



Design Rationale

Supportive Housing – 702 Nicol Street

The supportive housing project proposed at 702 Nicol Street in Nanaimo is a 59-unit multi-use development proposed in cooperation with BC Housing and the Island Crisis Care Society. It consists of one, four-storey modularly constructed wood frame building. The building will house offices and supportive housing facilities of the Island Crisis Care Society of Nanaimo as well as a community amenity space intended for the use of the surrounding neighbourhood. The design of the proposed building recognizes the character described in the *South End Neighbourhood Plan* and the *Design Guidelines for Development Permit Area 9* in which it will be built. We have sited the proposed development and designed the materials to respond to the planning principles contained in those documents.

The proposed building is sited as close to Nicol street as permitted by the required Ministry of Transportation setbacks to allow the building to become part of the lively streetscape planned for the development area. The materials, location, and landscaping are all intended to enrich the urban pedestrian environment envisioned for this area. The proposed design also strives to acknowledge the intersection with Robins Street and creates and active place here with landscaping. A simple palette of materials and architectural form is combined with a playful use of repeating elements to create texture, rhythm, and visual interest on the proposed building elevations. We used the materials proposed on our building to ensure that the height of the building is kept within a personal scale and to reduce the overall perception of the building's height. We have used a wood accent material on the top floor of the building that set backs the floor from the rest of the elevation, while increasing the interest and brightness of the overall building.

The main entrances for the two programs are identified by the features of the building and the placement of the materials while maintaining a unified character and means of access to the proposed building realizing the integration of the supportive housing program within the community and helping the residents of the shelter feel welcomed and not segregated or ignored.

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2020-OCT-23
Current Planning

PRINCIPALS

Robert Spaetgens *Architect, AAA, AIBC, SAA, MRAIC*
David Symons *Architect, AAA, AIBC, SAA, OAA, MRAIC, Licensed California, Texas*
Linus Murphy *Architect, AAA, AIBC, SAA, OAA, FRAIC, LEED® AP*
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Peter Streith *Architect, AAA, AIBC, OAA, NWTAA, FRAIC*
Robert Lange *Architect, AAA, AIBC, NWTAA, MRAIC, LEED® AP*

S2 ARCHITECTURE

ASSOCIATE PRINCIPALS

Ken Shaman *Intern Architect, AAA*
Jason Curtis *Architect, AAA, MRAIC, LEED® AP*
Madeleine Schmidts *Interior Designer, NCIDQ*

ASSOCIATES

Jason Dolha
Jane Kratochvil
Stephen Jabs

Steven Moll
Chad Zyla *Architect, AAA, MRAIC*
Michelle Rowles *Architect, AAA, MRAIC*
Melissa Chabot *Interior Designer, NCIDQ, LEED® AP ID+C*
Shaad Oosman *CPA, CMA*
Natalie Weiss *Interior Designer, NCIDQ, LEED® AP*
Pierre Ferronato

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Parking Variance Rationale

Supportive Housing – 702 Nicol Street

The supportive housing project proposed at 702 Nicol street in Nanaimo is a 59-unit multi-use development proposed in cooperation with BC Housing and the Island Crisis Care Society. It consists of one, four-storey modularly constructed wood frame building. The calculated parking allotment for supportive housing as laid out by the Bylaw is 12 stalls. Our proposed development includes 4 on-site parking stalls due to the following justifications.

Compliance with the bylaw requirements would unreasonably constrain the proposed development of needed shelter spaces. The depth of the property combined with the required setbacks from Nicol street and the laneway significantly reduce the available area for parking on the site. To provide the outdoor amenity area required by the supportive housing program and landscaped area facing the surrounding streets we have proposed less site area dedicated to parking. Due to the existing grade difference between much of the site and the laneway it was not suitable to access the site from the lane or to arrange for parking along the lane.

As the tenants of the supportive housing program do not typically have vehicles, on-site parking is only required for support personnel. We are submitting a letter that supports this from BC Housing.

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Pierre Ferronato

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October 23, 2020

To: City of Nanaimo

Re: Parking plan for 702 Nicol Street

The proposed supportive housing project will be operated by the Island Crisis Care Society, funded by BC Housing.

Parking statistics below are based on the Society's current use and operations at other similar facilities:

Full Time Staff: 2 Full Time Support staff

0.5 Cook

0.5 Maintenance Staff

1 Manager

Visiting staff: 1-2 variable

Visiting professionals: 1-2 variable

Visitors with vehicles: rarely

Residents: 0 (supportive housing residents will not typically have the resources to own, insure and operate vehicles.)

Total: 4-6

Please note that the onsite parking will be for staff and visiting professionals only and will be communicated to tenants during the application for tenancy process.

We believe that this is sufficient to meet the current staff needs of this site and reflects operational statistics on other Island Crisis Care Society locations with similar use.

Sincerely,

Sean Rorison

Sean Rorison

Development Manager

BC Housing Management Commission

LOCATION PLAN



DEVELOPMENT PERMIT APPLICATION NO. DP001209



Subject Property

CIVIC: 702 NICOL STREET

LEGAL: LOT A, SECTION 1, NANAIMO DISTRICT, PLAN 41876

BC HOUSING TRANSITIONAL HOUSING

702 NICOL STREET
NANAIMO, BC

ISSUED FOR DEVELOPMENT PERMIT
OCTOBER 22, 2020




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CIVIL ENGINEERING

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CITY OF NANAIMO

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1.	20/10/23	ISSUED FOR DEVELOPMENT PERMIT	mr	CZ	
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					CHKD


HORIZON NORTH


architecture

PROJ # : 220189
TH # :
SCALE : AS NOTED
DRAWN BY :
CHECKED :

BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANAIMO, BC
COVER PAGE

DWG No:

DP0.0

Building Area Summary	
PROPOSED BUILDING:	
Main Floor GFA:	7021 m ²
Second Floor GFA:	7825 m ²
Third Floor GFA:	7825 m ²
Fourth Floor GFA:	7825 m ²
TOTAL:	30493 m ²

Floor Area Ratio	
PERMITTED FAR: 1.25	
ALLOWED DENSITY: 0.75	
ADDITIONAL DENSITY: +0.25 (Per 1) +0.25 (Per 2)	
PROPOSED FAR: 1.25	
TOTAL BUILDINGS GFA: 30493.6 m ²	
SITE AREA: 2,430 m ²	

Dwelling Unit Summary	
GROSS FLOOR AREA:	
Typical unit:	32.6 m ²
Barrier free unit:	32.6 m ²
NUMBER OF UNITS BY TYPE AND BY FLOOR:	
PROPOSED BUILDING:	
MAIN FLOOR:	1 Future Family unit 2 Future Typical Units
SECOND FLOOR:	11 typical units 7 Bridge-In-Housing units
THIRD FLOOR:	16 typical units 3 accessible units
FOURTH FLOOR:	19 typical units
TOTAL:	59 Units

Motor Vehicle Parking Requirement	
REQUIRED:	
PROPOSED BUILDING:	
PERSONAL CARE FACILITY: 0.2 units / SLEEPING UNIT	
59 Units * 0.2 =	12 units
PROVIDED:	
4 Stalls (includes 1 Barrier Free Stall)	

