

# WAKESIAH RESIDENTIAL

NANAIMO, B.C.

PROJECT # 17018

CIVIC ADDRESS: 307 HILLCREST AVE, 308 & 326 WAKESIAH AVE, NANAIMO BC  
LEGAL DESCRIPTION: LOT 10, SECTION 1, NANAIMO DISTRICT, PLAN 18677  
LOT 1, SECTION 1, NANAIMO DISTRICT, PLAN 18677  
LOT 1, SECTION 1, RANGE 5, NANAIMO DISTRICT, PLAN 28419

ISSUED FOR DEVELOPMENT PERMIT - APRIL 7TH, 2020



ARTISTIC RENDERING

## PROJECT TEAM:

CLIENT:  
ISLAND WEST COAST DEVELOPMENTS LTD.  
2214 MCCULLOUGH ROAD  
NANAIMO, BC  
TEL.: 250-756-9665

ARCHITECT:  
WA ARCHITECTS LTD.  
SUITE 301, 1444 ALBERNI STREET,  
VANCOUVER, B.C.  
TEL.: 604-685-3529

CIVIL ENGINEERING:  
ALPIN MARTIN CONSULTANTS LTD.  
104-6596 APPLECROSS RD.  
NANAIMO, BC  
TEL.: 778-841-0484

LANDSCAPE ARCHITECT:  
LOMBARD NORTH GROUP  
836 CORMORANT STREET,  
VICTORIA, BC  
TEL.: 250-386-3366

SURVEYOR:  
WILLIAMSON & ASSOCIATES PROFESSIONAL  
LAND SURVEYORS  
3088 BARONS RD.  
NANAIMO, BC  
TEL.: 250-756-7723

## DRAWING LIST

ARCHITECTURAL	A000	COVER	CIVIL	17-328-00 COVER
A1.01	EXISTING SURVEY		17-328-01	GENERAL NOTES
A1.02	SITE PLAN		17-328-02	KEY PLAN
A1.03	AVERAGE GRADE PLAN		17-328-03	OFFSITE ROADWORKS PLAN
A2.01	GROUND LEVEL FLOOR PLAN		17-328-04	ONSITE SERVICING PLAN
A2.02	LEVEL 2 FLOOR PLAN		17-328-05	STORM SERVICING PLAN
A2.03	LEVEL 3 FLOOR PLAN		17-328-06	WATER SERVICING PLAN
A2.04	LEVEL 4 FLOOR PLAN		17-328-07	SANITARY SERVICING PLAN
A2.06	ROOF PLAN		17-328-08	ONSITE GRADING PLAN
A2.07	UNIT PLANS		17-328-09	CRU PROFILES
A3.01	ELEVATIONS		17-328-10	WALKWAY STORM PLAN & PROFILE
A3.02	ELEVATIONS		17-328-11	GARAGE ACCESS PROFILE
A3.03	ELEVATIONS		17-328-12	COURTYARD ACCESS PROFILE
A3.04	ELEVATIONS		17-328-13	DITCH PLAN & PROFILE
A3.05	ELEVATIONS		17-328-14	DETAILS
A4.01	SECTIONS		17-328-15	ONSITE STORM WATER MANAGEMENT
A4.02	SECTIONS		17-328-16	OFFSITE STORM WATER MANAGEMENT PLAN
A4.03	SECTIONS			
A5.01	RENDERINGS		LANDSCAPE	P-1 LANDSCAPE PLAN
A5.02	RENDERINGS			
A5.03	RENDERINGS			
A5.04	NEIGHBORHOOD CONTEXT/STREETSCAPE			
A6.01	SHADOW STUDIES			
A6.02	SHADOW STUDIES			
A7.01	MATERIAL BOARD			
A7.02	PRECEDENTS			



CONTEXT PLAN

N.T.S.

