

PROSPECT DESIGN RATIONAL

MATTHEW T. HANSEN
a r c h i t e c t

Context

Located in the South End of Nanaimo in the R8 zone, just a few blocks away from the Downtown core, the project site is made up of five properties on the East side of the 100 Block of Haliburton Street. Most of the site is surrounded by a well established neighbourhood of older single family homes. There is a slight slope from West to East and terrific view opportunities to the water front and harbour to the east. Four older homes presently occupy the site. None of which have any historical or architectural merit. The property at the corner of Haliburton St. and Milton St. is occupied by the Yellow Cab company which will be relocated.

The Zoning By-Laws, OCP and South End Neighbourhood Plan support the redevelopment of this area into higher density, Multi-family residential use. The intension of this application to stay within the guidelines of these documents and avoid variances where possible. Two five storey buildings are proposed to stand over a common underground parkade that is accessed off Milton Street.

OCP and Neighbourhood Objectives

Some key goals established by the OCP are to 'Manage Urban Growth' and 'Build a more Sustainable Community'. The South End Neighbourhood Plan speaks to more specific needs of the neighbourhood. For example, development must keep up with the increased demand in population and be centered close to Urban Cores with a focus on cyclist and pedestrians.

Other guiding Principles relevant to this neighbourhood and project include, development of mixed use density with a range of housing choices and affordability. Single family homes continue to become less affordable as the demand for smaller more cost effective housing increases.

Haliburton Street is singled out as a neighbourhood greenway for Pedestrian Connectivity with the Milton St corner identified as a 'small scale public open space'. The proposed Street Design and Landscape solution is consistent with the neighbourhood guidelines and builds off the excellent precedent established by the 'Outlook' development approved for 119 Haliburton St. Including, but not limited to, enhanced lighting, street trees, on-street parking, and boulevard planting with drought resistant native planting.

Haliburton Street will be re-established as a pedestrian-oriented street. A variety of small fences, retaining walls and landscape buffers will ensure the privacy and enjoyment of the street level units with direct access to Haliburton St.

Building Design Guidelines

The massing and density is consistent with the current zoning by-laws and guiding principles of the South End Neighbourhood Plan. Following the precedent established by our neighbours at 119 Haliburton St., the buildings will be set back from the Street 6m as per R8 zoning. The massing will be managed by reducing the floor area of the upper 2 levels and stepping back the building form from Haliburton St. helping to keep the visual scale down to 3 levels. Articulation of the roof lines creates further visual interest. Massing toward the east side increases slightly to ensure the best possible access to views.

Each unit will have access to outdoor space with a small balcony or ground floor patio. This ensures a visual interest and a balance between solid and transparent massing. A slight change of materials but with a consistent rhythm, will ensure Architectural interest in an organized and disciplined fashion.

Pedestrian Entrances to both buildings are easily identifiable and celebrated as a focal point of the design. The north building centered off Haliburton St. and the South building focused at the Milton Street corner.

Quality, sustainable materials such as brick and sandstone (found locally) and reclaimed wood make up some the material theme throughout the project respecting the traditional heritage of the South End. Colour choices are also consistent with the overall earth tone palette.

Underground parking is accessed off the safer and quieter environment of Milton Street taking the curb cut off Haliburton St. Parking is designed to meet the required spaces as per the current zoning By-laws. Facilities are also proposed for bike storage and electric vehicle charging.

CPED Strategies (crime prevention)

Variation in street patterns and traffic calming hubs along Haliburton Street will assist in neighbourhood safety and guide visitors away from private spaces. Ground floor patios are separated with low level retaining walls and shrubs to clearly identify private space but still allow neighbours to interact. Street lighting along Haliburton St. provide and added layer of surveillance and safety. Building entrance are clearly identifiable with easy access.

Summary

This proposal has been reviewed and supported by the South End Community Association (SECA). Parkshore Projects is committed to working with the City of Nanaimo and SECA in creating positive and sustainable change to this well established neighbourhood. We believe this development is an early indication of the exciting Urban growth coming to Nanaimo. Thank you for considering our application.

RECEIVED
DP1142
2019-JUN-04

Current Planning

Variance Rational

Height:

Application includes a 'Green Roof' accessible by the occupants as outdoor gathering space. One stairwell per building extends to provide access to the roof gardens.

These Structures along with the elevator machine rooms are exempt from the height By-Law. At application time the required guardrails that are mandatory by the BCBC, are not included as an exemption to height. Therefore we are asking for a 1.07m height variance to accommodate the required guardrails. These 'structures' will not be visible from the Street.

Flanking Sideyard:

Our proposed 'South Building' facing Milton Street conforms to the required 4m setback as illustrated by Gridline K of the floor plans. Only a small section of the plan projects 0.4m beyond this gridline and identifies as a 'Bay window' on the South elevation. This feature was added as visual relief for the South elevation to create Architectural interest. This 'Bay Window' feature represents a very small portion of the elevation and we hope staff can support it as a small variance.

Lot Coverage:

A fairly minor deviation from the required 40.0%. As advised by Staff in the early days of Planning there was a suggestion that some leeway in this regard could be supported. In efforts to maximize the Site potential, we are asking for a 1.5% variance to the Lot Coverage.

Parkade Setback:

In effort to ensure minimum stall length and driving aisles a Variance is requested for the required Front Yard Setback for the Underground Parkade.

A setback less than the required 1.8m was approved for the Outlook building at 119 Haliburton so the expectation was for a certain level of tolerance in this regard.

A revision could be made to bring into conformance with the approved setback of the outlook building but the maneuvering works better as proposed.

Thank you and Staff for considering our rational.

