

## 250 TIMBERCREST WAY | THE RIDGE | DESIGN RATIONALE / PROJECT DESCRIPTION

November 16, 2020

The development located on Timbercrest Way includes nine duplexes and three single family units, totalling 21 units. These buildings have been designed as an upscale solution for community living set within an existing neighborhood which contains a mix of single-family and low density multi-family development.

The buildings have been stepped and distributed across the site to create scale and interest along the street. The single-family buildings have been located closer to the ends of the site to further step the scale. The footprints of the buildings have been oriented to create an efficient design creating a harmonious interaction between the buildings and the site slopes.

Multiple duplex types were created to maximize the different site conditions and utilized sun exposure. Emphasis was placed on the scale of the buildings and their relationship with the existing neighborhood. The architectural form is further reinforced with high quality materials, large windows, clean lines and staggered site placement. This development blends seamlessly with the slope of the land and the existing single family homes to reinforce an already thriving community.

### Neighborhood/Site Context/Site Design

- This site is located along Timbercrest Way and Crestline Terrace and set in the middle of a primarily 2-storey single family neighborhood, with a townhouse project (previously constructed by the same developer) located directly to the east (Apex Ridge Place).
- The buildings have been oriented to the surrounding roads.
- The duplexes were designed to effectively utilize the site conditions and site slope.
  - Duplex A – skinny and deep unit where the site has more depth
  - Duplex B – wide and shallow unit where the site is shallower
- Building siting, massing, roof lines have been used to blend the design into the neighbourhood context.
- The buildings with lower roof heights has been located on the ends of the property to effectively utilize the slope of the land while making the development more relatable to the neighbourhood scale.
- Landscape design has been predicated primarily on utilizing and blending in to the natural grade on the site and provides for a mix of manicured and naturalized areas.
- In addition to the driveway access, each unit has a direct sidewalk connection from the front entry to the public sidewalk, creating enhanced opportunities for social interaction and reinforcing the connection between the public and private realm. This design element also allows for residents and visitors to identify the front

entry (rather than the garage door) as the primary architectural focal point on the building.

- The required parking has been provided in the form of garages and driveway parking adjoining the individual buildings

### Design Concept

- The buildings were designed to maximize the site slope and access to sun while providing an efficient layout for the 21 units in the site.
  - Duplex A – deeper building allows for deeper rear yard access
  - Duplex B – outdoor space is to the site yard to allow for southern light exposure
- Varying roof lines and architectural elements have been used on all faces of the building to create scale and interest and blend with the existing single-family homes.
  - Pronounced and well-defined front porch that faces the street
  - Lower roof heights have been utilised in the front and sides of the building to create scale and visual interest.
- The stepped elevations on the duplexes creates varied rooflines and scale
- A variety of siding textures, roof levels and colours have been used to break the scale of the elevations and integrate in the neighborhood.
  - A combination of stone, muted coloured, siding and wood is used to reflect a cohesive colour pallet for the development.
  - A slight tonal variation is used between all three building types.
  - The entries are highlighted with wood trim, which is used on the facia, soffit and roof eaves.

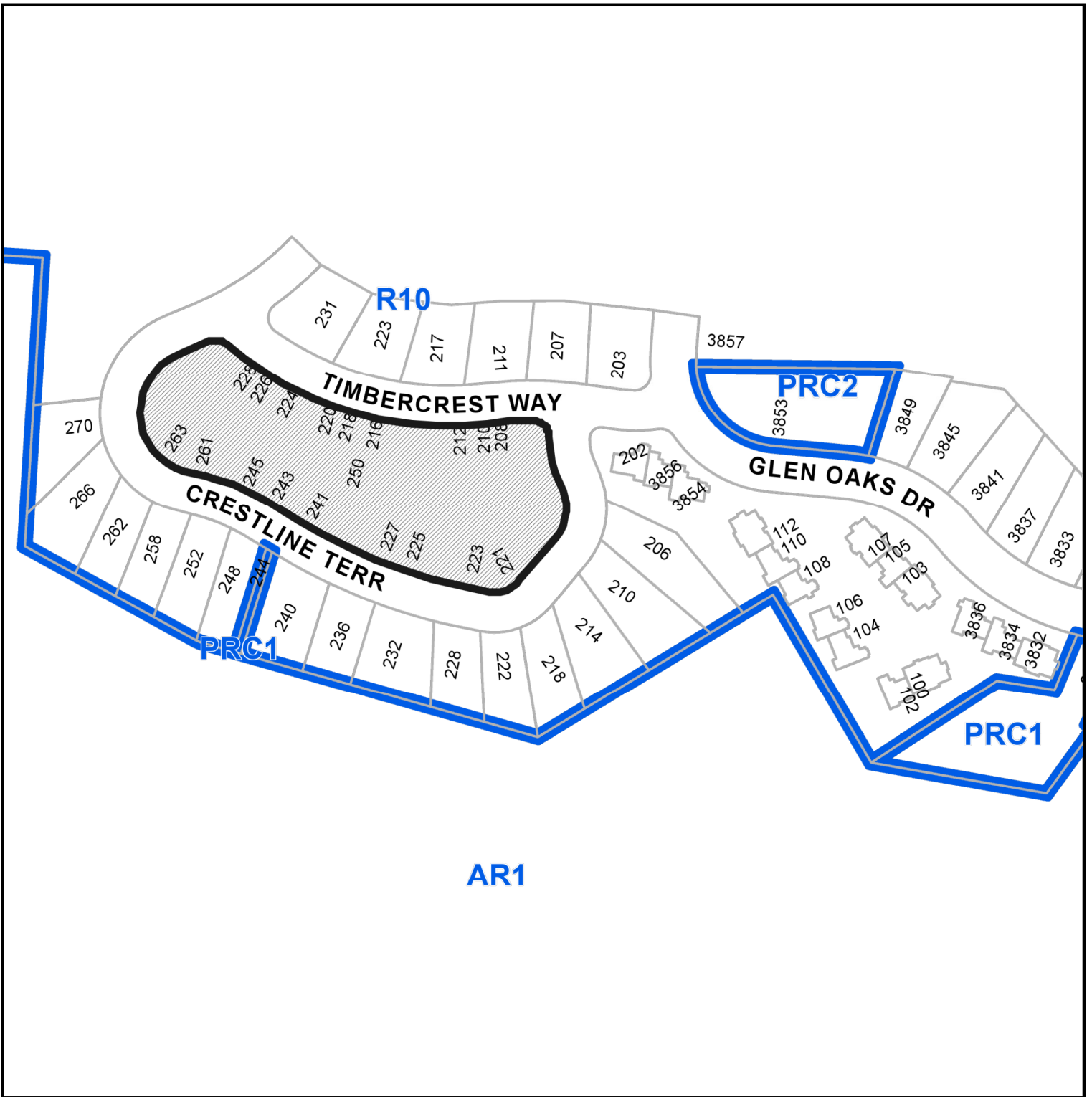
### Proposed Building Design

- 21 units designed in 12 buildings.
- 3 single family buildings and 9 duplexes.

### Variance:

- Height: A height variance of .4m is being requested for Building 5
  - The distance between buildings 5 and 8 is very tight and the slope is very steep. In order to avoid an unattractive retaining wall and to mitigate the existing grades we have chosen to provide a more sensitive landscaping solution. By eliminating the retaining wall we can provide more planting area to screen the foundation wall of Building 5. This solution will also provide a softer and greener view for Building 8.

## LOCATION PLAN

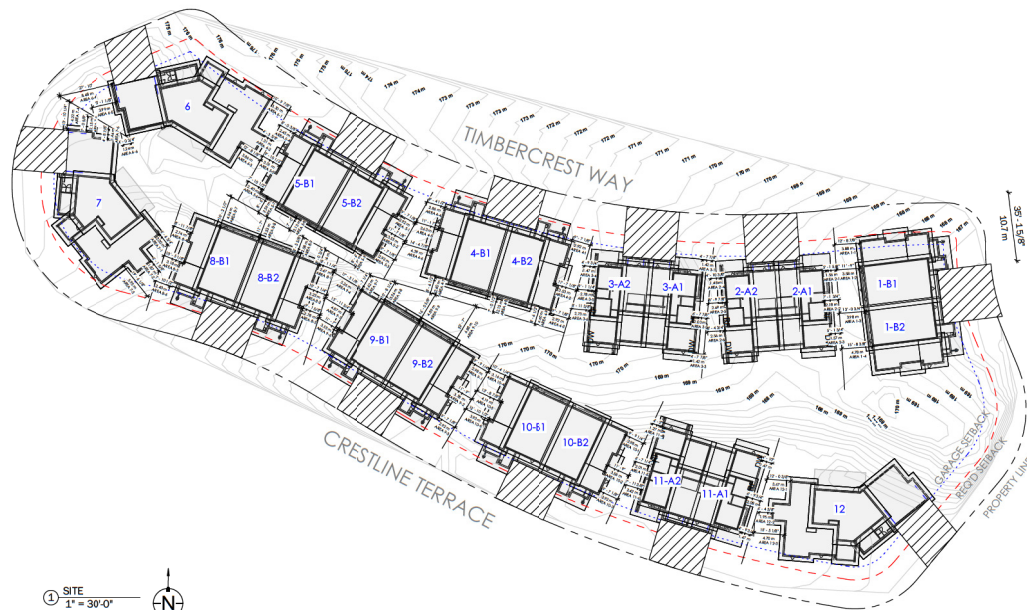


**DEVELOPMENT PERMIT NO. DP001213**

CIVIC: 250 TIMBERCREST WAY

LEGAL: LOT 42, BLOCK B OF DISTRICT LOT 56, WELLINGTON DISTRICT, PLAN  
EPP20312

**Subject Property**



MAIN FLOOR ELEVATIONS (TYP) ———→  
 "GAR" = GARAGE SLAB ELEVATION AT EXTERIOR WALL (TYP) ———→

539' ± 0 1/2" - BENCHMARK  
 (164.3m)

