

YELLOW CAB DESIGN RATIONAL



Context

Property is located in the South End of Nanaimo in the COR 3 zone. It is a transitional neighbourhood surrounded by a variety of zones that include R1 (Single Family) to the North, CSI (School) to the North-West, I1 (Industrial) to the West, R1 to the South-West, and more COR 3 to the immediate South and East. The site is relatively flat with a slight slope from the north-west corner to the south-east corner and potential view corridor to the East.

The site is presently undeveloped and is being used for the storage of a variety of large trucks and campers. Our intension is to relocate the Cab Company from it's present location just a couple blocks away at 151 Haliburton Street. The program for the building consists of a large two car garage supported by dispatch, office and storage space. This complies with the permitted property use and no variances are required.

Design Objectives

Working with the proprietors of the Yellow Cab company gave the opportunity to develop a design solution that meets the requirements of the business model while fitting in with the context of the neighbourhood. Vehicle and pedestrian access off Farquhar Street ensure safer access rather than the busier Irwin Street. The primary entrance to the building and the garage doors will face east ensuring safe and easy access to the building in addition to overflow parking at the South end of the property.

The parking area will be screened from Irwin Street with a combination of existing trees and proposed hedging. The entire property will be fenced for security purposes. The proposed two storey structure will have a low impact on the existing Streetscape and fits into the context of the neighbourhood in terms of scale. The design and scale of the building are intended to blend with the surrounding mix of uses. Proposed material list is made up of durable, sustainable products designed for lasting quality. Colours will be a modest blend of natural earth tones.

