

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001200 – 155 FRY STREET

Applicant/Architect: DARYOUSH FIROUZLI ARCHITECT INC.

Landscape Architect: JPH CONSULTANTS INC.

Owner: 0742637 BC LTD.

SUBJECT PROPERTY AND SITE CONTEXT

<i>Zoning</i>	Community Corridor (COR3)
<i>Proposed Zoning</i>	Mixed Use Corridor (COR2)
<i>Location</i>	The subject property is located at the northeast corner of Fry Street and Milton Street.
<i>Total Area</i>	4,390m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Corridor Map 3 – Development Permit Area DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial / Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines; and South End Neighbourhood Plan Urban Design Framework & Guidelines

The subject property is located in the South End Neighbourhood and is part of the Robin's Grove development. The surrounding neighbourhood is designated Corridor in the Official Community Plan (OCP). Existing uses are predominantly industrial with some older single residential dwellings nearby. The railway yard is located one block away to the east. Phase 1 of Robin's Grove, a 14-unit multi-family residential building, completed in 2016, is adjacent to the property to the north.

The subject property and the neighbouring 150 Esplanade are currently under an active rezoning application (RA419) to rezone from COR3 to COR2.

PROPOSED DEVELOPMENT

As Phase 2 of the Robin's Grove development, the applicant is proposing to construct a five-storey mixed-use building with 55 dwelling units and a 288m² commercial retail unit. The unit composition consists of 37 one-bedroom units and 187 two-bedroom units. The project will include a public plaza with public art at the corner of Fry and Milton Streets, as a condition of the rezoning.

The applicant is proposing to achieve a Floor Area Ratio (FAR) of 1.49 through the provision of additional amenities as outlined in 'Schedule D' of the Zoning Bylaw. The maximum permitted FAR under Tier 1 of 'Schedule D' in the COR2 zone is 1.5. Some of the amenities proposed include:

- Educational signage;
- Street trees; and
- Construction to exceed the required BC Energy Step Code by one step.

Site Design

The proposed building is sited in the centre of the site, with a shared drive aisle accessed from Milton Street to the east of the building to serve the existing building, the proposed building, and the future Phase 3 at 150 Esplanade. Seventeen surface parking stalls will be provided along the drive aisle on the subject property, and the remaining 45 parking spaces will be provided in an underground parking level accessed from the drive aisle. The required electric vehicle charging station, accessible parking, and bicycle parking is provided on-site. A variance is requested to increase the percentage of small car parking.

A large urban plaza, with public access from the corner of Fry and Milton Streets, will be provided on the south side of the building. This plaza will include a feature public art gateway and seating.

Staff Comments:

- Explore the opportunity to provide direct pedestrian connections between the ground-level units and Fry Street.
- Ensure that the public plaza is accessible without gates or stairs to impede access for those with mobility limitations.

Building Design

The proposed building design complements the existing Phase 1 of Robin's Grove and replicates similar historical references. The design contains Victorian architecture elements and includes a significant mansard roof that wraps around the entire upper level of the building.

A mix of materials will create a strong base and prominent upper level. The ground level and portions of the second level will feature Hardie plank siding as cladding that will mimic the appearance of bricks. The middle levels will be clad with a smooth finish Hardie panel wall. The mansard roof will utilize a metal roof system. A series of balconies will project on all elevations for the residential portions, in addition to inset decks on the upper floor. Significant ground-level fenestration is proposed along the exterior of the commercial component.

The primary entry to the residential component of the building will be from the drive aisle to the east, and the primary entry to the commercial component will be from Fry Street to the west.

Staff Comments:

- Consider the further incorporation of heritage-themed cladding elements, to complement the façade of the existing Phase 1 building. For example, reconsider the use of metal roof materials to better represent the mansard roof style of the previous phase.
- Consider a more visible entryway for the commercial retail unit with a prominent entryway.
- Look at alternate cladding materials with more historical references for the ground-level canopy system that wraps across the south portion of the building.

Landscape Design

The site was previously an arboretum and the proposed landscape design incorporates a number of trees. An existing heritage tree collection has been retained on the Phase 1 property to the north, and a significant copper beech tree to the east will be protected and retained through construction. A specimen stewartia tree in the centre of the public plaza, and 11 magnolia street trees are proposed. A grass bioswale is proposed to the north of the building, to be flanked by columnar beech trees. Smaller shrubs will be incorporated around the public plaza, around the north and west base of the building, and to border the entryway of the building from the drive aisle. A refuse receptacle enclosure is proposed adjacent to the drive aisle, near the property line for Phase 1.

Staff Comments:

- Provide more rain-garden appropriate vegetation in place of grass for the bioswale on the north side of the building.
- Provide a landscape buffer to surround the refuse receptacle enclosure as per the minimum standard as outlined in Part 17 of the Zoning Bylaw.

PROPOSED VARIANCES

Building Height

A variance to increase the maximum permitted building height from 14m to 14.8m is requested, a proposed variance of 0.8m.

Small Car Parking

A variance to increase allowable percentage of small car parking spaces from 40% to 80%.



Reference: 2858

May 25th, 2020

Dear Ms. Lainya Rowett
Manager, Current Planning
Community Development

Design Rational and Community contribution for 155 Fry Street

The proposed project is at corner of Milton and Fry street recently rezoned from COR3 to COR2,

The proposed development proposed for mixed use building which include few commercial space facing the public square as suggested by OCP at corner for Fry Street and Milton Street and 5 storey Residential floors plus Underground parking,

The proposed development Phase #1 high end Residential condo “Robin’s Garden” in Victorian style Architecture completed few years ago, Phase #2 of this development planning to have Similar style Residential Building,

Pubic Amenity will provide move connectivity to neighbourhood and also move building to north which make the corridor view from Milton Street even more open.