Context Plan

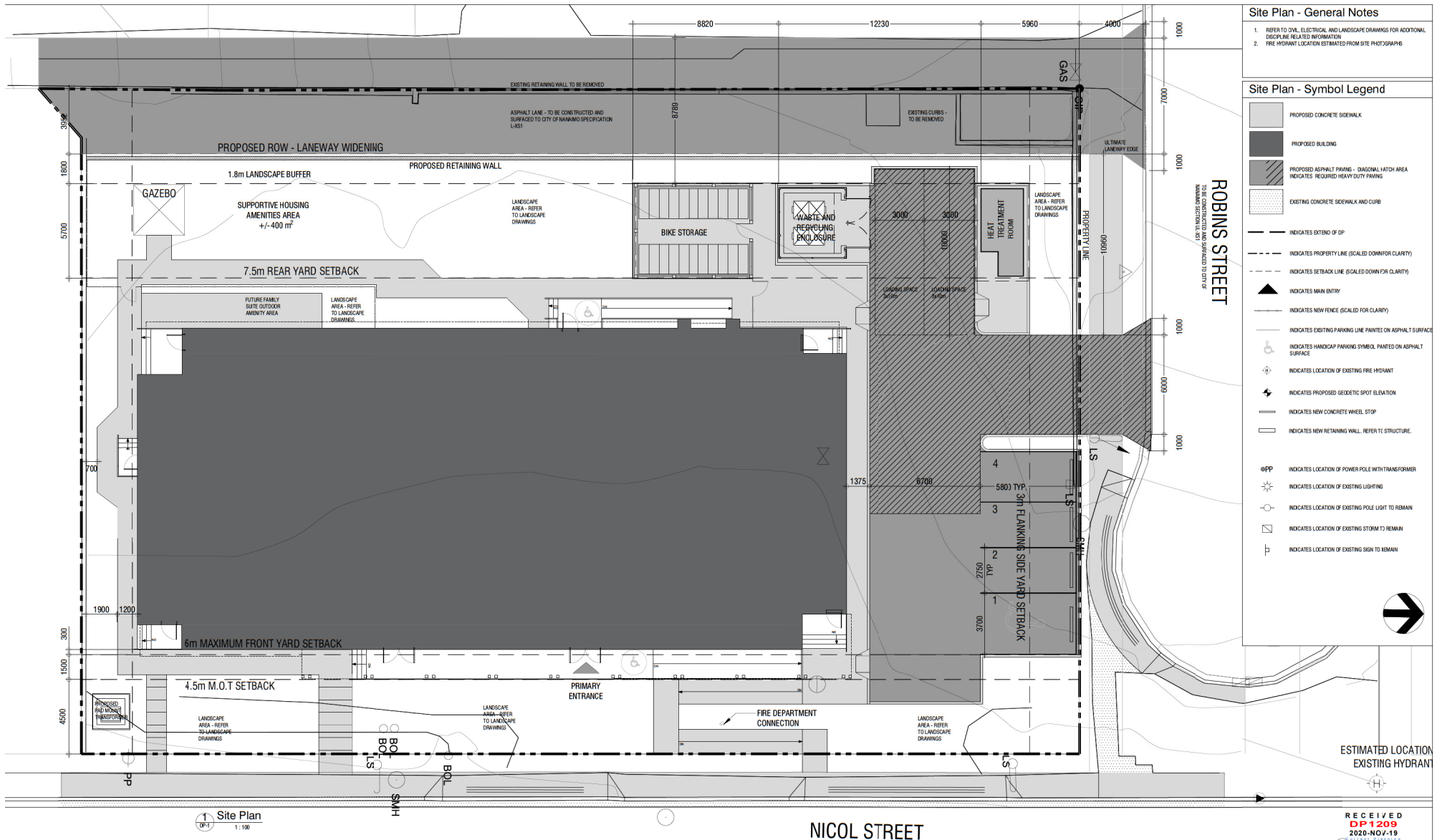
Context Plan

PROPOSED DEVELOPMENT



3 Site Photo - View from Lane

DWG No.:
DP0.1



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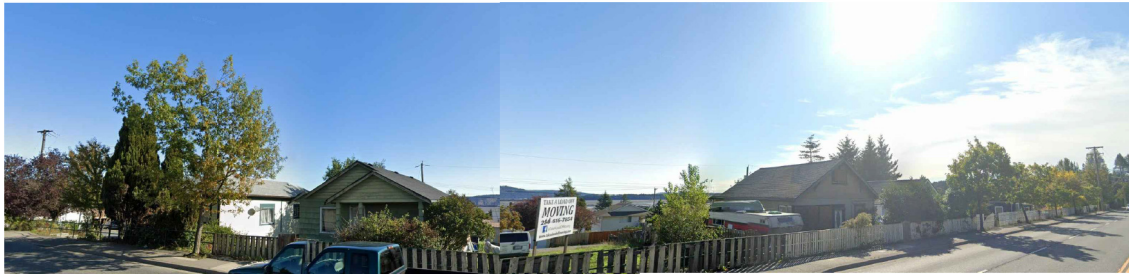


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BC HOUSING
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702 NICOL ST., NANAIMO, BC
SITE PLAN

DWG No:

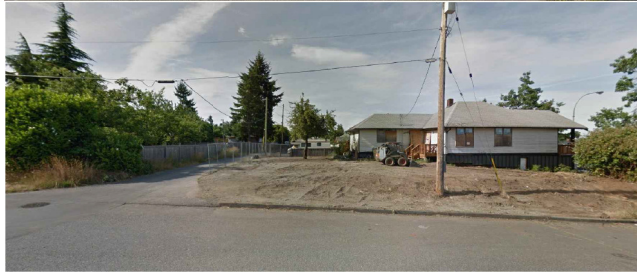
DP1.0



1 Neighbourhood Context - Nicol Street
DP1.1



2 Neighbourhood Context - Robins Street
DP1.1



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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
Neighbourhood Context

DWG No:

DP1.1

Elevations - Code Legend

01	FIBRE CEMENT PANEL - ARCTIC WHITE	08	CANOPY - BOOTHBAY BLUE
02	FIBRE CEMENT PANEL - BOOTHBAY BLUE	09	STEEL DOORS - BOOTHBAY BLUE
03	FIBRE CEMENT PLANK SIDING - CEDARTONE	10	PVC WINDOW - BLACK
04	FLASHING - BOOTHBAY BLUE	11	METAL HANDRAIL/GUARD - BLACK
05	P.T. WOOD RAMP	12	Ø6 TIMBER COLUMNS
06	P.T. WOOD STAIRS		
07	CANOPY - ARCTIC WHITE		



1 NORTH ELEVATION
DP3.2 SCALE: 3/16" = 1'-0"

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DATE OF	
DATE OF	

BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
NORTH ELEVATION

DWG No: **DP3.1**

Elevations - Code Legend

01	FIBRE CEMENT PANEL - ARCTIC WHITE	08	CANOPY - BOOTHBAY BLUE
02	FIBRE CEMENT PANEL - BOOTHBAY BLUE	09	STEEL DOORS - BOOTHBAY BLUE
03	FIBRE CEMENT PLANK SIDING - CEDARTONE	10	PVC WINDOW - BLACK
04	FLASHING - BOOTHBAY BLUE	11	METAL HANDRAIL/GUARD - BLACK
05	P.T. WOOD RAMP	12	6x6 TIMBER COLUMNS
06	P.T. WOOD STAIRS		
07	CANOPY - ARCTIC WHITE		



1 EAST ELEVATION

DP3.3 / SCALE: 3/16" = 1'-0"

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HORIZON NORTH



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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
EAST ELEVATION

DWG No:

DP3.0

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2020-NOV-19
Current Planning

Elevations - Code Legend

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06	P.T. WOOD STAIRS		
07	CANOPY - ARCTIC WHITE		



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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
SOUTH ELEVATION

DWG No:
DP3.3

Elevations - Code Legend

01	FIBRE CEMENT PANEL - ARCTIC WHITE	08	CANOPY - BOOTHBAY BLUE
02	FIBRE CEMENT PANEL - BOOTHBAY BLUE	09	STEEL DOORS - BOOTHBAY BLUE
03	FIBRE CEMENT PLANK SIDING - CEDARTONE	10	PVC WINDOW - BLACK
04	FLASHING - BOOTHBAY BLUE	11	METAL HANDRAIL/GUARD - BLACK
05	P.T. WOOD RAMP	12	6x6 TIMBER COLUMNS
06	P.T. WOOD STAIRS		
07	CANOPY - ARCTIC WHITE		



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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
WEST ELEVATION