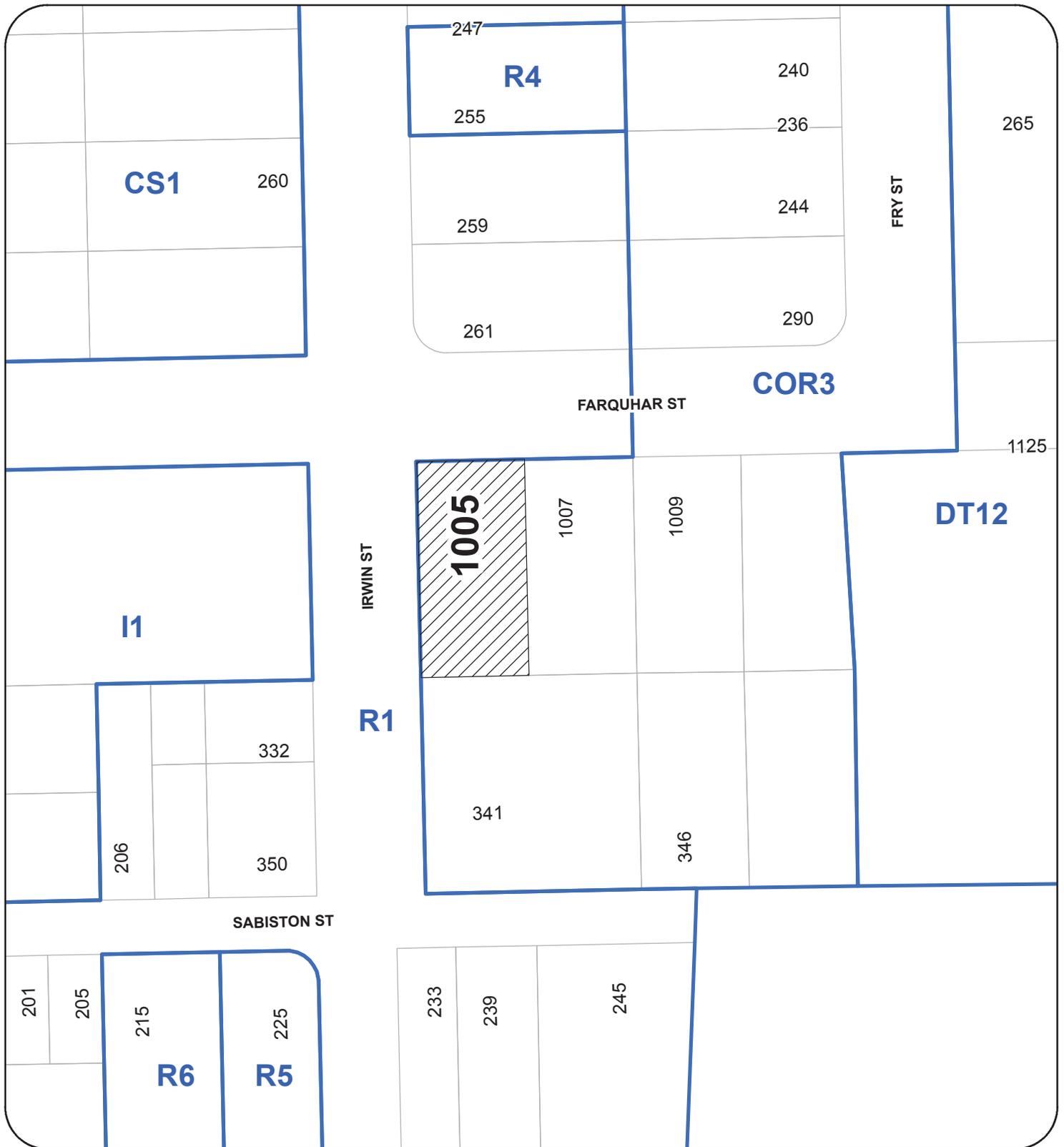
Form & Character

In terms of form, this solution is compatible with the existing scale of the neighbourhood with modest and thoughtful design solution that solves the Yellow Cab needs and ensures a positive upgrade to this site. Consultation with the Neighbourhood Groups were met with enthusiastic support. We hope the District shares in our opinion that this development will improve the aesthetics of the site and fits within the context of the neighbourhood.

NO.	DATE	REVISION
MATTHEW T. HANSEN architect		
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PROJECT TITLE: YELLOW CAB RELOCATION PLAN		
1005 FARQUHAR STREET NANAIMO, BC		
DRAWING TITLE: YELLOW CAB DESIGN RATIONAL		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN B.P.		A 02
SCALE	N/A	

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DP 1147
2019-JUN-19
Current Planning

LOCATION PLAN



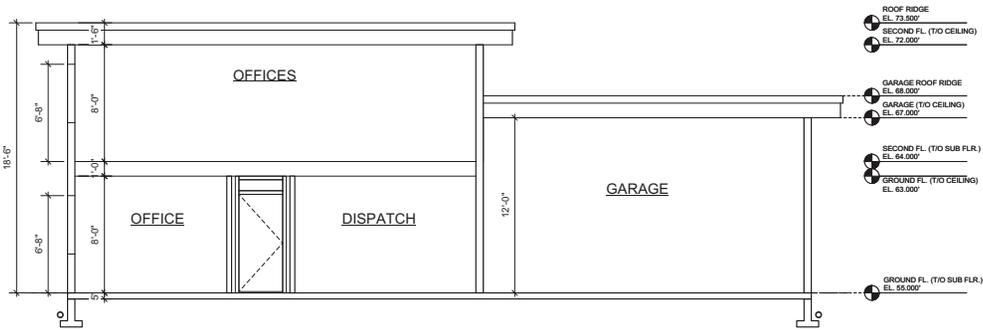
DEVELOPMENT PERMIT NO. DP001147

LOCATION PLAN

Civic: 1005 FARQUHAR STREET
Legal: NORTH 1/2 OF LOT 10, BLOCK A, SECTION 1
NANAIMO DISTRICT, PLAN 584



Subject Property



SECTION
A03 Scale: 1/4" = 1'-0"

ADDITIONAL NOTES:

- GLASS OTHER THAN SAFETY GLASS SHALL NOT BE USED FOR A SHOWER OR BATHTUB ENCLOSURE AS PER DIV. B/9.6.5.1)
- WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS AS PER DIV. B/9.29.10.4. (1)
- DAMP-PROOFING MATERIAL TO BE PROVIDED BETWEEN WOOD AND CONCRETE.
- CONTINUOUS OR INTERMITTENT EXHAUST FANS ARE REQUIRED TO ALL BATHROOMS AND KITCHEN AS PER DIV. B/9.32.3.3.
- ENGINEERED ROOF TRUSS DESIGN REQUIRED PRIOR TO INSTALLATION.

GENERAL NOTE:

YELLOW CAB OFFICE AND GARAGE @ 1005 FARQUHAR STREET, NANAIMO

CODES AND BY-LAWS:

THE FOLLOWING REGULATIONS GOVERN THE REQUIREMENTS FOR THE CONSTRUCTION OF THIS PROJECT:

- BRITISH COLUMBIA BUILDING CODE 2012
- NATIONAL FIRE PROTECTION ASSOCIATION
- PROVINCIAL PLUMBING AND ELECTRICAL CODES

* ANY PROBLEM CAUSED BY THE FAILURE TO COMPLY TO THE ABOVE REGULATIONS OR THE FAILURE TO INFORM THE ARCHITECT OF ANY DISCREPANCY CONTAINED WITHIN THIS SET OF DRAWINGS, OR ANY CHANGE NOTICE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

STATISTICS:

CIVIC ADDRESS: 1005 FARQUHAR STREET, NANAIMO
 LEGAL DESCRIPTIONS: LOT N1/2 OF 10, BLOCK A, SECTION 1, PLAN 584 P.I.D. 004-241-392
 ZONING: COR3
 SITE AREA: 8,712 SQ FT

SITE COVERAGE:

