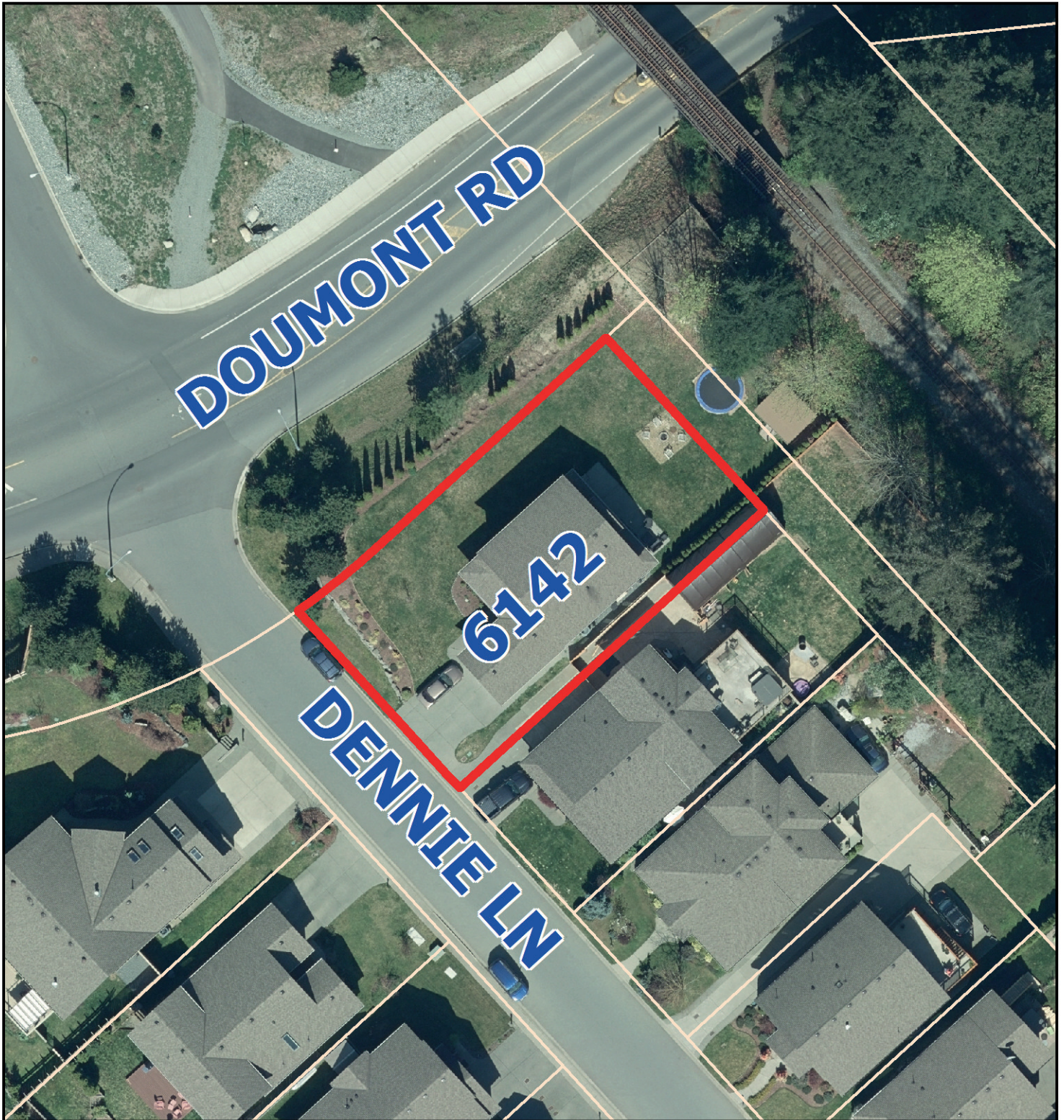
RIGHT ELEVATION

3/16" = 1'-0"

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DVP 345  
2018-MAR-12  
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ATTACHMENT E  
AERIAL PHOTO



DEVELOPMENT VARIANCE PERMIT NO. DVP00345