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Community contribution

The proposed open public space at corner of Fry and Milton with public art and commercial Space, it is community Contribution to area and will create the public activity at this area as deserves.

Variances

There are 3 Variances for these project

1. Setback at Fry street

Underground parking is extended into Fry street setback but, because the structure fully underground and don't have any impact in above ground

2. Small car percentage

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The proposed project asking for Variance for Small Car percentage Variance from 40% to change to 80%, the rational for this Variance: this building is very close to Downtown core and Shopping mall and people most likely leave in this building they working in Mall or offices in Downtown and don't have big trucks, the majority for new cars have smaller design and even SUV can park in small car stall

3. Building Height

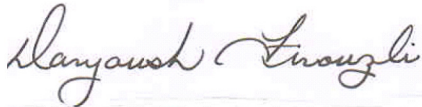
The proposed project building height from average is 18.8m vs 14.0m allowed in bylaw, this project provide 45 stalls (75% of required parking at underground and if there was just 3 more stalls and total of 48 stalls(80%) bylaw will allowed additional 4.0m which will reduce the Variance to .8m,

As COP recommend to have higher density closer to downtown core and many of new development proposing similar approach, we believe this is right chose ofr this property as well

Tier #1 additional Density

The proposed development also would like to use of Tier #1 additional density allowed by bylaw and the Tier #1 proposal is attached,