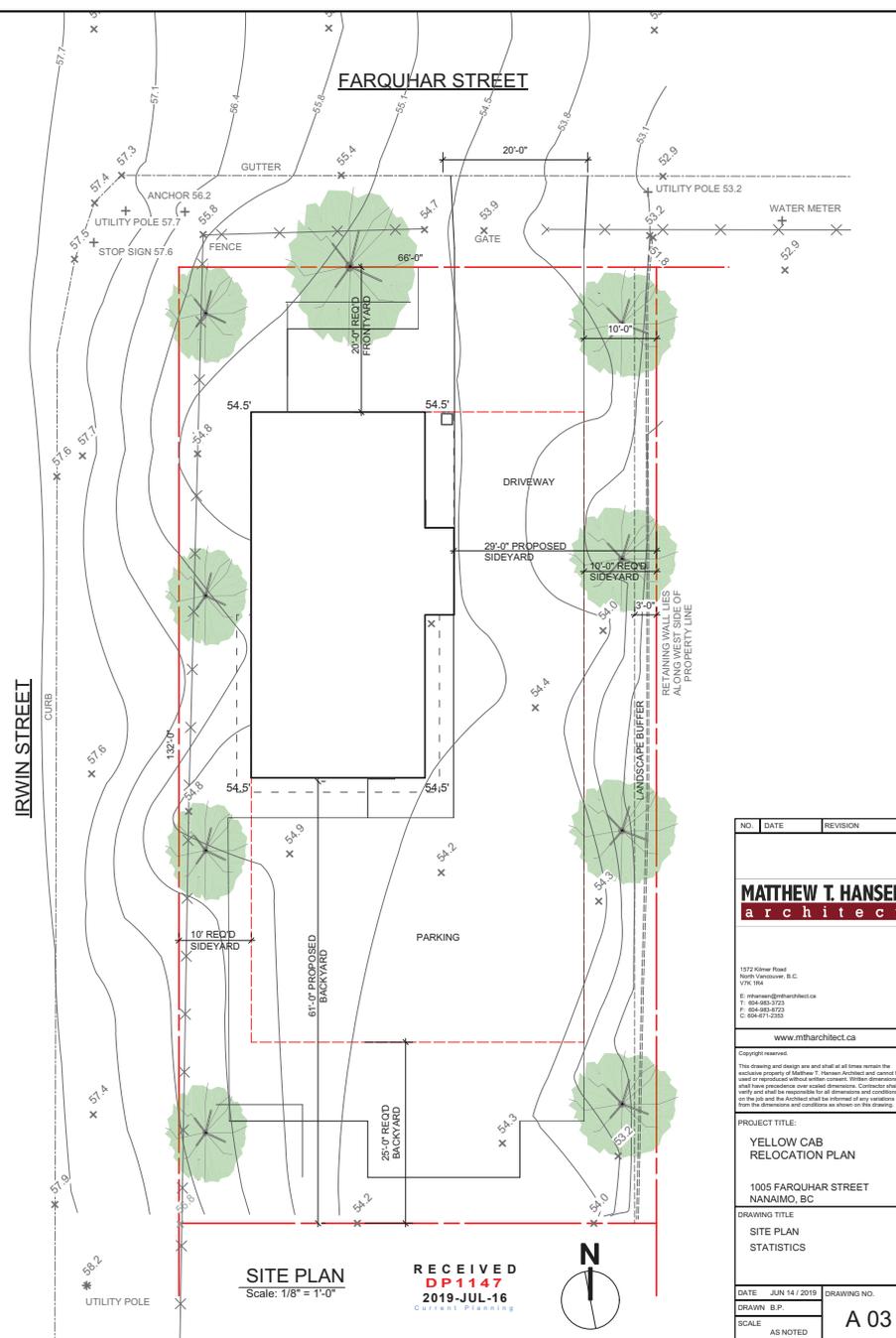
MAX. ALLOWED: 8,712 SQ FT X 35% 3,049 SQ FT
 PROPOSED: 1,350 SQ FT (15%)

F.S.R.:

MAX. ALLOWED:

EXEMPTIONS:

PROPOSED: GROUND FLOOR: 1257.7 SQ FT
 SECOND FLOOR: 716.2 SQ FT
 TOTAL: 1973.9 SQ FT



SITE PLAN
Scale: 1/8" = 1'-0"

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DP 1147
2019-JUL-16
CITY OF NANAIMO



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PROJECT TITLE: YELLOW CAB RELOCATION PLAN 1005 FARQUHAR STREET NANAIMO, B.C.		
DRAWING TITLE: SITE PLAN STATISTICS		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN	B.P.	
SCALE		A 03
AS NOTED		

SITE PLAN

**PARKSHORE
PROJECTS LTD.**

NORTH 1/2 OF LOT 10, BLOCK A,
SECTION 1, NANAIMO DISTRICT,
PLAN 584

ADDRESS : 1005 FARQUHAR STREET,
NANAIMO, B.C.

