

City of Nanaimo

June 9th 2021

Current Planning

Re: Form and Character Development Permit Application – 2545 Doctor Road

Attached is our application for a Form and Character Development Permit for the property at 2545 Doctor Road. The site is a long narrow lot that once housed a duplex that has been demolished. Our infill development is proposed under the existing zoning and is for five family units with two duplex units and one single unit.

The site slopes from west to east and units on the site will have views over Departure Bay. The development will require regrading to lower the site which will result in a retaining wall of approximately 1.5m along the south boundary. South of the site is a cluster of duplex units with flat roofs which were probably built in the 1960's. As shown on the landscape plan there will be a planted buffer on top of the retaining wall on this boundary which will provide a green buffer.

Our neighbours to the rear of the property are on large lots off of Lynburn Crescent and our development should not impact their views of the Bay. A new West Coast/Arts and Crafts style home has been built to the north and our project will share a common driveway with this property. As far as I can determine there is not a form and character common to Doctor Road and our choice of a contemporary style should start to refresh development along the road.

As shown on the site plan the single unit is at the front of the property which gives the units behind the opportunity to enjoy views. All units have balconies and extensive glazing to enhance the views. The fronts of the units have large roof overhangs with exposed beams which provide shading and cover over the balconies.

A sideyard variance is required to accommodate the front 1.8m extension of parking spaces into the sideyard. These parking spaces will front into the retaining wall on the south boundary and with the landscaped planting on the wall these spaces should not be seen by the neighbours units. The parking will also not be seen from the road. Parking in this location means the property adjacent to the single unit or on the joint access does not need to be clustered with parking.



Mark Johnston

M.H. Johnston & Associates Inc.

