

YELLOW CAB DESIGN RATIONAL

MATTHEW T. HANSEN
architect

Context

Property is located in the South End of Nanaimo in the COR 3 zone. It is a transitional neighbourhood surrounded by a variety of zones that include R1 (Single Family) to the North, CSI (School) to the North-West, I1 (Industrial) to the West, R1 to the South-West, and more COR 3 to the immediate South and East. The site is relatively flat with a slight slope from the north-west corner to the south-east corner and potential view corridor to the East.

The site is presently undeveloped and is being used for the storage of a variety of large trucks and campers. Our intension is to relocate the Cab Company from it's present location just a couple blocks away at 151 Haliburton Street. The program for the building consists of a large two car garage supported by dispatch, office and storage space. This complies with the permitted property use and no variances are required.

Design Objectives

Working with the proprietors of the Yellow Cab company gave the opportunity to develop a design solution that meets the requirements of the business model while fitting in with the context of the neighbourhood. Vehicle and pedestrian access off Farquhar Street ensure safer access rather than the busier Irwin Street. The primary entrance to the building and the garage doors will face east ensuring safe and easy access to the building in addition to overflow parking at the South end of the property.

The parking area will be screened from Irwin Street with a combination of existing trees and proposed hedging. The entire property will be fenced for security purposes. The proposed two storey structure will have a low impact on the existing Streetscape and fits into the context of the neighbourhood in terms of scale. The design and scale of the building are intended to blend with the surrounding mix of uses. Proposed material list is made up of durable, sustainable products designed for lasting quality. Colours will be a modest blend of natural earth tones.