Matt

MATTHEW T. HANSEN ARCHITECT

1572 Kilmer Rd
North Vancouver, BC
V7K 1R4

www.mtharchitect.ca

T: 604-983-3723

C: 604-671-2353

E: mhansen@mtharchitect.ca

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001142

LOCATION PLAN



Subject Properties

Civic: 135, 139, 147, 151 HALIBURTON STREET & 940 MILTON STREET
 Legal: THE WESTERLY 35 FEET OF THE EASTERLY 45 FEET OF LOT 1,
 LOT 2 AND THE EASTERLY 10 FEET OF LOT 1, LOTS 3 & 4, & LOT 1,
 EXCEPT THE EASTERLY 10 FEET AND EXCEPT PART SHOWN
 OUTLINED IN RED ON PLAN 711-R
 BLOCK 7, SECTION 1, NANAIMO DISTRICT, PLAN 584

SITE PLAN

PARKSHORE
PROJECTS LTD.

THE EASTERLY 10 FT.
OF LOT 1, THE
WESTERLY 35 FT. OF
THE EASTERLY
45 FT. OF LOT 1, THE
REMAINDER OF LOT 1,
LOTS 2, 3, AND 4,
BLOCK 7, SECTION 1,
NANAIMO DISTRICT,
PLAN 584

ADDRESS: 135, 139, 147 AND 151,
HALBURTON STREET AND
340 MILTON STREET,
NANAIMO, B.C.

PROJECT SURVEYOR: D.G. WALLACE

DRAWN BY: DAW DATE: SEPT. 11/18

OUR FILE: 09207 REVISION:



10, 1411 BURNHOLME ROAD NANAIMO B.C. V9T 2H1
TEL: 250-750-4031 FAX: 250-750-4000
EMAIL: jordan@jea.bc.ca
NANAIMO VICTORIA PRINCEGEORGE CAMPBELL RIVER