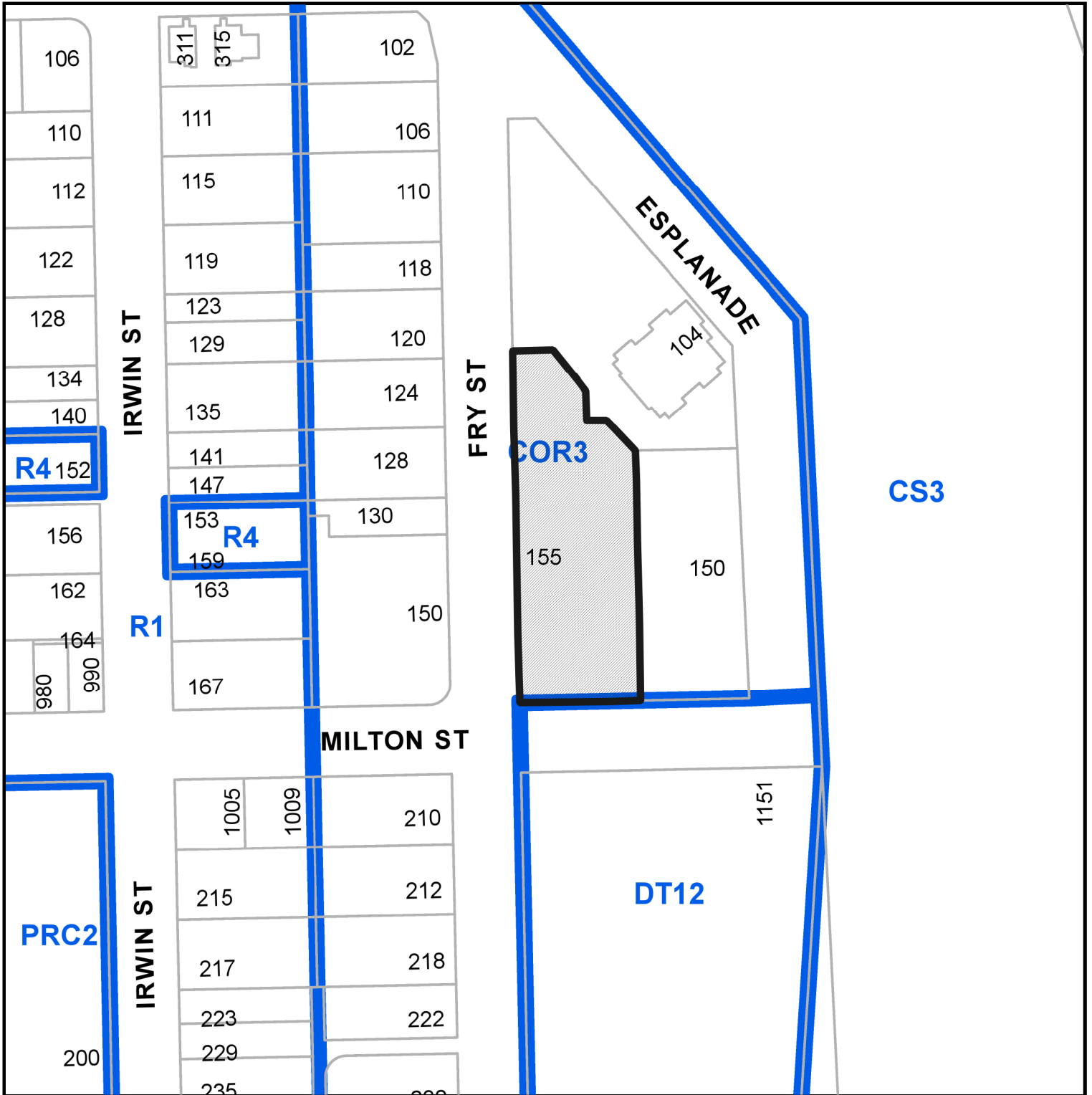
Sincerely,



Daryoush Firouzli

Architect AIBC, RAIC, AIA, MArch

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001200



CIVIC: 155 FRY STREET

 **Subject Property**

LEGAL: LOT 3, SECTION 1, NANAIMO DISTRICT, PLAN EPP55139

SITE PARTICULARS

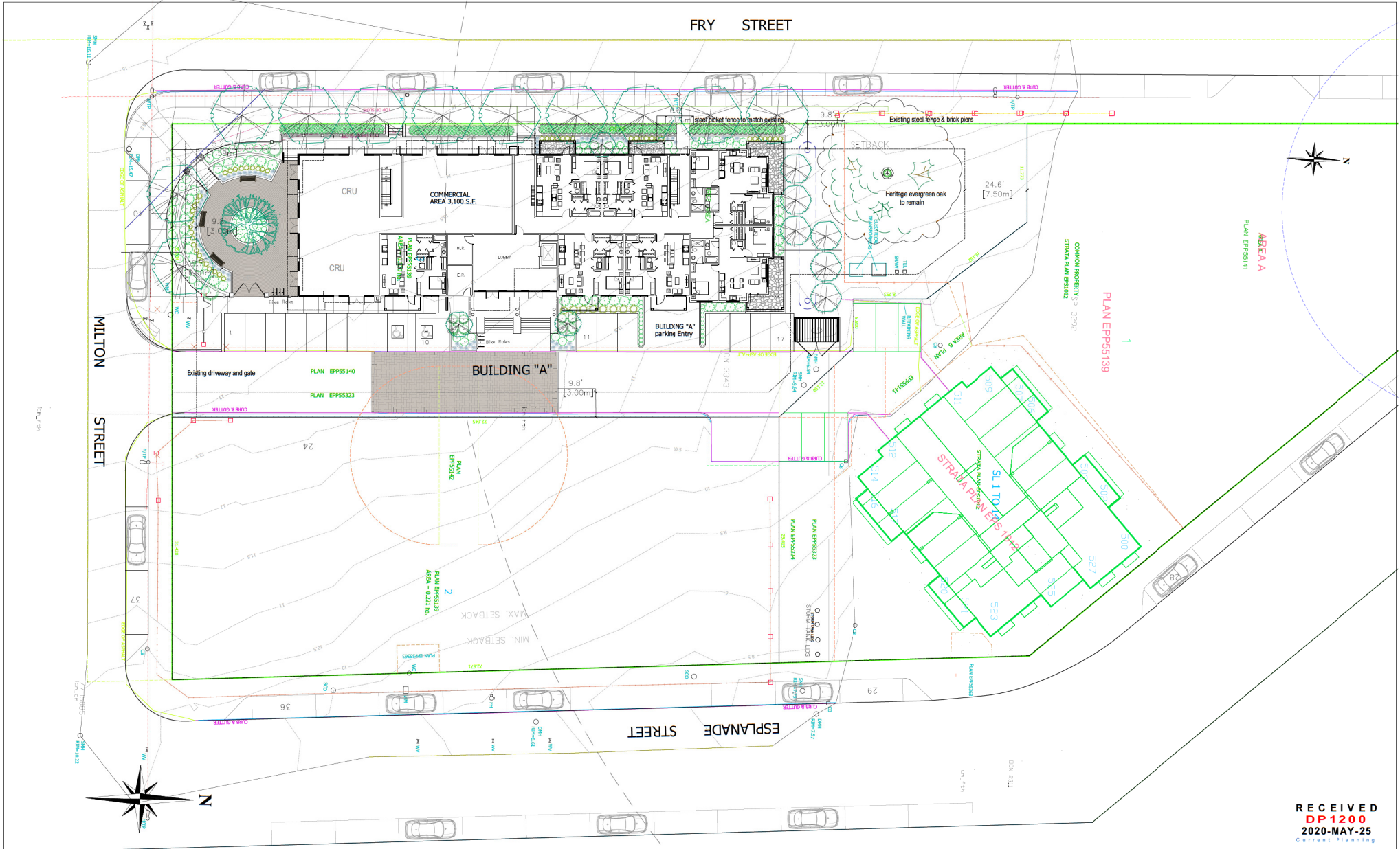
CIVIC ADDRESS: 155 Fry Street, Nanaimo, BC
 LEGAL ADDRESS: LOT 3, SECTION1, NANAIMO DISTRICT, PLAN EPP55139

SITE AREA: 34,444 SQ.FT. (3,200 M2)

ZONING: COR2 COMMUNITY CORRIDOR

PROJECT DATA

DESCRIPTION	ALLOWED / REQUIRED	PROPOSED
USE	COR2 COMMUNITY CORRIDOR	COR2 COMMUNITY CORRIDOR
LOT AREA	34,444 S.F. (3,200 M2)	34,444 S.F. (3,200 M2)
LOT COVERAGE	60%	30%
BUILDING GROSS FLOOR AREA	- - Total =	- Underground parking 14,236 S.F. - Main Floor 10,400 S.F. - Typical Floors (2,3&4) 10,450 S.F. - Fifth Floor 9,880 S.F. Total = (without underground Parking) 51,630 S.F.
DENSITY	1.25 = 43,055 S.F. 0.25 FOR TIER 1 =8,611 Total = 51,666 S.F.	1.49 = 51,630 S.F.(4,796 m2)
SETBACKS	FRONT: 9.84'(3.0m)Min.19.69' (6.0 m) Max. REAR: 24.60' (7.5 m) Min. SIDE:1 0.0' (0.0 m) Min. SIDE:2 9.84' (3.0 m) Min. SIDE (flanking street): 9.84' (3.0 m) Min.	FRONT: 9.84'(3.0m)Min.19.69' (6.0 m) Max. REAR: 24.60' (7.5 m) Min. SIDE:1 0.0' (0.0 m) Min. SIDE:2 9.84' (3.0 m) Min. SIDE (flanking street): 6.56' (2.0 m) Min.
HEIGHT OF BUILDINGS	45.93' (14 m) Max.	- Building "A" = 62' 0"
AMENITY AREAS		- 2,500 S.F. Open Public Space at corner of Fry Street & Milton Street
OFF-STREET PARKING	BUILDING "A" total Units are 18 Two bedrooms & 37 One bedroom units - 1.26 Stall per 2 bedroom units X 18 = 22.68 - 0.88 Stall per 1 bedroom units X 37 = 32.56 - Retail Space 1 stall/ 25m2 net area = 11.52 - TOTAL: = 66.76 - Mix use deduction 10%: = 60.08	- Large Parking 8 stalls - Small Parking 50 stalls - HC Parking 4 stalls - Total 62 stalls RECEIVED DP1200 2020-MAY-25 Current Planning - plus 40 on street stalls



