



COMMUNITY DEVELOPMENT

BOARD OF VARIANCE

NOTICE OF MEETING

A meeting of the Board of Variance will be held on Thursday, 2020-AUG-20, at 5:30 p.m. in the Board Room, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC to hear the following appeal:

APPEAL NO: **BOV00740**

Applicants: DOUGLAS RIDDELL (SUN PORCH HOMES LTD.)

Civic Address: 458 PARK AVENUE

Legal Description: SOUTH 1/2 OF LOT 2 & 4, BLOCK 2, SECTION 1, NANAIMO DISTRICT, PLAN 1642

Purpose: Zoning Bylaw No. 4500 requires a minimum front yard setback of 7.0m where a property abuts a major road and a minimum rear yard setback of 7.5m in the R1 zone. The applicant is requesting a front yard setback of 4.0m and a rear yard setback of 1.5m in order to construct a single family dwelling. This represents setback variances of 3.0m and 6.0m, respectively.

Zoning Regulations: Single Family Residential – R1. The applicant requests a variance to the “City of Nanaimo Zoning Bylaw 2011 No. 4500”:

Section 7.5.1

A minimum front yard setback of 4.5m is required.

A minimum rear yard setback of 7.5m is required.

Section 7.5.4

Where a property abuts a major road, an additional 2.5m front yard setback is required.

You are being notified as an owner or tenant of land that is adjacent to land that is the subject of this application. If you deem your property is affected by the proposed variance, you will be given opportunity to be heard by the Board of Variance. In light of COVID-19, members of the public may submit comments in writing, pre-register to attend in-person, or call-in to speak to the Board directly. **If you wish to provide written response, attend in-person, or call-in to speak to this application, you must contact the Planning Department no later than 4:00 p.m., August 20th, 2020 by emailing planning@nanaimo.ca or calling 250-755-4429 (x4220).** The Board of Variance decision will apply to subsequent owners of the land.

LOCATION PLAN



BOARD OF VARIANCE NO. BOV00740

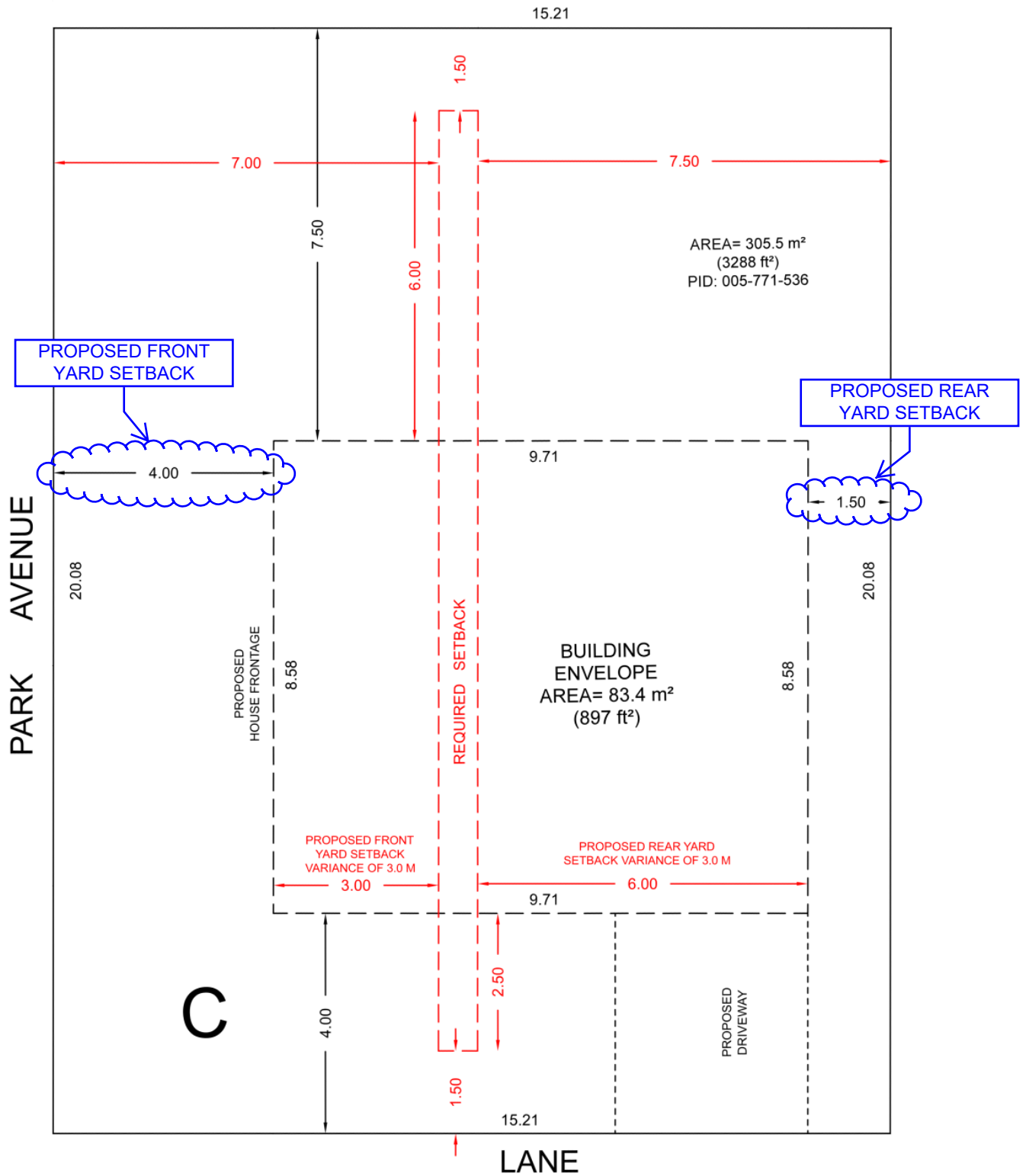


Subject Property

CIVIC: 458 PARK AVENUE

LEGAL: THE SOUTH 1/2 OF LOT 2 & 4, BLOCK 2, SECTION 1, NANAIMO DISTRICT, PLAN 1642

PROPOSED SITE PLAN



RECEIVED
BOV740
2020-AUG-06
Current Planning