PROJECT SURVEYOR : D.W. HOLME

DRAWN BY : DWH DATE : DEC. 4/18

OUR FILE : 89405 REVISION :



**J.E. ANDERSON
& ASSOCIATES**
SURVEYORS - ENGINEERS

1A - 2811 SHEVTON ROAD, NANAIMO, B.C. V1T 2R1
TEL: 250-758-4821 FAX: 250-758-4850
EMAIL: dw@jeaandassociates.com
NANAIMO - VICTORIA - PARKSALLE - CAMPBELL HILL

LEGEND

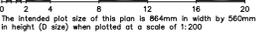
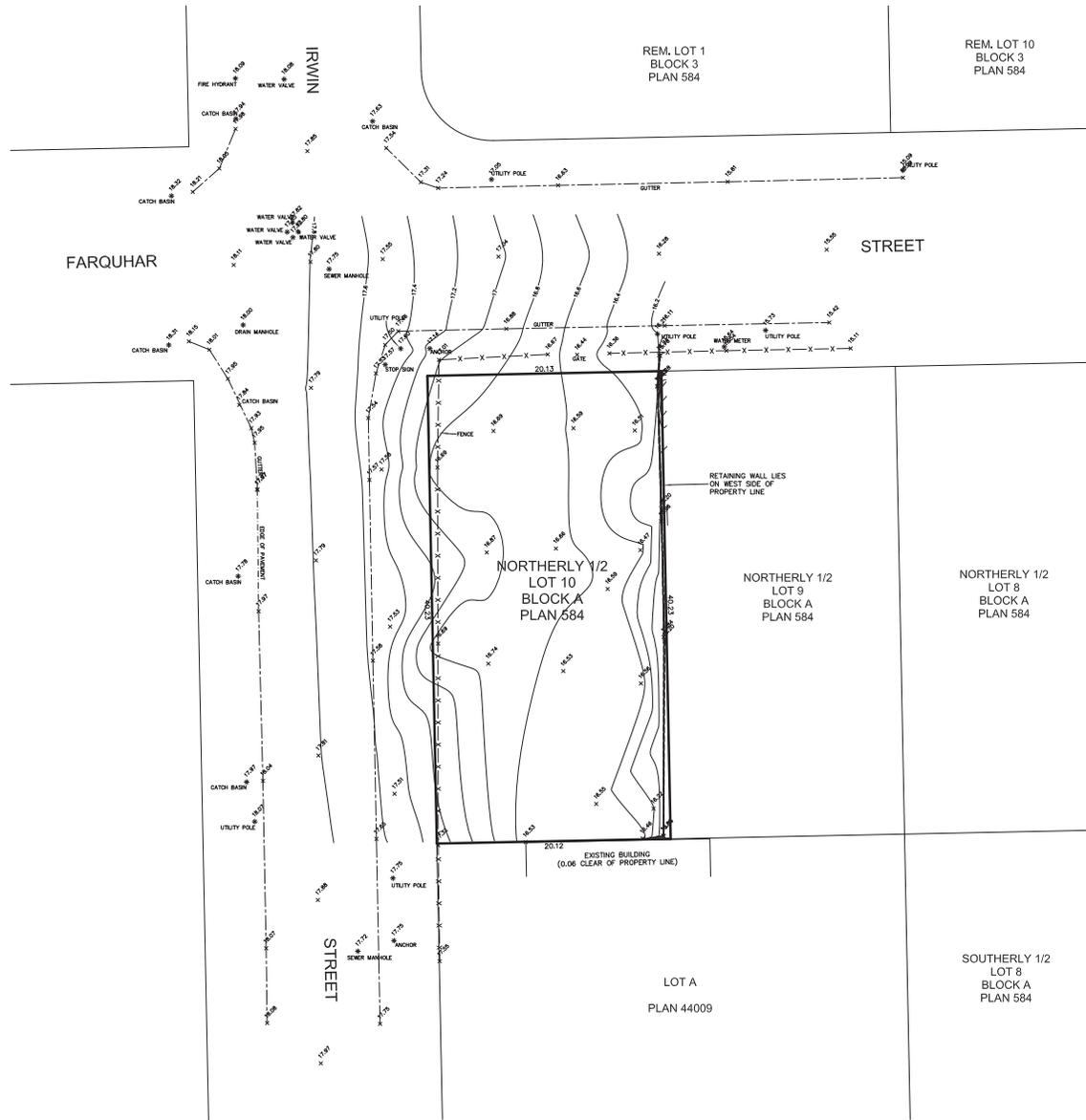
ALL DIMENSIONS ARE IN METRES