### LEGEND

BLDG # ——— UNIT #  
 UNIT TYPE

PROPOSED DRIVEWAY

PROPERTY LINE

4.5m SETBACK

6m GARAGE SETBACK

### DATUM

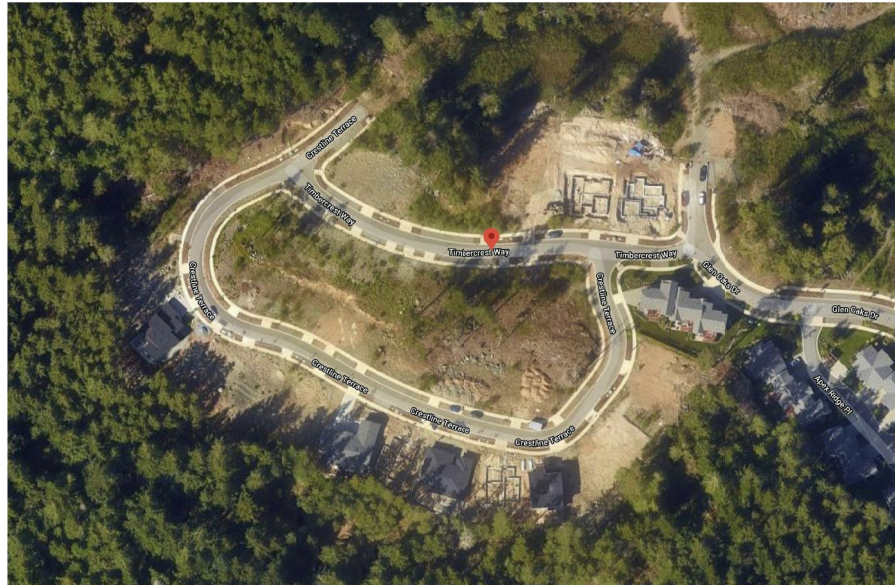
BENCHMARK	164.30 m
BLDG 1-B1	167.40 m
BLDG 1-B1 GAR	167.25 m
BLDG 1-B2	166.95 m
BLDG 1-B2 GAR	166.80 m
BLDG 2-A1	169.01 m
BLDG 2-A1 GAR	168.86 m
BLDG 2-A2	169.31 m
BLDG 2-A2 GAR	169.16 m
BLDG 3-A1	170.15 m
BLDG 3-A1 GAR	170.00 m
BLDG 3-A2	170.45 m
BLDG 3-A2 GAR	170.30 m
BLDG 4-B1	172.67 m
BLDG 4-B1 GAR	172.52 m
BLDG 4-B2	172.22 m
BLDG 4-B2 GAR	172.07 m
BLDG 5-B1	175.12 m
BLDG 5-B1-GAR	174.95 m
BLDG 5-B2	174.67 m
BLDG 5-B2 GAR	174.52 m
BLDG 6	174.67 m
BLDG 6 - GAR	174.52 m
BLDG 7	173.77 m
BLDG 7 - GAR	173.62 m
BLDG 8-B1	170.88 m
BLDG 8-B1 -GAR	170.73 m
BLDG 8-B2	170.43 m
BLDG 8-B2 - GAR	170.28 m
BLDG 9-B1	168.22 m
BLDG 9-B1 GAR	168.07 m
BLDG 9-B2	167.77 m
BLDG 9-B2 GAR	167.62 m
BLDG 10-B1	166.84 m
BLDG 10-B1 GAR	166.69 m
BLDG 10-B2	166.39 m
BLDG 10-B2 GAR	166.24 m
BLDG 11-A1	166.35 m
BLDG 11-A1 GAR	166.20 m
BLDG 11-A2	166.05 m
BLDG 11-A2 GAR	165.90 m
BLDG 12	165.15 m
BLDG 12 - GAR	165.00 m

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<p><b>JOYCE REID TROOST ARCHITECTURE</b>          2515 GLENAYR DRIVE          NANAIMO, BC V9S 3P9</p> <p>joyce@jrtarchitecture.com          250.714.8749          jrtarchitecture.com</p>	<p>THE DRAWING'S DESIGN IDEAS AND FEATURES OF CONSTRUCTION, INCLUDING THE EXTERIOR, INTERIOR, AND THE EXTERIOR, ARE THE PROPERTY OF JOYCE REID TROOST ARCHITECTURE. ALL RIGHTS ARE RESERVED. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF JOYCE REID TROOST ARCHITECTURE IS PROHIBITED.</p>	<p>ARCH. STAMP</p>	<p><b>The Ridge</b>          250 Timbercrest Way          Nanaimo BC</p>	<p>CLIENT</p> <p>CENTURY GROUP</p>	<table border="1"> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> <tr> <td>20-11-16</td> <td>1</td> <td>DP</td> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	REV. DATE	NUMBER	DESCRIPTION	20-11-16	1	DP																			<p>DATE NOVEMBER 16, 2020</p> <p>SCALE 1" = 30'-0"</p>	<p>SITE</p> <p><b>A1-1</b></p>
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# THE RIDGE



A0	COVER SHEET
A1-1	SITE
A2-1	DUPLEX A - LEVEL 1
A2-2	DUPLEX A - LEVEL 2
A2-3	DUPLEX A - ROOF PLAN
A3-1	DUPLEX B - LEVEL 1
A3-2	DUPLEX B - LEVEL 2
A3-3	DUPLEX B - ROOF PLAN
A4-1	SINGLE FAMILY - LEVEL 1
A4-2	SINGLE FAMILY - ROOF PLAN
A5-1	STREET ELEVATIONS
A5-2	DUPLEX A - ELEVATIONS
A5-3	DUPLEX B - ELEVATIONS
A5-4	SINGLE FAMILY - ELEVATIONS

## PROJECT INFORMATION

SITE ADDRESS (CIVIC)	250 TIMBERCREST WAY, NANAIMO		
PARCEL (LEGAL)	LOT 42, DISTRICT LOT 56, WELLINGTON DISTRICT, PLAN EPP20312		
ZONING	R10		
LOT AREA	84066.14 SF (1.93 ACRES .781 HECTARE)		
LOT COVERAGE	REQUIRED	PROPOSED	
	MAX 40% (33,626 SF)	34.5 % (29,001 SF)	
DENSITY	16 UNITS/HECTARE	DUPLEX A	3 X 2254 SF = 6,762 SF
		DUPLEX B	6 X 2609 SF = 15,654 SF
FAR	MAX .45 (37,829.8 SF)	BUNGALOW	3 X 2195 SF = 6,585 SF
		TOTAL	= 29,001 SF
PARKING	Single 2 x 3 = 6 Duplex 4 x 9 = 36  Total = 42 spaces Required	21 UNITS 12 BASE DENSITY 9 DENSITY TRANSFERRED FROM PARK CED.	
		GFA: (all other uses)	
HEIGHT	7M	DUPLEX A	6 X 1790 SF = 10,740 SF
		DUPLEX B	12 X 1637 SF = 19,644 SF
SETBACKS	FRONT 4.5 M GARAGE DOOR 6M	BUNGALOW	3 X 1658 SF = 4,974 SF
		TOTAL	= 35,358 SF
PARKING	Single 2 x 3 = 6 Duplex 4 x 9 = 36  Total = 42 spaces Required	2 x 21 = 42 spaces provided	
		7M (BLDG 5 - .4m HEIGHT VARIANCE)	
SETBACKS	FRONT 4.5 M GARAGE DOOR 6M	VARIED	

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EAST ELEVATION (CORNER CRESTLINE & TIMBERCREST)



SOUTH ELEVATION (ALONG CRESTLINE)



NORTH ELEVATION (ALONG TIMBERCREST)

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SCALE		A5-1																																							
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MATERIAL LEGEND



MONTEREY TAUPE,  
HARDIE 5" LAP SIDING



BOOTH-BAY BLUE,  
HARDIE 7" LAP SIDING



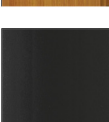
AGED PEWTER,  
HARDIE PANEL



PEARL GREY,  
BOARD + BATTEN



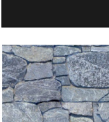
FIR ENTRY  
ROOF TRIM



IRON GREY  
TRIM



BLACK  
WINDOWS



STONE  
OCEAN MIST



DUPLEX A | FRONT ELEVATION



DUPLEX A | REAR ELEVATION



DUPLEX A | SIDE ELEVATION



FRONT PERSPECTIVE



FRONT PERSPECTIVE



REAR PERSPECTIVE

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The Ridge  
250 Timbercrest Way  
Nanaimo, BC

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**Centurygroup**  
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DUPLEX A - ELEVATIONS

A5-2



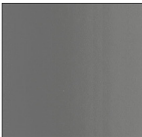
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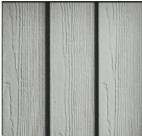
EVENING BLUE,  
HARDIE 5" LAP SIDING



TIMBER BARK,  
HARDIE 7" LAP SIDING



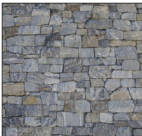
GREY SLATE,  
HARDIE PANEL



LIGHT MIST,  
HARDIE BOARD+BATTEN



LONGBOARD  
DARK FIR



STONE FINISH  
KETTLE VALLEY



DUPLEX B | FRONT ELEVATION



DUPLEX B | REAR ELEVATION



DUPLEX B | SIDE ELEVATION



FRONT PERSPECTIVE




SIDE PERSPECTIVE



REAR PERSPECTIVE

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**centurygroup**  
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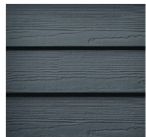
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DUPLEX B - ELEVATIONS