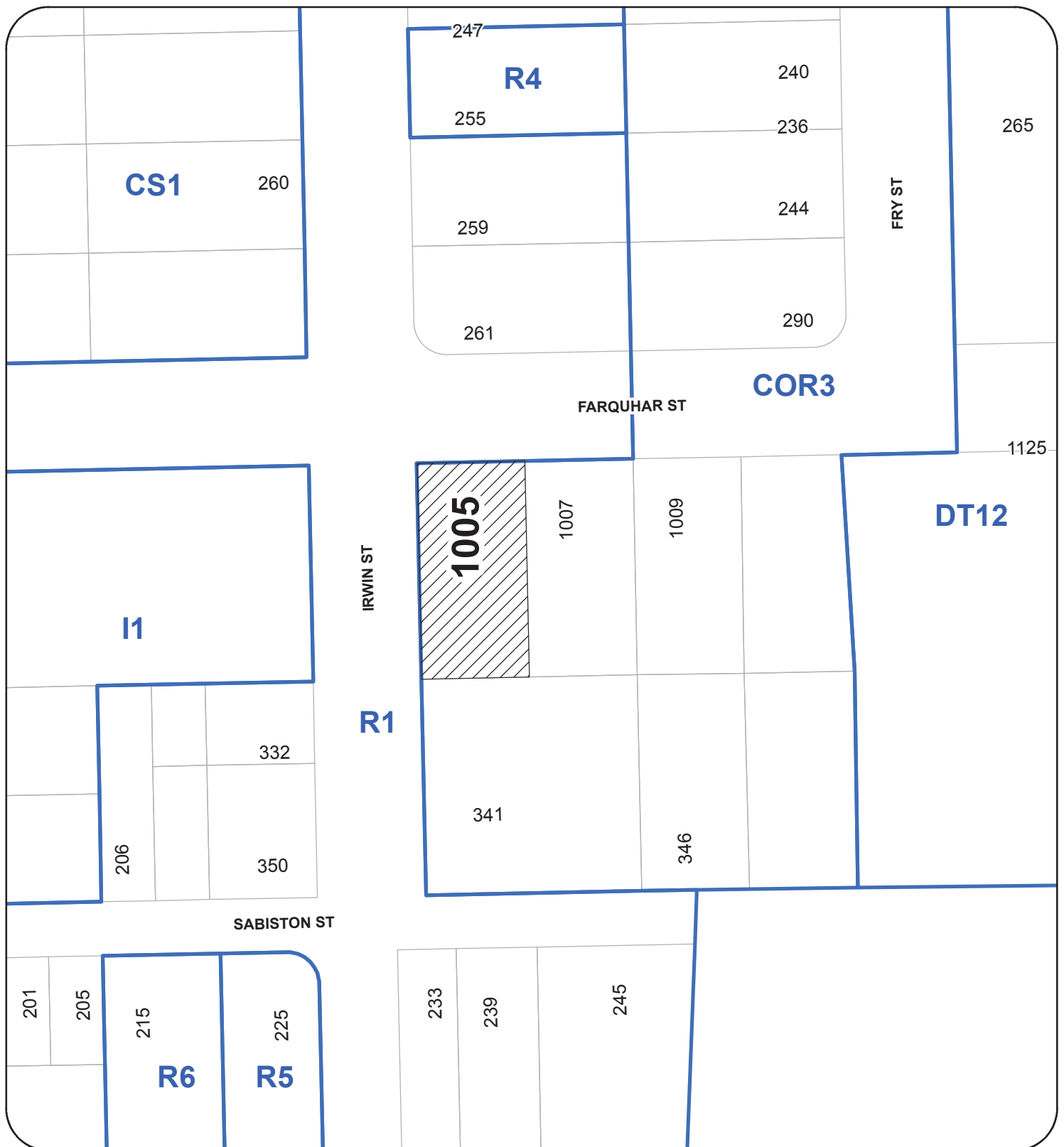
Form & Character

In terms of form, this solution is compatible with the existing scale of the neighbourhood with modest and thoughtful design solution that solves the Yellow Cab needs and ensures a positive upgrade to this site. Consultation with the Neighbourhood Groups were met with enthusiastic support. We hope the District shares in our opinion that this development will improve the aesthetics of the site and fits within the context of the neighbourhood.

NO.	DATE	REVISION
MATTHEW T. HANSEN architect		
1872 Kiwanis Road North Vancouver, B.C. V7K 1H4 R: m.hansen@mtharchitect.ca T: 604-483-3723 F: 604-483-4723 C: 604-471-2353 www.mtharchitect.ca Copyright reserved. This drawing and design are and shall at all times remain the exclusive property of Matthew T. Hansen Architect and cannot be used or reproduced without written consent. Written dimensions shall have precedence over verbal dimensions. Contractor shall verify and shall be responsible for all dimensions and conditions on the site and the Architect shall be deemed of any variations from the dimensions and conditions as shown on this drawing.		
PROJECT TITLE: YELLOW CAB RELOCATION PLAN 1005 FARQUHAR STREET NANAIMO, B.C. DRAWING TITLE: YELLOW CAB DESIGN RATIONAL		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN	B.P.	A 02
SCALE	N/A	

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DP1147
2019-JUN-19
Current Planning

LOCATION PLAN



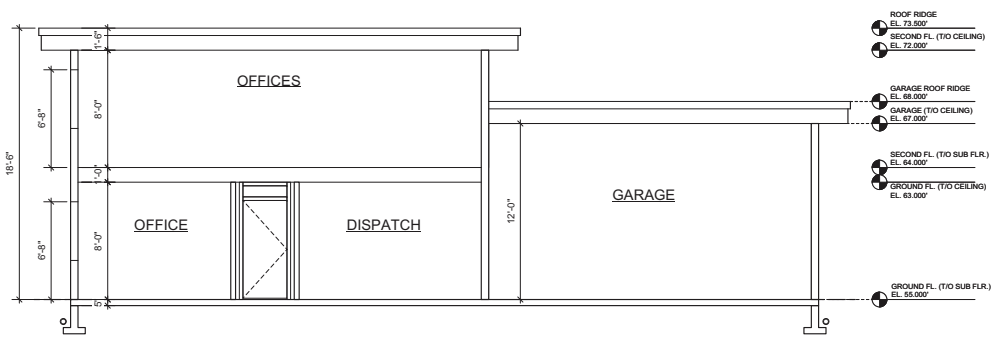
Subject Property

DEVELOPMENT PERMIT NO. DP001147

LOCATION PLAN

Civic: 1005 FARQUHAR STREET

Legal: NORTH 1/2 OF LOT 10, BLOCK A, SECTION 1
NANAIMO DISTRICT, PLAN 584



SECTION
Scale: 1/4" = 1'-0"

ADDITIONAL NOTES:

GLASS OTHER THAN SAFETY GLASS SHALL NOT BE USED FOR A SHOWER OR BATHTUB ENCLOSURE AS PER DIV.8/9.6.5.5.(1)
WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS AS PER DIV.8/9.28.10.4. (1)
DAMP-PROOFING MATERIAL TO BE PROVIDED BETWEEN WOOD AND CONCRETE.
CONTINUOUS OR INTERMITTENT EXHAUST FANS ARE REQUIRED TO ALL BATHROOMS AND KITCHEN AS PER DIV.8/9.32.3.3.
ENGINEERED ROOF TRUSS DESIGN REQUIRED PRIOR TO INSTALLATION.