DWG No: **DP3.2**

MATERIAL BOARD



1. Composite Metal Panel
Dark grey

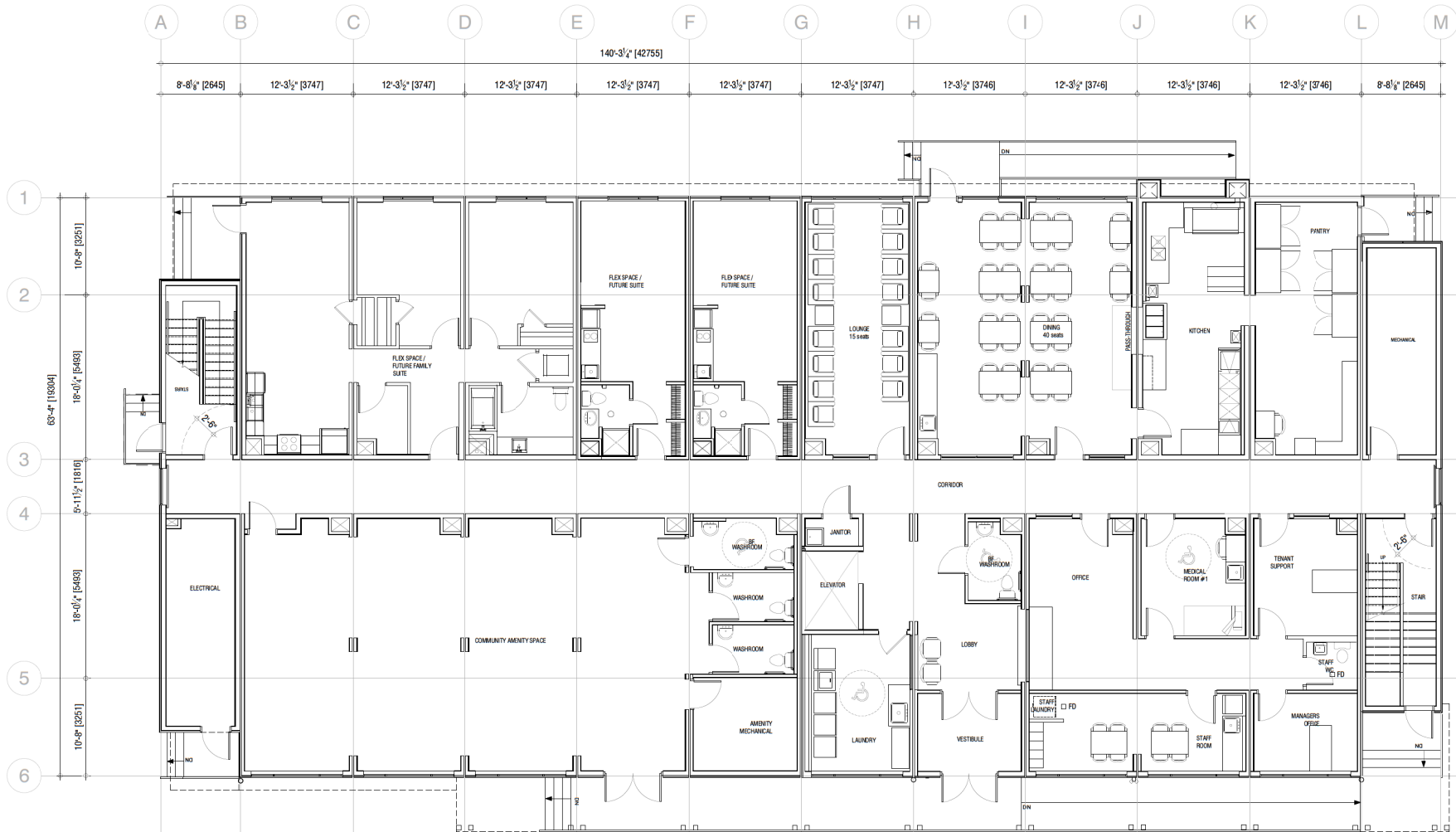


2. Composite Metal Panel
White



3. Composite Metal Panel
Wood Look





1 MAIN FLOOR PLAN
DP2.0 / SCALE: 3/16" = 1'-0"



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OUTLINE PLANNING

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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANAIMO, BC
MAIN FLOOR PLAN

DWG No.:
DP2.0



1 THIRD FLOOR PLANS
DP2.2 / SCALE: 3/16" = 1'-0"



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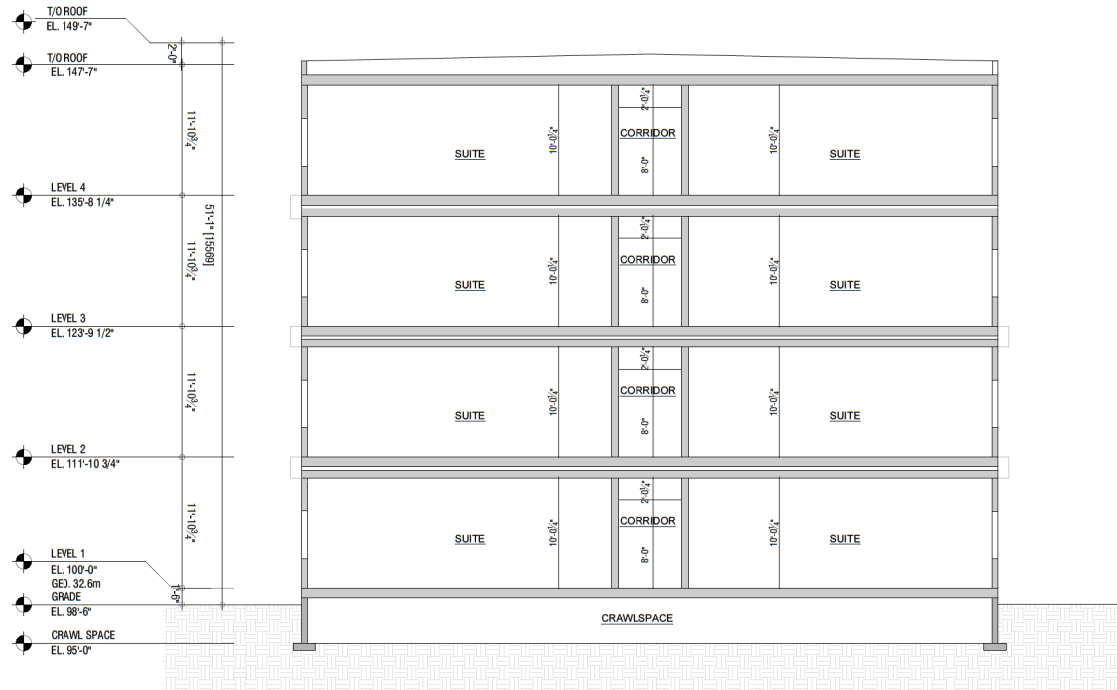
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SHEET 01
SHEET 01

BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
THIRD FLOOR PLAN

DWG No:
DP2.2



1 SECTION
DP4.0 SCALE: 3/16" = 1'-0"

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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
SECTION

DWG No.:

DP4.0



Technical drawing of a double gate assembly. The drawing shows a side elevation of two adjacent gates. The total height is 2000 units, with a lower section of 1850 units. The width of each gate is 150 units. The gates are labeled 'DOUBLE GATES'. The top section is labeled 'PREFINISHED CORRUGATED METAL SIDING (VERTICAL)'. The bottom section is labeled 'DROP PIN LATCH/PADLOCK'. The drawing is labeled 'A' at the bottom left.

7000
150

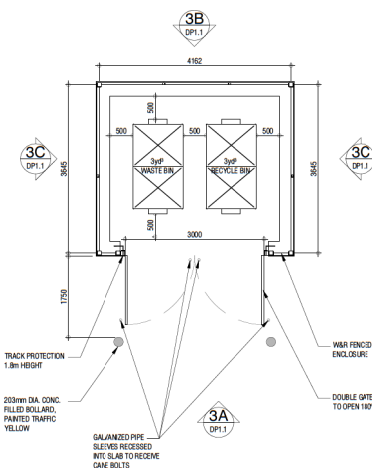
T.O. ASPHALT

B

PREFINISHED CORRUGATED METAL SONG (VERTICAL)