A5-3



## MATERIAL LEGEND



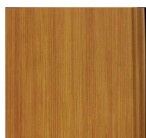
EVENING BLUE,  
HARDIE 5" LAP SIDING



GREY SLATE,  
HARDIE PANEL



LIGHT MIST,  
HARDIE BOARD+BATTEN



LONGBOARD  
DARK FIR



STONE FINISH  
BLACK PEARL



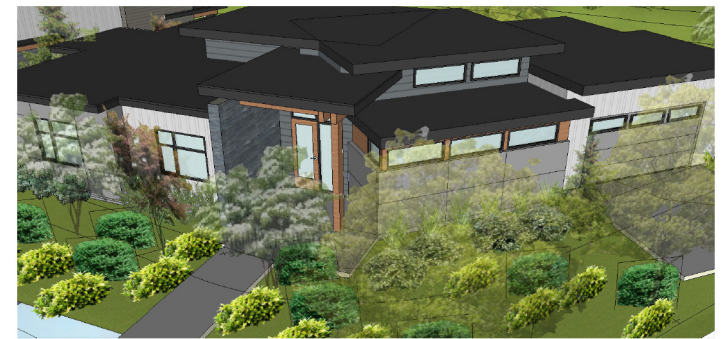
HOUSE | FRONT ELEVATION



HOUSE | REAR ELEVATION



FRONT PERSPECTIVE


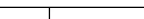


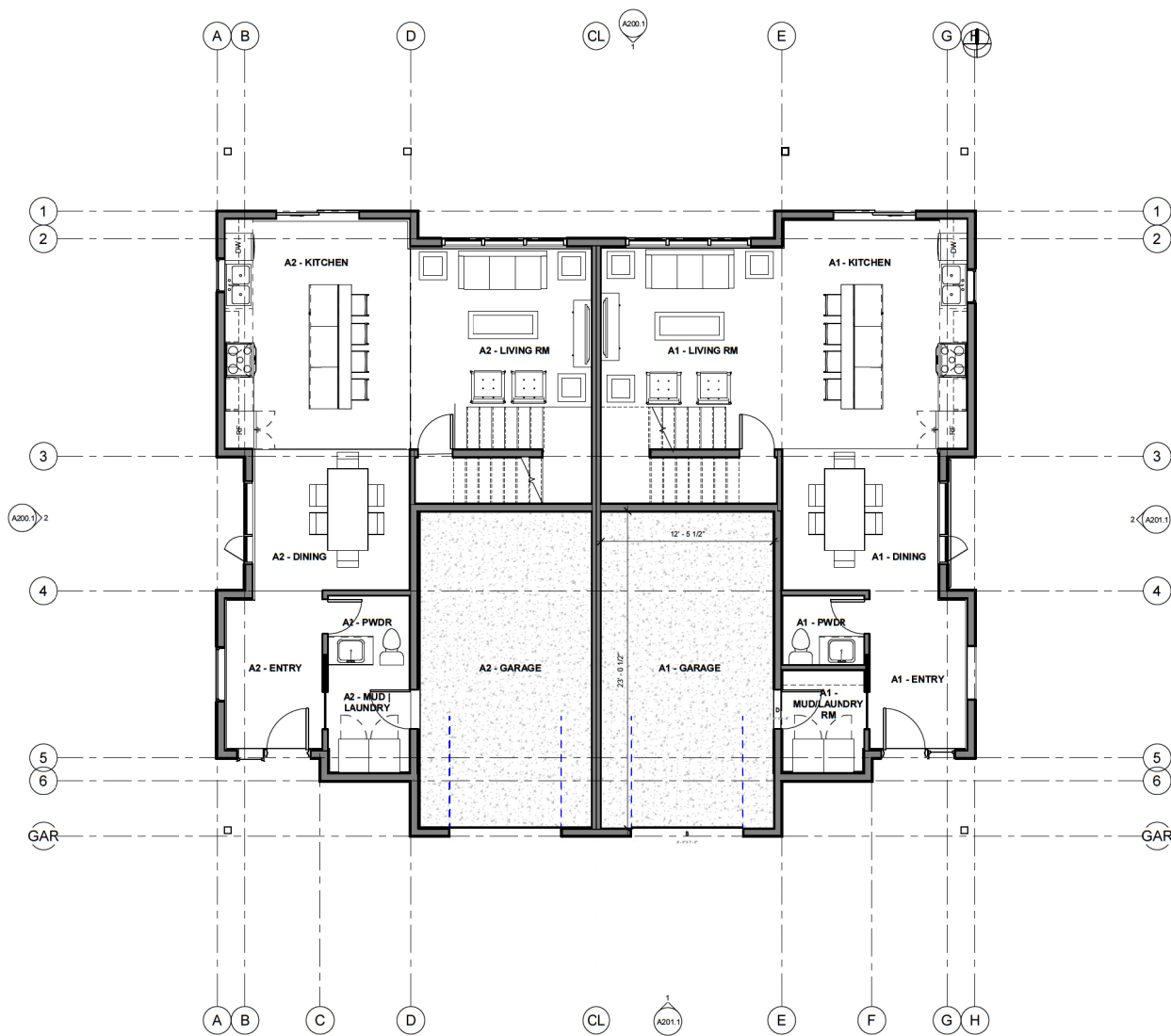
FRONT PERSPECTIVE



REAR PERSPECTIVE

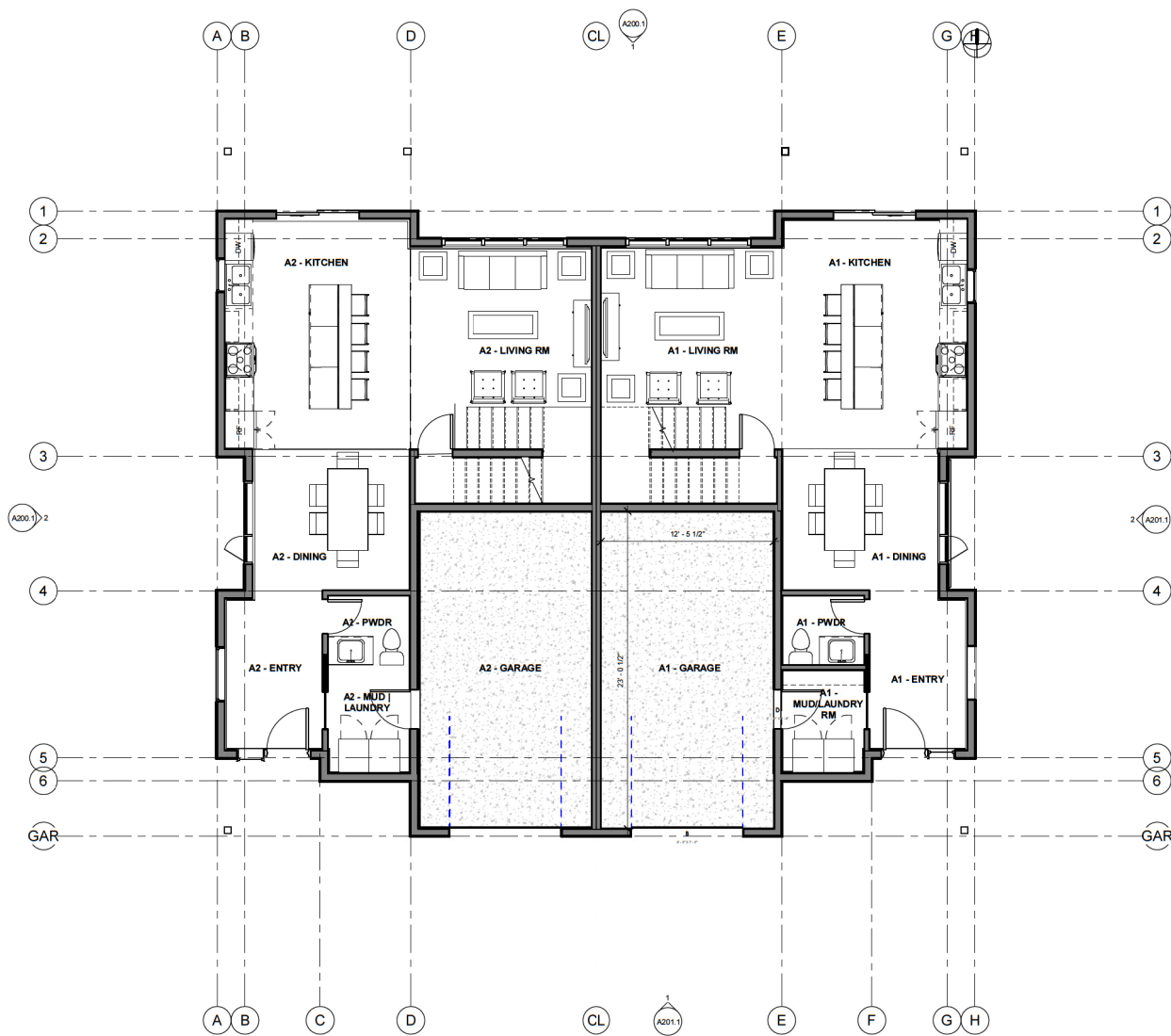
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 <p><b>JOYCE REID TROOST ARCHITECTURE</b>          2515 GLENAYR DRIVE          NANAIMO, BC V9S 3R9          joyce@jrtarchitecture.ca          250.714.8749          jrtarchitecture.com</p>	<p>THE DRAWING, DESIGN, DEED AND REVISIONS OF CONSTRUCTION SHOWN HEREIN ARE THE SOLE PROPERTY OF JOYCE REID TROOST ARCHITECT. ALL COMMERCIAL AND RESIDENTIAL RIGHTS ARE RESERVED. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOYCE REID TROOST ARCHITECT.</p>	<p>ARCH. STAMP</p> 	<p><b>THE RIDGE</b>          250 Timbercrest Way          Nanaimo, BC</p>	<p>CLIENT</p>  <p><b>Centurygroup</b>          LEADING BY DESIGN</p>	<table border="1"> <thead> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>20-11-16</td> <td>1</td> <td>DP</td> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV. DATE	NUMBER	DESCRIPTION	20-11-16	1	DP																									<p>DATE NOVEMBER 16, 2020</p> <p>SCALE 1/4" = 1'-0"</p>	<p>DUP.EX A - LEVEL 1</p>
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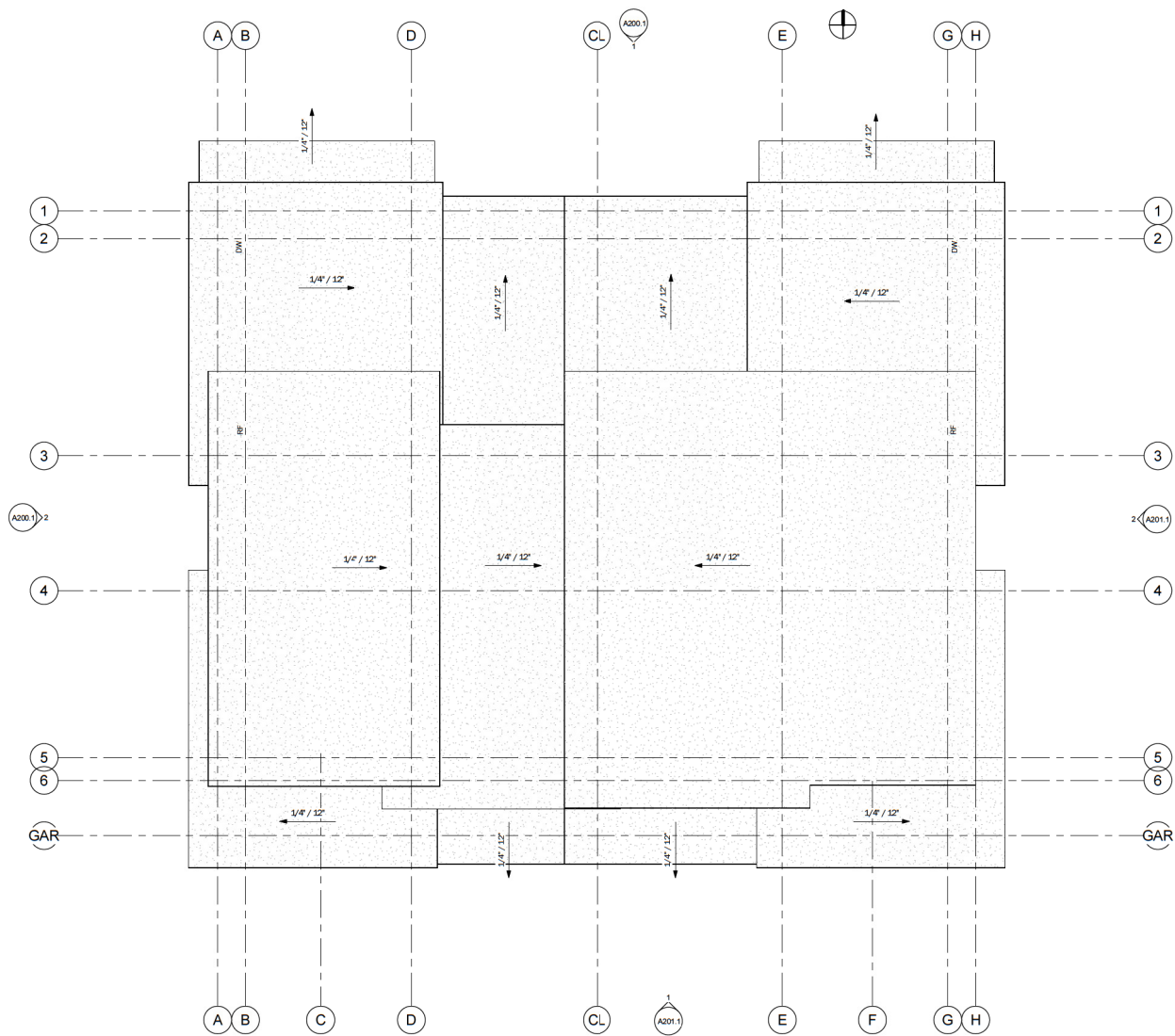
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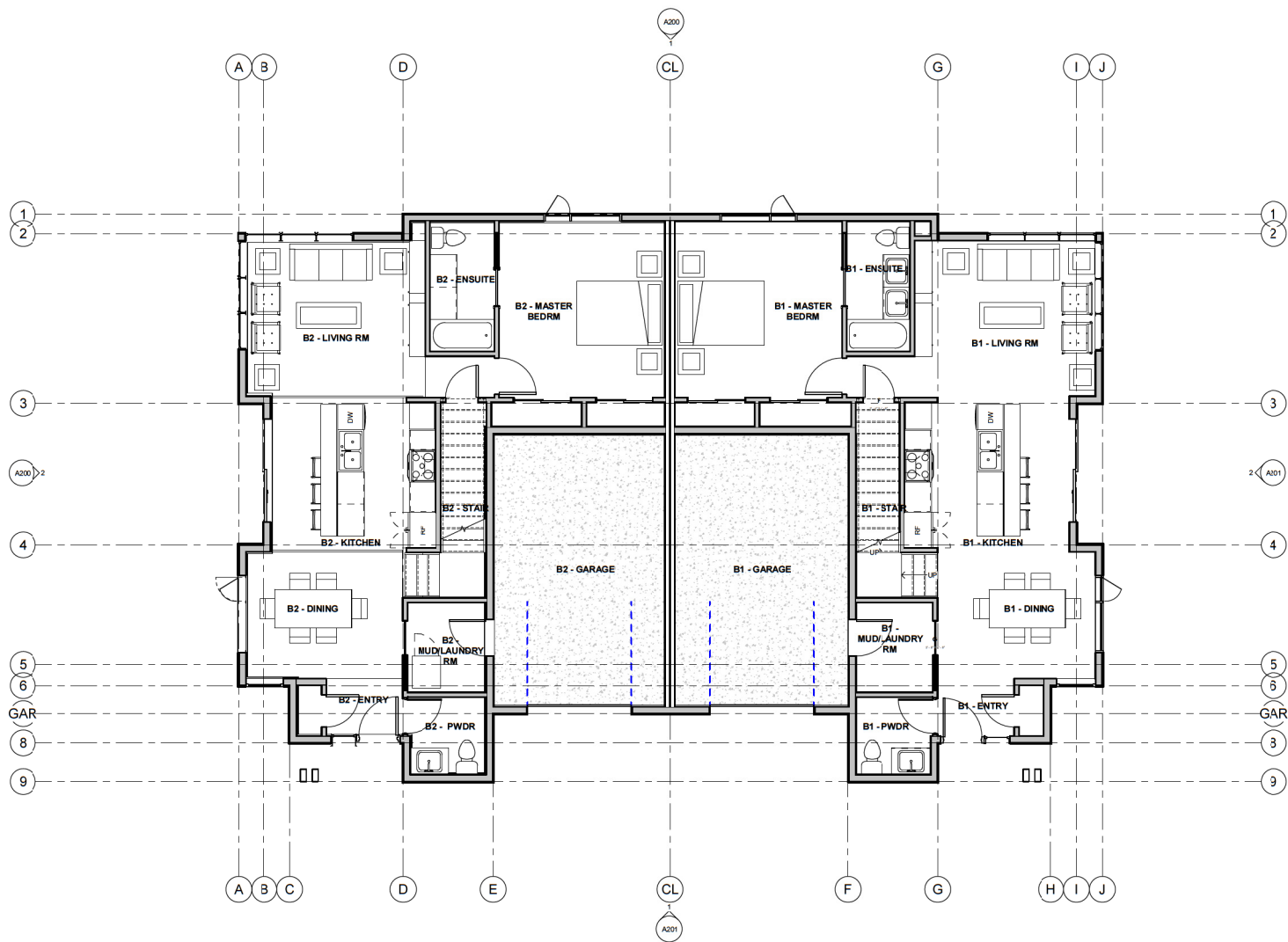