GENERAL NOTE:

YELLOW CAB OFFICE AND GARAGE @ 1005 FARQUHAR STREET, NANAIMO
CODES AND BY-LAWS:

THE FOLLOWING REGULATIONS GOVERN THE REQUIREMENTS FOR THE CONSTRUCTION OF THIS PROJECT:

1. BRITISH COLUMBIA BUILDING CODE 2012
2. NATIONAL FIRE PROTECTION ASSOCIATION
3. PROVINCIAL PLUMBING AND ELECTRICAL CODES

* ANY PROBLEM CAUSED BY THE FAILURE TO COMPLY TO THE ABOVE REGULATIONS OR THE FAILURE TO INFORM THE ARCHITECT OF ANY DISCREPANCY CONTAINED WITHIN THIS SET OF DRAWINGS, OR ANY CHANGE NOTICE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

STATISTICS:

CIVIC ADDRESS: 1005 FARQUHAR STREET, NANAIMO
LEGAL DESCRIPTIONS: LOT N1/2 of 10, BLOCK A, SECTION 1, PLAN S84 P.I.D. 004-341-392
ZONING: COR3
SITE AREA: 8,712 SQ FT

SITE COVERAGE:

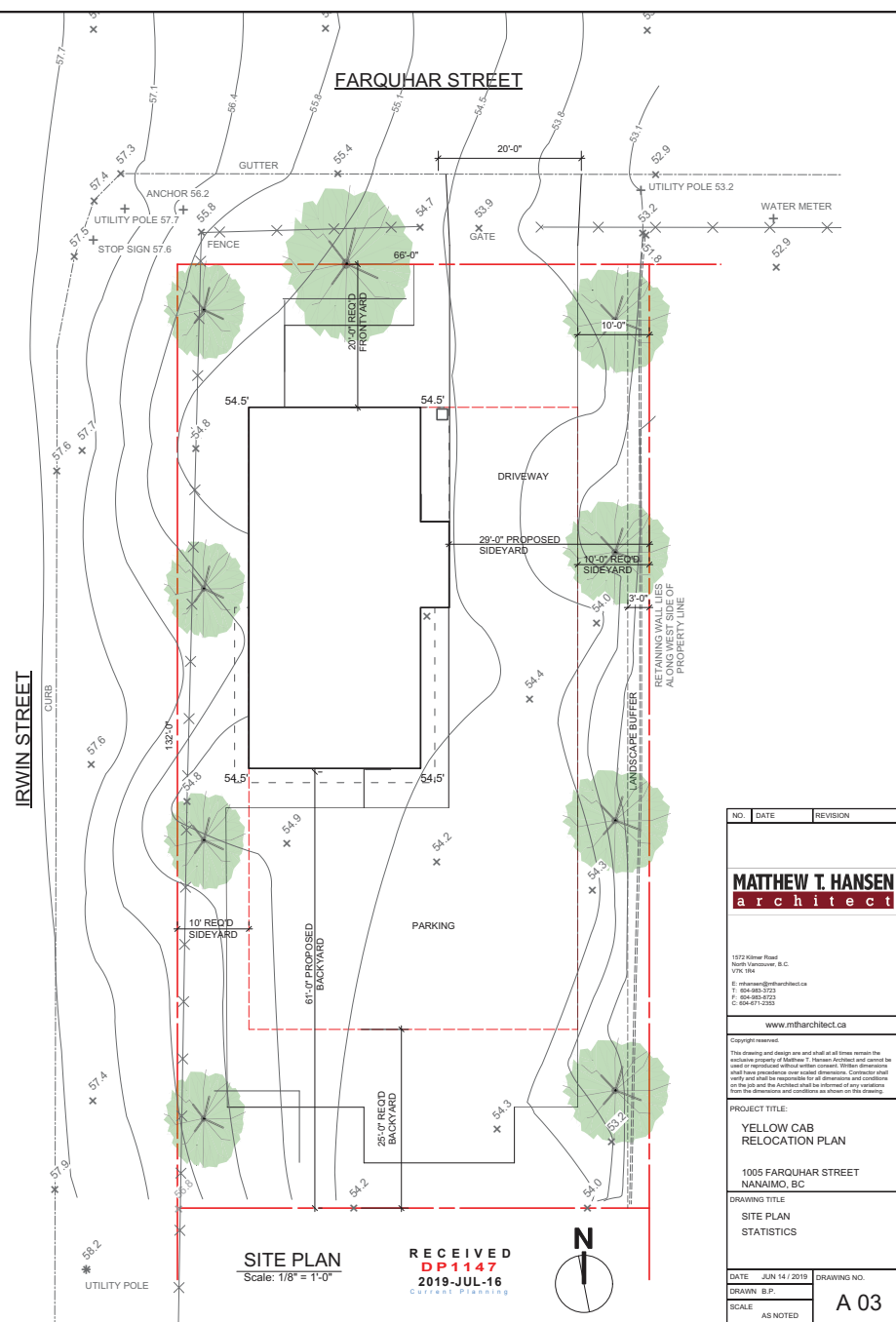
MAX. ALLOWED: 8,712 SQ FT X 35% 3,049 SQ FT
PROPOSED: 1,350 SQ FT (15%)