## PROJECT STATISTICS

Wakesiah Residential

Project No. 17018

REVISION NO.	DATE	02-Apr-20
SITE INFORMATION		
LEGAL DESCRIPTION		
LOT 10, SECTION 1, NANAIMO DISTRICT, PLAN 18677		
LOT 1, SECTION 1, RANGE 5, NANAIMO DISTRICT, PLAN 28419		
CIVIC ADDRESS		
307 HILLCREST AVE, 308 & 326 WAKESIAH AVE, NANAIMO BC		
ZONING		
EXISTING		
R1 & COR1		
PROPOSED		
COR2		
SITE AREA (ft <sup>2</sup> )		
48,868		
FMR		
Base FMR		
1.25		
FMR Bonus Tier 1		
0.25		
FMR Bonus Tier 2		
0.25		
Total FMR		
1.75		
1.75		
SITE COVERAGE		
60%		
BUILDING HEIGHT		
59.05 (18.00m)		
52.49 (16m)		
SETBACKS		
FRONT		
9.84' (3m) to 19.68' (6m)		
9.84' (3m)		
REAR		
24.81' (7.5m)		
24.58' (7.5m)		
SIDE		
9.84' (3m)		
SIDE		
0.00' (0m)		
1.67' (0.51m)		
BUILDING DATA		
RETAIL (GROUND LEVEL)		
CRU-1		
1471		
1		
1471		
CRU-2		
1561		
1		
1561		
CRU-3		
2,344		
1		
2344		
TOTAL		
3		
5,376		
STUDENT HOUSING (LEVELS 2-4)		
UNITS		
DESCRIPTION		
NET AREA (ft <sup>2</sup> )		
# OF UNITS		
COMBINED (ft <sup>2</sup> )		
UNIT A		
STUDIO + 1BATH		
355		
69		
27,255		
UNIT B		
STUDIO + 1BATH		
354		
72		
21,683		
UNIT B1		
STUDIO + 1BATH		
317		
15		
4,755		
UNIT C		
2BR + 1BATH		
710		
3		
2,130		
UNIT D		
2BR + 2BATH		
653		
3		
2,580		
TOTAL		
162		
58,617		
SITE DATA		
GROSS FLOOR AREA		
83,462		
HORIZONTAL PROJECTION		
28,181		
PARKING DATA		
PROPOSED PARKING		
# OF PARKING		
Proposing 0.30 spaces per bed		
STUDENT PARKING		
50		
COMMERCIAL PARKING		
10		
VISITOR'S PARKING		
2		
ACCESSIBLE PARKING		
2		
TOTAL PROPOSED PARKING		
64		
TOTAL PROPOSED LOADING SPACES		
1		
REQUIRED PARKING		
# OF PARKING		
RESTAURANT		
1 space per 3 seats (30 seats proposed)		
10		
TOTAL REQUIRED RESTAURANT PARKING		
10		
STUDENT HOUSING		
Schedule B - Area 2 - Student Housing - 0.40 per bed		
61		
1 motor's space for every 22 required parking (included)		
3		
21-100 required parking (2000-2500 sq ft parking, 2000-2500 sq ft)		
2		
40% of required stalls allowed for retail use (included)		
24		
TOTAL REQUIRED (RESTAURANT + STUDENT HOUSING) PARKING		
71		
LOADING SPACES		
Total Gross Floor Area (m <sup>2</sup> ) = 75,800m <sup>2</sup> + fraction of 2800 m <sup>2</sup>		
7840		
3		
TOTAL REQUIRED LOADING SPACES		
3		
BICYCLE PARKING DATA		
PROPOSED BICYCLE PARKING		
short-term residential		
18		
long-term residential		
105		
short-term retail		
6		
long-term retail		
0		
TOTAL PROPOSED BICYCLE PARKING		
REQUIRED BICYCLE PARKING	residential short-term residential = 0.1 space per dwelling	18
	residential long-term residential = 0.5 space per dwelling	81
	restaurant short-term retail = 1 space per 15 seats	2
	restaurant long-term retail = not required	0
TOTAL REQUIRED BICYCLE PARKING		99

WA  
ARCHITECTS

Vancouver 301 - 1444 Alberni Street, Vancouver, BC V6G 2Z4 | T: 604.685.3529  
Vancouver 104 - 3212 Jackson Road, Victoria, BC V8B 0J5 | T: 250.591.4953

Architectural,  
Media Personal.

\* NOTE: UNIT SIZES AND MIX IS SUBJECT TO CHANGE DURING DESIGN  
DEVELOPMENT DUE TO MARKET FORCES.

ISSUED FOR DEVELOPMENT PERMIT - APRIL 7TH, 2020

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EXCLUSIVE PROPERTY OF WA ARCHITECTS LTD. AND SHALL  
NOT BE USED WITHOUT THE ARCHITECT'S PERMISSION. ALL  
DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR  
BEFORE COMMENCING WORK.

NORTH ARROW:

OWNER/CLIENT:



GENERAL NOTES:

02	ISSUED FOR DEVELOPMENT PERMIT	20/04/20
01	ISSUED FOR REZONING	18/06/20
NO	ISSUE	Y.M.C.D.

SEAL:

RECEIVED  
DP11191  
2020-APR-08  
Current Planning

CONSULTANT:

WA  
ARCHITECTS

PROJECT NAME:  
WAKESIAH RESIDENTIAL

PROJECT ADDRESS:  
307 HILLCREST AVE, 308 & 326 WAKESIAH AVE  
NANAIMO, B.C.