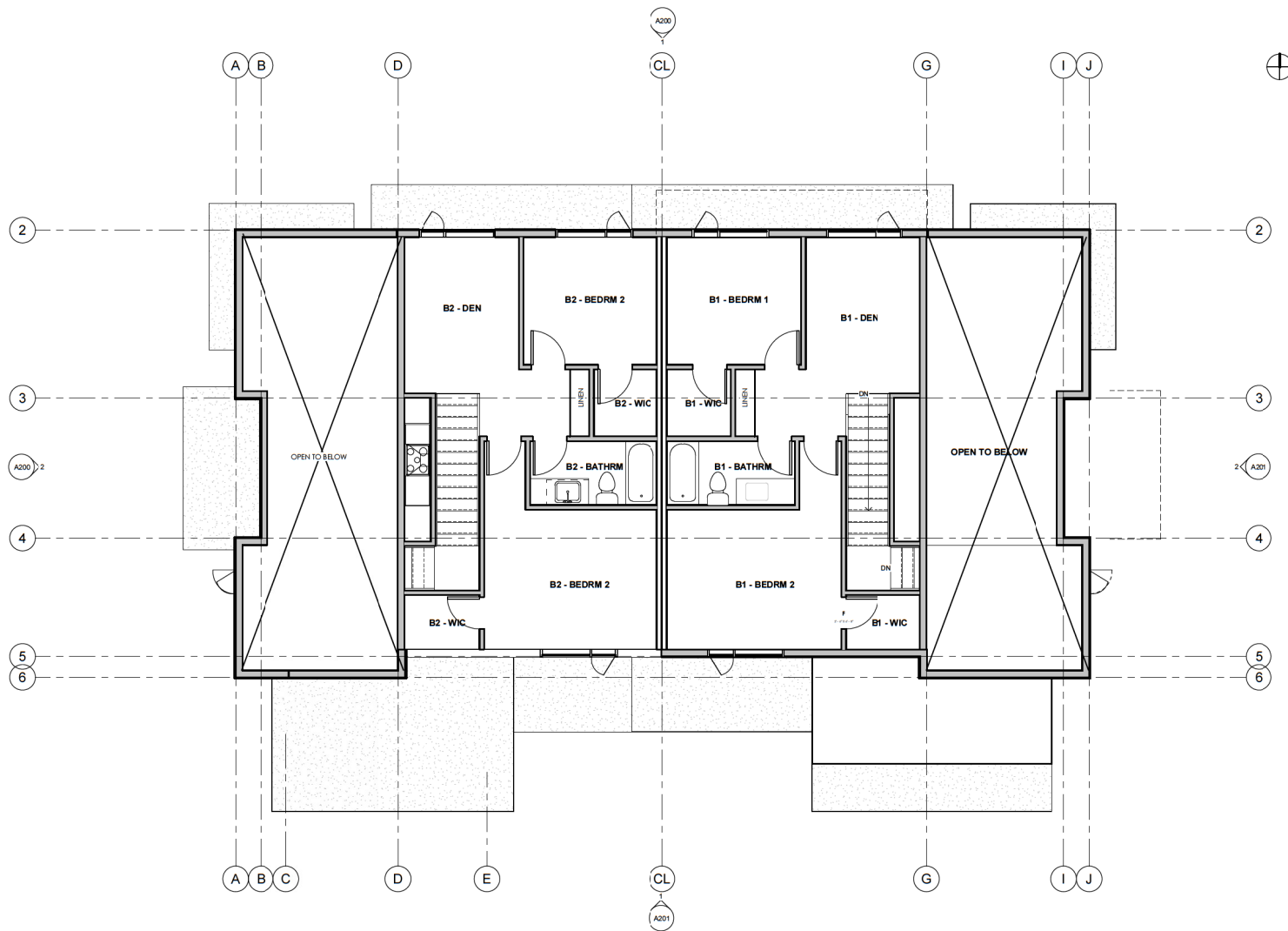
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 <b>JOYCE REID TROOST ARCHITECTURE</b> 2515 GLENAYR DRIVE NANAIMO, BC V9S 3R9 joyce@jrtarchitecture.ca 250.714.8749 jrtarchitecture.com	<small>THE DRAWING, DESIGN, DEED AND READINGS OF CONSTRUCTION SHOWN HEREIN ARE THE SOLE PROPERTY OF JOYCE REID TROOST ARCHITECTURE. ALL COMMERCIAL AND RESIDENTIAL RIGHTS ARE RESERVED. REPRODUCTION OR USE OF THIS DRAWING FOR ANY PURPOSE NOT AS INTENDED BY THE ARCHITECT WITHOUT THE WRITTEN PERMISSION OF JOYCE REID TROOST ARCHITECTURE IS PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.</small> 	<b>ARCH. STAMP</b>  <b>THE RIDGE</b> 250 Timbercrest Way Nanaimo, BC	CLIENT   <b>Centurygroup</b> LEADING BY DESIGN	<table border="1"> <thead> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>20-11-16</td> <td>1</td> <td>DP</td> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV. DATE	NUMBER	DESCRIPTION	20-11-16	1	DP																						DATE NOVEMBER 16, 2020 SCALE 1/4" = 1'-0" DRAWN BY Author DRAWN BY Checker	DUPLEX A - ROOF PLAN  <h1>A2-3</h1>
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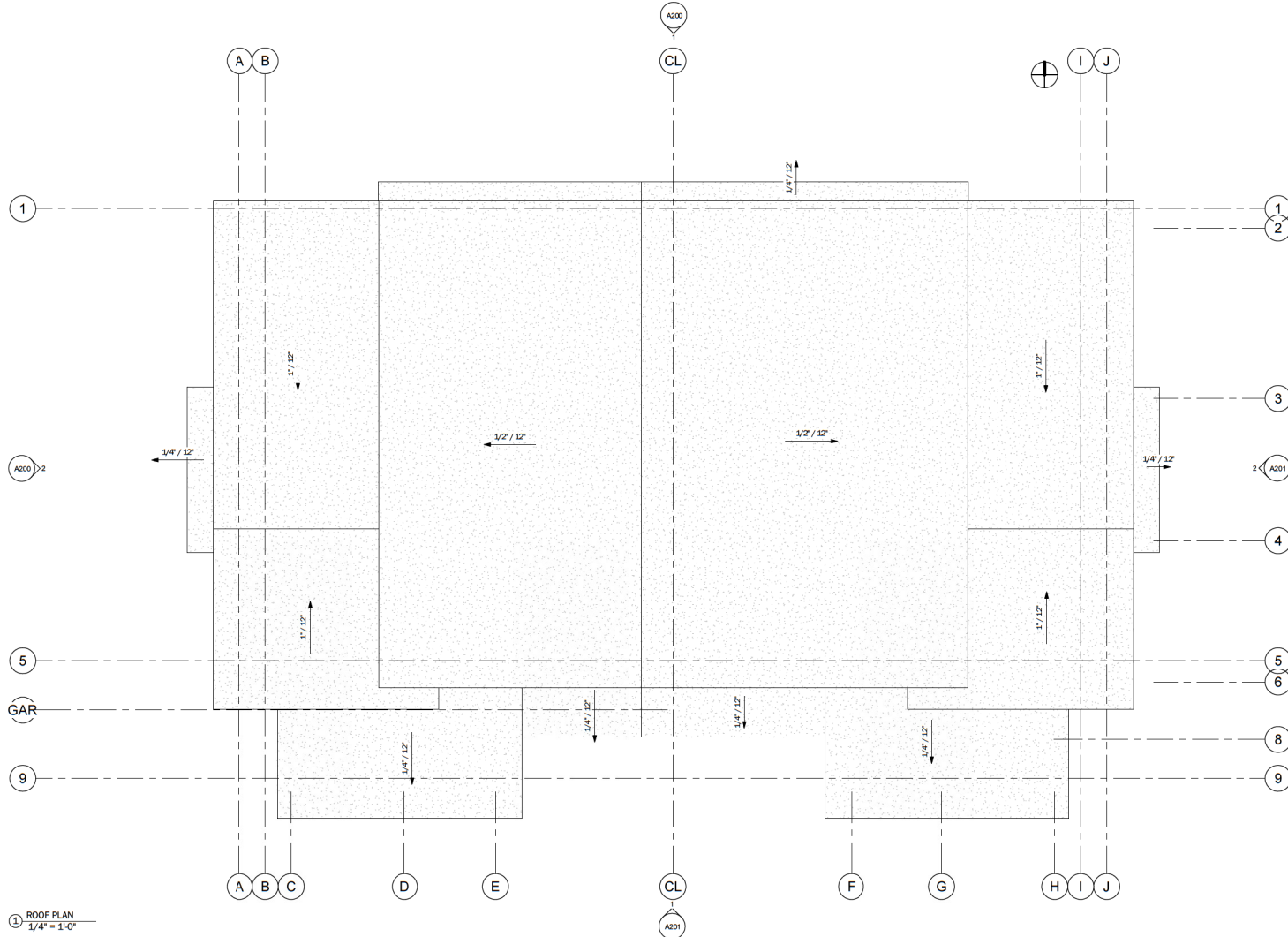