F.S.R.:

MAX. ALLOWED:

EXEMPTIONS:

PROPOSED:
GROUND FLOOR: 1257.7 SQ FT
SECOND FLOOR: 716.2 SQ FT
TOTAL: 1973.9 SQ FT



SITE PLAN
Scale: 1/8" = 1'-0"

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DP 1147
2019-JUL-16
C.O.A.S.T. Planning



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MATTHEW T. HANSEN architect		
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PROJECT TITLE: YELLOW CAB RELOCATION PLAN 1005 FARQUHAR STREET NANAIMO, B.C. DRAWING TITLE: SITE PLAN STATISTICS		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN	B.P.	A 03
SCALE	AS NOTED	

SITE PLAN

PARKSHORE
PROJECTS LTD.

NORTH 1/2 OF LOT 10, BLOCK A,
SECTION 1, NANAIMO DISTRICT,
PLAN 584

ADDRESS : 1005 FARQUHAR STREET,
NANAIMO, B.C.

PROJECT SURVEYOR : D.W. HOLME

DRAWN BY : DWH DATE : DEC. 4/18

OUR FILE : #9405 REVISION :

**J.E. ANDERSON
& ASSOCIATES**
SURVEYORS - ENGINEERS

1A - 3411 SHEVTON ROAD, NANAIMO, B.C. V9T 2H1
TEL: 250-752-4831 FAX: 250-752-4860
EMAIL: central@jeanderson.com
NANAIMO - VICTORIA - PARKSVILLE - CAMPBELL RIVER

