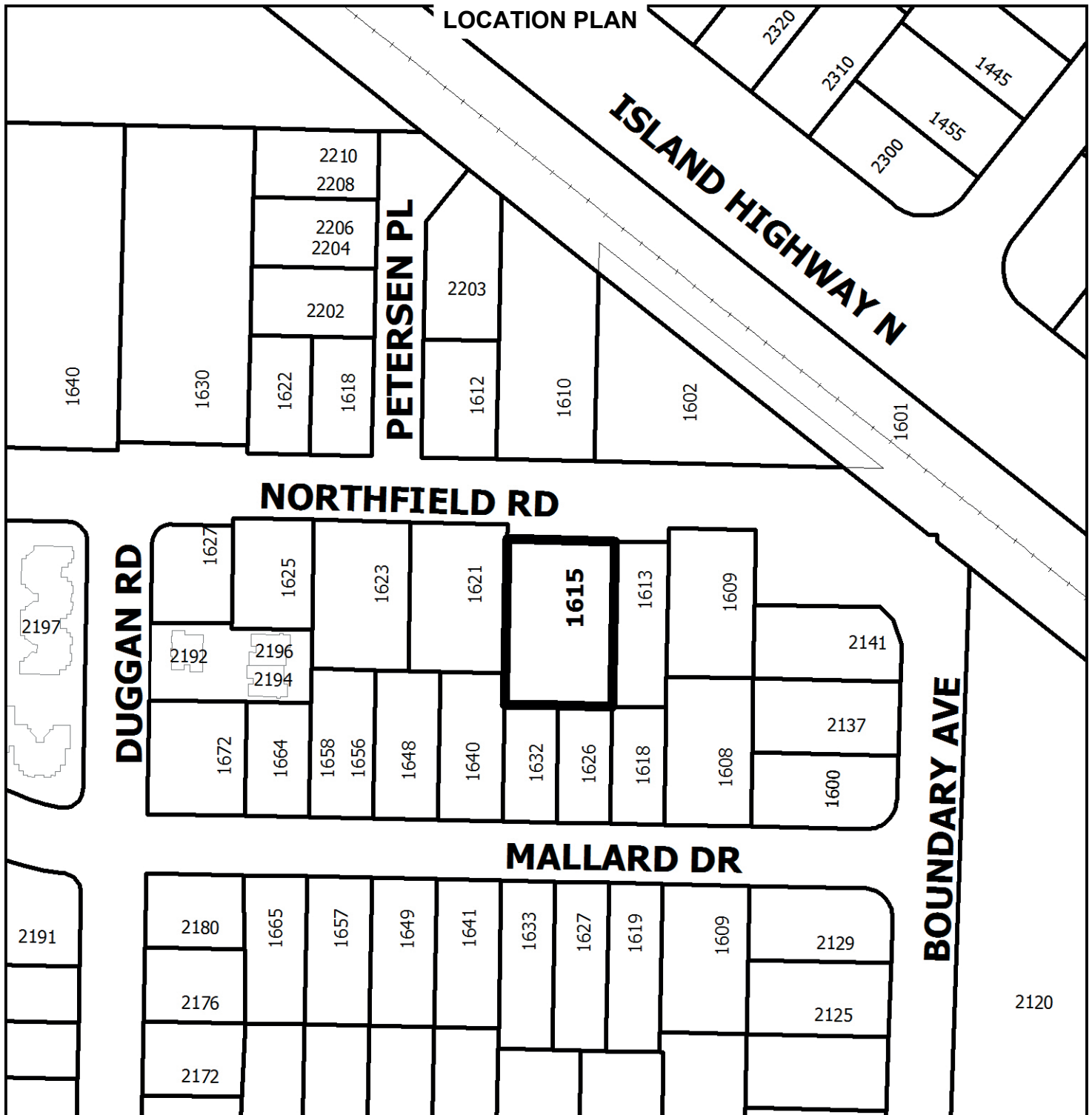


ATTACHMENT A
LOCATION PLAN



REZONING APPLICATION NO. RA000385

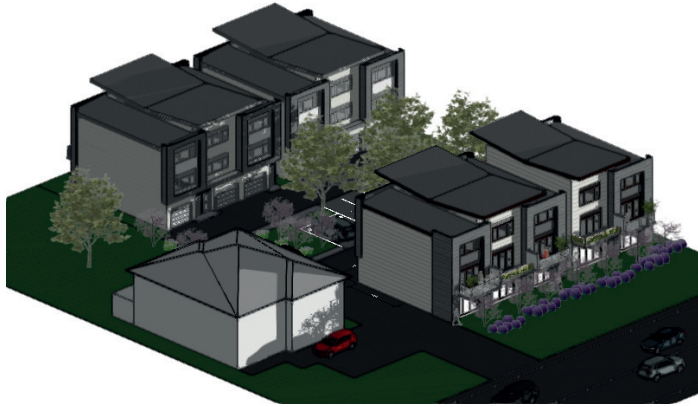
LOCATION PLAN

Civic : 1615 Northfield Road
Lot 1, Section 17, Range 8,
Mountain District, Plan VIP57545,
Except part in Plan VIP82531

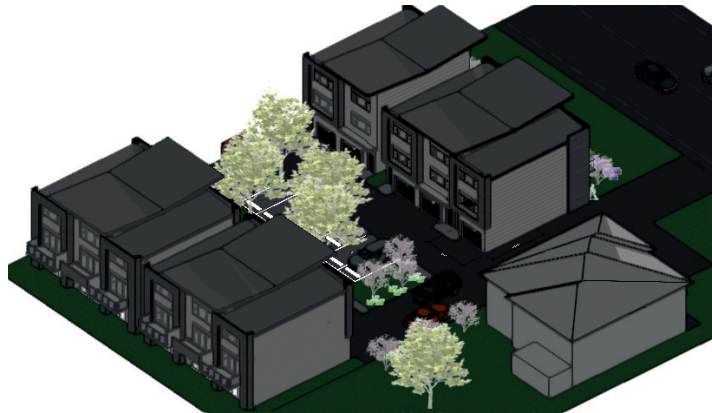


-  Subject Property to be Rezoned
-  Parks & Open Spaces

ATTACHMENT B CONCEPTUAL SITE PLAN & RENDERING



1 Siteplan Perspective
Scale: 1:225



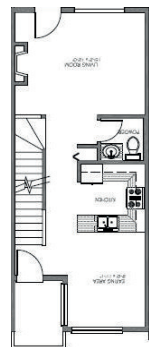
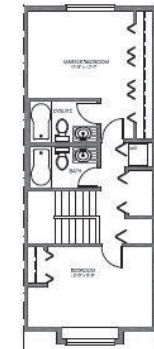
2 Site Perspective
Scale: 1:225



3 Site Plan
Scale: 3/32" = 1'-0"

NORTHFIELD RESIDENCES

1615 Northfield Road • Nanaimo, BC • Canada



2 Typical Unit 2nd & 3rd Floor Plans
Scale: 1/8" = 1'-0"

Zoning COR1

Setbacks	Allowed	Proposed
Front 1	3.5m	3.0m
Front 2	6.0m	3.0m
Side 1	1.5m	1.5m
Side 2	3.0m	1.5m
Rear	7.5m	3.0m

Density

Allowed	
FAR 1.0	
Site 18,335 sqft	
Proposed	
11 units x 1500sqft = 16,500sqft	
16500/18335 = 0.89 FAR	
Density Bonus available:	
Tier 1 FAR 1.25 Tier 2 FAR 1.5	

Building Height

Allowed:	
Min 2 stories, Maximum 14m	
Proposed:	
Min 3 stories, Maximum 10m	

Units

11 Two Bedroom Units (~ 1500sqft)

Parking

Required:
1.66 spaces for each dwelling unit
11 units x 1.66 = 18.26 spaces req.
(33% small car spots = 19x33=6)
Aisle width 5.5m

Proposed:
11 One Car Garages 9x19
2 Open Parking 9x19
6 Small Car Open Parking 8x18
Aisle width 5.8m

RECEIVED
RA385
2018-FEB-09
Current Planning & Subdivision

finn + associates design ltd.

ATTACHMENT C
AERIAL PHOTO



REZONING APPLICATION NO. RA000385



 Subject Property