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CONTEXT MAP

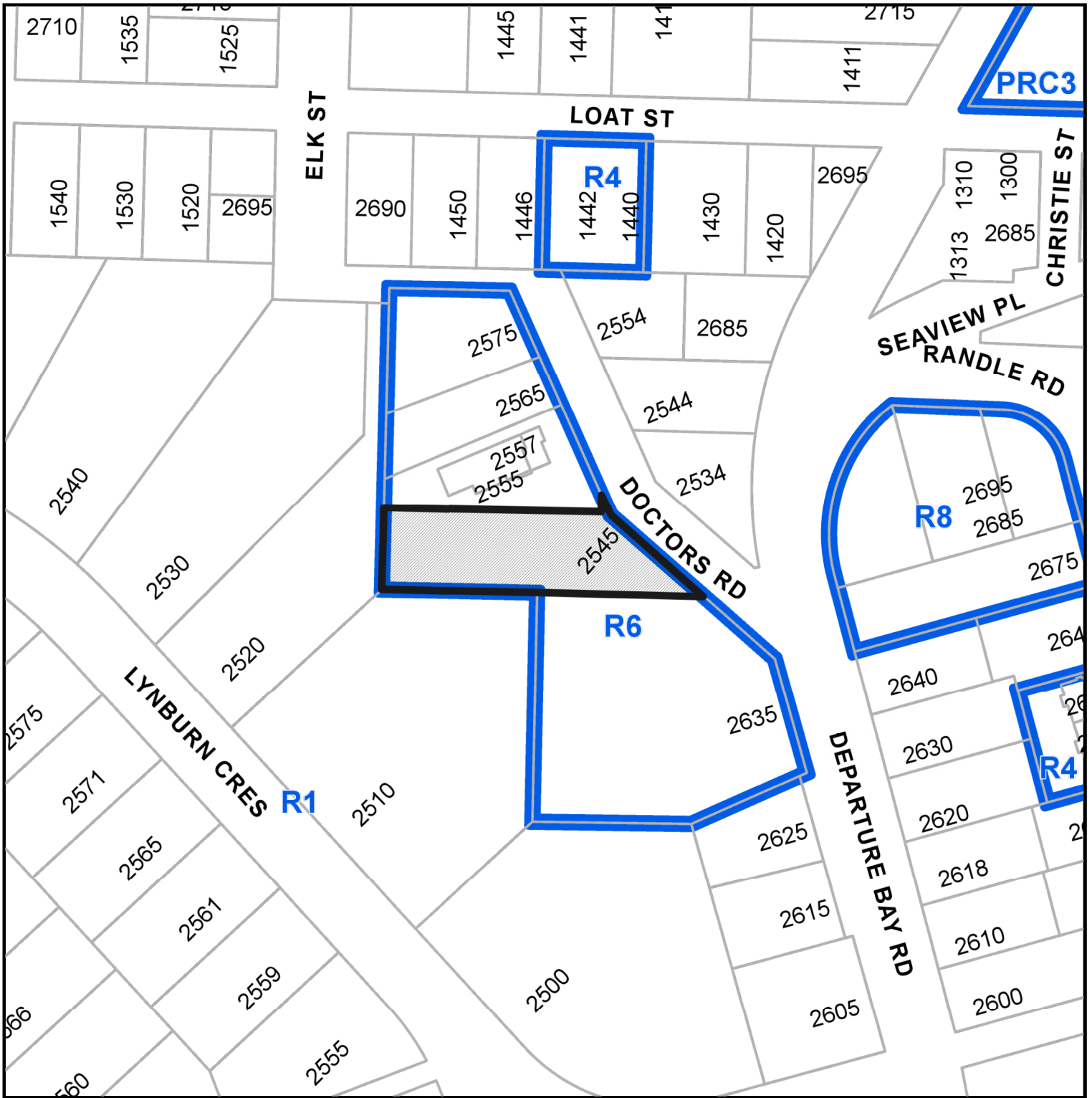


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2545 DOCTORS ROAD

LOCATION PLAN



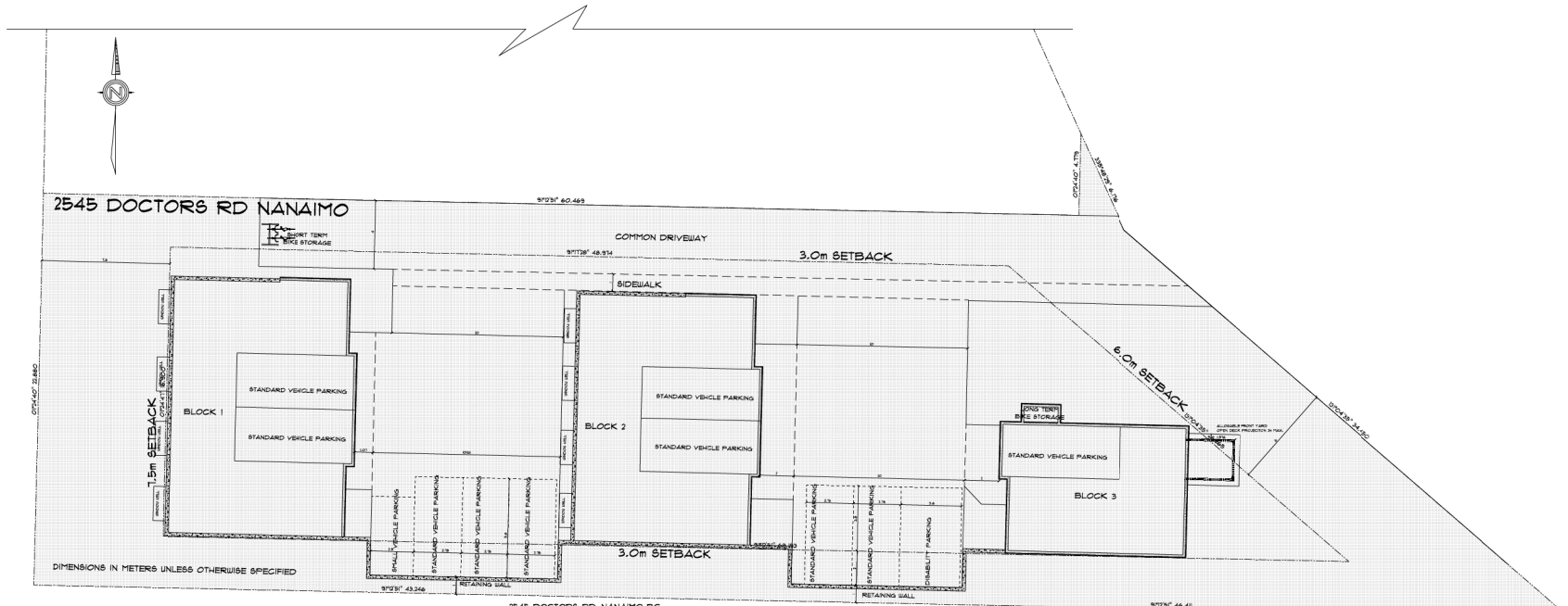
DEVELOPMENT PERMIT APPLICATION NO. DP001238



Subject Property

CIVIC: 2545 DOCTORS ROAD

LEGAL: PARCEL NO 1 (DD 18002N) OF PARCEL F (DD 11834N) OF SECTION 20, RANGE 8, MOUNTAIN DISTRICT



SITE
SCALE: 1:105

2545 DOCTORS RD, NANAIMO BC
 LOT AREA 1744.29 m²
 LOT COVERAGE + 24.95% (435.25m²)
 GROSS FLOOR AREA + 692.31m²
 FLOOR AREA RATIO + 0.40
 BLOCK 1 + 280.60m²
 BLOCK 2 + 271.26m²
 BLOCK 3 + 140.45m²

PARKING:
 2 SPACES
 36m² (1.8m x 20m) OF ENCROACHMENT INTO LANDSCAPE BUFFER
 1 MIN. SHORT TERM BIKE STORAGE
 3 LONG TERM BIKE STORAGE

ALL LUMBER TO BE S.P.F. #2 OR BETTER
 ALL LINTELS TO BE 2 - 2" x 12 L.D. CONTRACTOR
 TO VERIFY ALL LINES, LEVELS, SERVICES, DIMENSIONS
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 B.C. Building Code, current edition, and all local building
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 approval of zoning provider, designer is not responsible
 for any field review or compliance to codes and/or good
 building practices. Designer recommends the owner/builders
 retain independent inspections to ensure proper design and
 construction of building envelope.


	OCEAN MIST DEVELOPMENT CORP PHONE: 250-733-8700 DANIEL@OCEANMISTDEVELOPMENT.COM 1000 W. 10TH AVENUE, SUITE 100 NANAIMO BC V9R 5K4	SCALE: 1/4" = 1'-0" DRAWN BY: DANIEL DATE: August 12, 2021	APPROVED: CHECKED BY:	PAGE: 1 / 4
		2545 Doctors Rd CLIENT: RUSSELL MCMANN PROJECT: 2545 DOCTORS RD NANAIMO PHONE: 250-888-4088	RECEIVED DP1238 2021-AUG-16	



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PROJECT: 2545 DOCTORS RD, NANAIMO		SHEET 1		CLD-1033-ELN-001 DRAWING NO.	CLD-1033 PROJECT NO.	MAY 2021 DATE:	 PO BOX 41090 RPO WOODGROVE NANAIMO, BC PH: 250-240-5009	CLIMATE LANDSCAPE & DESIGN www.climatelandscaping.ca
TITLE: BUILDING 1 ELEVATION				AS SHOWN SCALE:	ME DRAWN:	JH CHECKED:		



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		SCALE:	DRAWN:	CHECKED:	REVISION:	



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TITLE: BUILDING 2 REAR ELEVATION		AS SHOWN SCALE:	ME DRAWN:	JH CHECKED:		