LEGEND

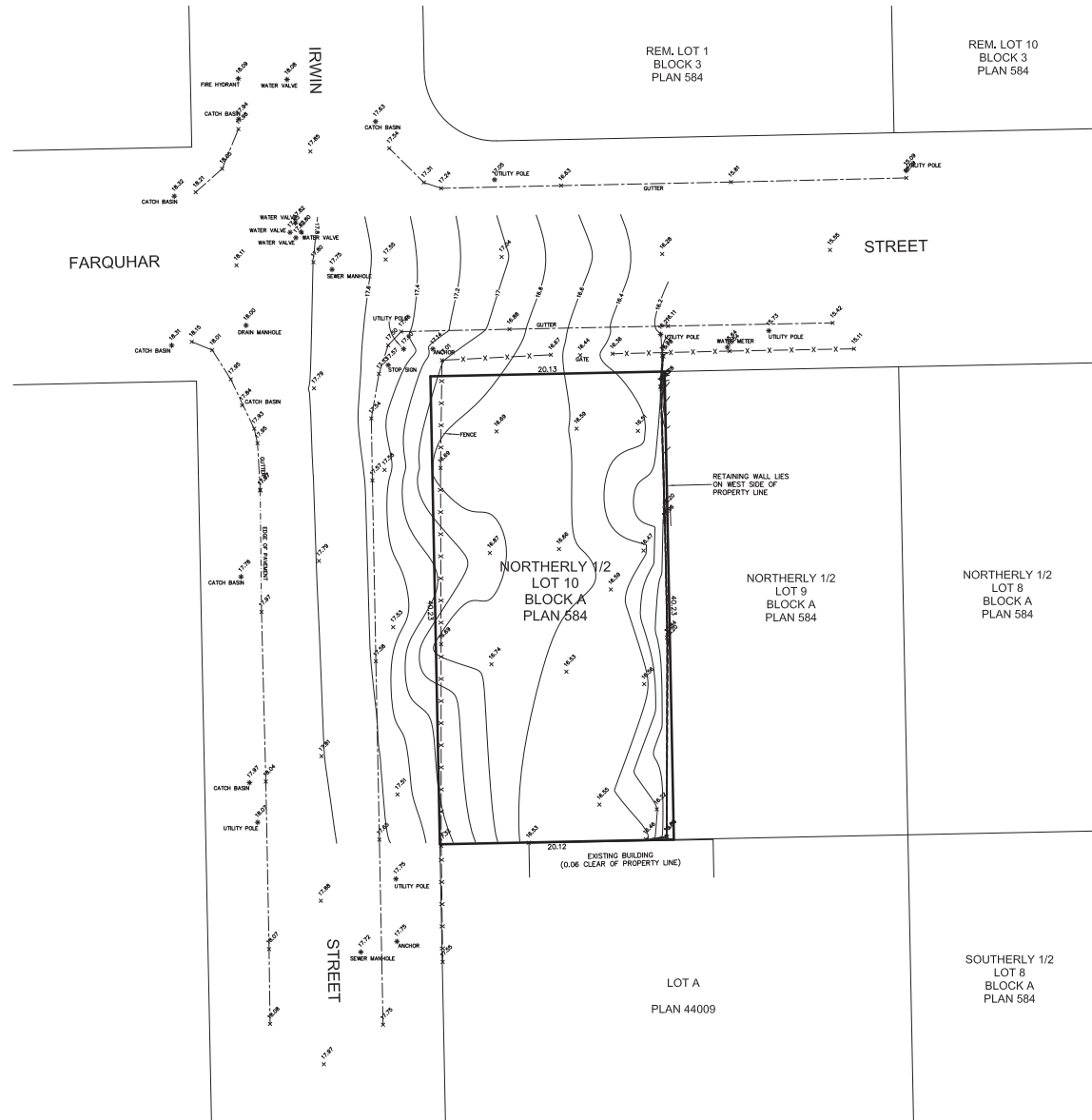
ALL DIMENSIONS ARE IN METRES

SUBJECT TO CHARGES SHOWN
ON TITLE NO. C44082567
(P.L.D. 094-341-392)

DIMENSIONS ARE DERIVED FROM
LAND TITLE OFFICE RECORDS

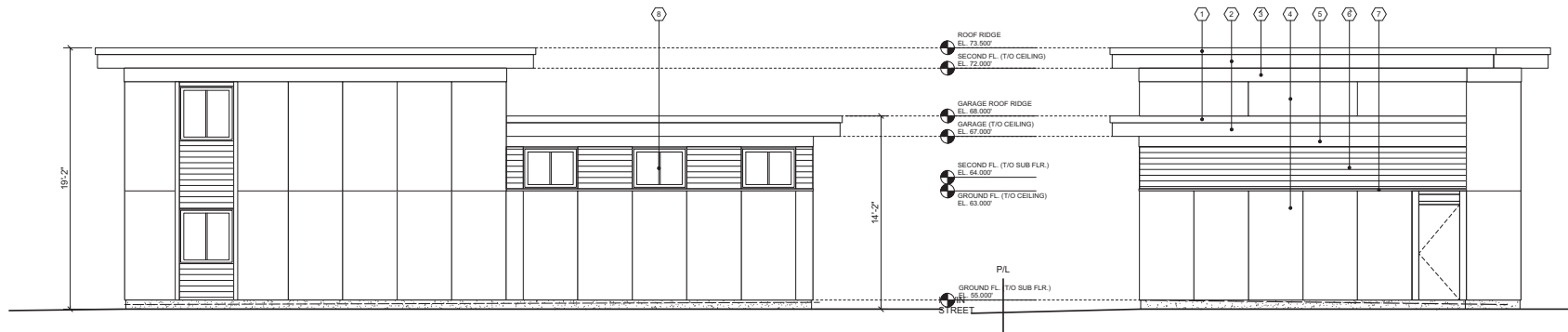
THIS PLAN HAS BEEN PREPARED IN
ACCORDANCE WITH THE PROFESSIONAL
REFERENCE MANUAL

ELEVATIONS ARE GEODETIC AND ARE DERIVED
FROM CONTROL MONUMENT 77H5088
MADSDOT ELEVATION = 17.455



0 2 4 8 12 16 20
The intended plot size of this plan is 864mm in width by 560mm in height (D size) when plotted at a scale of 1:200

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WEST ELEVATION
Scale: 1/4" = 1'-0"

SOUTH ELEVATION
Scale: 1/4" = 1'-0"

MATERIAL LIST	
①	3" ALUMINUM FLASHING CAP
②	2X12 WOOD FASCIA
③	2X10 WOOD TRIM
④	HARDI - STUCCO SMOOTH PANEL BOARD
⑤	2X8 WOOD TRIM
⑥	HORIZONTAL HARDI SIDING (9" EXPOSURE)
⑦	2X2 HARDI TRIM
⑧	ALUMINUM CLAD WINDOWS DOUBLE PANE - BLACK
⑨	CUSTOM ALUMINUM SCREEN
⑩	18X18 BUILT-UP POST