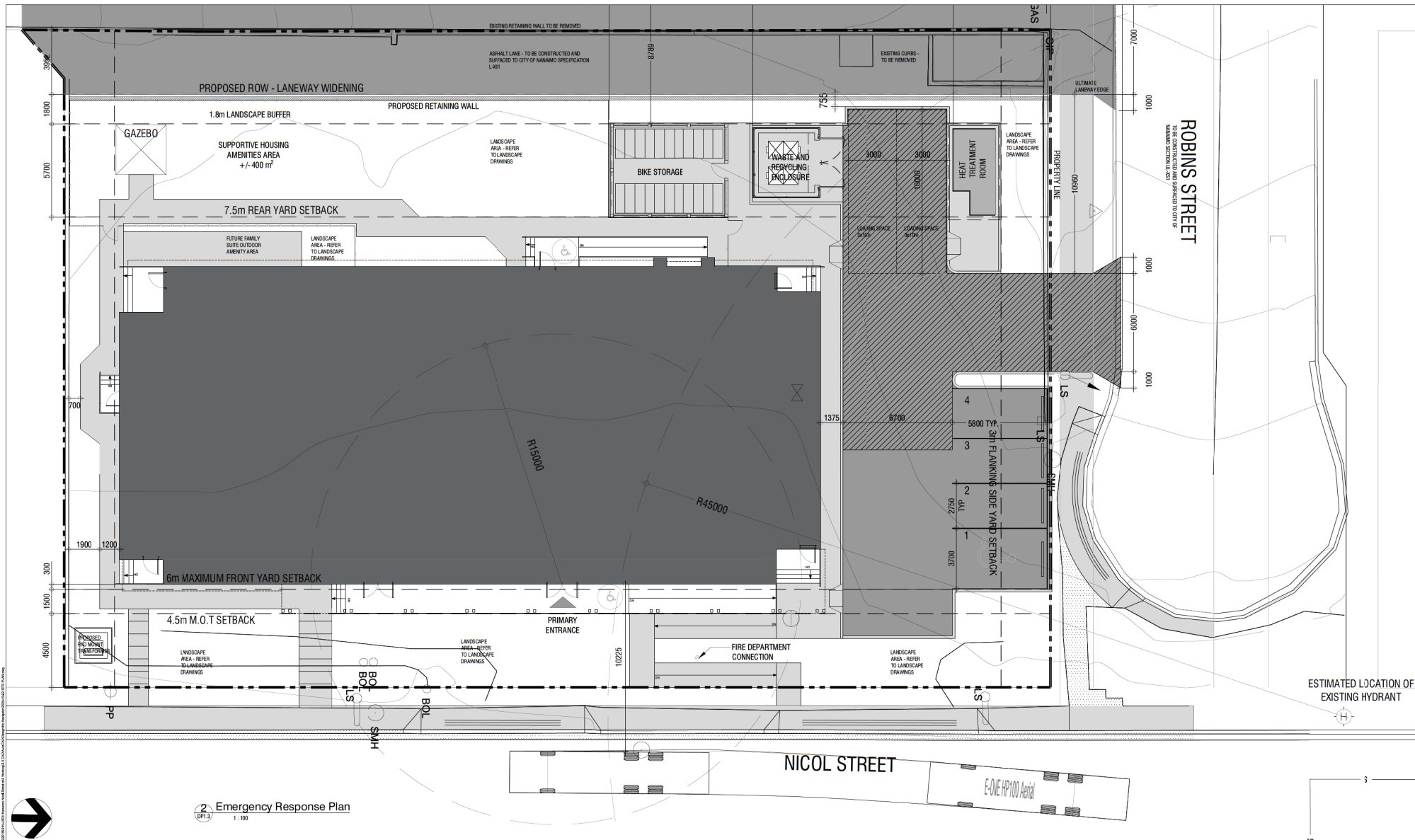
PRE-FINISHED METAL TRIM FLASHING (TOP AND BOTTOM)

PRE-FINISHED METAL TRIM FLASHING TYPICAL AT CORNER



2 Garba
OP1.2 1:50

DP1.2



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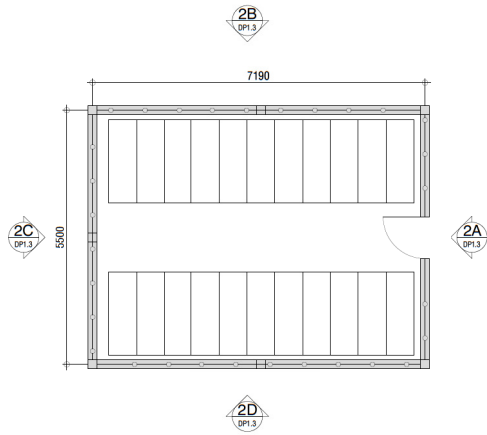


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DATE OF	
REVISED	

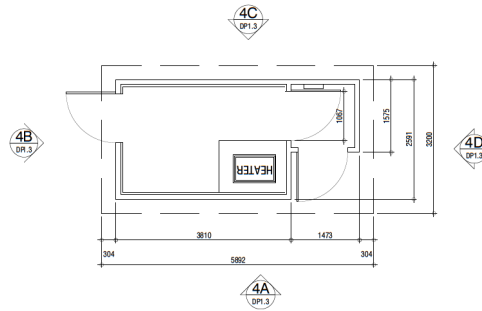
BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANAIMO, BC
EMERGENCY RESPONSE PLAN

DWG No:

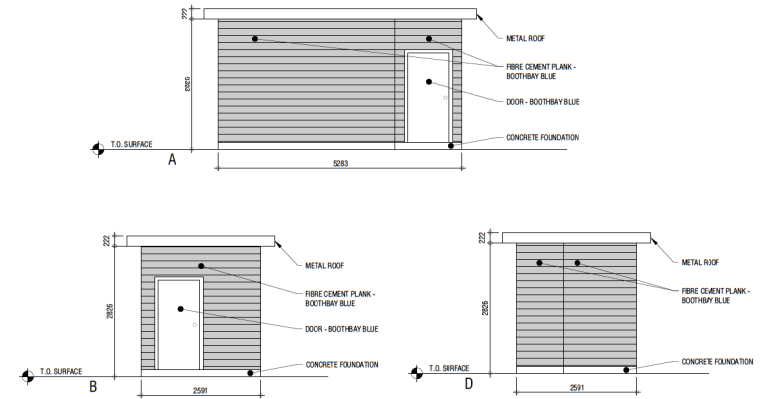
DP1.3



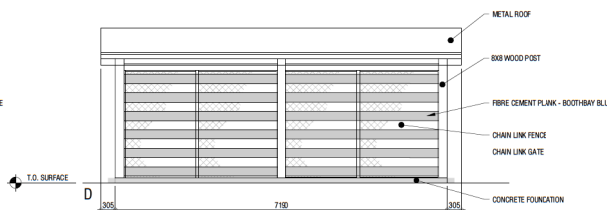
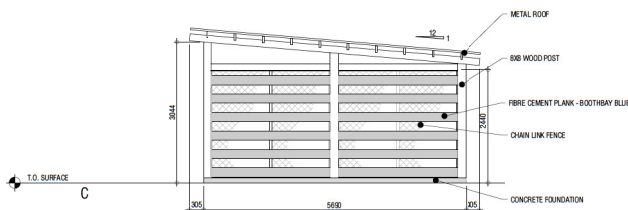
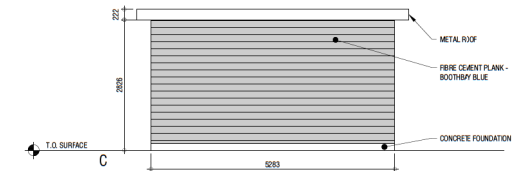
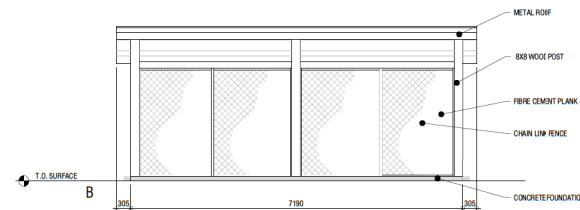
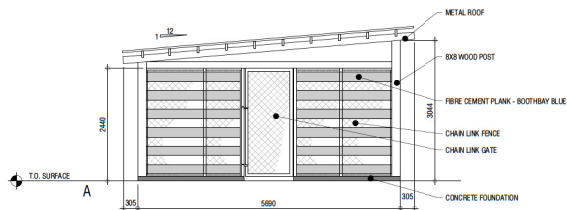
1 Bike Storage Plan
DP1.4/ 1:50