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OUTLINE RENDERING



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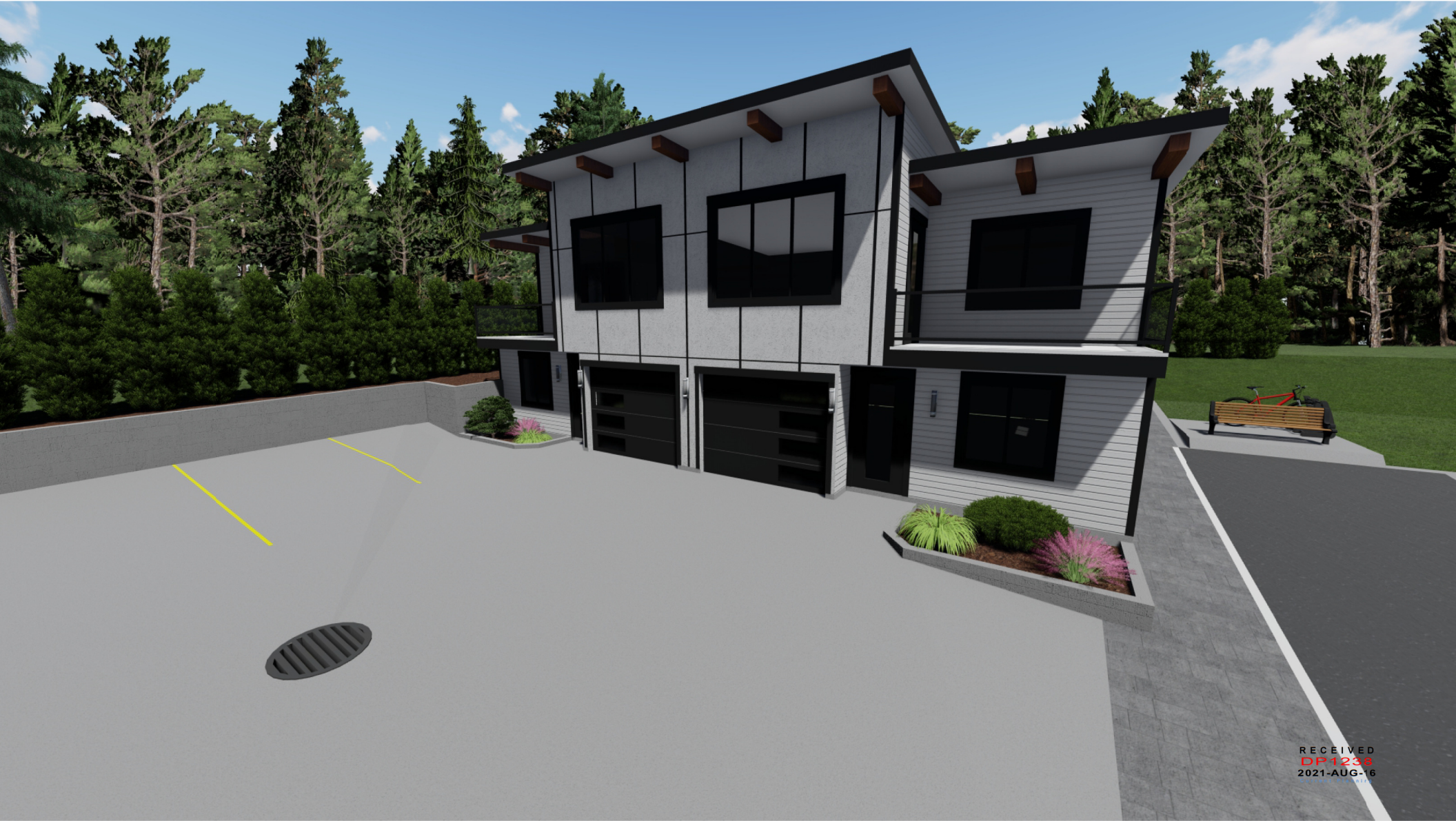
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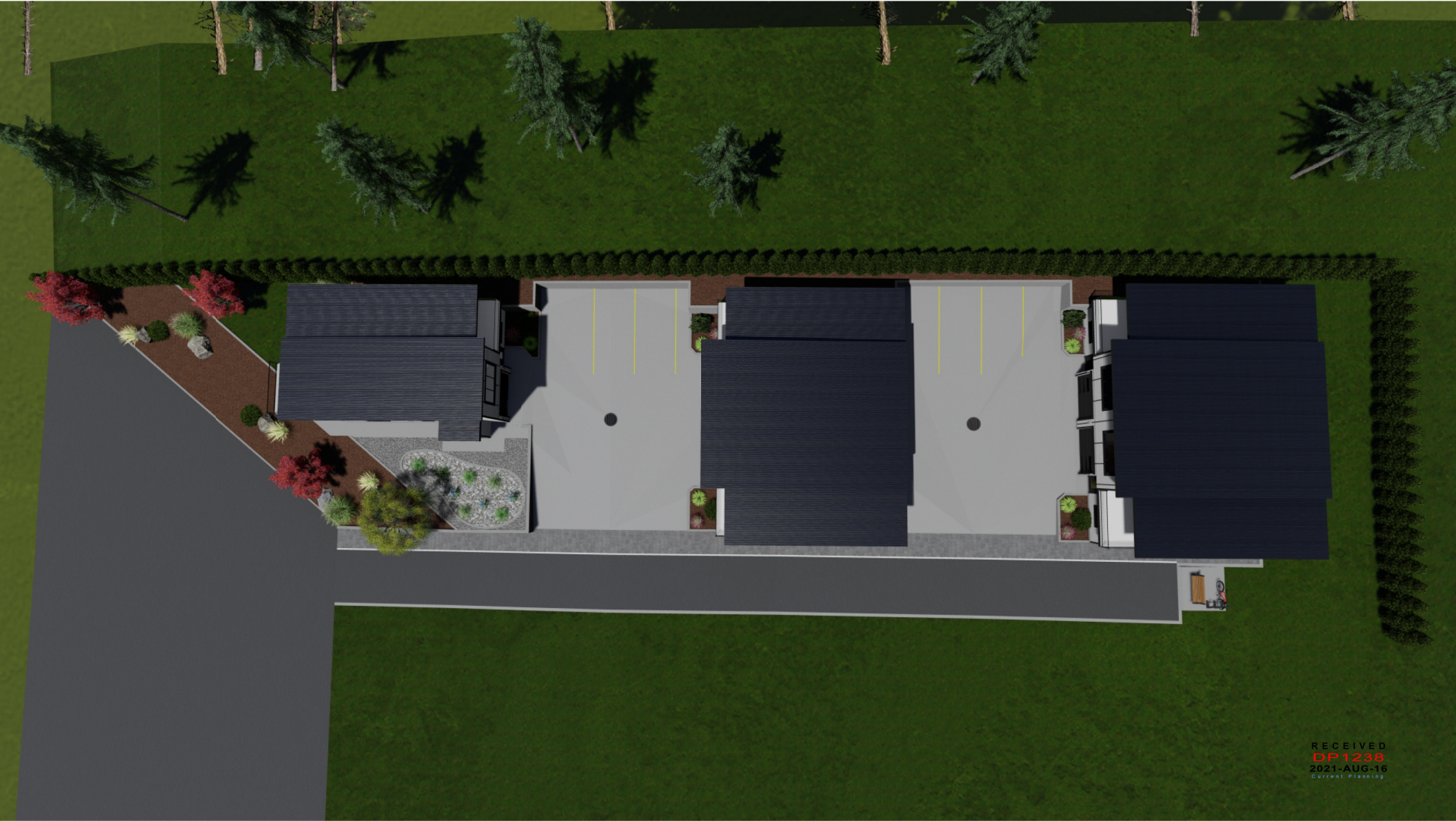
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Current Plan



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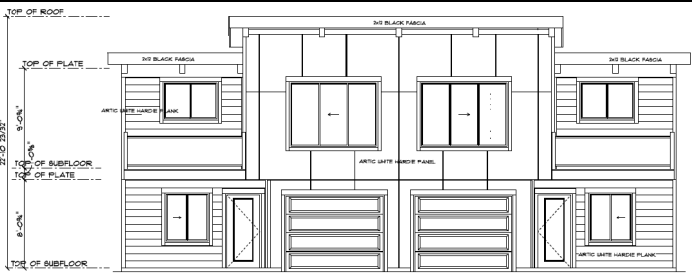
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Surrey Planning



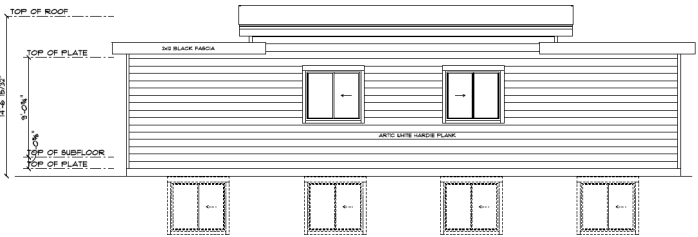
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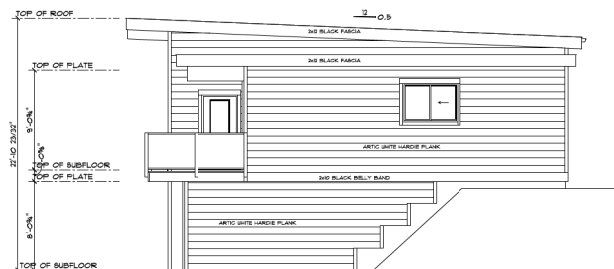
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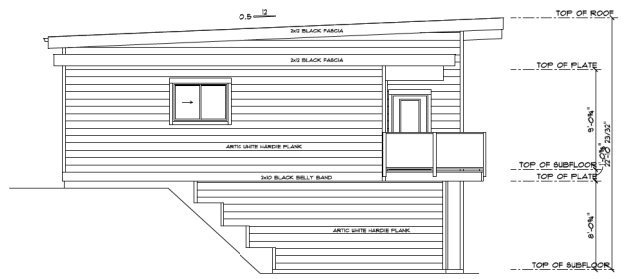
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BACK BLOCK 1
SCALE: 3/16" = 1'-0"