EAST ELEVATION
Scale: 1/4" = 1'-0"

NORTH ELEVATION
Scale: 1/4" = 1'-0"

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PROJECT TITLE: YELLOW CAB RELOCATION PLAN 1005 FARQUHAR STREET NANAIMO, BC DRAWING TITLE: ELEVATIONS		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN BY	SCALE	A 05
2019-JUN-19	1/4"=1'-0"	
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YELLOW CAB COMPANY

1005 FARQUHAR STREET, NANAIMO, B.C.

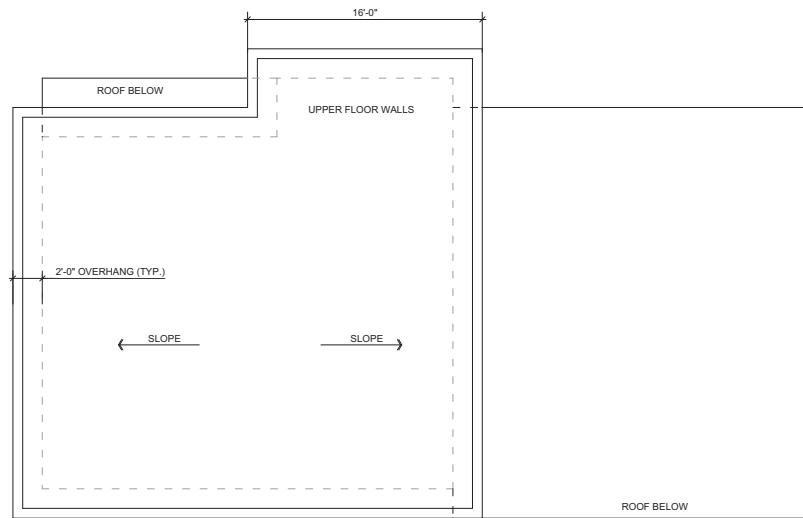


PARKSHORE PROJECTS LTD

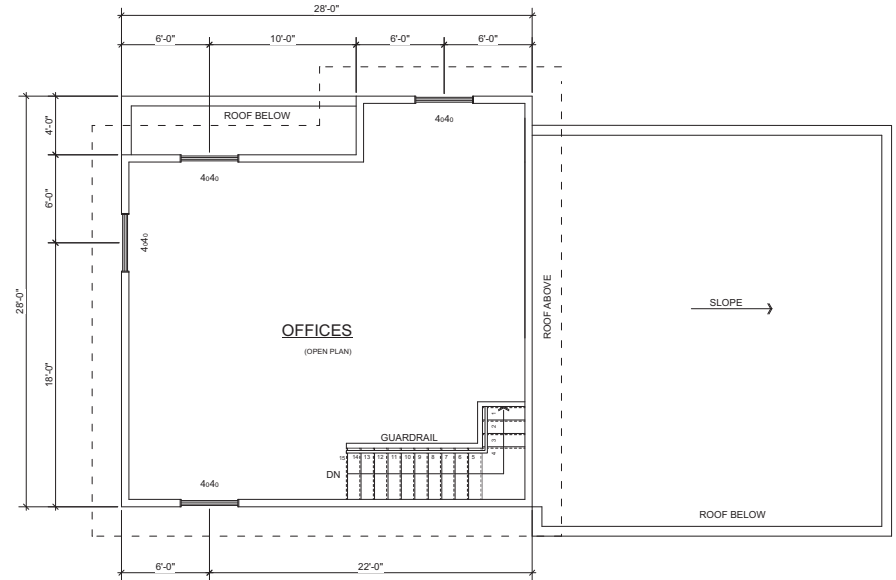
JUNE 2019

MATTHEW T. HANSEN
architect

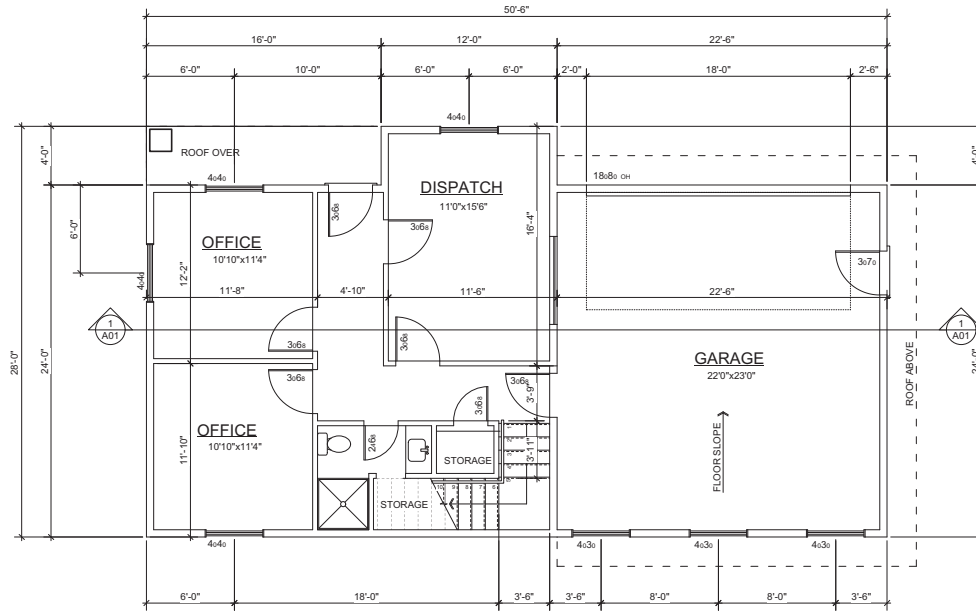
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ROOF - PLAN
Scale: 1/4" = 1'-0"



UPPER FLOOR
Scale: 1/4" = 1'-0"



MAIN FLOOR
Scale: 1/4" = 1'-0"



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PROJECT TITLE: YELLOW CAB RELOCATION PLAN 1005 FARQUHAR STREET NANAIMO, B.C. DRAWING TITLE: FLOOR PLANS		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN		
SCALE	1/4"=1'-0"	A 04

FARQUHAR STREET



IRWIN STREET

- KEY**
- existing tree to be retained
 - existing hydro pole
 - existing retaining wall
 - fence (6' height)
 - fence (4' height)
 - concrete walk
 - stone trench drain
 - section / see L.A.1



June 10, 2019 revision
June 1, 2019 revision
May 10, 2019 revision
April 22, 2019 conceptual plan

Yellow Cab
1005 Farquhar St, Nanaimo BC














Grading Plan