LEGEND

ALL DIMENSIONS ARE IN METRES

DATUM FOR ELEVATIONS, IN METRES,
IS CGCG86

CONTOUR INTERVAL = 0.30

SUBJECT TO CHARGES SHOWN ON TITLE NO. E041792

(P.I.D. 008-825-841) AS TO THE EASTERLY 10 FEET OF LOT 1

SUBJECT TO CHARGES SHOWN ON TITLE NO. C4526797

(P.I.D. 005-758-386) AS TO THE WESTERLY 35 FEET OF THE EASTERLY 45 FEET OF LOT 1

SUBJECT TO CHARGES SHOWN ON TITLE NO. E041070

(P.I.D. 001-045-250) AS TO THE REMAINDER OF LOT 1

SUBJECT TO CHARGES SHOWN ON TITLE NO. E041792

(P.I.D. 008-825-823) AS TO LOT 2

SUBJECT TO CHARGES SHOWN ON TITLE NO. C45713245

(P.I.D. 000-004-223) AS TO LOT 3

SUBJECT TO CHARGES SHOWN ON TITLE NO. C45710579

(P.I.D. 008-825-947) AS TO

DIMENSIONS ARE DERIVED FROM

LAND TITLE OFFICE RECORDS

THIS PLAN HAS BEEN PREPARED IN

ACCORDANCE WITH THE PROFESSIONAL

REFERENCE MANUAL

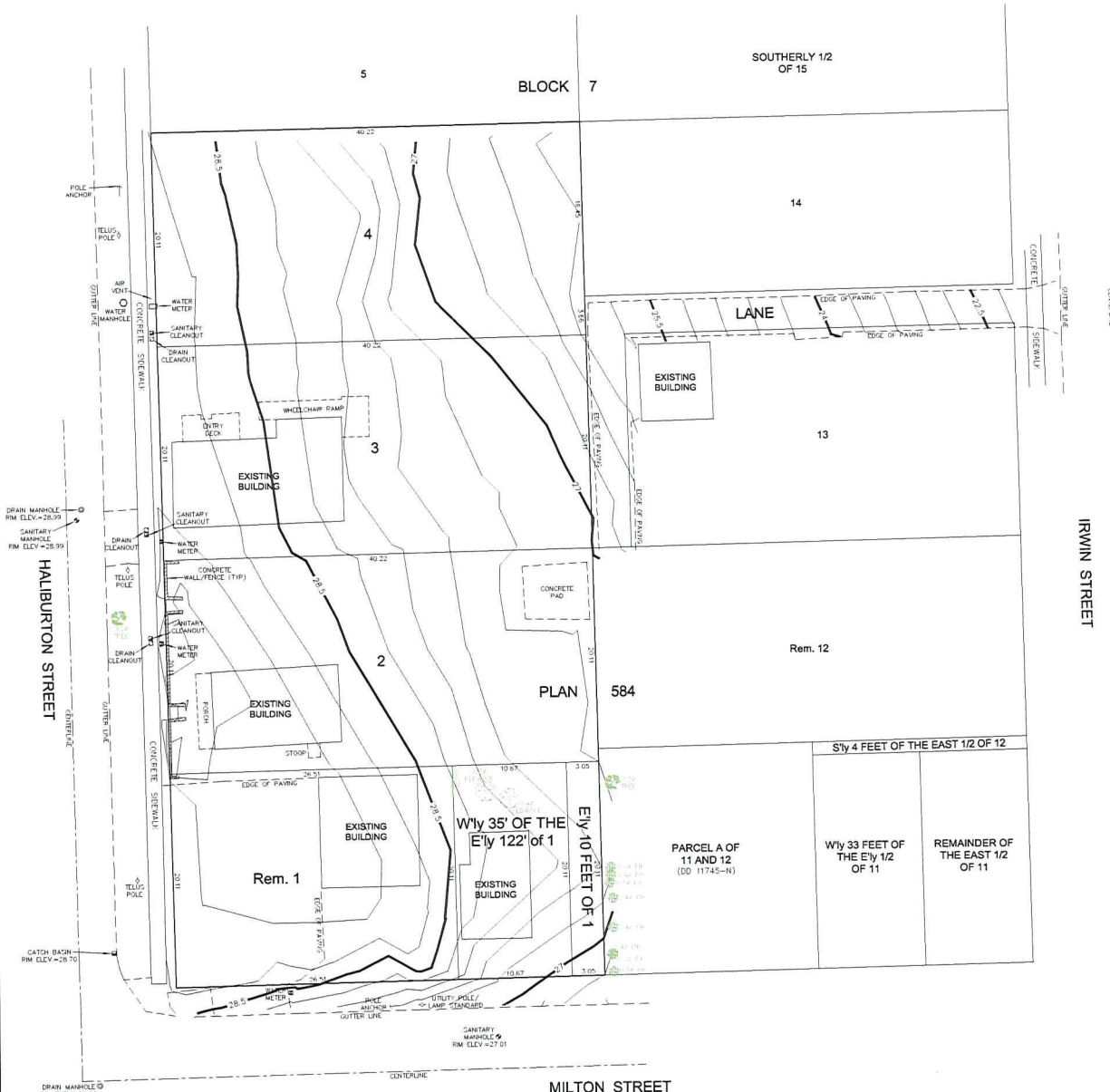


DRAIN MANHOLE
P.M. ELEV = 23.38

WATER VALVE

HYDRANT

SANITARY
MANHOLE
P.M. ELEV = 23.52



DRAIN MANHOLE
P.M. ELEV = 23.54

SANITARY
MANHOLE
P.M. ELEV = 23.66

WATER VALVE

MANHOLE IN SIDEWALK
PURPOSE UNKNOWN

WATER VALVE

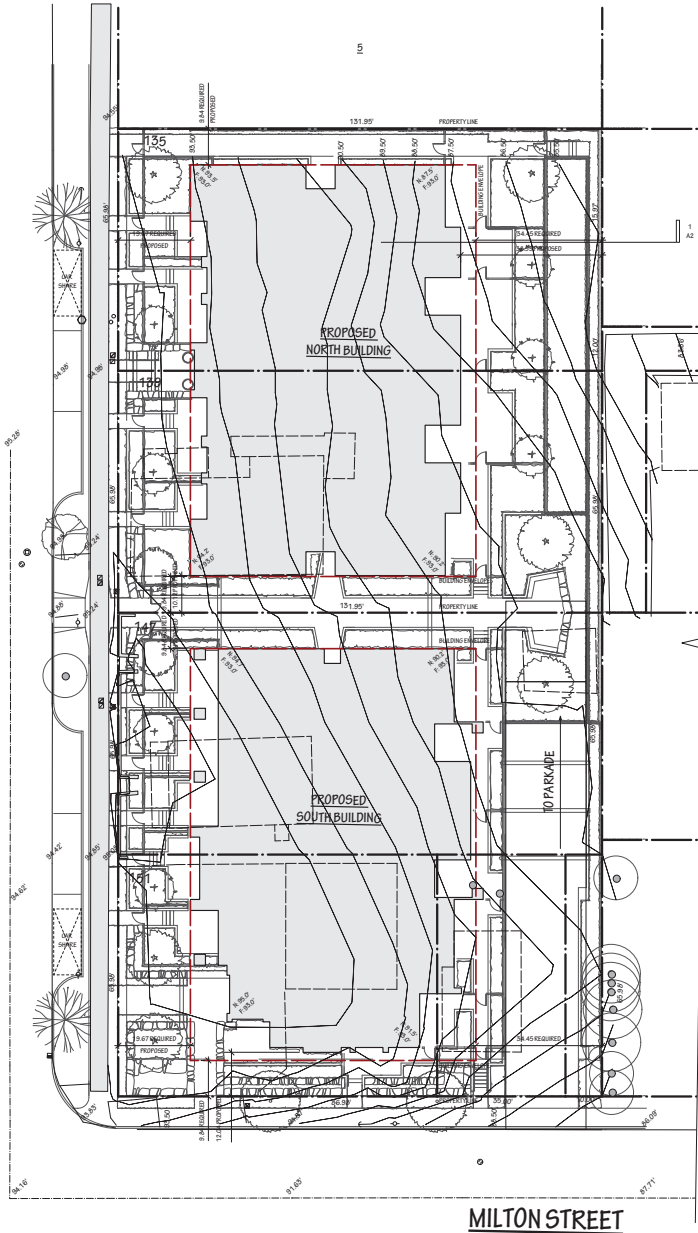
HYDRANT

0 2 4 6 8 10 12 14 16 18 20

The intended plot size of this plan is 564mm in width by 864mm in height. It is shown when plotted at a scale of 1"=200'

RECEIVED
DP1142
2019-MAY-16
Current Planning

HALIBURTON STREET



MILTON STREET

SITE PLAN

SCALE: 1/16"=1'0"



STATISTICS:

PROJECT: PROSPECT BUILDING
CLIENT: PARKSHORE PROJECTS LTD

CIVIC ADDRESS: HALIBURTON ST. NANAIMO, BC
LEGAL DESCRIPTION: T.B.D.
P.L.D.: T.B.D.
ZONING: RS-B - MEDIUM DENSITY RESIDENTIAL
SITE AREA: 34804.00 sq.ft.

BUILDING COVERAGE:

MAX ALLOWED: 40%	13929.60 sq.ft.
NORTH BUILDING	7517 sq.ft.
SOUTH BUILDING	6962 sq.ft.
TOTAL	14479 sq.ft.

FSR:

MAX ALLOWED W/ ADDITIONAL DENSITY: 185% (MEETING TIER REQUIREMENTS)	64124.40 sq.ft.
NORTH BUILDING	32503 sq.ft.
SOUTH BUILDING	31691 sq.ft.
TOTAL	64194 sq.ft.