SUBJECT TO CHARGES SHOWN
ON TITLE NO. CA4082567
(PLAN 024-341-392)

DIMENSIONS ARE DERIVED FROM
LAND TITLE OFFICE RECORDS

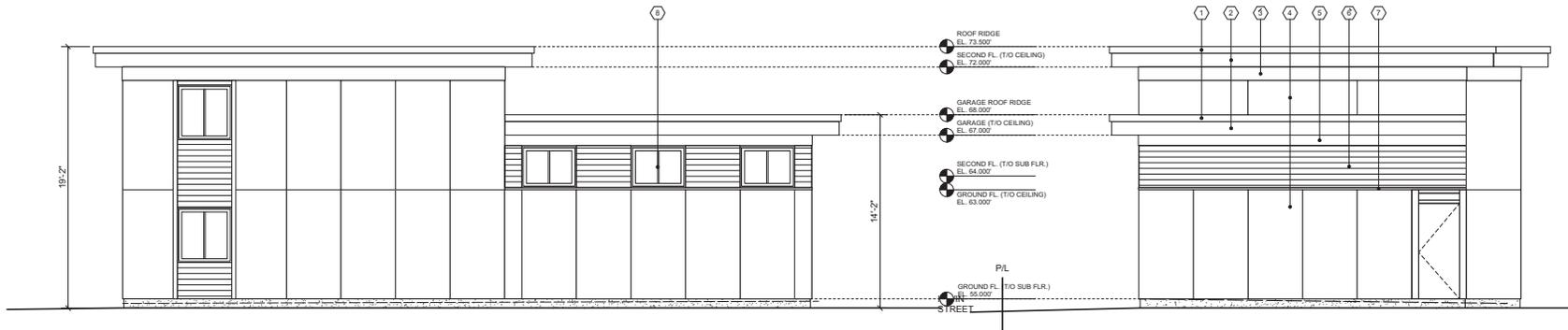
THIS PLAN HAS BEEN PREPARED IN
ACCORDANCE WITH THE PROFESSIONAL
REFERENCE MANUAL

ELEVATIONS ARE GEODETIC AND ARE DERIVED
FROM CONTROL MONUMENT 77H5088
MADSDOT ELEVATION = 17.455



The intended plot size of this plan is 864mm in width by 560mm in height (D size) when plotted at a scale of 1:200

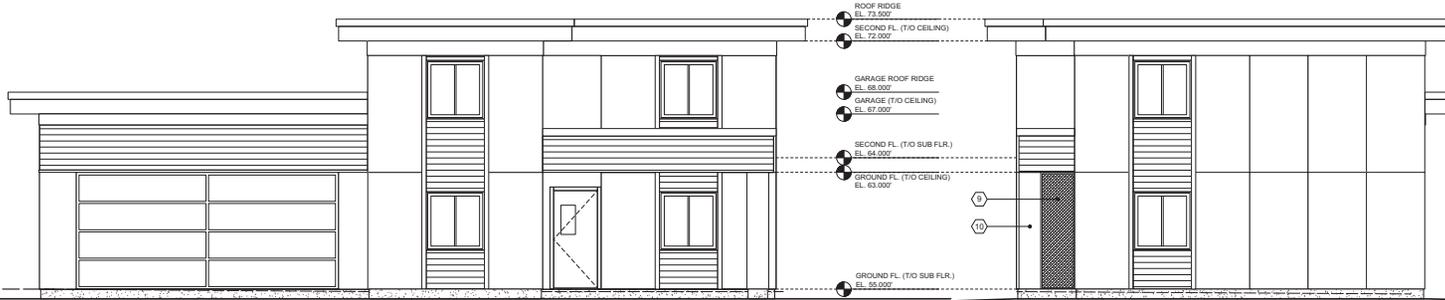
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WEST ELEVATION
Scale: 1/4" = 1'-0"

SOUTH ELEVATION
Scale: 1/4" = 1'-0"

MATERIAL LIST	
①	3" ALUMINUM FLASHING CAP
②	2X12 WOOD FASCIA
③	2X10 WOOD TRIM
④	HARDI-STUCCO SMOOTH PANEL BOARD
⑤	2X8 WOOD TRIM
⑥	HORIZONTAL HARDI SIDING (IF EXPOSURE)
⑦	2X2 HARDI TRIM
⑧	ALUMINUM GLAZED WINDOWS DOUBLE PANE - BLACK
⑨	CUSTOM ALUMINUM SCREEN
⑩	18X18 BUILT-UP POST



EAST ELEVATION
Scale: 1/4" = 1'-0"

NORTH ELEVATION
Scale: 1/4" = 1'-0"

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PROJECT TITLE: YELLOW CAB RELOCATION PLAN		
1005 FARQUHAR STREET NANAIMO, BC		
DRAWING TITLE: ELEVATIONS		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN BY		A 05
SCALE	1/4"=1'-0"	