Scale 1/8" = 1'-0"

TOPOGRAPHICS
landscape architecture
1.8.0. 2.4.7. 9.7.2.0

LA I

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Current Planning

This site plan shows a building complex with an 'Office' and a 'Garage'. The building is situated on a yellow-shaded area. To the left of the building is a large green area with various trees and shrubs labeled with letters and codes. A long, narrow green strip runs along the top of the building, also containing trees and shrubs. The entire site is bordered by a green area with trees and shrubs. The plan includes labels for 'Office', 'Garage', and various landscaping elements like 'Grass', 'Tree', and 'Shrub'.

Symbol	Qty	Botanical Name	Common Name	Size
TREES				
	4	<i>Prunus</i>	Cherry	
	1	<i>Pinus Douglas Fir</i>		
	3	<i>Gleditsia triacanthos</i> Sunburst	Honeylocust	5" cal
	2	<i>Liquidambar styraciflua</i>	Sweetgum	5" cal
SHRUBS				
	Cv	<i>Ceanothus</i> <i>thyrsiflorus</i> Victoria	California Lilac	#5
	C	<i>Choisya ternata</i>	Mexican Mockorange	#5
	Cv	<i>Cornus sericea</i> Floricane	Yellowtwig Dogwood	#2
	F	<i>Forsythia x intermedia</i> 1 specimen Gold	Forsythia	#2
	Rt	<i>Rhododendron</i> Jean Marie de Montague	Rhododendron	#5
	R	<i>Rosa meidlandii</i> La Sevillana	Rose	#2
	Rw	<i>Rosa woodsii</i>	Wild Rose	#2
	S	<i>Syringa vulgaris</i> Edith Cavell	Lilac	#5
PERENNIALS				
	1lt 36	<i>Humeralalis Stella d'Oro</i>	Daylily	#1