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






SCALE: 1/16" = 1'-0"
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 CHECKED:
 DATE: 19 MAY 20

CLIENT: 0742637 b.c. Ltd.
 PROJECT NO.: 2858

SHEET TITLE: SITE PLAN

SHEET NO.: **A1.1**

EXTERIOR MATERIALS & COLORS

CODE	COLOR	MATERIAL
①		HARDIEPANEL WALL SMOOTH FINISH FOLDED METAL FLASHING JOINTS COLOUR # TBS
②		6" HARDIEPLANK SIDING (HORIZONTAL) TRUE GRAIN (CEDARTON)
③		6" HARDIEPLANK SIDING (HORIZONTAL) COLOUR # TBS
④		HARDIEPANEL SMOOTH FINISH FOLDED METAL FLASHING JOINTS COLOUR # TBS
⑤		METAL ROOF COLOUR # TBS
⑥		VINYL WINDOWS
⑦		ALUMINUM RAILING



FRY STREET ELEVATION (WEST)

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SCALE

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PROJECT NO.
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SHEET TITLE

BUILDING "A"
 BUILDING ELEVATION

SHEET NO.

A3.1

PERSON



NORTH ELEVATION



MILTON STREET ELEVATION (SOUTH)



EAST ELEVATION

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SHEET TITLE
 BUILDING "A"
 BUILDING ELEVATION

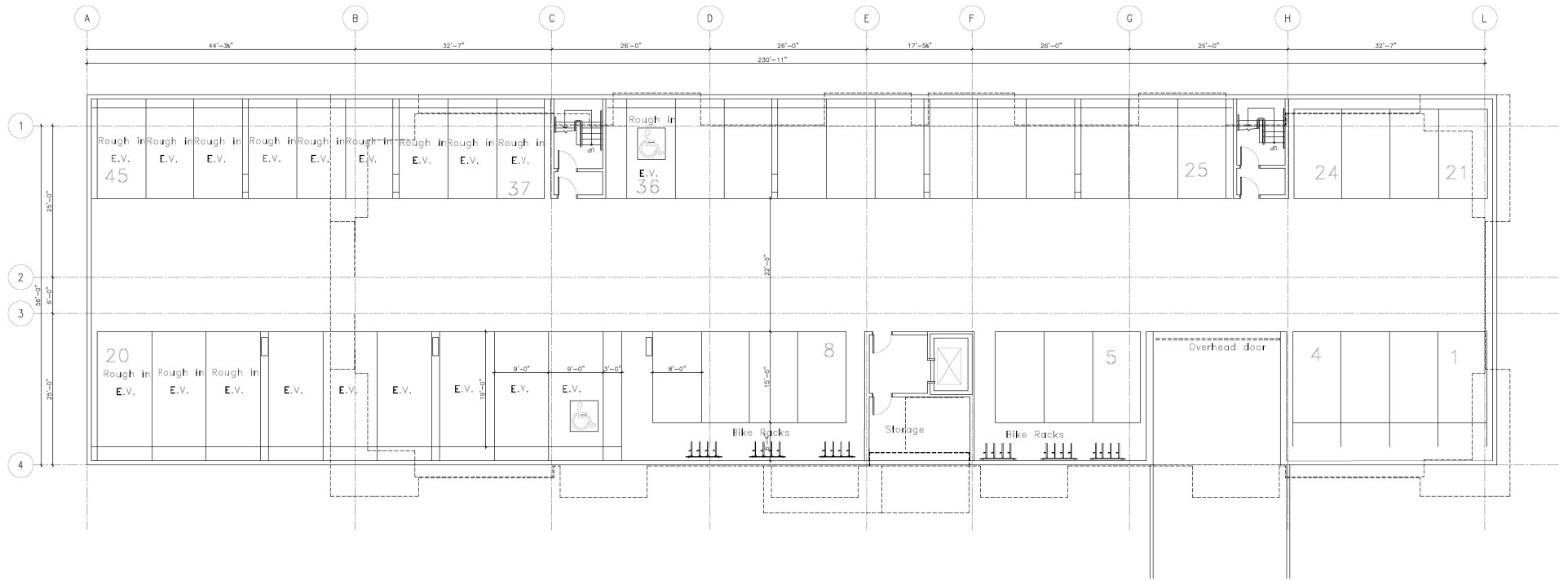
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UNDERGROUND PARKING