3 Heat Treatment Room Plan
DP1.4/ 1:50



4 Heat Treatment Room Elevations
DP1.4/ 1:50



2 Bike Storage Elevations
DP1.4/ 1:50

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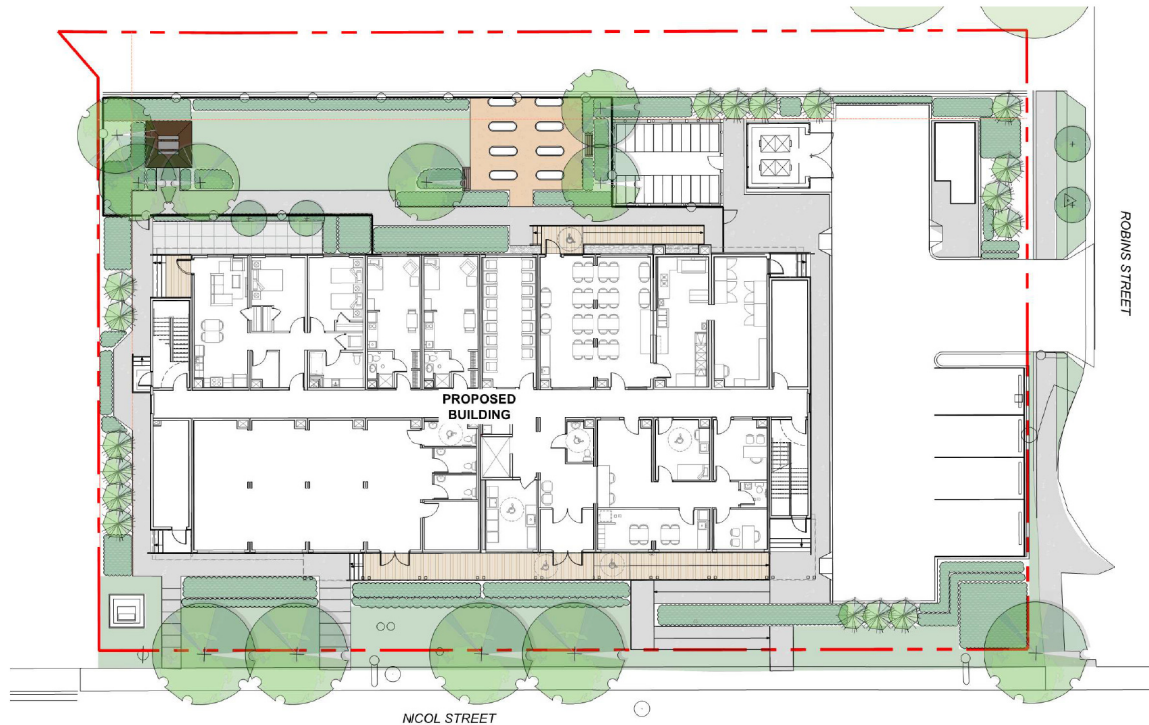
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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
SITE DETAILS

DWG No:
DP1.4

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2020-NOV-19
DIFFERENT PLANNING

WSP LANDSCAPE ARCHITECTURE (L-00) 2020-09-23 10:00 AM



BCH NICOL STREET

702 Nicol Street, Nanaimo, B.C.

ISSUED FOR DEVELOPMENT PERMIT

DRAWING LIST

L-00	COVER
L-01	EXISTING CONDITIONS & TREE MANAGEMENT PLAN
L-02	LANDSCAPE PLAN
L-03	PLANTING PLAN
L-04	DETAILS
L-05	DETAILS
L-06	DETAILS

WSP LANDSCAPE ARCHITECTURE

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Lisa Ng
Landscape Designer
Email: lisa.ng@wsp.com
Phone: (604) 601-6836

LANDSCAPE

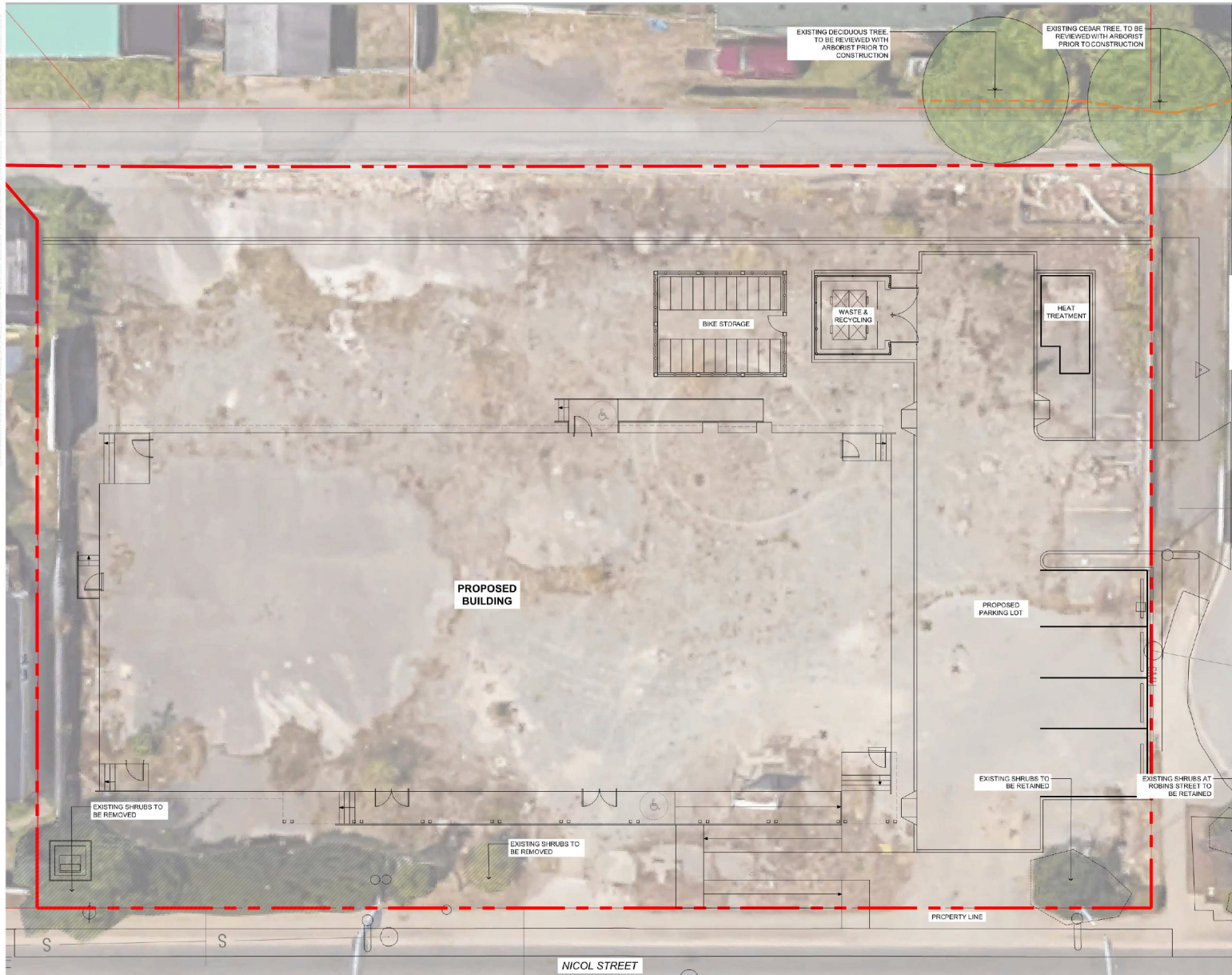
GENERAL NOTES

- Landscape installation to be compliant with Canadian Landscape Standards (full document applies). It is expected that Landscape Trades will have a current copy of the document (digital or hardcopy) present with them on site at all times.
- Questions (RFI's) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.
- Submittals on landscape include but are not limited to:
 - Shop drawings on all specified furnishings including notes on colour and dimensions
 - Shop drawings on all custom site elements
 - A soil report submitted (compliant with "Level 2P" for shrub/tree plantings in accordance with the Canadian Landscape Standard)
 - A request for the Landscape Architect to pre-review trees/shrubs for the project at the nursery in advance of delivery to site. Note that the Landscape Architect requires this process for reviews to occur immediately upon award as to prevent issues with timeline. If quantities of a shrub or tree are minimal, photo submittals will be reviewed as an alternate. Note that all tree/shrub stock is to be sourced from the Pacific Northwest (BC, Washington, Oregon). The contractor will be expected to provide an exhaustive search was provided in sourcing material before alternatives of plant material are considered.
 - Bark mulch to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour).
 - Submit "1L" sample or website information prior to purchase.
 - Unit paving and hard-surface materials to be submitted for verification on colour, size and pattern.
 - Compaction testing of base preparation (95% MPO).

- Landscape critical review meetings include (but are not limited to):
 - Tree protection fencing setup requires a review by the arborist prior to construction.
 - Project kick-off on landscape, and review of schedule and preservation of existing materials.
 - Mobilization of soils and furnishing works (requires furnishings to be reviewed after delivery to site to review for damages). Note that soils may be tested up to 2 times for verification of compliance of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals.
 - Mobilization of custom works (i.e. wooden walkway or bench). If applicable to contract, will be required for a critical review meeting of proposed layout and connections.
 - Delivery of the plant material to site (mobilization of planting works).
 - 1 additional interim planting review.
 - Substantial review of the landscape (site cleanup to be complete prior to calling for review).
 - Total performance of the landscape.
 - Mobilization of future work.
- Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended. Maintenance to be compliant with "Level 2" (weeds no larger than 2" diameter) in accordance with Canadian Landscape Standard.
- Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils as defined in "Establishment Watering" requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent detriment to plant health prior to use of irrigation system. If a water ban is in place within the city, notify Contract Administrator.
- Warranty on all landscape to be 1 year, unless noted otherwise.

