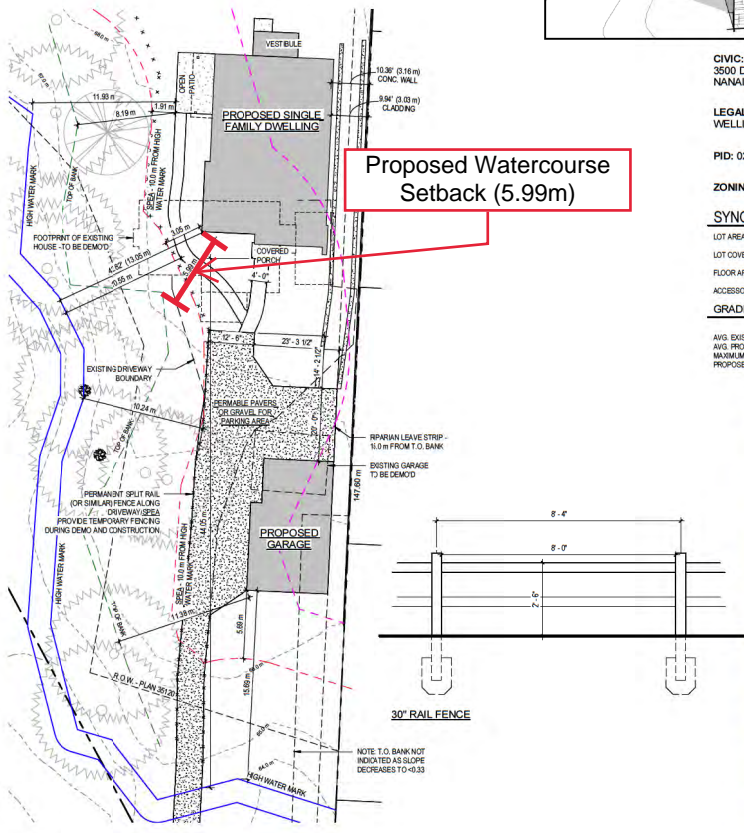
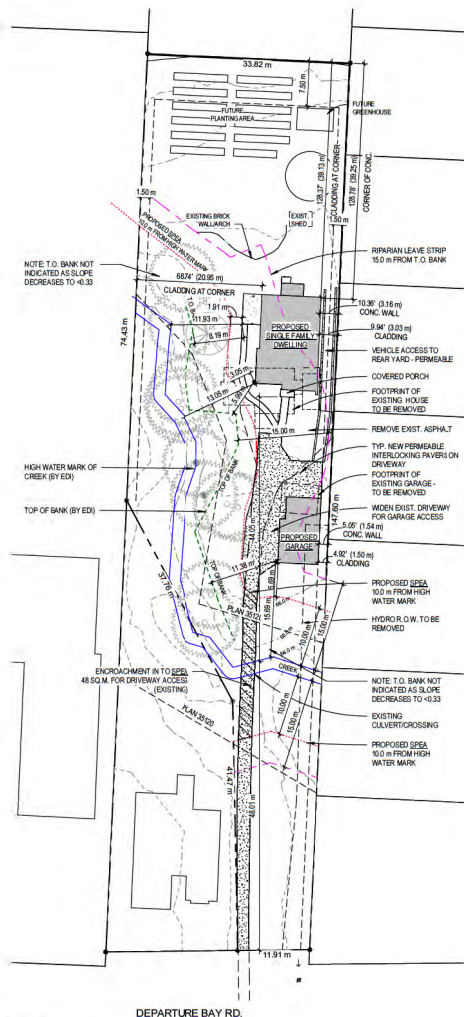