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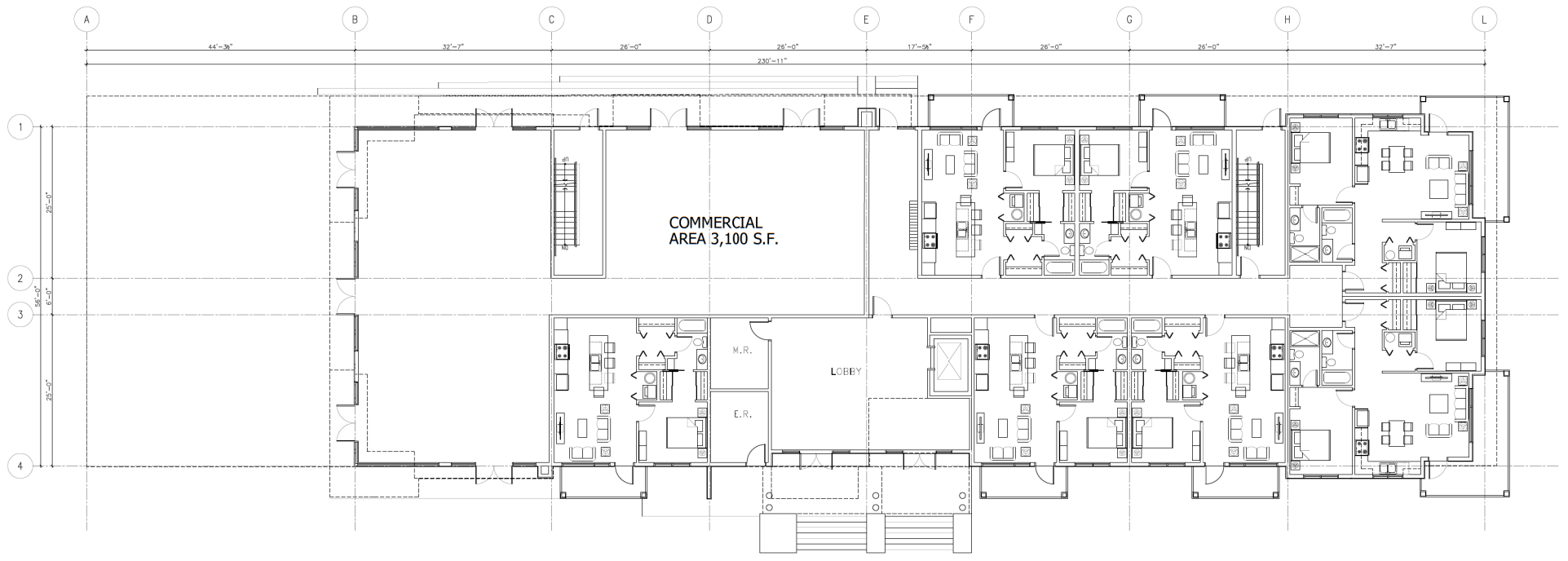
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SHEET TITLE
 UNDERGROUND PARKING

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MAIN FLOOR

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SEAL

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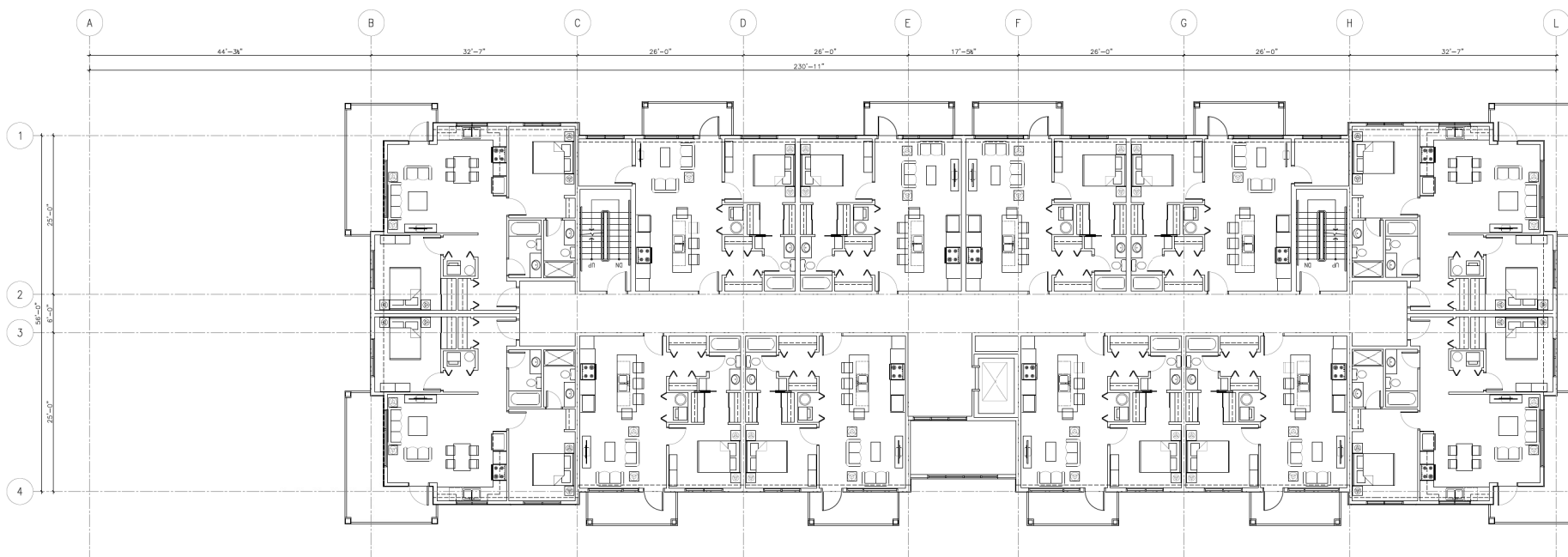
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PROJECT
 155 FRY STREET
 NANAIMO, BC