RIGHT BLOCK 1
SCALE: 3/16" = 1'-0"



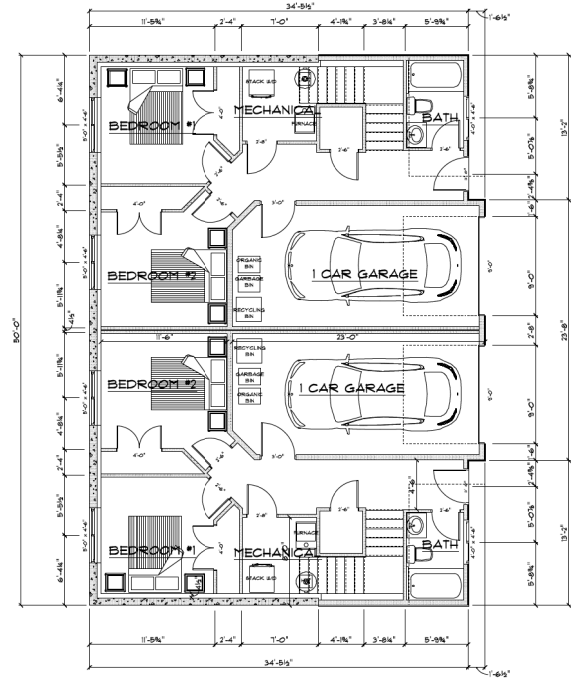
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ID	NOTE
1	ARCTIC WHITE HARDIE BOARD W/ 1/4 WOOD BATTERS
2	ARCTIC WHITE 8-5/4" HARDIE PLANK SIDING
3	ARCTIC WHITE HARDIE BOARD W/ METAL CHANNEL
4	2x12 WOOD FASCIA PAINTED BLACK
5	2x10 WOOD TRIM PAINTED BLACK
6	2x4 WOOD CORNER TRIM PAINTED BLACK
7	WINDOWS/DOOR: 3/8 HEAD TRIM W/ 2x4 SIDE & BOTTOM TRIM PAINTED BACK
8	FR ACCENT TIMBERS W/ NATURAL FINISH

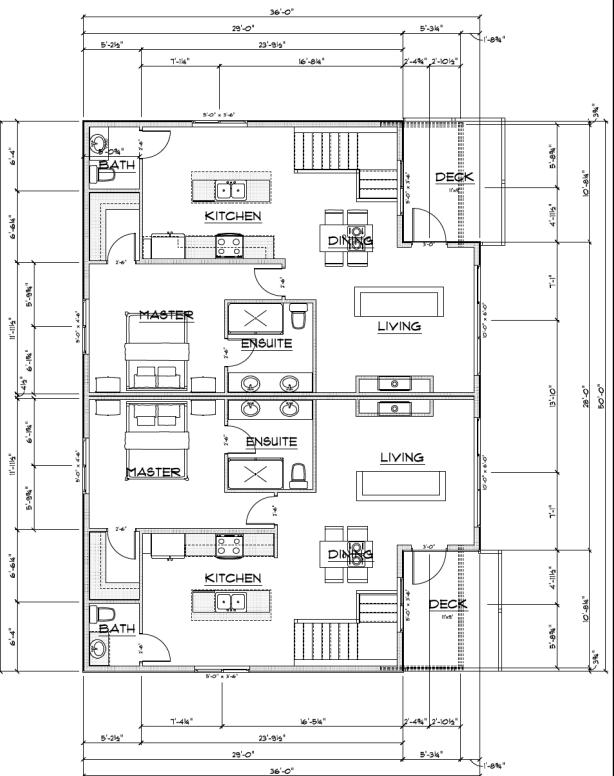
EXTERIOR FINISHING

BLOCK 1
280.60m²

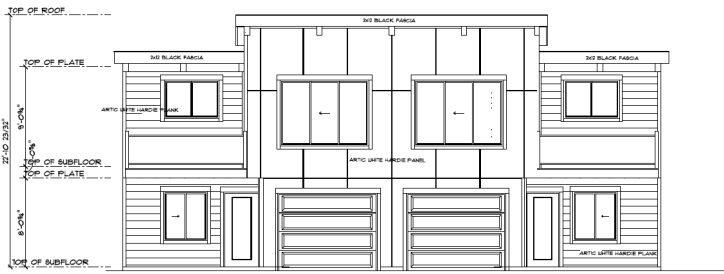
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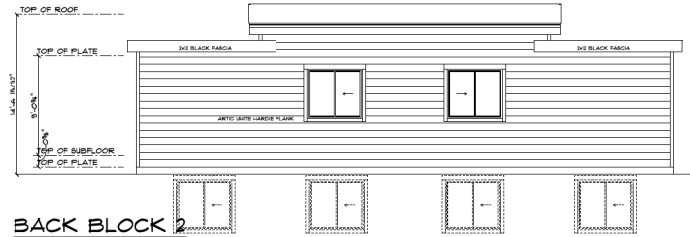
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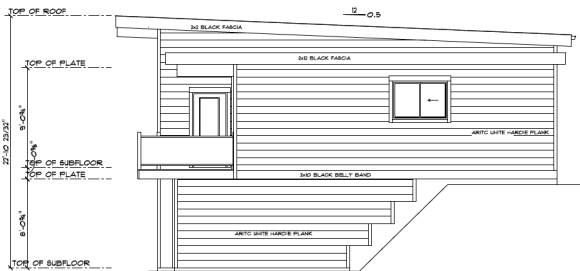
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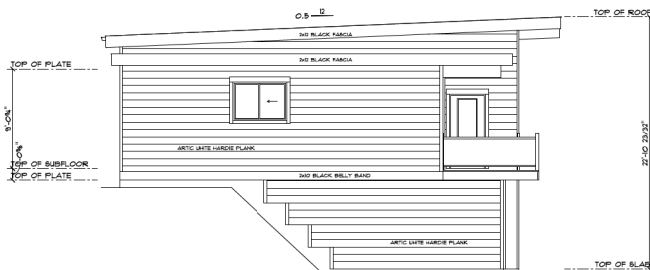
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BACK BLOCK 2
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RIGHT BLOCK 2
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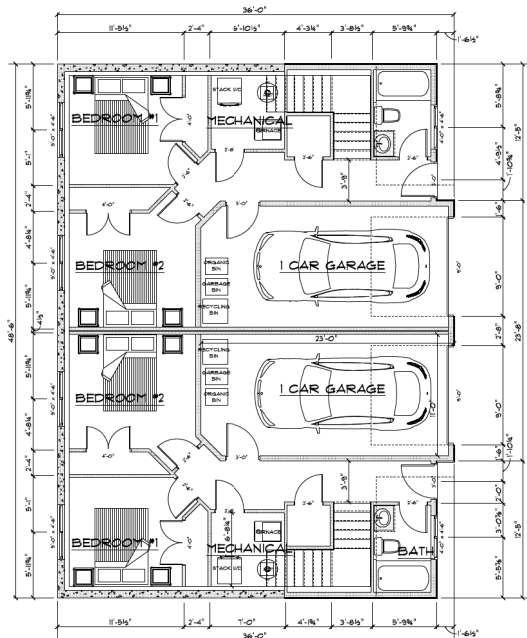