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<div><div>JRTarch</div><div>JOYCE REID TROOST ARCHITECTURE 2515 GLENAYR DRIVE NANAIMO, BC V9S 3R9 joyce@jrtarchitecture.ca 250.714.8749 jrtarchitecture.com</div></div>	<div><div>THE DRAWING, DESIGN, DEEDS AND REQUIRE OF CONSTRUCTION (SPECIFIED HEREIN) ARE THE SOLE PROPERTY OF JOYCE REID TROOST ARCHITECT. ALL COMMERCIAL AND RESIDENTIAL RIGHTS ARE HEREBY RESERVED. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM JOYCE REID TROOST ARCHITECT.</div><div>ARCH. STAMP </div></div>	<div><div>The Ridge 250 Timbercrest Way, Nanaimo, BC</div></div>	<div><div>CLIENT</div><div> Centurygroup LEADING BY DESIGN</div></div>	<table><tr><th>REV. DATE</th><th>NUMBER</th><th>DESCRIPTION</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REV. DATE	NUMBER	DESCRIPTION																												<div><div>DATE NOVEMBER 16, 2020 SCALE 1/4" = 1'-0"</div><div><div>DRAWN BY JRT</div><div>DRAWN BY JRT</div></div></div>	<div><div>DUPLEX B - LEVEL 2</div><div>A3-2</div></div>
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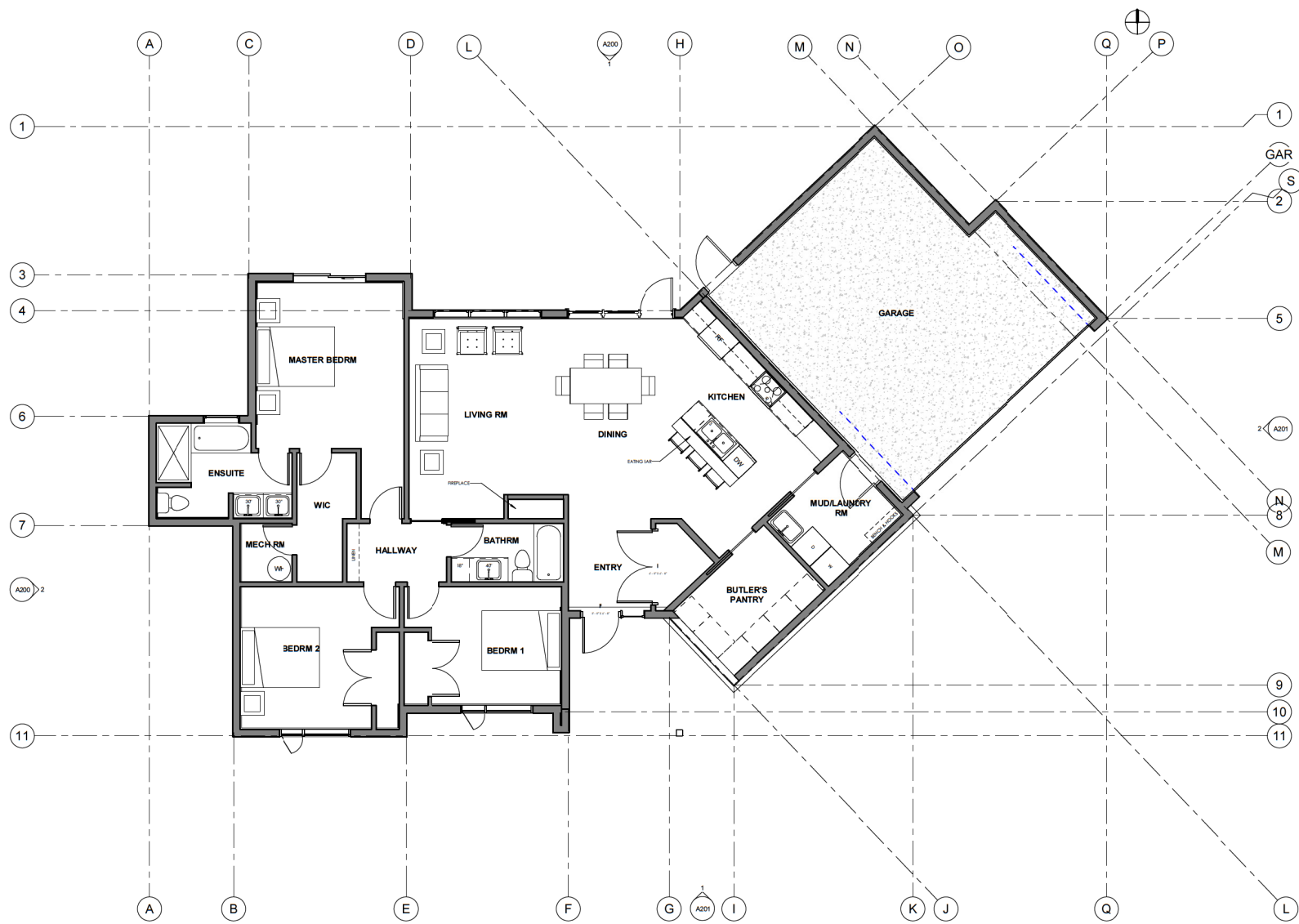