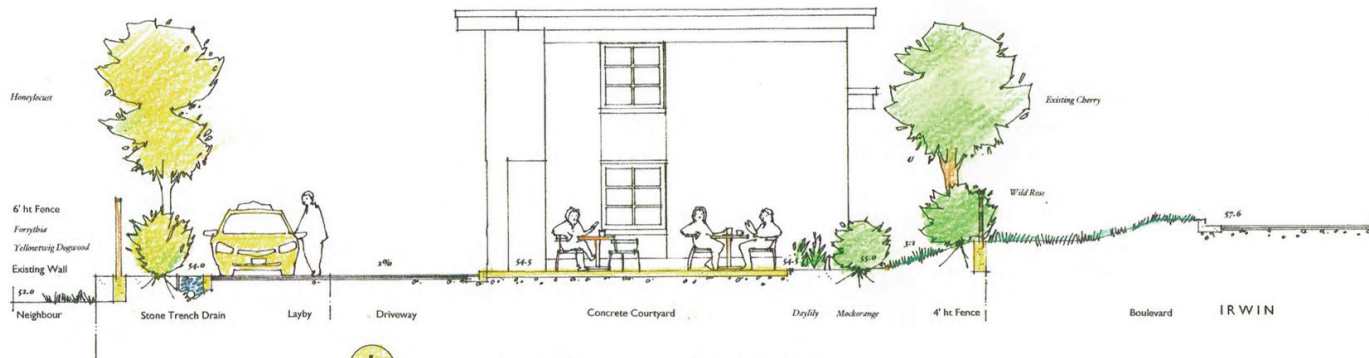
All Plants to meet BCSLA / BCNCA Standards
 Deep irrigation to be provided for all planting areas



Yellow Cab
1005 Farquhar St, Nanaimo BC

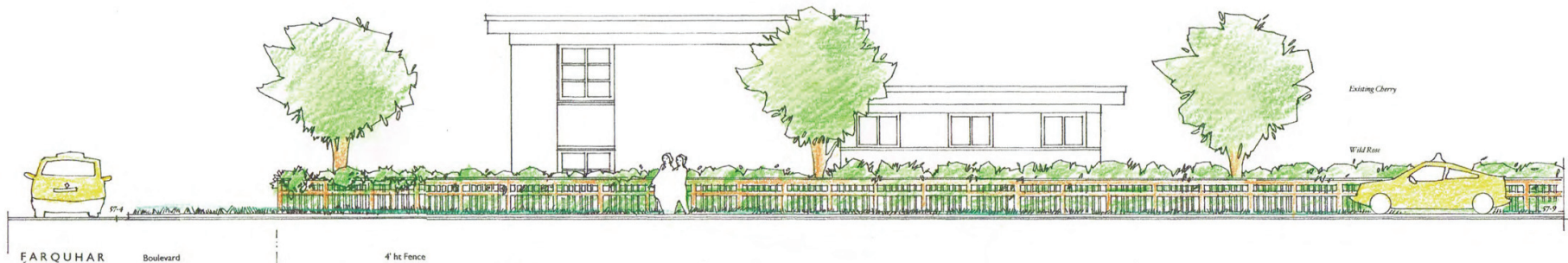
TOPOGRAPHICS
landscape architecture
250 247 9720

LA 2



1

North Courtyard Section



2

Irwin Street Elevation

June 10, 2019 revision
June 10, 2019 revision
May 10, 2019 revision
April 12, 2019 conceptual plan

Yellow Cab
1005 Farquhar St, Nanaimo BC

Landscape Sections
Scale 1/4" = 1'-0"

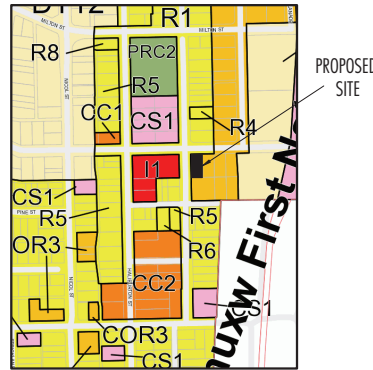
TOPOGRAPHICS
landscape architecture
450.247.9750

LA 3

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SITE LOCATION



ZONING MAP



SITE LOOKING SOUTH

YELLOW CAB COMPANY

RELOCATION PLAN @ 1005 FARQUHAR STREET

NO.	DATE	REVISION
MATTHEW T. HANSEN architect		
<small>1872 Kiwanis Road North Vancouver, B.C. V7K 1H4 R: mthansen@mtharchitect.ca T: 604-483-3723 F: 604-483-3723 C: 604-671-2353 www.mtharchitect.ca</small>		
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<small>PROJECT TITLE: YELLOW CAB RELOCATION PLAN 1005 FARQUHAR STREET NANAIMO, BC DRAWING TITLE: NEIGHBOURHOOD CONTEXT STREETSCAPE ZONING MAP</small>		
<small>DATE JUNE 14, 2019 DRAWN M.T.H. SCALE AS NOTED</small>	<small>DRAWING NO. A 01</small>	

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AERIAL PHOTO



Legend



Subject Property

DEVELOPMENT PERMIT NO. DP001147