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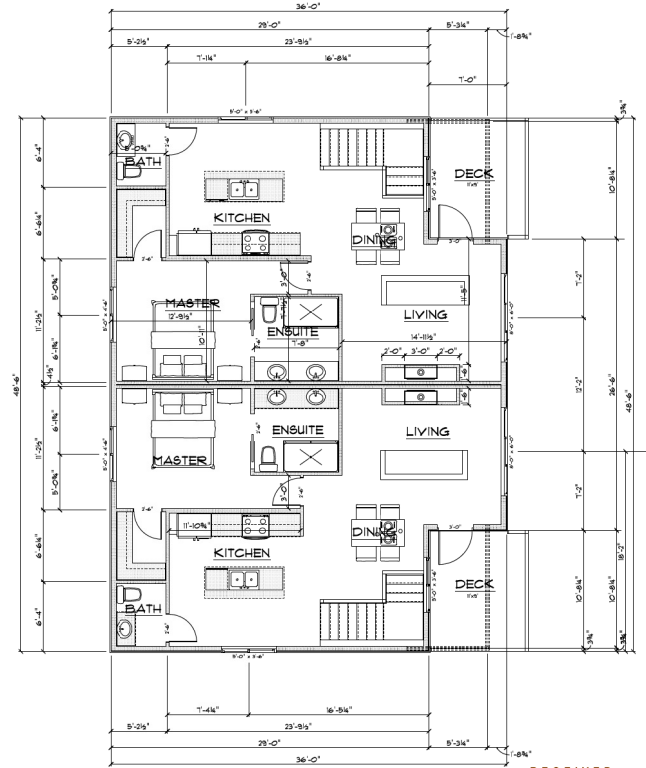
EXTERIOR FINISHING SCHEDULE	
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8	RIR ACCENT TIMBERS W/ NATURAL FINISH

EXTERIOR FINISHING

BLOCK 2
271.26m2



BASEMENT FLOOR BLOCK 2
SCALE: 3/16" = 1'-0"

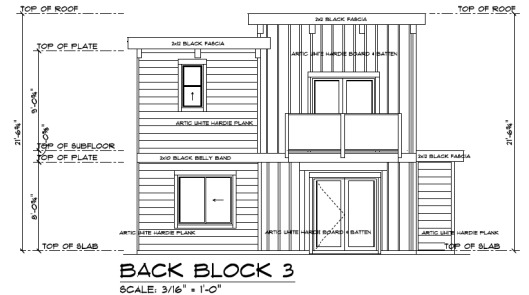
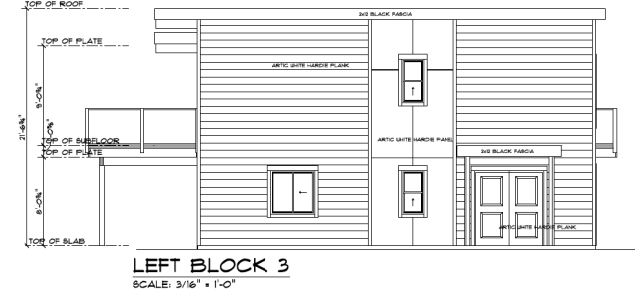
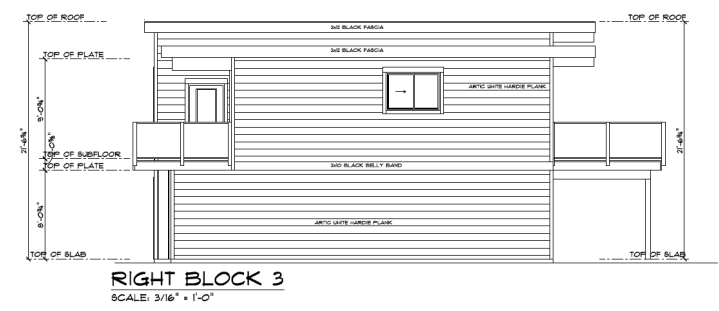
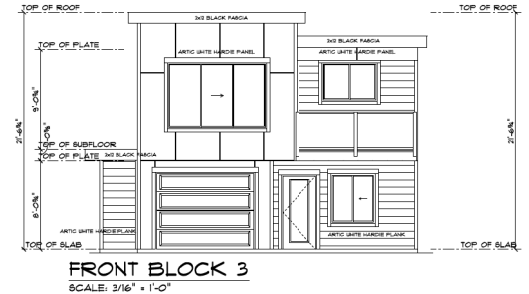
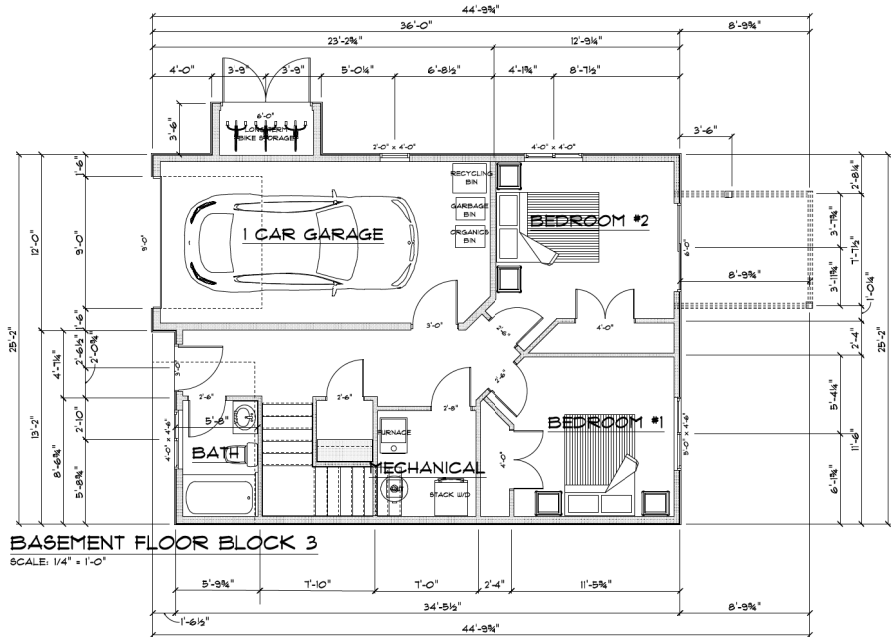
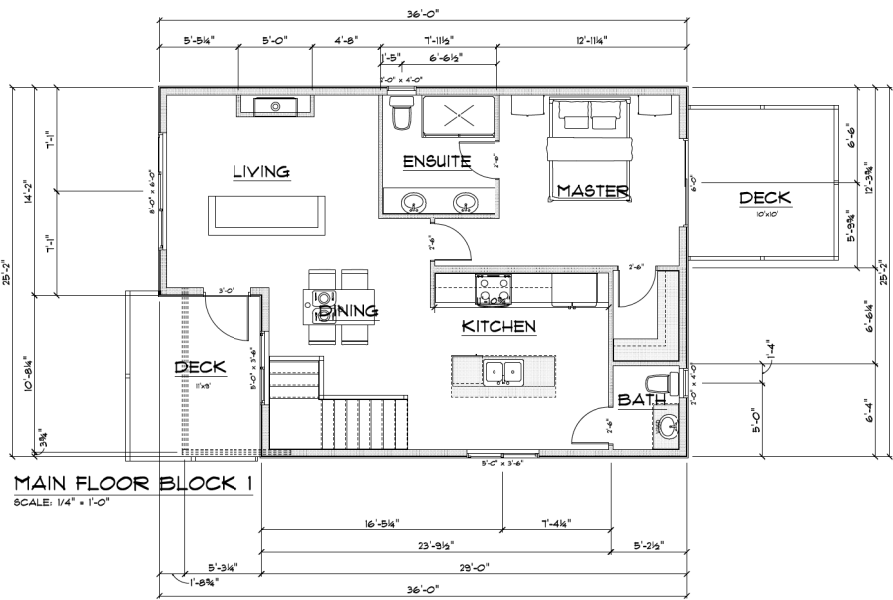