CLIENT
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 PROJECT NO. 2858

SHEET TITLE
 BUILDING "A"
 MAIN FLOOR PLAN

SHEET NO.
A2.0
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TYPICAL FLOORS 2, 3 & 4 TH

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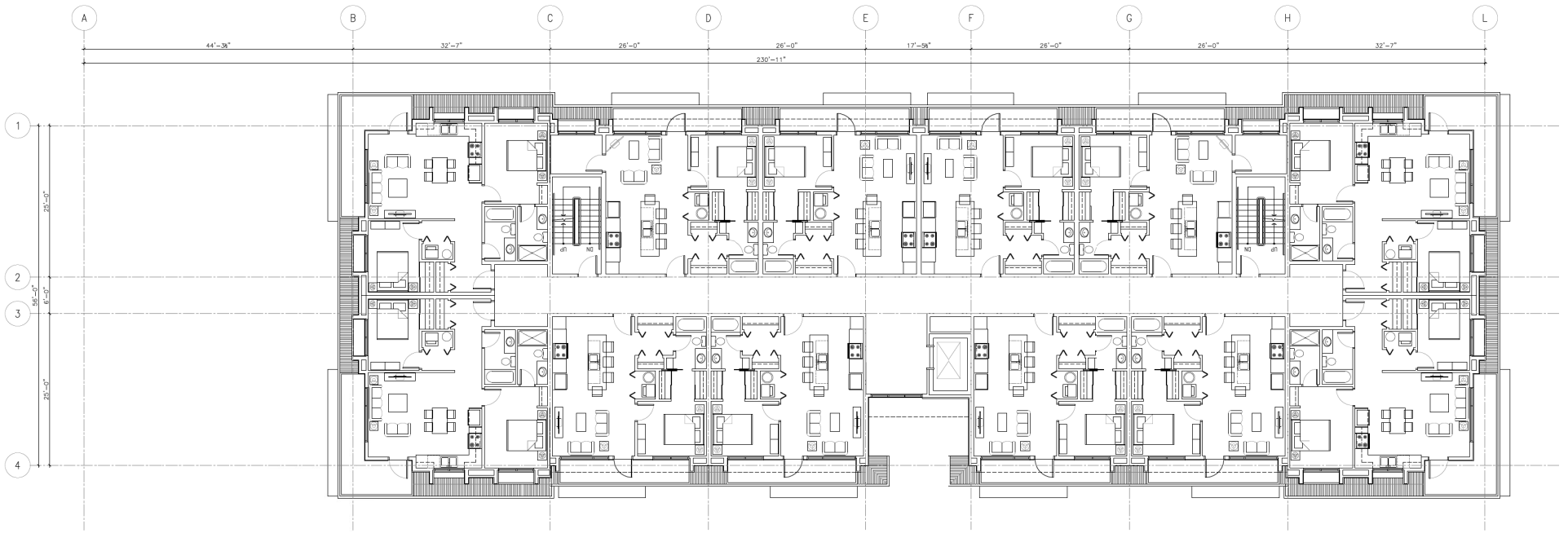
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SHEET TITLE
BUILDING "A"
TYPICAL FLOOR PLAN

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FIFTH FLOOR

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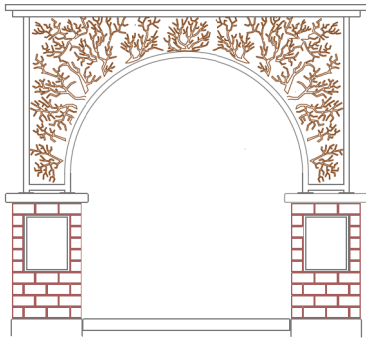
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PROJECT
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SHEET TITLE
 BUILDING "A"
 FIFTH FLOOR PLAN

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Public Gateway - Art Concept 1:20

Brick piers to match existing - opportunity for inset artwork.
Metal archway - opportunity for art (proy shown) and lighting.