HEIGHT:

MAX. ALLOWED: 42' (HEIGHT RELAXATION TO 47')	
NORTH BUILDING	
Avg. GRADE	91.37'
PROPOSED HEIGHT	48.00'
SOUTH BUILDING	
Avg. GRADE	92.87'
PROPOSED HEIGHT	48.80'

SETBACKS:

	REQUIRED	PROPOSED
NORTH BUILDING		
FRONT YARD SETBACK	19.67'	NO CHANGE
REAR YARD SETBACK	34.40'	38.89'
SIDEYARD NORTH SETBACK	9.84'	NO CHANGE
SIDEYARD SOUTH SETBACK	9.84'	10.84'
SOUTH BUILDING		
FRONT YARD SETBACK	19.67'	NO CHANGE
REAR YARD SETBACK	34.40'	T.B.D.
SIDEYARD NORTH SETBACK	9.84'	NO CHANGE
SIDEYARD SOUTH SETBACK	9.84'	12.04'
PARKADE		
FRONT YARD SETBACK	N/A	2.50'
REAR YARD SETBACK	N/A	3.42'
SIDEYARD NORTH SETBACK	N/A	7.80'
SIDEYARD SOUTH SETBACK	N/A	9.84'

NORTH BUILDING UNITS

STUDIO	1
1 BED	21
1 BED & DEN	8
2 BED	7
TOTAL	37

FSR BREAKDOWN

GROUND FLOOR	7517 sq.ft.
2ND LEVEL	7376 sq.ft.
3RD LEVEL	7376 sq.ft.
4TH LEVEL	5182 sq.ft.
5TH LEVEL	5047 sq.ft.
TOTAL	32503 sq.ft.

SOUTH BUILDING UNITS

STUDIO	6
1 BED	20
1 BED & DEN	8
2 BED	6
TOTAL	40

FSR BREAKDOWN

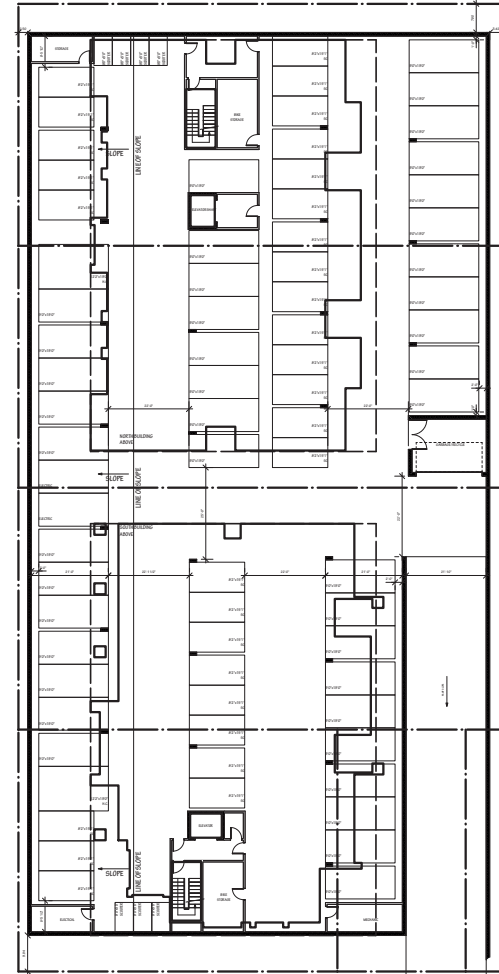
GROUND FLOOR	6965 sq.ft.
2ND LEVEL	6066 sq.ft.
3RD LEVEL	6043 sq.ft.
4TH LEVEL	5671 sq.ft.
5TH LEVEL	5669 sq.ft.
TOTAL	31691 sq.ft.

DRAWING LIST:

A00	COVER SHEET
A01	SITE, STATISTICS & PARKADE PLANS
A02	NORTH & SOUTH BUILDING SECTIONS
A02.1	SOLAR STUDY
A02.2	SOLAR STUDY - ELEVATIONS
A03	NORTH BUILDING - GROUND FLOOR & 2ND LEVEL PLANS
A04	NORTH BUILDING - 3RD & 4TH LEVEL PLANS
A05	NORTH BUILDING - 5TH LEVEL & FSR
A06	NORTH BUILDING - WEST & NORTH ELEVATIONS
A07	NORTH BUILDING - EAST & SOUTH ELEVATIONS
A08	NORTH BUILDING - PERSPECTIVES & COLOR ELEVATIONS
A09	SOUTH BUILDING - GROUND FLOOR & 2ND LEVEL PLANS
A10	SOUTH BUILDING - 3RD & 4TH LEVEL PLANS
A11	SOUTH BUILDING - 5TH LEVEL & ROOF PLANS
A11.1	SOUTH BUILDING - UNIT TYPE & FSR
A12	SOUTH BUILDING - WEST & NORTH ELEVATIONS
A13	SOUTH BUILDING - EAST & SOUTH ELEVATIONS
A14	SOUTH BUILDING - PERSPECTIVES & COLOR ELEVATIONS

PARKADE SPACES:

TYPE	SIZE	PROVIDED	% OF SPACES
REGULAR	9'0" x 19'0"	43	57.3%
SMALL	8'2" x 15'1"	30	40%
HANDICAP	12'2" x 19'0"	2	2.7%
TOTAL		75	100%



PARKADE PLAN

SCALE: 1/16"=1'0"

04		
03		
02		
01		
NO.	DATE	REVISION

MATTHEW T. HANSEN
architect

1872 Kilmer Road
Nanaimo, Vancouver, B.C.
V7Y 1H4

E: mhanes@mtarchitect.ca
T: 604-883-7723
F: 604-883-8723
C: 604-871-2383

www.mtarchitect.ca

Copyright reserved:
This drawing and design are and shall at all times remain the
exclusive property of Matthew T. Hansen Architect and cannot be
used or reproduced without written consent. Further, dimensions
and area calculations are based on the information provided and shall
verify and shall be responsible for all dimensions and conditions
on the job and the Architect shall be relieved of any liability
from the dimensions and conditions as shown on this drawing.