MAIN FLOOR BLOCK 2
SCALE: 3/16" = 1'-0"

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BLOCK 3

140.45m²



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EXTERIOR FINISHING SCHEDULE	
ID	NOTE
1	ARCTIC WHITE HARDIE BOARD W/ 1x4 WOOD BATTENS
2	ARCTIC WHITE 8-1/4" HARDIE PLANK SIDING
3	ARCTIC WHITE HARDIE BOARD W/ METAL CHANNEL
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8	FR ACCENT TIMBERS W/ NATURAL FINISH

EXTERIOR FINISHING
SCALE: 1/4" = 1'-0"

2545 Doctors Rd
 CLIENT: RUSSELL MCMANN
 PROJECT: 2021-08-12
 PHONE: 250.888.4088

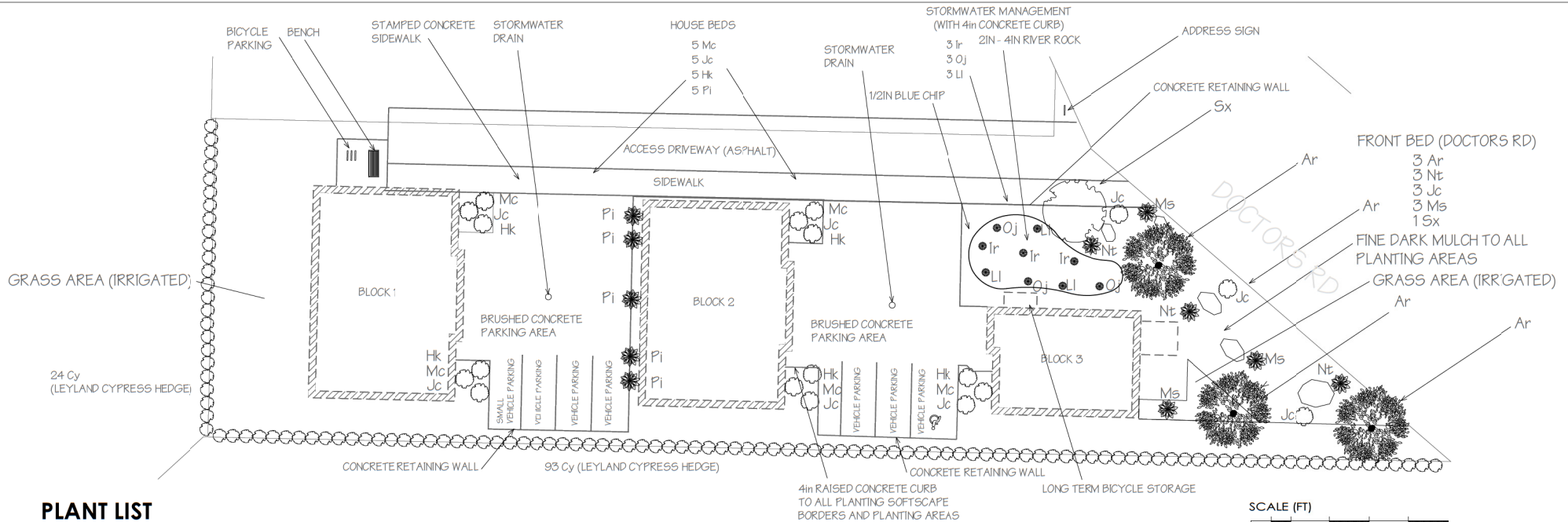
OCEAN MIST DEVELOPMENT CORP
 PHONE: 250.713.8100
 10000 100th Ave
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 DANIEL@OCEANMIST.COM
 10000 100th Ave
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 CHECKED BY: [Signature]

SECTION LETTER: A
 DRAWING NUMBER: 1
 PHASE NUMBER: 1

PAGE: 4/4



PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	POT SIZE	REMARKS / SPACING
STORMWATER MANAGEMENT					
Ir	3	IRIS ENSATA	JAPANESE WATER IRIS	1 GAL.	
Oj	3	OPHIPOGON JAPONICUS	MONDO GRASS	1 GAL.	
Li	3	LOMANDRA LONGIFOLIA	SPINY MAT RUSH	1 GAL.	
HOUSE BEDS					
Mc	5	MUHLENBERGIA CAPILLARIS	PINK GULP MUHLY	1 GAL.	
Jc	5	JUNIPERUS CHINENSIS	CHINESE JUNIPER	5 GAL.	
Hk	5	HAKONECHLOA	JAPANESE FOREST GRASS	1 GAL.	
Pi	5	POA LABILLARDIERI	ESKDALE POA	1 GAL.	
HEDGE					
Cy	117	CUPRESSUS x LEYLANDII	LEYLAND CYPRESS	5 GAL.	0.9M o.c
FRONT BED (DOCTORS RD)					
Ar	3	ACER RUBRUM	RED MAPLE	FIELD CUG	
Nt	3	NASSELLA TENUISSIMA	MEXICAN FEATHERGRASS	1 GAL.	
Jc	3	JUNIPERUS CHINENSIS	CHINESE JUNIPER	5 GAL.	
Ms	3	MISCANTHUS SINENSIS	EULALIA GRASS	3 GAL.	
Sx	1	SALIX BABYLONICA	WEeping WILLOW	FIELD CUG	

LANDSCAPE DESIGN RATIONALE

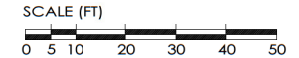
The site lies on the west side of Doctors Road. The existing lot is bare, except for three dead cedars on the roadside of the site. The site has no natural screening, though the south adjacent lot has native cedars, fir, and alders providing some level of separation.