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2020-OCT-23
CITY OF NANAIMO





LEGEND	
	PROPERTY LINE
	DEMOLISH
	TREE PROTECTION FENCING Refer to detail.
	TREE TO BE RETAINED Provide tree protection fencing. Refer to detail.

NOTE: THERE ARE NO EXISTING TREES WITHIN PROPERTY BOUNDARIES OF THIS SITE TO BE PROTECTED.

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2020-OCT-23
CITY OF NANAIMO



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 840 HOME STREET, VANCOUVER B.C. V6P 5M1

PROJECT
BCH 702 NICOL STREET | NANAIMO, B.C.

CLIENT
BC HOUSING

CONSULTANT
WSP

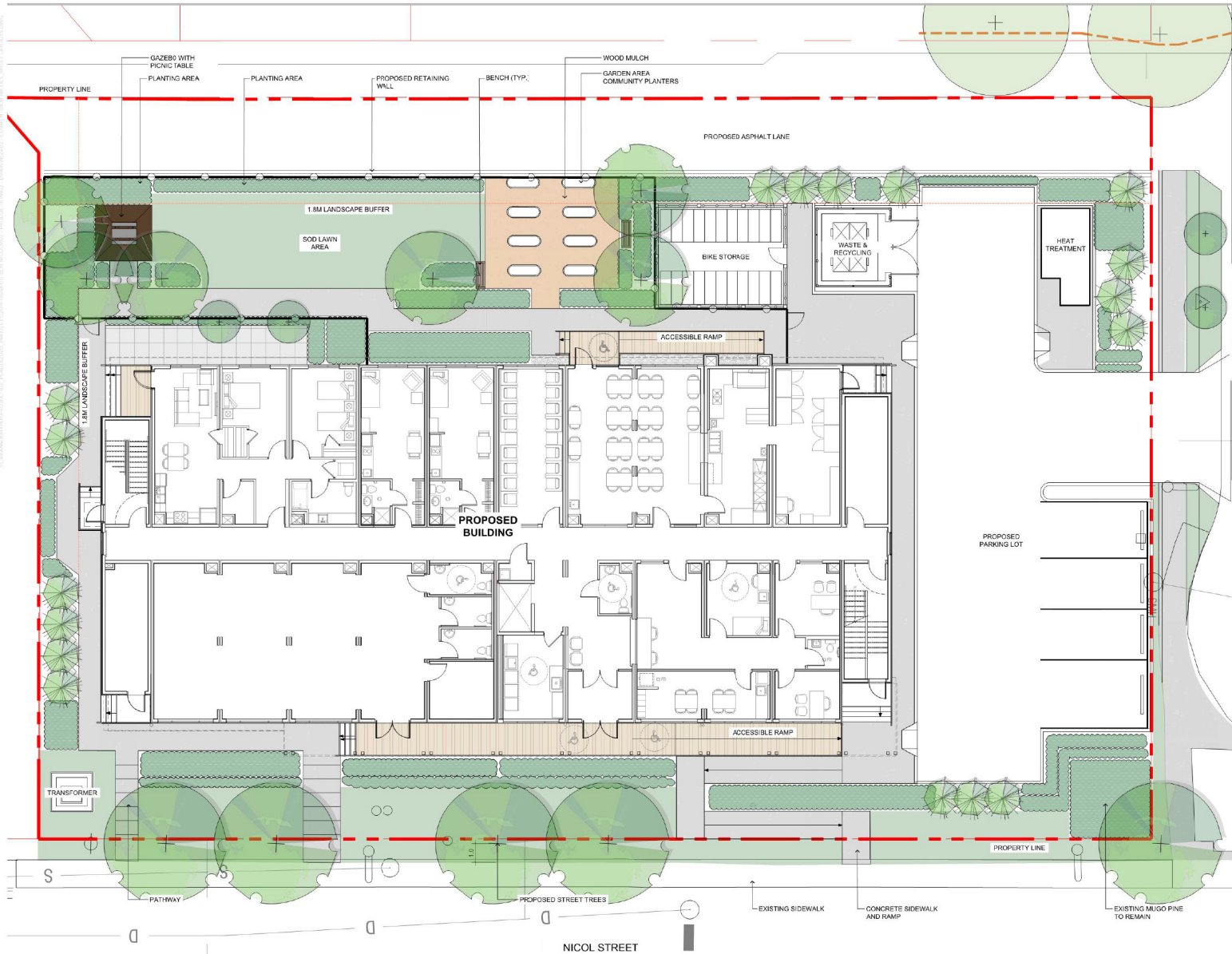


ORIGINAL SIZE: 600mm x 900mm (24" x 36")	
0	2000000
NO.	DATE
ISSUED FOR DEVELOPMENT PERMIT	
BY	MH



DESIGN BY	MH
DRAWN BY	LN
CHECKED BY	RF
PROJECT #	2024-0240-00
SCALE	1:100

SHEET TITLE	
EXISTING CONDITIONS & TREE MANAGEMENT PLAN	
SHEET NO.	
L-01	



SOFTSCAPE LEGEND	
	2 L-04 PROPOSED TREES Minimum 900mm depth growing medium, complete with mulch. Refer to details. Install as per Canadian Landscape Standards.
	4 & 5 L-04 SHRUB PLANTING Minimum 450mm import growing medium complete with mulch. Refer to details. Install as per Canadian Landscape Standards.
	3 L-04 LAWN Minimum 150mm import growing medium. Refer to details.
HARDSCAPE LEGEND	
	2 L-05 CONCRETE Pedestrian rated access - 100mm thick
	3 L-05 GRAVEL Refer to detail for aggregate size and thickness.
	1 L-05 UNIT PAVERS Refer to detail for aggregate size and thickness.
	4 L-05 WOOD CHIPS At 100mm depth with filter fabric.
SITE FURNISHING LEGEND	
	2 L-06 BAYVIEW PARK BENCH Type: BV-6 Size: 72" W x 28" D x 33" H Supplier: Wishbone Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.
	1 L-06 RUTHERFORD PICNIC TABLE Type: RPT-1, wheelchair accessible Size: 72" W x 85" D x 30" H Supplier: Wishbone Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.
	5 & 6 L-06 PROPOSED 1.8m HIGH WOOD FENCE AND GATES Provide shop drawing of fence prior to fabrication. Refer to detail.
	3 L-06 GAZEBO / GARDEN SHED Refer to detail for product specifications and sizes.
	4 L-06 COMMUNITY PLANTER Refer to detail and install in accordance with manufacturer's specifications. Provide shop drawing submitted to verify product and finishes prior to purchase (typ).