PROJECT TITLE:

PROSPECT

HALIBURTON AND MILTON ST.
NANAIMO, BC

DRAWING TITLE:
SITE, STATISTICS &
PARKADE PLANS

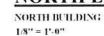
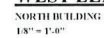
DATE: MAY 2019

DRAWN: DB

SCALE: AS NOTED

DRAWING NO.

A01

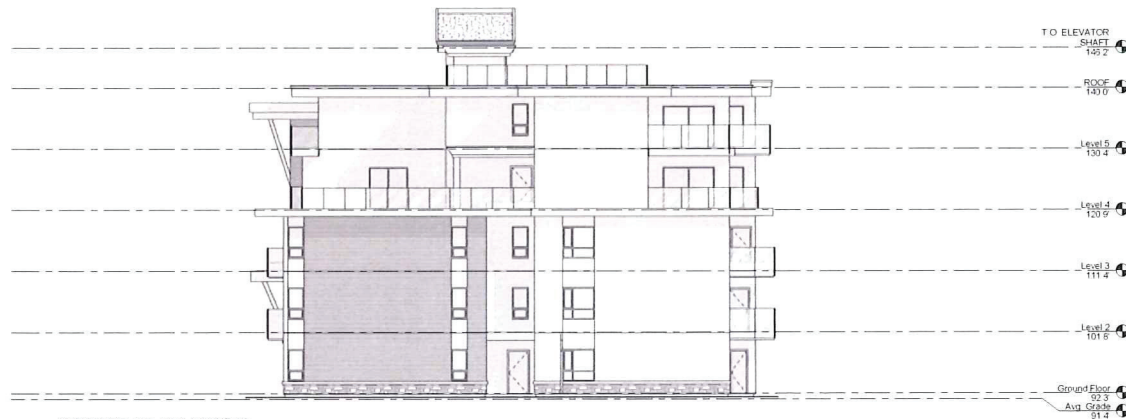


RECEIVED
DP 1142
2019-MAY-16
Current Planning



EAST ELEVATION

NORTH BUILDING
1/8" = 1'-0"



SOUTH ELEVATION

NORTH BUILDING
1/8" = 1'-0"

No.	Description	Date

MATTHEW T. HANSEN architect	
1572 Wilmer Rd. N. Vancouver, BC V7K 1R4 E. mthansen@mtharchitect.ca T. 604.903.3733 F. 604.903.8723 C. 604.974.2555	
Copyright Reserved This drawing is the property of Matthew T. Hansen Architect and shall be used only for the project and location specified. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Matthew T. Hansen Architect.	
www.mtharchitect.ca	
Project Title PROSPECT	
1450 BIRCH STREET, UNIT 101 VANCOUVER, BC	
Drawing Title NORTH BUILDING EAST & SOUTH ELEVATIONS	
Date 05/11/16	Drawing No. A07



WEST ELEVATION

SOUTH BUILDING
1/8" = 1'-0"



NORTH ELEVATION

SOUTH BUILDING
1/8" = 1'-0"

No.	Description	Date
MATTHEW T. HANSEN architect		
1372 Wilmer Pk. N. Vancouver, BC V7K 1R4 E. mhansen@mtarchitect.ca T. 604.583.3973 F. 604.583.8723 C. 604.581.2333		
<small>Copyright Reserved</small> This drawing and design are the property of Matthew T. Hansen Architect and shall not be reproduced or used in any manner without the written consent of Matthew T. Hansen Architect. The client agrees to indemnify and hold the architect harmless from all claims, damages, and costs of defense, including reasonable attorney's fees, arising from the use of this drawing and design for any purpose other than that for which it was prepared.		
<small>Project Title</small> PROSPECT		
<small>Drawing Title</small> SOUTH BUILDING WEST & NORTH ELEVATIONS		
<small>Drawn By</small> CTH	<small>Checked By</small> CTH	<small>Date</small> 10-13-16
<small>Scale</small> 1/8" = 1'-0"		A 12

[illegible]

RECEIVED
DP 1142
2019-MAY-16
Current Planning



PERSPECTIVE
NORTH BUILDING



PERSPECTIVE 2
NORTH BUILDING



NORTH ELEVATION
NORTH BUILDING
1/16" = 1'-0"



EAST ELEVATION
NORTH BUILDING
1/16" = 1'-0"



SOUTH ELEVATION
NORTH BUILDING
1/16" = 1'-0"



WEST ELEVATION
NORTH BUILDING
1/16" = 1'-0"

No.	Description	Date

MATTHEW T. HANSEN
architect

1572 Kilmuir Rd.
N. Vancouver, BC
V7K 1P4
E: mthansen@mtarchitect.ca
P: 604 912 3723
F: 604 912 8723
C: 604 912 2933

Copyright Reserved
This drawing and design are the property of the architect and are not to be used or reproduced in any form without the written consent of the architect. The architect assumes no responsibility for the construction of the building or the accuracy of the information provided in this drawing. The architect is not responsible for the construction of the building or the accuracy of the information provided in this drawing.

www.mtarchitect.ca

Project Title
PROSPECT

Location
NORTH BUILDING
NORTH BUILDING RENDERINGS

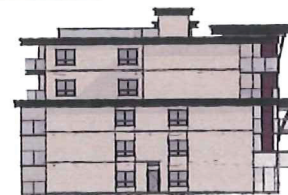
Scale
A08



PERSPECTIVE
SOUTH BUILDING



PERSPECTIVE 2
SOUTH BUILDING



NORTH ELEVATION
SOUTH BUILDING
1/16" = 1'-0"