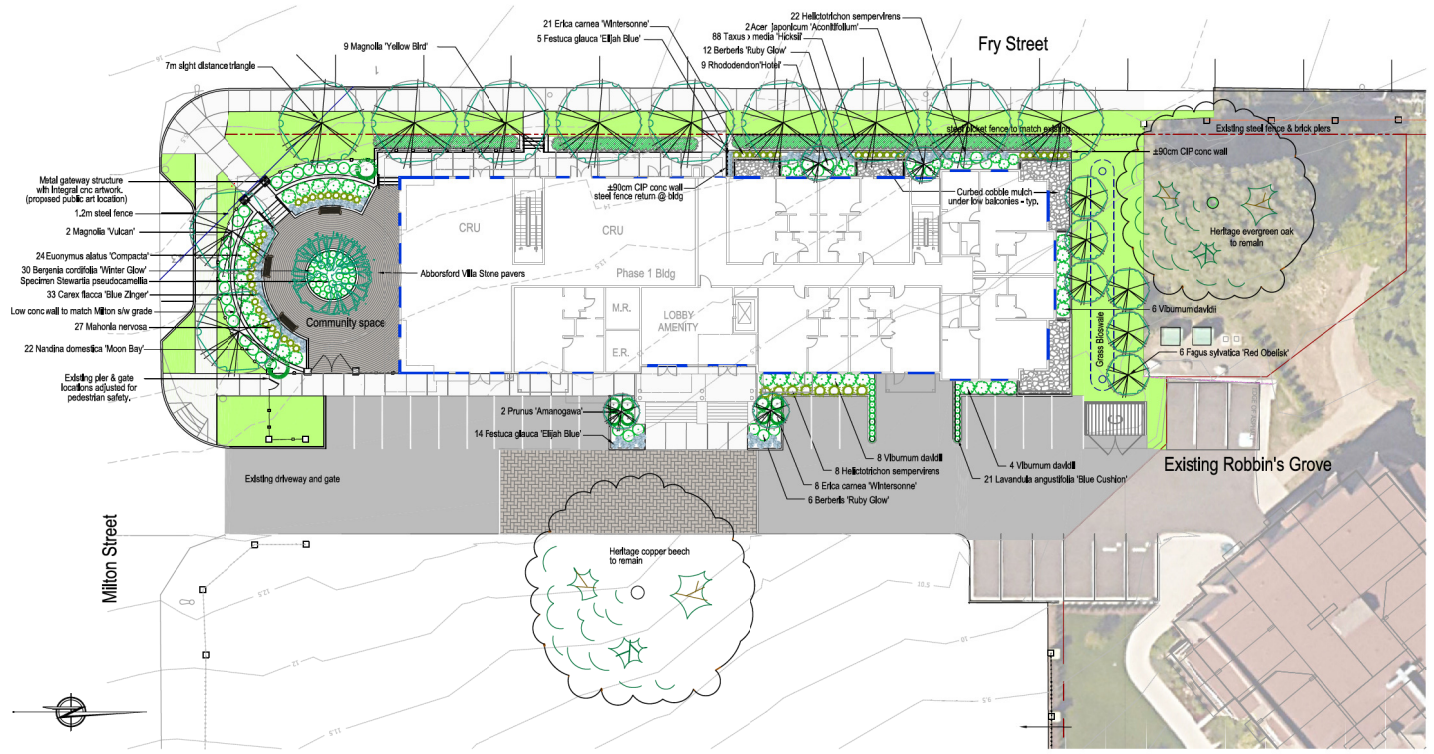
Landscape Design Rationale

The heritage context (Samuel Robb's arborum) informs the landscape design which features a range of less common specimen trees.

The landscape features a compact public plaza space that will serve as a forecourt to a proposed CRU and a place for the expression of public art.

Necessary low (under 1m ht) retaining walls provide crisp grade changes and provide a sense of intimate scale for the square. Accessibility is accommodated from the existing internal driveway.

Storm water management is proposed at the north end of the building and is de-emphasized as a simple (effective) grass bioswale.



DRAFT - NOT FOR CONSTRUCTION

Plant List

Sym. No.	Botanical Name	Common Name	Size	Spacing
TREES				
AJA 2	Acer japonicum 'Aconitifolium'	Full moon maple	#20	
FSR 6	Fagus sylvatica 'Red Obelisk'	RO columnar beech	#20	3.6m O.C.
MV 2	Magnolia 'Vulcan'	Vulcan magnolia	6cm cal.	
MYB 9	Magnolia 'Yellow Bird'	YB magnolia	6cm cal.	8m O.C.
PA 2	Prunus serrulata 'Amanogawa'	Amanogawa cherry	5cm cal.	
SP 1	Stewartia pseudocamellia	Stewartia specimen	9-10cm cal.	
SHRUBS				
BGR 18	Berberis thunbergii 'Ruby Carousel'	RC barberry	#3 pot	1m O.C.
EW 29	Erica carnea 'Wintersonne'	Wintersonne heather	#1 pot	1m O.C.
EAC 24	Euonymus alatus compacta	Dwarf burning bush	#3 pot	1.2m O.C.
MN 48	Mahonia nervosa	Dull Oregon grape	#1	70cm J.C.
NOM 22	Nanodina domestica 'Moon Bay'	MB heavenly bombao	#2 pot	1m O.C.
RH 9	Rhododendron 'Hickel'	Hickel (yellow) rhodo	#3 pot	1m O.C.
TMH 88	Taxus x media 'Hickel'	Hickel's Yew	#3 pot	61cm J.C.
VD 18	Viburnum davidii	David's viburnum	#2 pot	1m O.C.
PERENNIALS & GRASSES				
BOW 30	Bergenia cordifolia 'Water Glow'	WG bergenia	#1 pot	61cm O.C.
CFB 33	Carex flacca 'Blue Zinger'	BZ sedge	#1 pot	1m O.C.
FCE 19	Festuca glauca 'Elijah Blue'	Elijah blue fescue	#1 pot	61cm O.C.
HS 30	Helictotrichon sempervirens	blue oat grass	#1 pot	1m O.C.
LBC 21	Lavandula 'Blue Cushion'	BC lavender	#1 pot	61cm O.C.

Revisions	Date	Details	Init.
11/05/20	DPA		JPH
30/09/19	Public Art location		JPH
9/11/18	Application for Rezoning		JPH

Robins Grove - Fry Street, Nanaimo Proposed Phase 1 Landscape

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Reference: 2858

May 25th, 2020

Dear Ms. Lainya Rowett
Development Planner
Community Development

155 Fry Street , Nanaimo BC Tier 1 proposal

The proposed project proposing to use Tier 1 additional density and here are the 3 Categories requirements:

Category 2: Retention and Restoration of Natural Features (8 points required)

	Amenity	Points
E	The Proposed development includes Street Trees, Yes	1
F	After re-panting, the proposed development does not result in a net loss of trees with a caliper greater than 6cm. Yes,, No trees on site with a caliper greater than 6 cm.	1
G	Post development, the total amount of trees on property, or adjacent road right of way or public space is at least 20% more than the number of trees on the property before development. Yes, 8 trees in property and proposal is 27 trees,	2
H	Restore a minimum of 50% of the site area (Excluding the building footprint) by maintaining pervious surfaces.	3
I	The Development includes permanent educational signage or display regarding the protected or planted pants, trees, animal habitat or other natural features on the site.	1
	Total	8