NOTE REFER TO CIVIL DRAWINGS FOR ALL GRADING INFORMATION



LANDSCAPE ARCHITECTURE (URBAN DESIGN / PLANNING) / ENGINEERING
1000 - 840 HOME STREET, VANCOUVER B.C. V6C 2M4

PROJECT
BCH 702 NICOL STREET | NANAIMO, B.C.
CLIENT
BC HOUSING
CONSULTANT
WSP

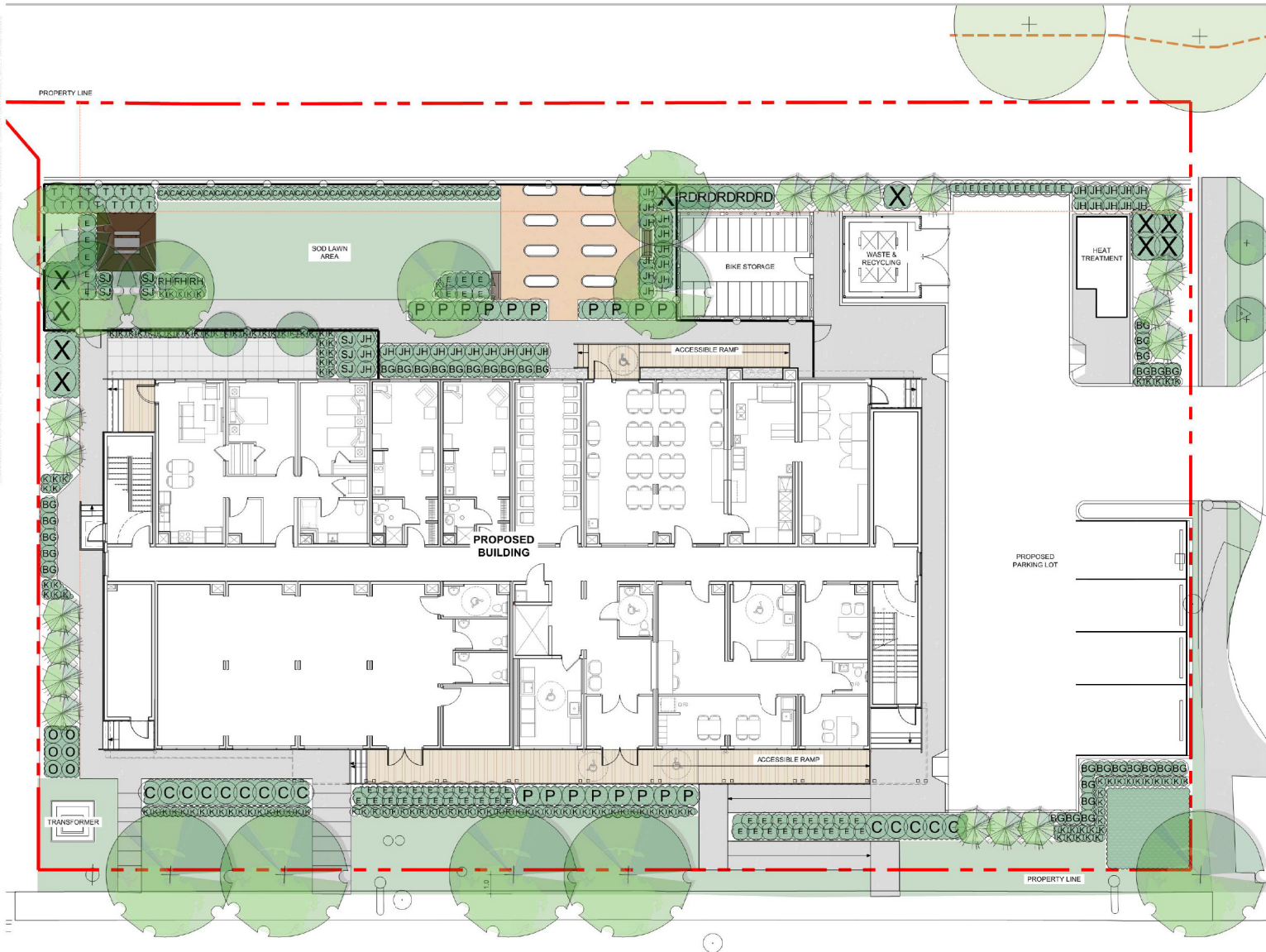
DATE
2020/09/23
ISSUED FOR DEVELOPMENT PERMIT
BY
MH



ORIGINAL SIZE 610x915mm (24" x 36")	
NO.	DATE
DESCRIPTION	BY



DESIGNED BY	MH	SHEET TITLE
DRAWN BY	LN	LANDSCAPE PLAN
CHECKED BY	RP	SHEET NO.
PROJECT #	2024-0224-00	
SCALE	1:100	



TREE SCHEDULE				
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
11		Alnus rubra	Red alder	B&B, 8cm cal., 1.8m standard
4		Cornus nuttallii 'White Wonder'	Pacific white dogwood	B&B, 8cm cal., 1.8m standard
17		Picea sitchensis	Sitka spruce	B&B, 8cm cal., 1.8m standard

SHRUB SCHEDULE				
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
K	134	Arctostaphylos uva-ursi	Kinnikinnick	#2 Fol, full
BG	33	Buxus 'Green Velvet'	'Green Velvet' boxwood	#2 Fol, full
CA	30	Cleraris arandii	Evergreen daphne	#2 Fol, full
O	6	Cornus sericea 'Flaviramea'	'Flaviramea' dogwood	#2 Fol, full
E	57	Eurymyrus salicifolius	Winged burning bush	#2 Fol, full
JH	34	Juniperus horizontalis	Creeping juniper	#2 Fol, full
C	14	Juniperus savin	Savin juniper	#2 Fol, full
P	18	Potentilla fruticosa 'Goldfinger'	'Goldfinger' potentilla	#2 Fol, full
RD	5	Rosa 'Dusdemoura'	'Dusdemoura' rose	#2 Fol, full
RH	3	Rudbeckia hirta	Black-eyed susan	#2 Fol, full
X	10	Salix purpurea	Arctic willow	#2 Fol, full
SJ	7	Spirea japonica 'Goldmound'	'Goldmound' spirea	#2 Fol, full
T	12	Taxus x media 'Hilli'	'Hilli' yew	#2 Fol, full

- PLANTING NOTES:**
- All work of the contractor shall meet or exceed all standards and specifications established in the latest edition of the Canadian Landscape Standard.
 - All plant material must be certified to be free of sudden oak death (phytophthora ramorum), according to the Canadian Food Inspection Agency (CFIA), or C.S.L.A. standards, plant material to be made available for optional inspection by the Contract Administrator at source of supply.
 - The contractor shall provide a (1) year replacement warranty on all plant material to the owner from the date of substantial completion.
 - The quantities shown on the plan shall take precedence over the quantities shown on the plant list. The contractor shall notify the Contract Administrator of any discrepancies prior to ordering and installing plant material.
 - The contractor shall not substitute plant material or products without written consent of the Contract Administrator. The contractor shall be responsible for the removal and replacement of any unapproved substitutions.
 - Arrange plants in containers for consultant's review and approval of placement prior to installation.
 - All trees are to be planted with trunk flare at finished grade to match original nursery grade, contractor to obtain consultant's approval of final tree depth prior to placement of finished material. Trees planted at improper depth and without final approval may be subject to removal at contractor's expense.
 - Growing medium shall meet the following Canadian Landscape Standards:
Planting beds:
2" - The contractor shall provide a soil sample and test to the contract administrator demonstrating that the growing medium meets these specifications prior to delivery to the site. The contractor will be responsible for the removal and replacement of any untested / non specification growing medium at their own expense.
Placement - the contractor shall place the growing medium at the following minimum depths:
Trees:
800mm
Planting beds:
450mm
 - Contractor shall supply and place composted bark mulch 50mm deep. Mulch is to be bury tree trunk flare. Accommodate for mulch depth when planting trees. Sample of mulch to be provided to consultant for approval prior to placement.



LANDSCAPE ARCHITECTURE (URBAN DESIGN / PLANNING) ENGINEERING
1000 - 840 HOME STREET, VANCOUVER B.C. V6E 2M4

PROJECT
BC702 NICOL STREET | NANAIMO, B.C.

CLIENT
HC HOUSING

CONSULTANT
WSP

PROJECT
BC702 NICOL STREET | NANAIMO, B.C.

CLIENT
HC HOUSING

CONSULTANT
WSP

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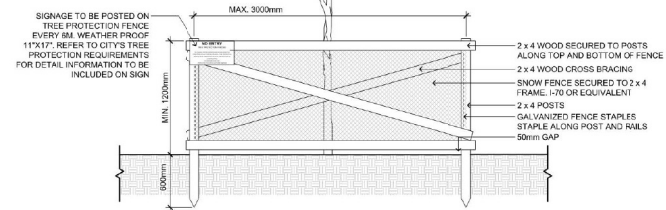


ORIGINAL SIZE 600mm x 900mm (24" x 36")			
0	2023/02/23	ISSUED FOR DEVELOPMENT PERMIT	MH
NO.	DATE	DESCRIPTION	BY



DESIGNED BY	MH	SHEET TITLE	PLANTING
DRAWN BY	LN	SHEET NO.	
CHECKED BY	RP		
PROJECT #	2024-02-00		
SCALE	1:50		

TREE PROTECTION DISTANCE TABLE		
TRUNK DIAMETER	MIN. DISTANCE FROM TRUNK (METERS)	
	CM	FT
20	0.6	1.2
25	0.8	1.5
35	1.0	2.1
40	1.2	2.4
45	1.3	2.7
50	1.5	3.0
55	1.7	3.3
60	2.0	3.6
75	2.5	4.5
90	3.0	5.0
100	3.3	6.0