EAST ELEVATION
SOUTH BUILDING
1/16" = 1'-0"



SOUTH ELEVATION
SOUTH BUILDING
1/16" = 1'-0"



WEST ELEVATION
SOUTH BUILDING
1/16" = 1'-0"

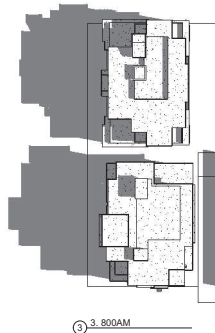
No.	Description	Date
MATTHEW T. HANSEN architect		
5532 W. 10th Rd. Vancouver, BC V7K 5R8 E: mthansen@mtarchitect.ca T: 604.683.8725 F: 604.683.8725 C: 604.678.2355		
<small>Copyright Reserved</small> This drawing and design are the property of Matthew T. Hansen Architect. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from Matthew T. Hansen Architect. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities.		
<small>www.mtarchitect.ca</small>		
Project Title PROSPECT		
1000 10th Ave. S.E. Unit 10 Vancouver, BC		
Drawing Title RENDERINGS		
Title _____	Date _____	A 14



① 1. 000AM



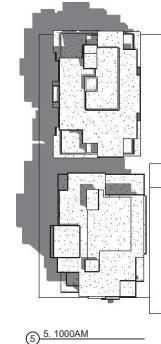
② 2. 000AM



③ 3. 000AM



④ 4. 000AM



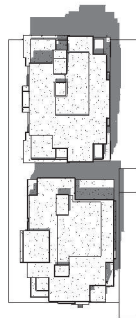
⑤ 5. 000AM



⑥ 6. 000AM



⑦ 7. 000AM



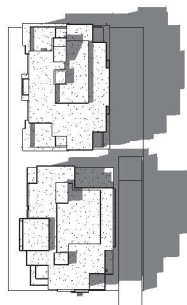
⑧ 8. 000AM



⑨ 9. 000AM



⑩ 10. 000AM



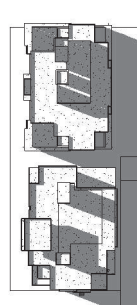
⑪ 11. 000AM



⑫ 12. 000PM



⑬ 1. 000PM



⑭ 2. 000PM

No.	Description	Date

MATTHEW T. HANSEN
architect

1572 Kilmer Rd.
N. Vancouver, BC
V7K 1M4
E. mthansen@mtharchitect.ca
T. 604.983.3723
F. 604.983.8723
C. 604.671.2353

Copyright Reserved

This drawing and design are used under the U.S. design patent the
exclusive property of Matthew T. Hansen Architect and cannot
be used or reproduced without written consent. Written
agreements shall be provided for every verbal agreement.
Contractors shall verify and apply as responsible for all
dimensions and conditions on the job and the Architect shall be
returned of any variations from the drawings and conditions
as shown on this drawing.

www.mtharchitect.ca

Project Title:

PROSPECT

Location: BC

Drawing Title:
SOLAR STUDY
MAY, 07, 2019

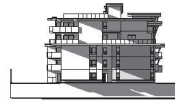
Date: MAY 07, 2019
Drawing No.:
Scale: A02.1



RECEIVED
DP1142
2019-JUN-04



② 2. 700AM WEST ELEVATIONS



③ 3. 700AM NORTH ELEVATION



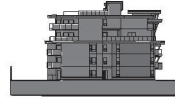
⑤ 5. 700AM EAST ELEVATIONS



⑦ 7. 700AM SOUTH ELEVATION



④ 4. 900AM WEST ELEVATIONS



⑪ 11. 900AM NORTH ELEVATION



⑬ 13. 900AM EAST ELEVATION



⑫ 12. 900AM SOUTH ELEVATION



⑥ 6. 1100AM WEST ELEVATIONS



⑳ 20. 1100AM NORTH ELEVATION



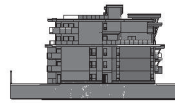
⑰ 17. 1100AM EAST ELEVATIONS



⑱ 19. 1100AM SOUTH ELEVATION



⑧ 8. 100PM WEST ELEVATIONS



㉕ 25. 100PM NORTH ELEVATION



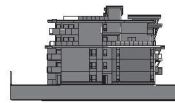
㉔ 24. 100PM EAST ELEVATIONS



㉓ 23. 100PM SOUTH ELEVATION



⑨ 9. 300PM WEST ELEVATIONS



㉖ 26. 300PM NORTH ELEVATION



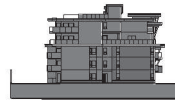
㉑ 21. 300PM EAST ELEVATIONS



㉒ 22. 300PM SOUTH ELEVATION



⑩ 10. 500PM WEST ELEVATIONS



㉗ 27. 500PM NORTH ELEVATION



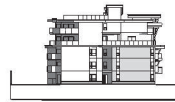
⑱ 18. 500PM EAST ELEVATIONS



⑬ 13. 500PM SOUTH ELEVATION



⑫ 12. 700PM WEST ELEVATIONS



⑯ 16. 700PM NORTH ELEVATION



⑮ 15. 700PM EAST ELEVATIONS



⑭ 14. 700PM SOUTH ELEVATION

No.	Description	Date

MATTHEW T. HANSEN
architect

1572 Kilmer Rd.
N. Vancouver, BC
V7K 1M4
E. mthansen@mtharchitect.ca
T. 604.983.3723
F. 604.983.3723
C. 604.671.2353

Copyright Reserved
This drawing and design are used and shall be used as a design for the
exclusive property of Matthew T. Hansen Architect and cannot
be used or reproduced without written consent. Written
agreements shall be provided for every design.
Contractors shall verify and apply as responsible for all
dimensions and conditions on the job and the Architect shall be
returned of any variations from the dimensions and conditions
as shown on this drawing.