DRAWING TITLE:  
COVER SHEET

PROJECT NO.: 17018 DRAWN BY: BB  
SCALE: AS NOTED REVIEW BY: DM  
DWG NO.: A0.00

# PROJECT STATISTICS

## Wakesiah Residential

Project No.: 17018

REVISION NO.08		DATE:	02-Apr-20
<b>SITE INFORMATION</b>			
LEGAL DESCRIPTION	LOT 10, SECTION 1, NANAIMO DISTRICT, PLAN 18677 LOT 1, SECTION 1, NANAIMO DISTRICT, PLAN 18677 LOT 1, SECTION 1, RANGE 5, NANAIMO DISTRICT, PLAN 28419		
CIVIC ADDRESS	307 HILLCREST AVE, 308&326 WAKESIAH AVE, NANAIMO BC		
ZONING	EXISTING	REQUIRED	PROPOSED
	R1 & COR1		COR2
SITE AREA (ft²)	48,868		
FSR	Base FSR	1.25	
	FSR Bonus Tier 1	0.25	
	FSR Bonus Tier 2	0.25	
	<b>Total FSR</b>	<b>1.75</b>	<b>1.75</b>
SITE COVERAGE		60%	58%
BUILDING HEIGHT		59.05' (18.00m)	52.49' (16m)
SETBACKS	FRONT	9.84' (3m) to 19.68' (6m)	9.84' (3m)
	REAR	24.61' (7.5m)	24.58' (7.5m)
	SIDE	9.84' (3m)	9.84' (3m)
	SIDE	0.00' (0m)	1.67' (0.51m)
<b>BUILDING DATA</b>			
RETAIL (GROUND LEVEL)			
CRU-1		1471	1471
CRU-2		1561	1561
CRU-3		2,344	2344
	<b>TOTAL</b>	<b>3</b>	<b>5,376</b>
STUDENT HOUSING (LEVELS 2-4)			
UNITS	DESCRIPTION	NET AREA (ft²)	# OF UNITS
UNIT A	STUDIO + 1BATH	395	69
UNIT B	STUDIO + 1BATH	304	72
UNIT B1	STUDIO + 1BATH	317	15
UNIT C	2BR + 1BATH	710	3
UNIT D	2BR + 2BATH	863	3
	<b>TOTAL</b>	<b>162</b>	<b>58,617</b>
<b>SITE DATA</b>			
GROSS FLOOR AREA			85,462
HORIZONTAL PROJECTION			28,181
<b>PARKING DATA</b>			
<b>PROPOSED PARKING</b>			<b># OF PARKING</b>
Proposing 0.30 spaces per bed			
STUDENT PARKING			50
COMMERCIAL PARKING			10
VISITOR'S PARKING			3
ACCESSIBLE PARKING			2
<b>TOTAL PROPOSED PARKING</b>			<b>60</b>
<b>TOTAL PROPOSED LOADING SPACES</b>			<b>1</b>
<b>REQUIRED PARKING</b>			<b># OF PARKING</b>
RESTAURANT			
1 space per 3 seats (30 seats proposed)			10
<b>TOTAL REQUIRED RESTAURANT PARKING</b>			<b>10</b>
STUDENT HOUSING			
Schedule B - Area 2 - Student Housing - 0.40 per bed			61
1 visitor's space for every 22 required parking (included)			3
21-100 required parking stalls = 2 accessible parking stalls (included)			2
40% of required stalls allowed for small car (included)			24
<b>TOTAL REQUIRED (RESTAURANT + STUDENT HOUSING) PARKING</b>			<b>71</b>
LOADING SPACES			
Total Gross Floor Area (m2) = >5,600m2 + fraction of 2800 m2			7940
<b>TOTAL REQUIRED LOADING SPACES</b>			<b>3</b>
<b>BICYCLE PARKING DATA</b>			
PROPOSED BICYCLE PARKING		short-term residential	18
		long-term residential	105
		short-term retail	6
		long-term retail	0
<b>TOTAL PROPOSED BICYCLE PARKING</b>			<b>129</b>
REQUIRED BICYCLE PARKING		residential short-term residential = 0.1 space per dwelling	16
		residential long-term residential = 0.5 space per dwelling	81
		restaurant short-term retail = 1 space per 15 seats	2
		restaurant long-term retail = not required	0
<b>TOTAL REQUIRED BICYCLE PARKING</b>			<b>99</b>

**IWA**  
**ARCHITECTS**

VAN 301 — 1444 Alberni Street, Vancouver, BC V6G 2Z4 | T: 604.685.3529  
VIC 104 — 3212 Jacklin Road, Victoria, BC V5B 0J5 | T: 250.391.4933

Architecture.  
Made Personal.

\* NOTE: UNIT SIZES AND MIX IS SUBJECT TO CHANGE DURING DESIGN DEVELOPMENT DUE TO MARKET FORCES.