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YELLOW CAB COMPANY

1005 FARQUHAR STREET, NANAIMO, B.C.

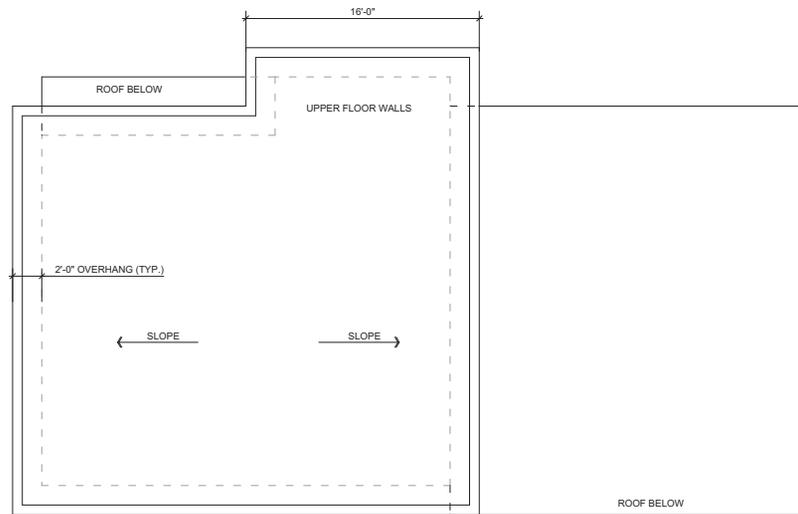


PARKSHORE PROJECTS LTD

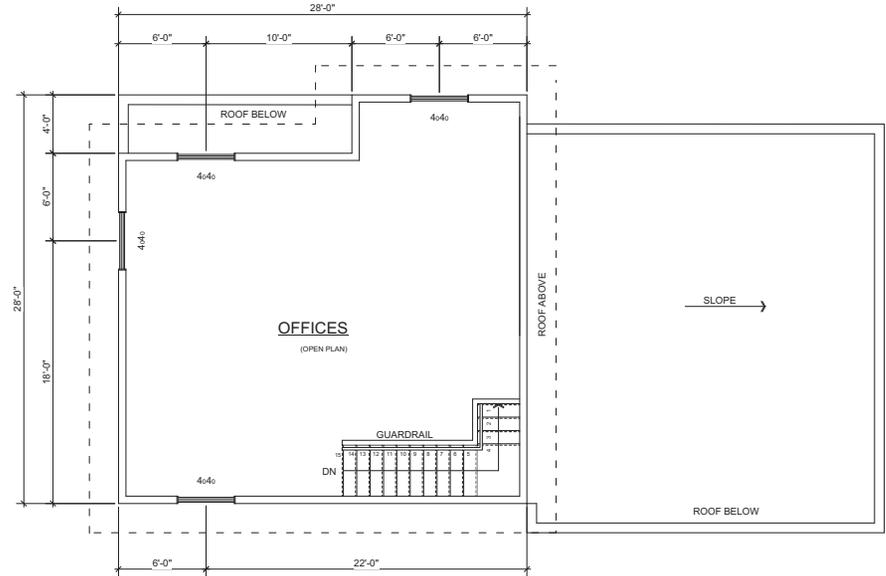
JUNE 2019



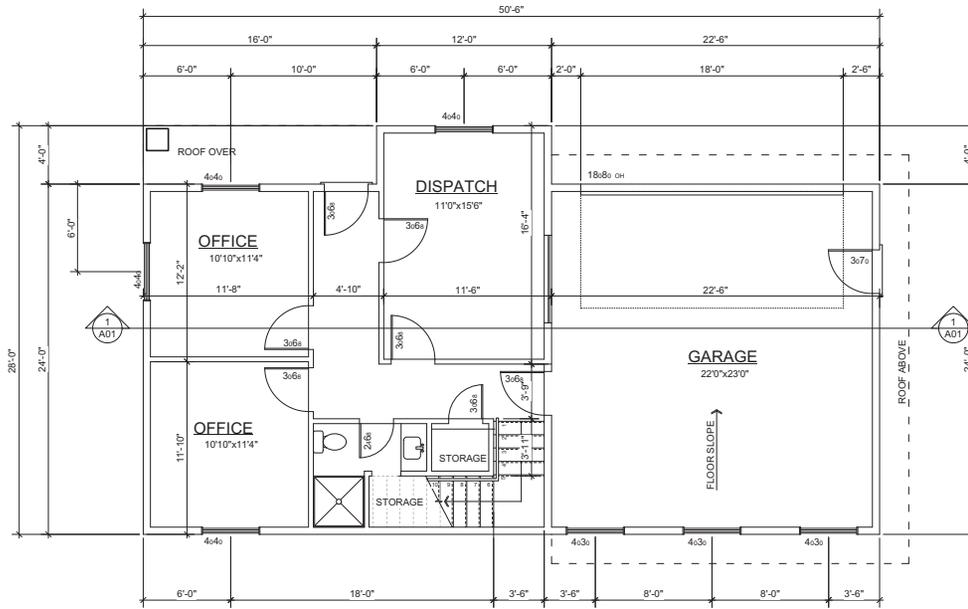
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ROOF - PLAN
Scale: 1/4" = 1'-0"