www.mtharchitect.ca

Project Title:
PROSPECT

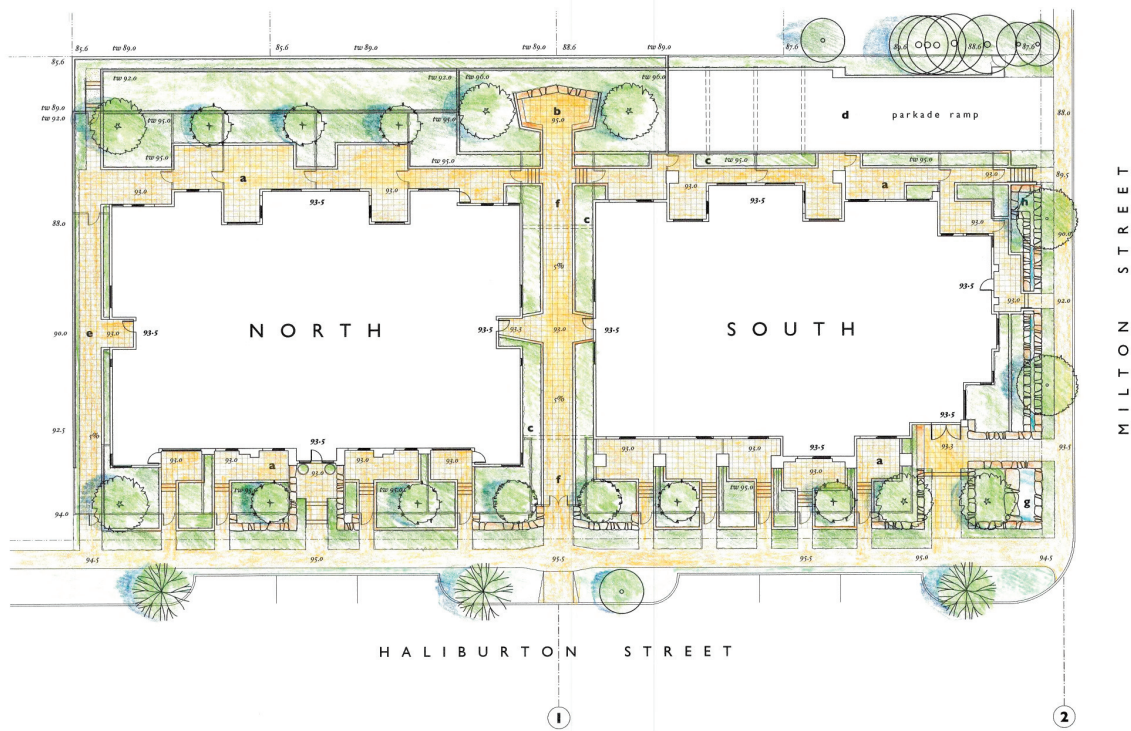
Location: BC

Drawing Title:
**SOLAR STUDY -
ELEVATIONS - MAY,
07, 2019**

Date: MAY 2019

Drawing: Author

Scale: **A02.2**



Key

- a garden patio
- b view terrace
- c vine trellis
- d driveway ramp 5.5%
- e north walkway
- f garden courtyard
- g waterfall
- h raingarden
- permeable pavers
- 2 section line refer to L.A.s



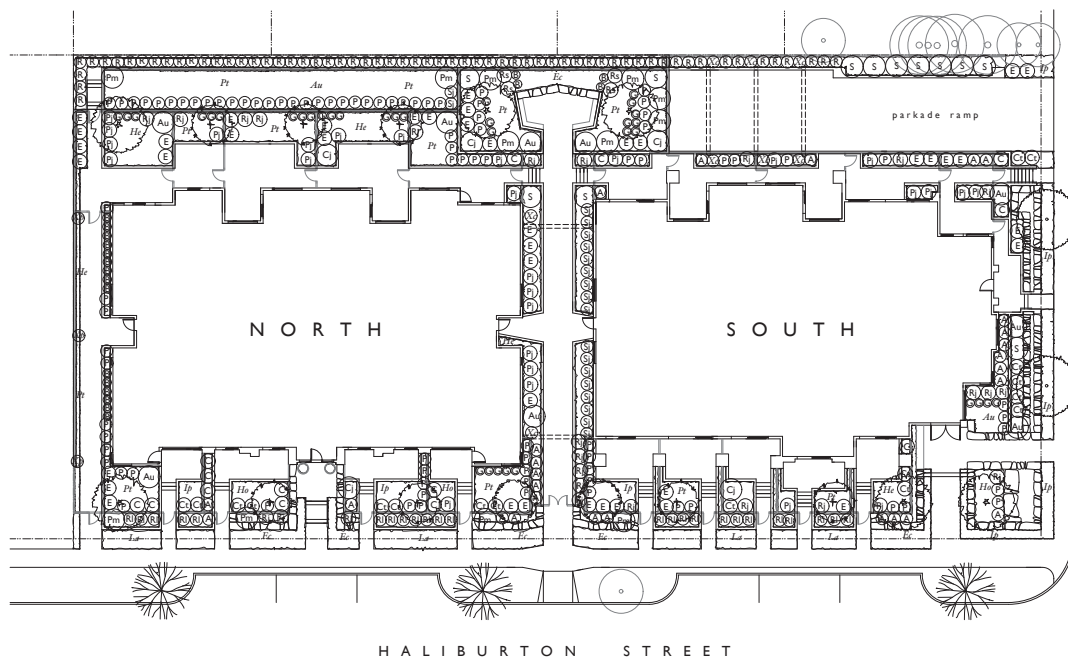
May 12, 2019
 April 20, 2019 revised
 February 20, 2019 conceptual plan
PROSPECT
 151 Haliburton Street, Nanaimo, BC