The objective of the landscape design is to create a setting for the McMann Homes town house development. The front of the lot is the focal point of the landscape design, which employs a combination of drought resistant grasses, evergreen shrubs, stone, and colorful deciduous trees. This also acts as a privacy buffer for the planned single residence.

Planting
The planting design and choices compliment the strong contemporary and structural elements of the buildings.

The southern lot hedging [Leylandii] will provide an effective privacy screen between the properties. The shrubs will be evergreen with textured leaves and architectural forms, some light and movement will be provided by planting ornamental grasses.

The stormwater management feature includes a bioswale along the northeast corner of the property. This will collect and slow water movement to the lowest point of the property.



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A1	ME	05/10/2021

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PROJECT: 2545 DOCTORS RD, NANAIMO	SHEET 1	CLD-1033-PLT-001 DRAWING NO.	CLD-1033 PROJECT NO.	MAY 2021 DATE:	 PO BOX 41090 RPO WOODGROVE NANAIMO, BC PH: 250-240-5009 www.climatelandscaping.ca	
TITLE: PLANTING PLAN		AS SHOWN	ME	JH		A3
		SCALE:	DRAWN:	CHECKED:		REVISION:

SPECIFICATIONS


- 1.0 GENERAL**
- 1.0.1 REFERENCES for all landscape work will refer to: The Canadian Landscape Standard - Latest Edition, published jointly by Canadian Society of Landscape Architects (CSLA) and Canadian Nursery Landscape Association (CNLA).
- 1.0.2 SITE CONDITIONS
The location of all existing utilities are to be confirmed prior to the installation of any landscaping. Reference to Site Plans, Civil Engineering documents. Also refer to BCI Cal documents for City/Utilities services.
- 1.0.3 SITE REVIEW
The landscape contractor should give adequate notice prior to project kick off to allow a site meeting between the stakeholders to review site plans, documents and landscape plan and any affecting change orders.
- 2.0 EXISTING PLANT MATERIAL**
This section is not applicable.
- 3.0 GRADING**
- 3.0.1 The General Contractor shall have the responsibility to establish all sub-grades to allow for landscape installation to levels and contours specified on the landscape design drawings.
- 3.0.2 Remove and dispose to approved off-site disposal area all debris, building material, contaminated subsol, visible invasive plants and anything else that may interfere with proper growth and development of planned finished landscape.
- 3.0.3 The sub-grade shall be scarified to a minimum depth of 150mm immediately before placing growing medium or drainage material.
- 3.0.4 Grade transitions of sub-grade shall be smooth and even, such that ponding cannot occur on sub-grade surface.
- 3.0.5 Grade and sub-grade elevations fit within the tolerances given below:
Rough grades to follow the depths below finished grades, 150mm from grassed areas, 300mm for ornamental grasses, perennials and groundcovers, 400mm for shrubs.
- 4.0 GROWING MEDIUM**
- 4.0.1 All topsoil, imported or on-site, shall be tested and modified as required. When bidding a contractor must test the proposed soil and include the required modifications in the price for the work. Current soil analysis reports must be done and signed by a pre-approved analytical laboratory. A copy of the soil analysis must be sent to the Landscape Designer's office.
- 4.0.2 Growing medium shall be placed at the following depths:
150mm for seeded areas, 300mm for ornamental grasses, perennials and groundcovers, 450mm for shrubs and 1 c.u. for trees.
- 4.0.3 Where native soil remains in good condition no additional topsoil needs to be added but it may be amended to the recommendations in the soil test.
- 4.0.4 Topsoil shall not be worked in wet or frozen conditions or in any manner in which the soil structure is adversely affected.
- 5.0 PLANTING - GENERAL CONDITIONS**
- 5.0.1 All plants and planting to meet the Standards of Canadian Society of Landscape Architects (CSLA) and Canadian Nursery Landscape Association (CNLA).
- 5.0.2 Plants shall be characteristic of the genus, species and cultivar as indicated on the construction drawings and those specified.
- 5.0.3 All plants shall be nursery grown under similar climatic conditions to the project site. Plants shall not be puned prior to delivery unless pre-approved by the landscape Designer.
Container stock that have been established in the site of container specified for at least 6 months prior to delivery. The roots shall not have grown beyond the limits of the container.
- 5.0.4 It is the Contractor's responsibility to verify a comply with all regulations regarding the inter-regional movement of plant material, including nursery stock, within the Province of British Columbia. Imported plant materials must be accompanied by copies of the necessary permits and import licenses required by federal and provincial regulations.
- 5.0.5 Plants shall be properly proportioned: not weak, thin or elongated.
- 5.0.6 Plants shall have normal, well developed branches and vigorous, fibrous root systems. They shall be healthy and free from defects, decay, girdling roots, sunscald injuries, abrasions of the bark and plant diseases, insect pests' eggs, borers and all forms of infestation.
- 5.0.7 Trees have straight stems unless characteristic for the species. Pruning wounds shall show healthy callous growth of the branch color without bark tearing or fungal growth. Cambium tissue shall be moist and exhibit the correct coloration for the species. Plants exhibiting fungal staining shall be rejected.
- 5.0.8 All plant materials shall conform to the measurements specified in the drawings except that plants larger than specified may be used if approved by the Landscape Designer. The use of these plants shall not change the contract price. If the size of the plant is increased then the soil of earth shall also be increased in the same proportion as the size of the plant. All plants shall be measured when the branches are in their normal position. Height and spread dimensions specified refer to the main body of the plant.
Where trees are measured by caliper, reference is made to the diameter of the trunk measured 300mm above the ground as the trees stands in the nursery.
- 5.0.9 Native plants shall be propagated in nurseries and not harvested from wild sites, except where salvaged from an area where the native vegetation will be destroyed and authorization for the harvest has been obtained. All collected native plants shall be held and maintained in a nursery until new roots have formed through burlap or other suitable packing material, or in the case of containerized plants, until such time that the roots grow to fill and hold the soil within the container.
- 5.0.10 Collected plants shall not be used with prior approval in writing by the Landscape Designer.
- 5.0.11 Balled and burlapped conifers and trees in excess of 3 metres in height must have been dug with a sufficiently large firm rootball to contain 75% of the fibrous and feeder root system. Rootballs shall be free of invasive weeds.
- 5.0.12 Keep plants in a moist condition at all times. Protect all plants against damage and/or drying out until they are planted on the site.
- 5.0.13 During loading, transportation, offloading and planting, protect all trees against damage to stems and branches. Protect bark against chafing from chains, cables, equipment or other trees by a wrapping of cardboard or burlap. Separate entangled tree branches without damage to the branches.
- 5.0.14 Plants with broken or abraded trunks or major branches will not be accepted. Prune damaged twigs to specific pruning guidelines using secateurs.
- 5.0.15 Immediately cover and protect bare root stock from damage to roots by frost, sun and wind.
- 5.0.16 Handle materials supplied in path and containers by the container only to reduce breakage of branches and leaves.
- 5.0.17 Handle balled/burlapped plant materials with caution to maintain firmness of the balls. No plants shall be used when the ball of earth surrounding the roots has been cracked or broken prior to or during the process of planting, or when the burlap, staves and ropes required in connection with their transplanting have been removed.
- 5.0.18 Do not lift trees in wire baskets by the trunk.