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Category 3: Parking and Sustainable Transportation (10 points required)

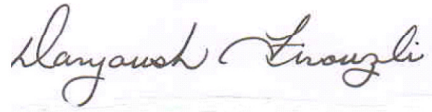
	Amenity	Points
D	The parking are within the proposed development includes at least one electric vehicle charging station.	1
E	A Minimum of 80% of the total parking area is located underground or in a parking structure incorporated into design of the building.	4
F	The proposed development includes covered and designated parking spaces for a motorized scooter or plug in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate, a) multiple family residential development: 1 motorized Scooter or motorcycle space per 15 dwelling units	2
H	Parking does not exceed minimum parking requirements within the City's Development parking Regulations Bylaw.	2
I	The development includes signage regarding the sustainable transportation alternatives available on site or within the immediate area.	1
	Total	10

Category 5: Energy Management (11 points required)

	Amenity	Points
A	The proposed development meets at least the requirements of the Step 2 of BC Energy Step Code and exceeds the requirement specified in the Building Bylaw.	10
D	The development includes permanent education signage or display regarding sustainable energy management practices used on site	1
	Total	10

Please feel free to contact if there is any question

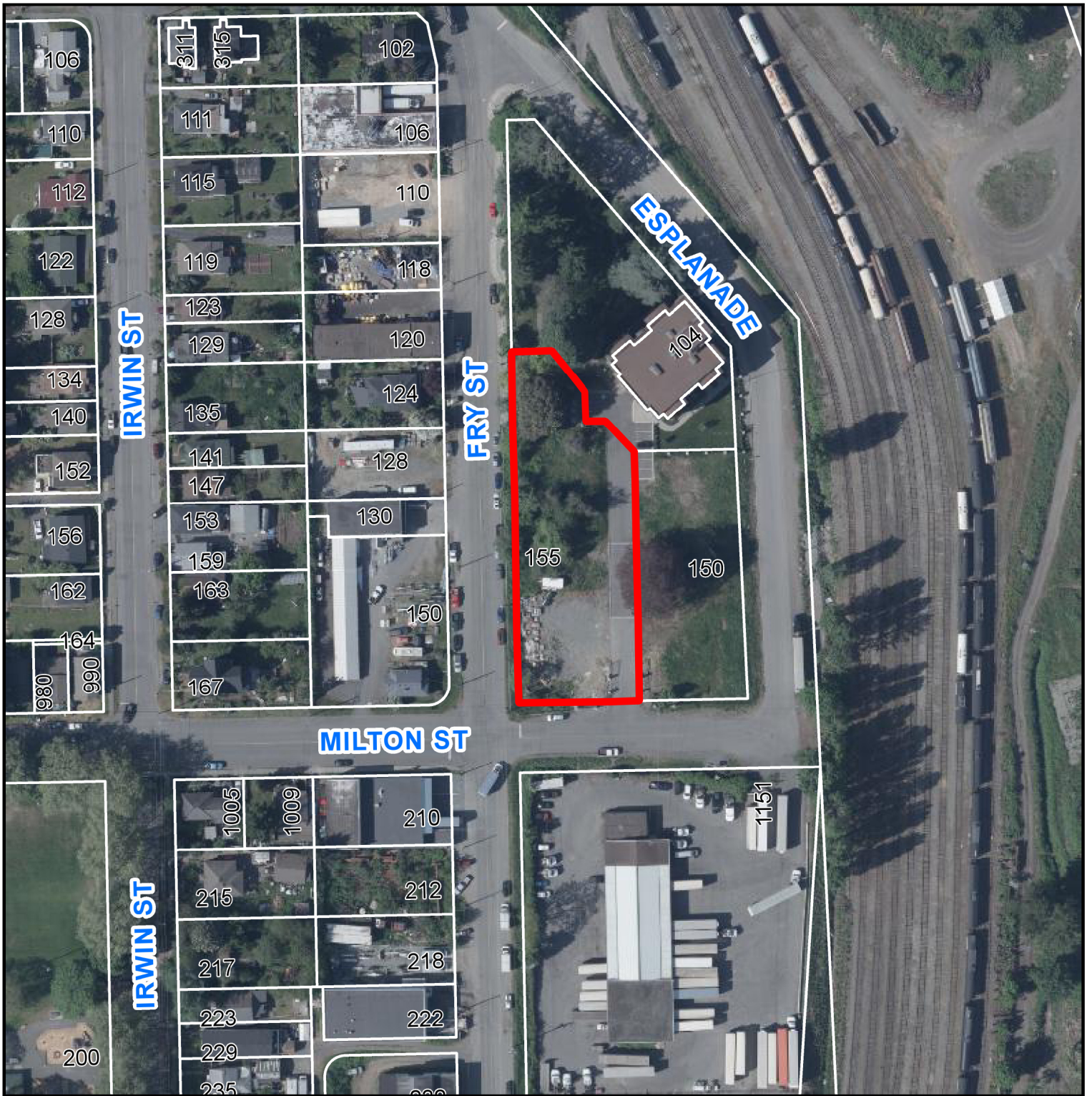
Sincerely,

A handwritten signature in cursive script, reading "Daryoush Firouzli". The signature is written in black ink on a light-colored background.

Daryoush Firouzli

Architect AIBC, RAIC, AIA, MArch

AERIAL PHOTO



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