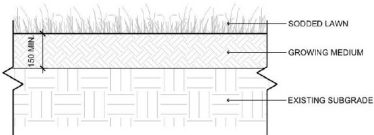


NOTES:

1. PROTECTION FENCE TO BE LOCATED AT CROWN DRIPLINE OR ADJACENT TO HARD SURFACE, WHICHEVER IS GREATER, OR AT A DISTANCE SPECIFIED BY THE CITY ARBORIST
2. MANUALLY EXCAVATE AND CUT TREE ROOTS WITHIN 1.6m OF THE TREE PROTECTION FENCING
3. MACHINERY AND STORAGE IS NOT PERMITTED WITHIN 1.0m OF TREE PROTECTION AREA
4. ENSURE CONFORMANCE OF PROTECTION FENCING AND APPROVALS COMPLY WITH CITY'S TREE PROTECTION BY-LAW

1 TREE PROTECTION

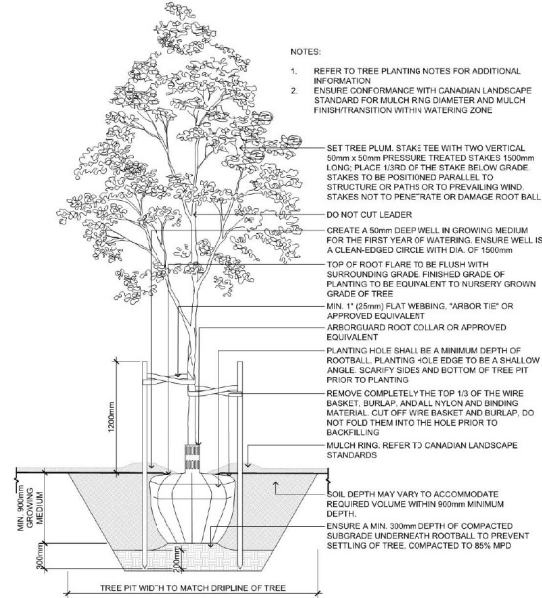
L-04 SCALE: 1:25



NOTE: ALL LAWN TO BE SEED IN TWO DIRECTIONS AT 90° FROM EACH OTHER

3 SOD

L-04 SCALE: 1:10

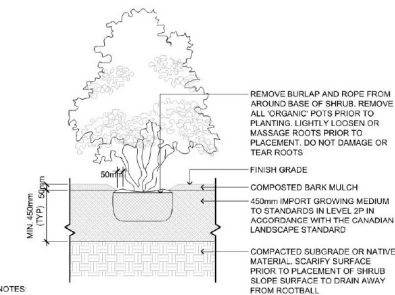


NOTES:

1. REFER TO TREE PLANTING NOTES FOR ADDITIONAL INFORMATION
2. ENSURE CONFORMANCE WITH CANADIAN LANDSCAPE STANDARDS FOR MULCH RING DIAMETER AND MULCH FINISH/TRANSITION WITH WATERING ZONE
3. SET TREE PLUM. STAKE TREE WITH TWO VERTICAL 50mm x 50mm PRESSURE TREATED STAKES 1500mm LONG. PLACE 1/3RD OF THE STAKE BELOW GRADE. STAKES TO BE POSITIONED PARALLEL TO STRUCTURE OR PATHS OR TO PREVAILING WIND. STAKES NOT TO PENETRATE OR DAMAGE ROOT BALL.
4. DO NOT CUT LEADER
5. CREATE A 50mm DEEP WELL IN GROWING MEDIUM FOR THE FIRST YEAR OF WATERING. ENSURE WELL IS A CLEAN-USED CIRCLE WITH DIA. OF 1500mm
6. TOP OF ROOT FLARE TO BE FLUSH WITH SURROUNDING GRADE. FINISHED GRADE OF PLANTING TO BE EQUIVALENT TO NURSERY GROWN GRADE OF TREE
7. MIN. 1" (25mm) FLAT WEBBING, "ARBOR TIE" OR APPROVED EQUIVALENT
8. ARBORETOUR ROOT COLLAR OR APPROVED EQUIVALENT
9. PLANTING HOLE SHALL BE A MINIMUM DEPTH OF ROOTBALL. PLANTING HOLE EDGE TO BE A SHALLOW ANGLE. SCARIFY SIDES AND BOTTOM OF TREE PIT PRIOR TO PLANTING
10. REMOVE COMPLETELY THE TOP 1/3 OF THE WIRE BASKET, BURLAP, AND ALL NYLON AND BINDING MATERIAL. CUT OFF WIRE BASKET AND BURLAP. DO NOT FOLD THEM INTO THE HOLE PRIOR TO BACKFILLING
11. MULCH RING. REFER TO CANADIAN LANDSCAPE STANDARDS
12. SOIL DEPTH MAY VARY TO ACCOMMODATE REQUIRED VOLUME WITHIN 900mm MINIMUM DEPTH
13. ENSURE A MIN. 300mm DEPTH OF COMPACTED SUBGRADE UNDERNEATH ROOTBALL TO PREVENT SETTLING OF TREE. COMPACTED TO 85% MPD

2 TREE PLANTING

L-04 SCALE: 1:25

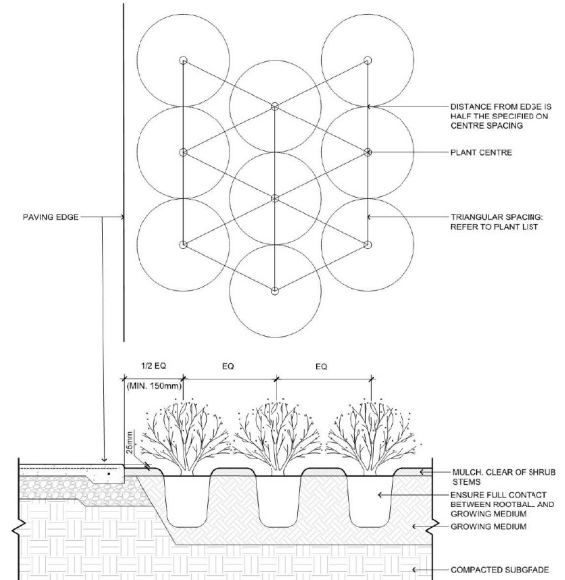


NOTES:

1. SHRUB TO BE PLANTED LEVEL WITH FINISH GRADE
2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB
3. PLANTING PIT MUST BE FREE DRAINING
4. DISTURBED SUBGRADE, NATIVE MATERIAL, OR IMPORT FILL TO BE SUITABLY COMPACTED IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS TO PREVENT SETTLEMENT OF ROOTBALL
5. PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD, DISEASED, DAMAGED, OR DEFECTIVE BRANCHES IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD
6. REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATES UNLESS OTHERWISE SPECIFIED

4 SHRUB PLANTING DETAIL

L-04 SCALE: 1:20



NOTES:

1. REFER TO CANADIAN LANDSCAPE STANDARD FOR COMPACTION AND PREPARATION REQUIREMENTS FOR PLANTING BEDS
2. REFER TO TYPICAL SHRUB PLANTING DETAILS FOR INFORMATION ON MULCH AND GROWING MEDIUM
3. ENSURE MATURE SHRUB FORM WILL NOT OVERHANG WALKWAY
4. COMPACTION RATE TO BE 95% MPD UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT

5 SHRUB SPACING DETAIL

L-04 SCALE: 1:15



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1001 - 1001 HORN STREET, VANCOUVER, B.C. V6Z 2M4

PROJECT: BCH 702 NICOL STREET | NANAIMO, B.C.
CLIENT: BC HOUSING
CONSULTANT: WSP

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2020-OCT-23
CLIENT PLANNING

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")

NO.	DATE	DESCRIPTION	BY
0	2020/02/25	ISSUED FOR DEVELOPMENT PERMIT	MH

SEALED



DESIGN BY	MH	SHEET TITLE
DRAWN BY	UN	
CHECKED BY	OF	
PROJECT #	2004 0210 00	SHEET NO.
SCALE	AS SHOWN	

DETAILS

L-04

1 UNIT PAVER
L-05 SCALE: 1:15

2 C.I.P. CONCRETE
L-05 SCALE: 1:15

3 GRAVEL
L-05 SCALE: 1:15

4 WOOD CHIPS
L-05 SCALE: 1:15

5 WOOD FENCE
L-05 SCALE: 1:15

AERIAL PHOTO



DEVELOPMENT PERMIT APPLICATION NO. DP001209



702 NICOL STREET