① ROOF PLAN  
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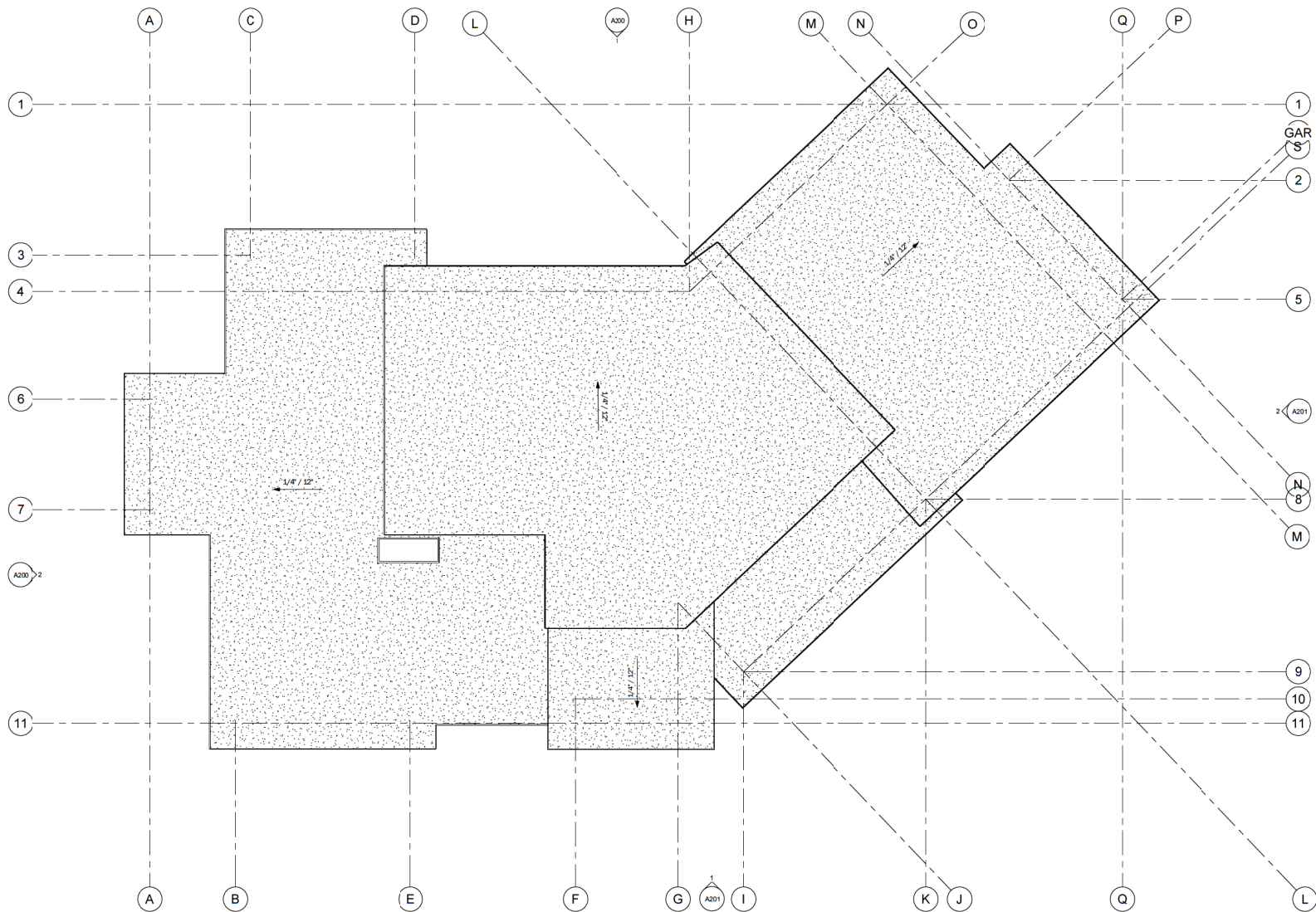
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## RIDGE DEVELOPMENT

## KEY PLAN



Sheet No.	Sheet Title
L.0.00	Cover
L.0.01	Project Data
L.0.02	Tree Retention and Removals
L.1.01	Landscape Materials
L.1.02	Landscape Materials
L.3.01	Planting Plan
L.3.02	Planting Plan
L.3.03	Landscape Sections

1	DP Permit	17/11/2020
rev no	description	date

2020-11-17  
11/17/2020

client  
**Townsite Planning Inc.**  
3706 Monterey Dr.  
Nanaimo, BC

project  
RIDGE DEVELOPMENT  
250 Timbercrest Way  
Nanaimo, BC

sheet title
<b>Cover</b>

project no.		120.23
scale		1:500 @ 24"x36"
drawn by		MDI
checked by		SM/PdG
revision no.	sheet no.	

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2. Work performed shall comply with the following: a) These General Notes, and Construction Specifications, and b) all applicable laws, codes, ordinances, and regulations (C.L.S.-C.E.).
3. All applicable local, provincial, and federal codes, ordinances, and regulations.
4. Contractor shall be responsible for verifying all existing site conditions including location of all property lines, easements, and encroachments, and for obtaining all necessary permits and approvals concerning work.
5. Contractor is responsible for determining means and methods for construction. These drawings may include proposed improvements or limit of work for the duration of the expected contract disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall consult Landscape Architect for resolution.
6. Contractor shall be responsible for determining work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing condition.
7. Contractor shall be responsible for determining the location and extent of all proposed work.
8. Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect.
9. Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications shall be brought to the attention of the architect prior to construction, and prior to proceeding with construction.
10. Drawings and specifications are not to be construed as complementary or implied to conform with one another.
11. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
12. General Contractor and sub-contractors are responsible for all costs related to production and submission to consultant of all sub-a/s-bi information including irrigation.

1. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
2. Refer to arborist's report for detailed information for existing tree resources.

7. All elevations are in meters.
8. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
9. All road, public walkway and vehicular drive areas and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
10. Uplift all existing grades prior to construction. Report any discrepancies to consultant for review and response.
11. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
12. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
13. For discovery, contractor to investigate and report on all rocks to parking landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

- [illegible]

1. Refer to Landscape Specifications for growing medium properties by soil type
2. Contractor is responsible for identifying sources of growing medium to be utilized 14 days in advance of starting work
3. Growing medium properties and handling shall meet CLS-C (see Section 6.03-CLC)
4. Contractor is responsible for providing a written analysis of the growing medium to be supplied including growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
5. Contractor to provide Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 1-517090 Yorkway, Richmond, BC, V6Y 3G8, p. 604-974-6266. The analysis shall be to tests listed in the Landscape Specifications. The analysis shall be completed within 14 days of receipt of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
6. Contractor to collect tested sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grade has been approved by Landscape Architect.

1. Provide layout of work for approval by Landscape Architect prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
2. Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Landscape Architect.
3. Written dimensions take precedence over scale. Do not scale drawings.
4. All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
5. Where dimensions are called as "equal" or "eq", space referenced items equally, measured to centre line.

1. Plant quantities on Plans shall take precedence over plant list quantities.
2. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
3. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
4. Plant quantities and species may change between issuance of EP and Construction due to plant availability and design changes.
5. Landscape installation to carry a 1 year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance. The Contractor will not be responsible for plant loss due to extreme climatic conditions such as abnormal freezing temperatures or hail which occur after Acceptance. The Contractor shall be responsible for plant loss due to inadequate acclimatization of plants for their planted location.

- For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
- Parade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
- A minimum 2m clearance will be maintained between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the following conditions exist in on-grade planting areas, a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall, b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall, and c) where perimeter drains are less than 2m deep













1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1 m of existing or proposed municipal service will have a root barrier installed between the root ball and the existing infrastructure.
2. Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, manhole, or water main.
3. Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due to their site-adapted qualities. Final selection of boulevard trees to be planted will be made by the project engineer in consultation with the municipal arborist.
4. Irrigation to be installed per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
5. Design and drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
6. Design and drawings for location of boulevard irrigation point of connection, Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
7. Irrigation system to be installed in accordance with municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
8. Soil volume for boulevard trees to be as follows: 6 cu. m. for small trees, 12 cu. m. for medium trees, and 16 cu. m. for large trees.

1. Landscape areas within municipal ROW to be zoned separately from on-site landscape areas.
2. Irrigation on municipal property to be installed as per Municipal Specifications.
3. Where applicable, refer to Civil drawings for location and size of municipal irrigation service.

APPROX	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECT	MX	MANHOLE
AVG	AVERAGE	MIN	MINIMUM
BAC	BALLED AND BURLAPPED	MIS	MISCELLANEOUS
BC	BOTTOM OF CURB	N	NORTH
BLDG	BUILDINGS	NIC	NOT IN CONTRACT
BO	BENCH MARK	NUN	NUMBER
BR	BACK OF CURB	NOM	NOMINAL
BR	BOTTOM OF RAMP	NTS	NOT TO SCALE
BS	BOTTOM OF STEP	OC	ON CENTER
BU	BOTTOM OF WALL	OD	OUTSIDE DIAMETER
CB	CALCULATED	PC	POINT OF CURVATURE
CF	CATCH BASIN	PE	POLYETHYLENE
CH	GULF CREEK	PI	POINT OF INTERSECTION
CI	CASTING IN PLACE	PL	PROPOSED LINE
CL	CENTER LINE	PT	POINT, POINT OF TANGENCY
CLR	CLEARANCE	PVC	POLYVINYL CHLORIDE
CLG	CLEARANCE	QTY	QUANTITY
CLN	CLEAN OUT	R	RADIUS
CCNT	CONTINUOUS	REF	REFERENCE
CY	CUBIC YARD	REFR	REFERENCE
DEG	DEGREE	REOD	REQUIRED
DEMO	DEMOLISH, DEMOLITION	REV	REVISION
DIA	DIAMETER	R/W	RIGHT OF WAY
DIM	DIMENSION	S	SOUTH
DTL	DETAIL	SAN	SANITARY
DWG	DRAWING	SD	STORM DRAIN
E	EAST	SF	SQUARE FOOT (FEET)
EA	EACH	SH	SHOULDER
ELEV	ELEVATION	SIM	SIMILAR
ENG	ENGINEER	SPEC	SPECIFICATIONS
EQ	EQUIPMENT	ST	STORM SEWER
EST	ESTIMATE	SY	SQUARE YARD
E.W	EACH WAY	STA	STATION
EXP	EXISTING	STD	STANDARD
EXPST	EXPANSION, EXPOSED	SYM	SYMMETRICAL
FF	FINISHED FLOOR ELEVATION	T&R	TOP AND BOTTOM
FG	FINISHED GRADE	TBC	TOP OF CURB
FL	FLOW LINE	TC	TOP OF CURB
FOC	FACE OF CURBS	TF	TOP OF FOOTING
FT	FOOT (FEET)	TH	THICKNESS
FTG	FOOTING	TOPO	TOPOGRAPHY
GA	GALVANIZED	TR	TRANSVERSE
GEN	GENERAL	TS	TOP OF STEP
GR	GRADE ELEVATION	TW	TOP OF WALL
GRZ	HORIZONTAL	TY	TYRICAL
H	HIGH POINT	VAR	VARIABLES
HI	HEIGHT	VOL	VOLUME
ID	INSIDE DIAMETER	WIT	WITNESS
INV	INVERT ELEVATION	W/O	WITHOUT
IN	INCHES	WT	WEIGHT
INCL	INCLUDED	WL	WATER LEVEL
JT	JOINT	WWF	WELDED WIRE FRAME
LF	LINEAR FEET	YARD	YARD
LP	LOW POINT	@	AT