UPPER FLOOR
Scale: 1/4" = 1'-0"

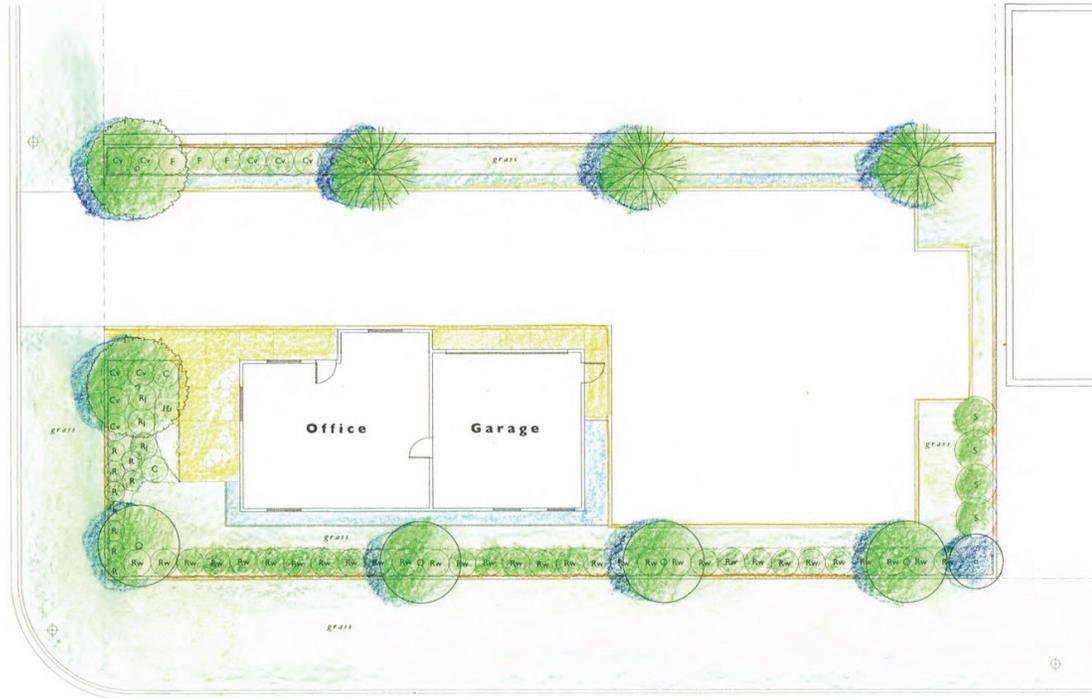


MAIN FLOOR
Scale: 1/4" = 1'-0"



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PROJECT TITLE: YELLOW CAB RELOCATION PLAN 1005 FARQUHAR STREET NANAIMO, BC		
DRAWING TITLE: FLOOR PLANS		
RECEIVED DP1147 2019-JUN-19 <small>CURRENT PUBLISHING</small>		DRAWING NO. A 04
<small>DATE</small> JUN 14 / 2019 <small>DRAWN</small> <small>SCALE</small> 1/4"=1'-0"	<small>DRAWING NO.</small>	

FARQUHAR STREET



IRWIN STREET

PLANT LIST

Symbol	Qty	Botanical Name	Common Name	Size
TREES				
○	4	Existing Cherry		
○	1	Existing Douglas Fir		
○	3	<i>Gleditsia triacanthos</i> Sombart	Honeylocust	3" cal
○	2	<i>Liquidambar styraciflua</i>	Sweetgum	3" cal
SHRUBS				
Cv	6	<i>Ceanothus thyrsiflorus</i> Victoria	California Lilac	#5
C	2	<i>Chamaelirium</i>	Mexican Mockorange	#5
Cv	3	<i>Cornus sericea</i> Flacciramea	Yellowtwig Dogwood	#2
F	3	<i>Forsythia x intermedia</i> Lymond Gold	Forsythia	#2
Rj	3	<i>Rhododendron Jean Marie de Montague</i>	Rhododendron	#5
R	9	<i>Rosa meiland La Scyllena</i>	Rose	#2
Rw	31	<i>Rosa woodii</i>	Wild Rose	#2
S	4	<i>Syringa vulgaris</i> Edith Cavell	Lilac	#5
PERENNIALS				
Hl	36	<i>Monarda</i>	Daylily	#1