- 6.0.1
- 5.0.19 During the growing season, store all plants in container, balled and burlapped or wire basket in an upright position if not planted immediately and take care to provide enough space between plants such that light reaches all portions of the plant in order to avoid burning planted out.
- 5.0.20 Protect rootballs of balled and burlapped material by heeling in with material suitable to protect them from drying out (ie, sawdust, peat moss, topsoil). Do not store containerized and burlapped plants intended to be planted in the open in a building or in an area of low intensity light for a period exceeding 7 days. Keep all plants well watered and protected from heat and frost.
- 5.0.21 Plants shall be acclimatized against the environmental conditions of their final planting location and shall not be taken directly from shade houses or greenhouses and planted in a drastically different environment. Preparation for the new environment should include an appropriate period of storage in an immediate environment, managing fertilizer applications to avoid excessively lush growth and provision of a graduated watering regime.
- 5.0.22 The Landscape Contractor shall leave the work areas clean, tidy and safe on a daily basis.
- 5.0.23 All plant materials shall be guaranteed in writing to the owner for one year against death due to unhealthy supply and/or improper installation conditions and/or wrong selection of species or variety of plants. The one year period should begin at the date of Landscape Contractors final invoice.
- 6.0 TREE PLANTING**
- 6.0.1 Tree planting pits shall be excavated to the dimensions indicated in the drawing. Pit sides wherever possible shall be dug with sloping sides at a preferred angle of 45 degrees, scarified to remove glazing and providing a roughened soil interface. A minimum 300mm depth scarified layer of native soil shall be created in the bottom of the tree pit. Remove all stones larger than 75mm.
- 6.0.2 Roughen bottom and sloping side surface of tree pit to remove glazing and provide a roughened soil interface prior to placement of tree and burlap. Adjust elevation under where tree is to be placed so that the nursery soil line on the tree trunk will be 50mm above finish grade for settlement.
- 6.0.3 Remove wire basket prior to placement in planting pit. With the tree in the planting pit untie and remove burlap and cord from the last 1/3 portion of a balled and burlapped rootball. Completely remove, with care, impermeable containers from container-grown or bag-grown trees.
- 6.0.4 Trees with the following defects shall be replaced at the contractor's expense:
(a) Lack of rootball integrity.
(b) Broken or abraded structural or main roots.
(c) Presence of fungal mass or fruiting bodies and discoloration.
(d) Poor root development with few fibrous roots, or
(e) Any other evidence of pathogenic or accidental injury.
- 6.0.5 Unwrap and spread out encircling roots and tease out roots growing at the outside of the rootball.
- 6.0.6 The tree shall be installed plumb and faced to provide the best appearance towards the primary viewing location, as determined by the Landscape Designer.
- 6.0.7 Place 2/3 depth of the topsoil and water to remove air voids.
- 6.0.8 If indicated in the construction drawings, then prior to completion of backfilling, place tree stakes, avoiding penetration of the root system. Stakes shall be driven plumb and to a sufficient depth in the subgrade that the portion exposed above finished grade = 1 metre height.
- 6.0.9 Place remaining 1/3 of topsoil lightly boot tamping to remove air voids ensure soil level does not exceed original nursery soil line. Form earth saucer to retain water over root ball and water in the tree.
- 6.0.10 Secure tree to stakes with counter-tensioned, non-twisted loops of 19mm polypropylene webbing stapled to the stakes.
- 6.0.11 Place 75mm or bark mulch over soil surface.
- 7.0 SHRUB AND GROUND COVER PLANTING**
- 7.0.1 Shrub beds shall be a total of a 450mm layer of amended topsoil and a 50mm layer of bark mulch.
- 7.0.2 Areas of ground covers shall a total of a 300mm layer of amended topsoil and a 50mm layer of bark mulch
- 7.0.3 Excavate individual pits in the placed topsoil mix for shrubs, to the same depth as the container holding the shrub and 1.5 times the width of the container. Place shrubs to show the best side towards the primary viewpoint. Water shrubs in the pits prior to backfilling with the planting medium.
- 7.0.4 Stake shrub and ground cover beds to a smooth surface prior to placement of 50mm depth of bark mulch layer.
- 7.0.5 Plant ground covers through bark mulch layer into the 'A' horizon layer below. The Contractor shall plant ground covers into the mulch layer without full root burial into the soil.
- 7.0.6 Stake mulch layer to a smooth finish grade and water bed.
- 8.0 PRUNING**
- 8.0.1 Trees which at the time of planting require the removal of damaged or diseased branches larger than 12mm diameter, that have broken leader, or that have a damaged trunk, will be rejected by the Landscape Designer.
- 8.0.2 Pruning shall be limited to the minimum necessary to remove dead or damaged secondary branches or twigs, or to provide safe head room adjacent to streets or sidewalks. Pruning shall be done in such a manner as to preserve the natural character of the plant.
- 8.0.3 For pruning cuts 12mm diameter or smaller use clean sharp secateurs. The cut shall be perpendicular to the branch angle and located at the outside edge of the branch collar only.
- 9.0 MULCH**
- 9.0.1 Bark mulch shall be 50mm and minus Douglas Fir / Hemlock bark chips, dark brown in colour and shall be virtually free of invasive and noxious seeds and reproductive parts, soil, stones, salts or other harmful chemicals, or other extraneous matter that would prohibit seed germination or the healthy development of plant material.
- 10.0 IRRIGATION**
- 10.0.1 An irrigation system is to be designed and installed by Landscape Contractor.
- 10.0.2 All work to conform to the BC Plumbing Code as amended to installation date.
All workmanship is to be to Irrigation Industry Association of BC (IIABC) standards, latest edition.
- 11.0 RETAINING WALLS**
- 10.0.1 Retaining walls should be subject to local building codes and General Contractor drawings and schedules.

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REVISION:	INITIAL:	DATE:
A2	ME	06/08/2021
A1	ME	05/10/2021

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<p>PROJECT: 2545 DOCTORS RD, NANAIMO</p>	<p>SHEET 2</p>	<p>CLD-1033-PLT-001</p>	<p>CLD-1033</p>	<p>MAY 2021</p>	 CLIMATE LANDSCAPE & DESIGN www.climatelandscape.com
		DRAWING NO.	PROJECT NO.	DATE:	
		AS SHOWN	ME	JH	
<p>TITLE: LANDSCAPE SPECIFICATIONS</p>		SCALE:	DRAWN:	CHECKED:	REVISION:


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AERIAL PHOTO



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 2545 DOCTORS ROAD