	Property line
	Right of Way
	SPEA
	RAR Setback
	Extent of Existing Treeline
	Extent of Roof, above
	Extent of Parkade, below
	Rain garden - TOP OF POOL
	Rain garden - BOTTOM OF POOL

 24.31	Existing Landscape Grade
 23.77	Architectural grade, provided for reference only
 23.75	Proposed Landscape Grade

	Cast in Place Concrete
	Bare Existing Landscape
	Rain Garden Area
	Grass Area
	Naturalized Landscape
	Native Ornamental Planting
	Wood Fence - Privacy 1800 mm height
	Wood Fence on Retaining Wall - Full 1800 mm height above top of wall
	Masonry Retaining Wall - On Grade See plan for heights
	Cut Rock Wall into Existing Grade Height variable, see plans for local
	Boulders - On Grade See plan for placement
	Proposed Trees

1	DP Permit	17/1/2020
rev no	description	date

**Murdoch de Greeff** INC

Landscape Planning & Design

201-514-5544/4544 West  
Victoria BC V8C 1G1

Phone: Fax: 250-653-2815  
250-612-2892

2209-11-17

1/1/17/2020

client

**Townsite Planning Inc.**  
3706 Monterey Dr.  
Nanaimo, BC

project

**RIDGE DEVELOPMENT**  
250 Timbercrest Way  
Nanaimo, BC

sheet title

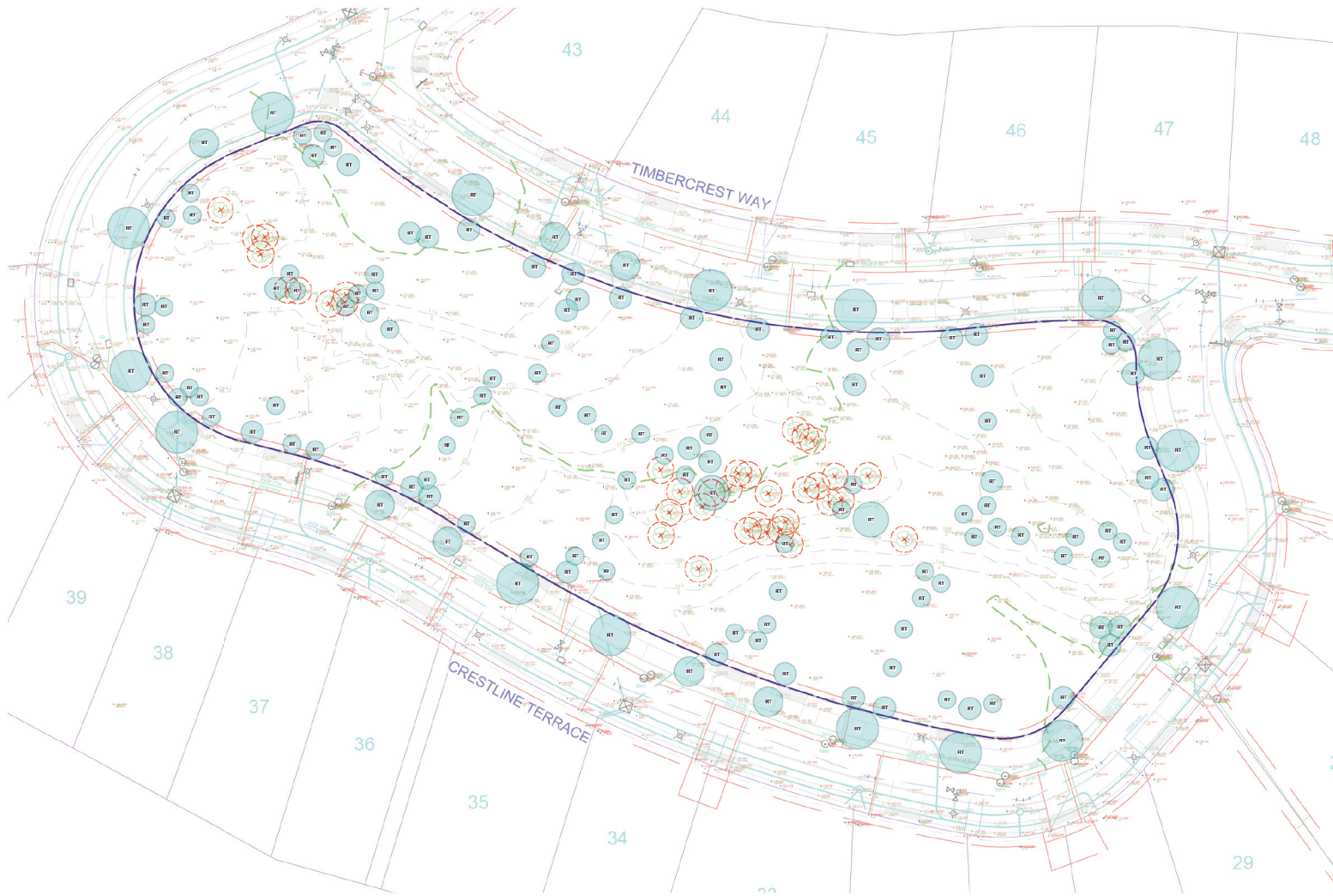
**Project Data**

project no.	120 23	
scale	@ 74"x36"	
drawn by	MDI	
checked by	SM/PAG	
revision no.	sheet no.	

L0.01

PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
17		Acer circinnatum	Vine Maple	2.4 m ht, 1.5 width b&b
2		Acer macrophyllum	Bigleaf Maple	2.5 m, 15 gal. pot
21		Acer palmatum	Japanese Maple	1.8 m height, specimen quality
11		Acer rubrum 'Autumn Glory'	Autumn Glory Red Maple	6.0cm cal. b&b
11		Amelanchier canadensis	Canadian Serviceberry	6 cm. cal. b&b
18		Arbutus menziesii	Madrone	#6 pot
9		Cercis canadensis	Eastern Redbud	5.0cm cal. b&b
7		Fraxinus pennsylvanica 'Summit'	Summit Green Ash	5.0cm cal. b&b
16		Koelerutera paniculata	Flaxleaf Goldenrain Tree	6.0cm cal. b&b
3		Pinus contorta var. contorta	Shore Pine	2.5m b&b, irregular
23		Pseudotsuga menziesii	Douglas Fir	1.5 m ht., 15 gal. pot
TOTAL TREES TO BE INSTALLED:		132		

EXISTING TREE INVENTORY*				
TOTAL TREES TO BE RETAINED: 0				
REMOVED TREES				
TREE QTY	DBH (cm)	CRZ	Species	Crown Spread (m)
14	6 to 30	-	Douglas fir	-
10	30 to 60	-	Douglas fir	-
2	60+	-	Douglas fir	-
5	6 to 30	-	Arbutus	-
TOTAL TREES TO BE REMOVED: 31				
* Based on Arborist's Report received from M/R Tree Service, 11/08/2020. Refer to Arborist report for details on tree conditions and Arborist recommendations.				



**LEGEND**

- Property line
- Right of Way
- Existing Tree to be Retained
  - Critical Root Zone (CRZ)
  - Tree Tag #
- Existing Tree to be Removed
  - Critical Root Zone (CRZ)
  - Tree Tag #
- Proposed New Tree (See planting plan for species)

Refer L3.01 Planting Plans for additional information.

Trees will be of the appropriate scale, species and location to meet the City of Nanaimo requirements. Final species to be determined in consultation with City of Nanaimo.

Refer to Tabot Mackenzie & Associates arborist report for full details, to be read in association with the landscape drawings.


1	DP Permit	17/11/2020
rev no	description	date

**Murdoch de Greeff INC.**  
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2225-11-17  
11/17/2020

client  
Townsite Planning Inc.  
3706 Monterey Dr.  
Nanaimo, BC

project  
RIDGE DEVELOPMENT  
250 Timbercrest Way  
Nanaimo, BC

sheet title  
**Tree Retention and Removals**

project no.	120.23
scale	1:300 @ 24"x36"
drawn by	MDI
checked by	SM/PAG
revision no.	sheet no.

RECEIVED  
DP 12.13  
2020-NOV-20  
Current Planning

**L0.02**

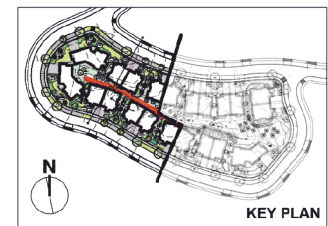




- ### LINE TYPE LEGEND
- Property line
  - Right of Way
  - SPEA
  - RAR Setback
  - Extent of Existing Tree Line
  - Extent of Roof, above
  - Extent of Parkade, below
  - Rain garden - TOP OF POOL
  - Rain garden - BOTTOM OF POOL

- ### GRADING LEGEND
- Existing Landscape Grade
  - Architectural grade, provided for reference only
  - Proposed Landscape Grade
- TW Top of Wall  
 BW Bottom of Wall  
 TC Top of Curb  
 BC Bottom of Curb  
 TP Top of Pond  
 BP Bottom of Pond  
 TS Top of Slab  
 BS Bottom of Slab

- ### MATERIALS LEGEND
- Cast in Place Concrete
  - Bare Existing Landscape
  - Rain Garden Area
  - Grass Area
  - Naturalized Landscape
  - Native Ornamental Planting
  - Wood Fence - Privacy 1800 mm height
  - Wood Fence on Retaining Wall - Privacy 1800 mm height above top of wall
  - Masonry Retaining Wall - On Grade See plan for heights
  - Cut Rock Wall into Existing Grade Height variable, see plans for locations
  - Boulders - On Grade See plan for placement
  - Proposed Trees



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DP 1213  
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rev no	description	date
1	DP Permit	17/11/2020

**Murdoch de Greeff INC.**  
Landscape Planning & Design

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2020-11-17  
11/17/2020

client  
**Townsite Planning Inc.**  
3706 Monterey Dr.  
Nanaimo, BC

project  
**RIDGE DEVELOPMENT**  
250 Timbercrest Way  
Nanaimo, BC

sheet title  
**Landscape Materials**

project no.	120.23
scale	1:200 @ 24"x36"
drawn by	MDI
checked by	SM/PAG
revision no.	sheet no.