ATTACHMENT D SITE PLAN

Woytiuk Residence



DISCLAIMER

- ALL DIMENSIONS, SIZES, SPECS, ASSEMBLIES, ETC. ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK MEETS THE LATEST REQUIREMENTS OF ANY GOVERNING CODES OR BYLAWS.
- CONTRACTOR MAY HAVE TO MAKE CONSIDERATIONS FOR REGION SPECIFIC CONSTRUCTION CONDITIONS NOT REFLECTED IN THIS DRAWING PACKAGE.
- ANY STRUCTURAL ELEMENTS THAT DO NOT FALL WITHIN CODES OR TO PART OF THE B.C.B.C. OR UNRESPECIFIED ON THESE PLANS MUST BE SIZED AND SPEC'D BY A STRUCTURAL ENGINEER.
- ANY CODE VIOLATIONS OR INCONSISTENCIES FOUND IN THE DRAWINGS ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCING THE CONSTRUCTION PHASE.
- NEITHER SATURNA STUDIOS NOR THE DESIGNER/DRAFTSMAN ASSUME ANY LEGAL OBLIGATION REGARDING ANY INFORMATION INCLUDED OR EXCLUDED ON THESE PLANS.

SATURNA
studios

PLANNING + DESIGN

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Revisions

1	ISSUED FOR D.P.	2020.03.13
2	D.P. REVISIONS	2020.11.13

CIVIC: 3500 DEPARTURE BAY RD. NANAIMO, BC
LEGAL: LOT B, SECTION 5, WELLINGTON DISTRICT, PLAN VIP66170

PID: 023-932-368

ZONING: R1

SYNOPSIS

LOT AREA:	41,444 SQ.FT. (0.391 ha)	BEDROOMS:	4
LOT COVERAGE:	2,491 SQ.FT. (6.0%)	BATHROOMS:	2.5
FLOOR AREA RATIO:	3,119 SQ.FT. (7.8%)	OFF STREET PARKING:	4
ACCESSORY:	756 SQ.FT.		

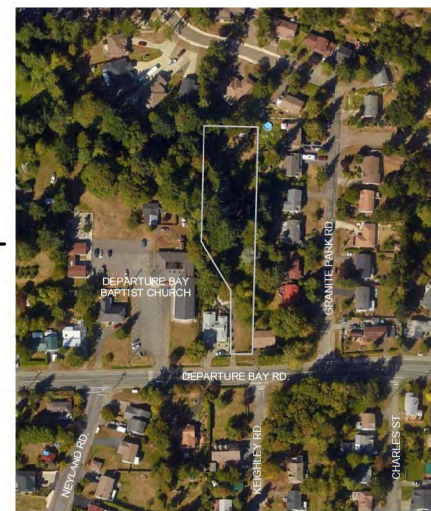
GRADES

	RESIDENCE	GARAGE
AVG. EXIST. GRADE AT CORNERS (EG)	68.50 m	67.07 m
AVG. PROPOSED GRADE AT CORNERS (PG)	68.80 m	67.07 m
MINIMUM ALLOWED ROOF HEIGHT	77.50 m	71.52 m
PROPOSED ROOF HEIGHT	76.87 m	71.38 m

AREAS

MAIN FLOOR	1853 SF
UPPER FLOOR	1414 SF
COVERED PATIO	78 SF
VESTIBULE	82 SF
FRONT PORCH	33 SF
GARAGE	756 SF

*AREAS ARE MEASURED TO EXT. FACE OF CLADDING



CONTEXT MAP

Woytiuk Residence
3500 Departure Bay Rd
Nanaimo, BC

Proj. No: 1906
Date: 2020.11.09
Drawn: DC
Scale: As indicated
Seal:

Sheet Name:

SITE PLAN

Sheet No:

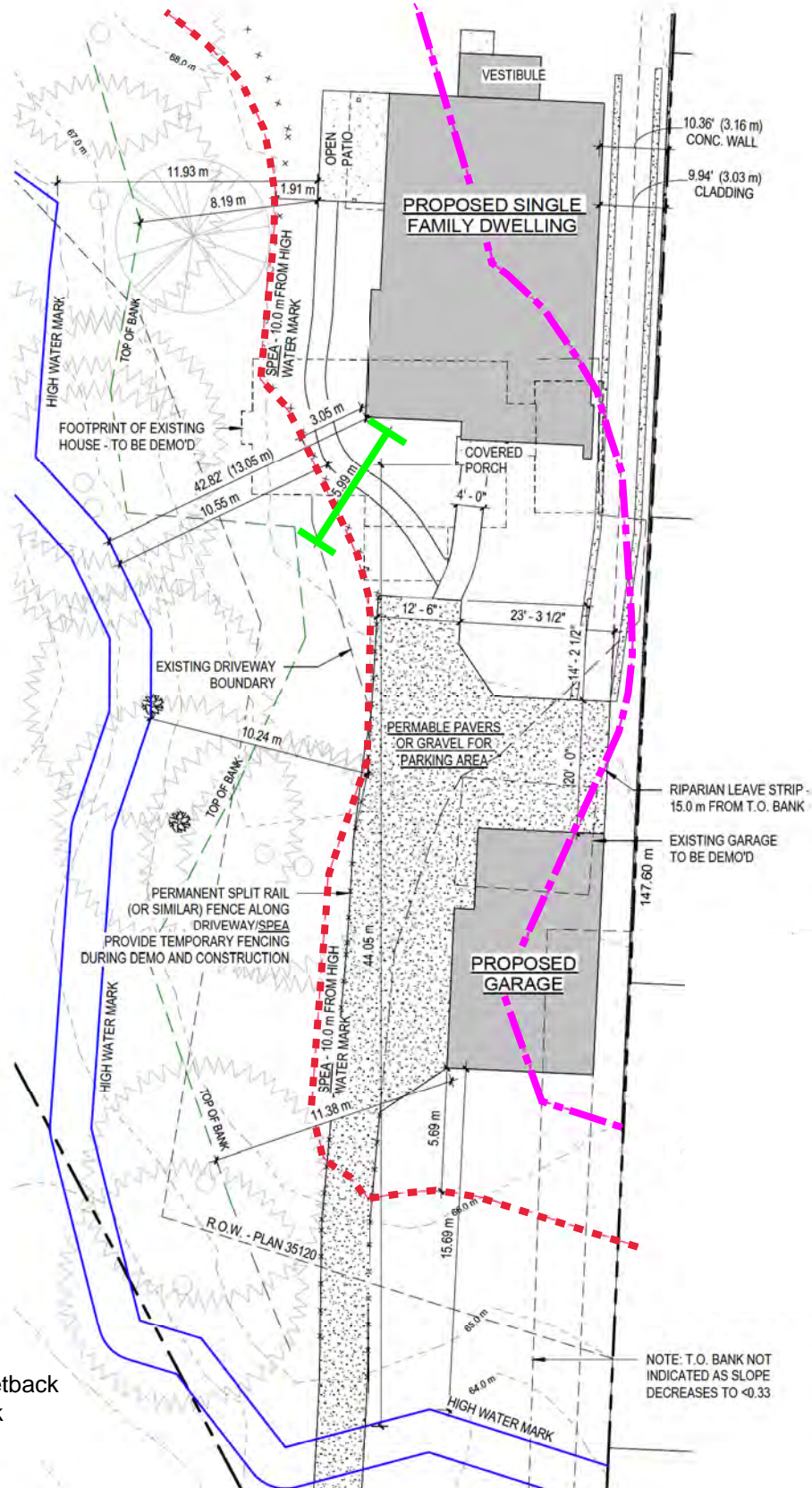
A1.00




Drawings are to be used in conjunction with each other. Any discrepancies should be reported to the designer immediately.

Contractors are responsible to ensure that all work meets the requirements of the current edition of the B.C. Building Code.

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Focused Site Plan (Riparian Setback Detail)



-  Proposed Watercourse Setback
-  15m Watercourse Setback
-  10m SPEA