*All plants to meet ICSLA / BCNTA Standards
Drop irrigation to be provided for all planting areas*



June 10, 2019 revision
June 1, 2019 revision
May 10, 2019 revision
April 22, 2019 conceptual plan

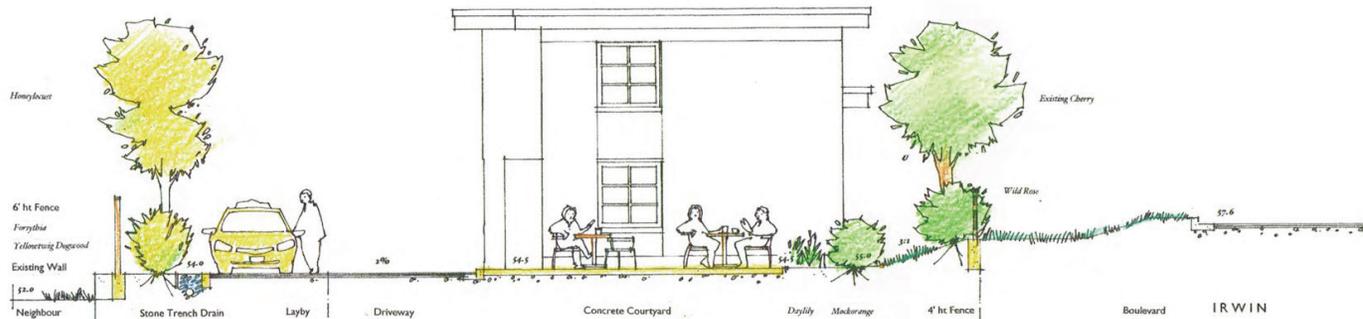
Yellow Cab
1005 Farquhar St, Nanaimo BC

Planting Plan
Scale 1/8" = 1'-0"

TOPOGRAPHICS
Landscape Architecture
250-247-0720

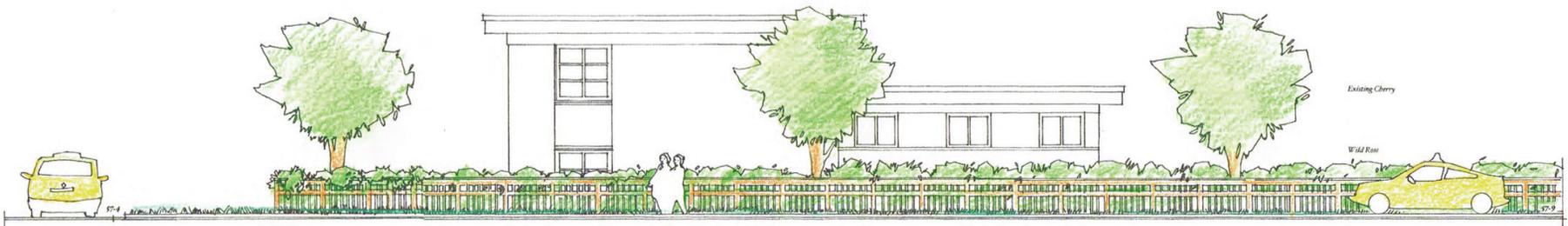
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LA 2



1

North Courtyard Section



2

Irwin Street Elevation

June 16, 2019 revision
 June 4, 2019 revision
 May 20, 2019 revision
 April 22, 2019 conceptual plan

Yellow Cab
 1005 Farquhar St, Nanaimo BC
Landscape Sections
 Scale 1/4" = 1'-0"

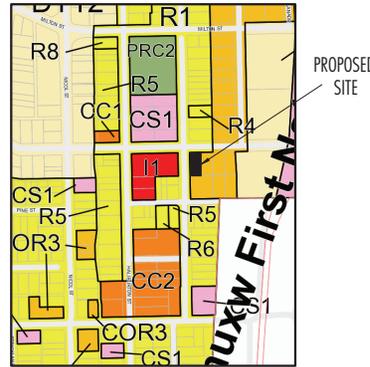
TOPOGRAPHICS
 landscape architecture
 250-2-47 9730

LA 3

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SITE LOCATION



ZONING MAP



SITE LOOKING SOUTH

YELLOW CAB COMPANY

RELOCATION PLAN @ 1005 FARQUHAR STREET

NO.	DATE	REVISION
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PROJECT TITLE: YELLOW CAB RELOCATION PLAN 1005 FARQUHAR STREET NANAIMO, BC		
DRAWING TITLE: NEIGHBOURHOOD CONTEXT STREETScape ZONING MAP		
DATE	JUNE 14, 2019	DRAWING NO.
DRAWN	M.T.H.	A 01
SCALE	AS NOTED	

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AERIAL PHOTO



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Legend

 Subject Property