**L1.01**



#### LINE TYPE LEGEND

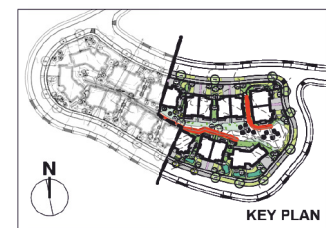
Property line	Right of Way
SPEA	RAR Setback
Extent of Existing Tree Line	Extent of Roof, above
Extent of Parkade, below	Rain garden - TOP OF POOL
Rain garden - BOTTOM OF POOL	

#### GRADING LEGEND

Existing Landscape Grade	Architectural grade, provided for reference only
Proposed Landscape Grade	
TM Top of Wall	DP Top of Pond
EW Bottom of Wall	BP Bottom of Pond
TC Top of Curb	TS Top of Storm
BC Bottom of Curb	BS Bottom of Storm

#### MATERIALS LEGEND

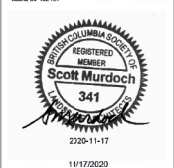
Cast in Place Concrete	Bare Existing Landscape
Rain Garden Area	Grass Area
Naturalized Landscape	Native Ornamental Planting
Wood Fence - Privacy 1800 mm height	Wood Fence on Retaining Wall - Privacy 1800 mm height above top of wall
Masonry Retaining Wall - On Grade	Cut Rock Wall into Existing Grade
Boulders - On Grade	Proposed Trees



KEY PLAN

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DP-1215  
2020-NOV-20  
Curial Planning

rev no	description	date
1	DP Permit	17/11/2020



client  
Townsite Planning Inc.  
3706 Monterey Dr.  
Nanaimo, BC

project  
RIDGE DEVELOPMENT  
250 Timbercrest Way  
Nanaimo, BC

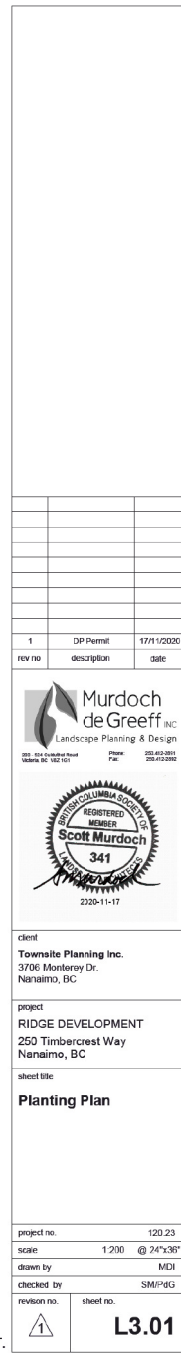
sheet title  
Landscape  
Materials

project no.	120.23
scale	1:200 @ 24"x36"
drawn by	MDI
checked by	SM/PAG
revision no.	sheet no.

11/17/2020

L1.02





ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.





Ornamental Native Planting

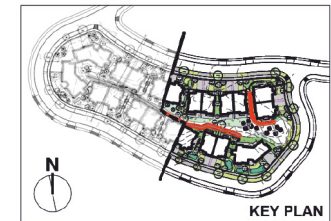


Deciduous Ornamental Small Trees



Young Evergreen Trees

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DP 1213  
2020-NOV-03  
Current Planning

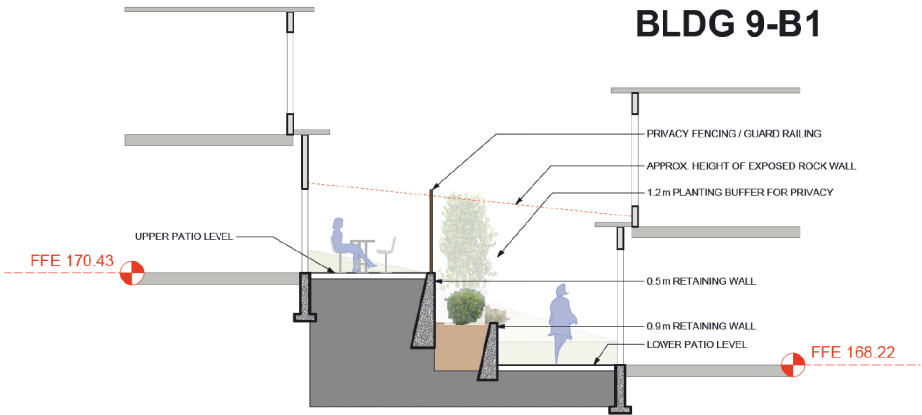


KEY PLAN

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

<p><b>Murdoch de Greeff</b> Landscape Planning &amp; Design</p> <p>203 - 114 Westfield Road Victoria BC V8Z 1G1</p> <p>Phone: 250-610-2811 Fax: 250-610-2812</p>		
<p>client Townsite Planning Inc. 3706 Monterey Dr. Nanaimo, BC</p>		
<p>project RIDGE DEVELOPMENT 250 Timbercrest Way Nanaimo, BC</p>		
<p>sheet title <b>Planting Plan</b></p>		
project no.	120.23	
scale	1:200 @ 24"x36"	
drawn by	MDI	
checked by	SM/P/gg	
revision no.	sheet no.	<b>L3.02</b>

BLDG 8-B2



1 Landscape Section 1  
Scale: 1:50

BLDG 5-B1



2 Landscape Section 2  
Scale: 1:50

rev no	description	date
1	DP Permit	17/11/2020

11/17/2020

client  
**Townsite Planning Inc.**  
3706 Monterey Dr.  
Nanaimo, BC

project  
**RIDGE DEVELOPMENT**  
250 Timbercrest Way  
Nanaimo, BC

sheet title  
**Landscape Sections**

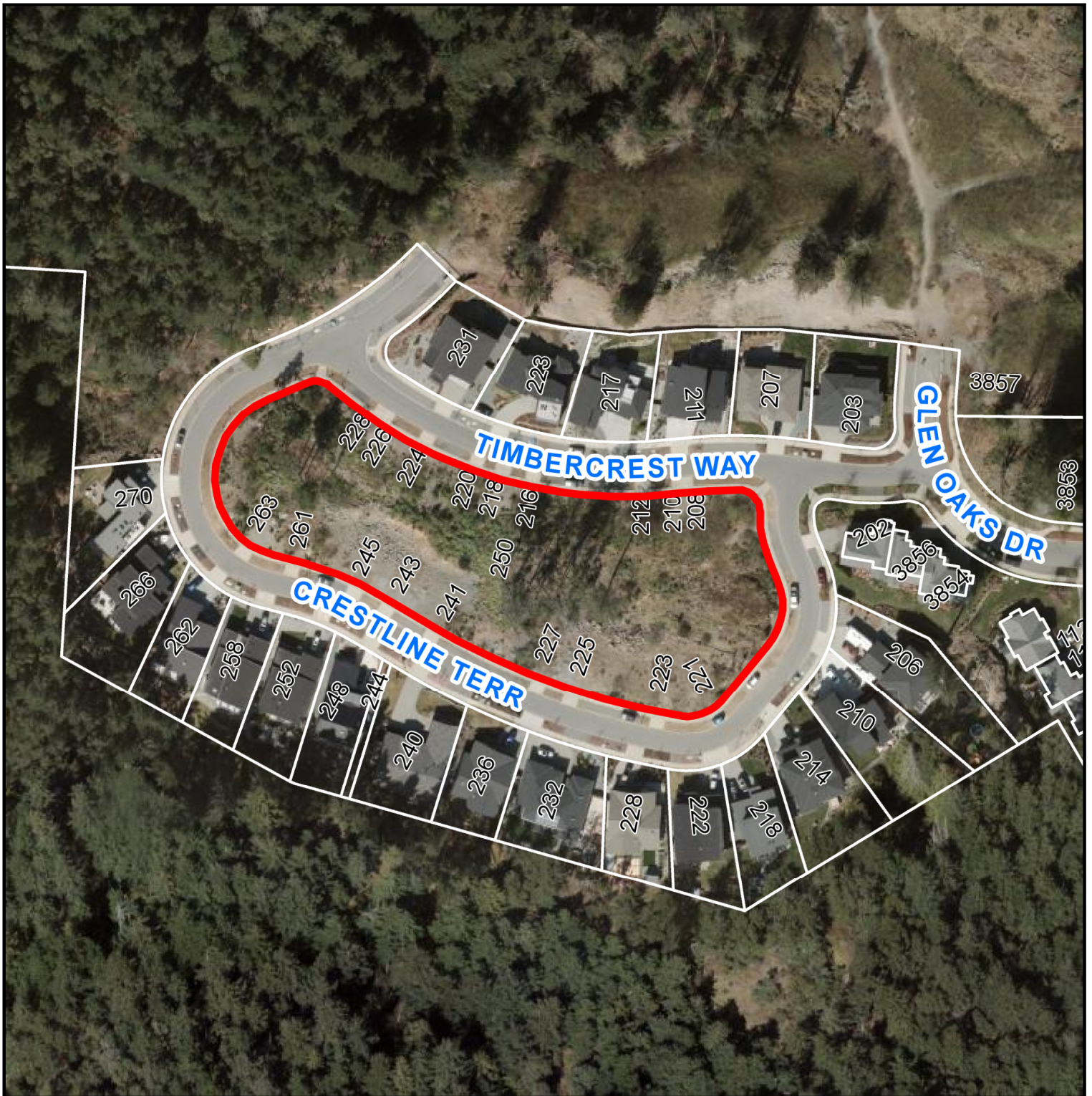
project no.	120.23
scale	@ 24"x36"
drawn by	MDI
checked by	SM/PdG
revision no.	sheet no.

**L3.03**


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DP-1253  
2020-NOV-28  
Curious Planning



# AERIAL PHOTO



**DEVELOPMENT PERMIT NO. DP001213**

 250 TIMBERCREST WAY