Level One
Grading Plan
 Scale 1/16"=1'-0"

TOPOGRAPHICS
 landscape architecture
 250 247 9720

LA I

RECEIVED
 DP1142
 2019-JUN-04
 C:\Users\j\Documents\2019-JUN-04



Symbol	Qty	Botanical Name	Common Name	Size	Note
TREES					
	7	<i>Acer palmatum</i> Senkaki	Japanese Maple	6' ht	multistem
	2	<i>Cercidiphyllum japonica</i>	Katsura	5' cal	
	6	<i>Magnolia soulangeana</i>	Magnolia	5' cal	
	2	<i>Platanus x acerifolia</i>	London Plane	5' cal	6' standard
	3	<i>Prunus serrulata</i> Kwanzan	Flowering Cherry	5' cal	
SHRUBS					
	8	<i>Arbutus unedo</i>	Strawberry Tree	#1	
	26	<i>Azalea japonica</i> Blue Danube	Azalea	#2	
	19	<i>Blechnum spicant</i>	Bacwood	#2	
	5	<i>Camellia japonica</i> Elegans Champagne	Camellia	#1	
	17	<i>Canothus thyrsiflorus</i> Victoria	California Lilac	#2	
	12	<i>Choisya ternata</i>	Mexican Mockorange	#2	
	40	<i>Eucymus alatus</i> Compactus	Burningbush	#2	
	34	<i>Gaultheria shallon</i>	Salal	#2	
	22	<i>Pieris japonica</i> Compacta	Pieris	#1	
	12	<i>Pinus mugo</i> Pumilio	Mugo Pine	#1	
	84	<i>Polystichum munizianum</i>	Swordfern	#2	
	24	<i>Rhododendron</i> Jean Marie de Montague	Rhododendron	#1	
	4	<i>Rhododendron</i> Sore Lady	Rhododendron	#1	
	24	<i>Rosa meidland</i> La Seviliana	Rose	#2	
	62	<i>Rosa mathame</i>	Notho Rose	#2	
	17	<i>Skimmia japonica</i>	Skimmia	#2	
	11	<i>Syringa vulgaris</i> Edith Cavell	Lilac	#1	
GROUNDCOVERS					
	30	<i>Arctostaphylos uva ursi</i>	Kinnikinnick	4"	
	120	<i>Erica carnea</i> Springwood White	Heather	#1	
	120	<i>Lavandula angustifolia</i> Munstead	Lavender	#1	
	240	<i>Pachysandra terminalis</i>	Japanese Spurge	4"	
PERENNIALS					
	60	<i>Hemerocallis</i> Stella d'Oro	Daylily	#1	
	60	<i>Hosta sieboldiana</i> Elegans	Hosta	#1	
	120	<i>Iris pumilla</i>	Iris	#1	
VINES					
	8	<i>Clematis armandii</i>	Evergreen Clematis	#1	staked
	3	<i>Parthenocissus tricuspidata</i>	Boston Ivy	#1	staked
All Plants to meet BCSLA / BCNTA Standards					
Drip irrigation to be provided for all planting areas					



May 12, 2019
April 26, 2019
February 20, 2019 conceptual plan

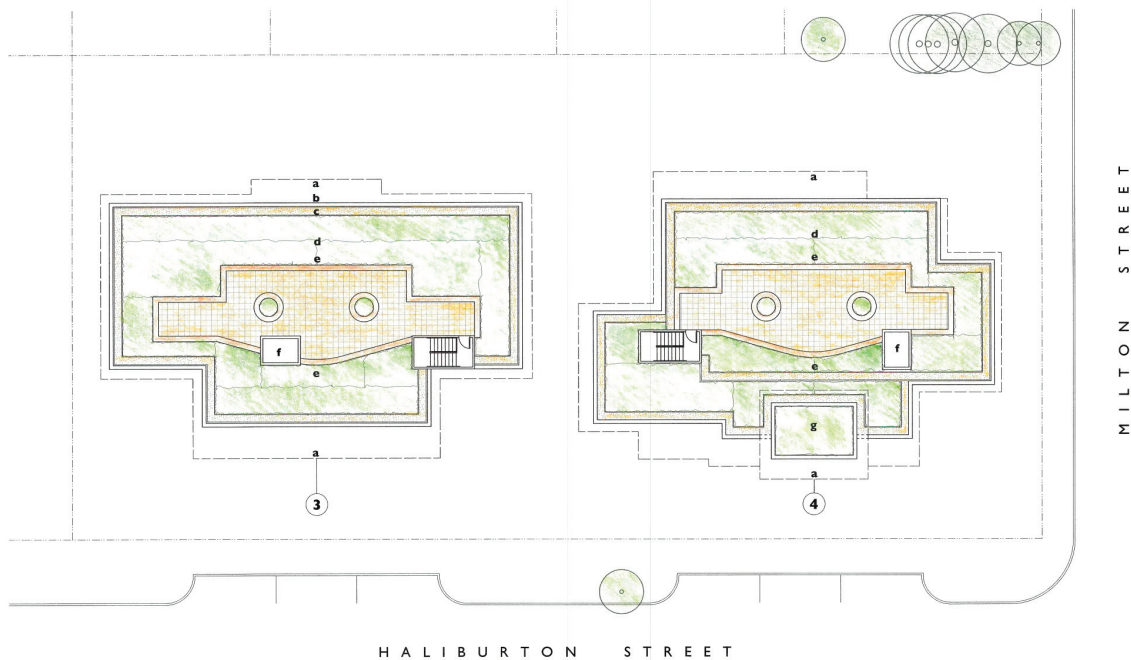
PROSPECT
151 Haliburton Street, Nanaimo, BC

Level One
Planting Plan
Scale 1/16"=1'-0"

TOPOGRAPHICS
landscape architecture
250 247 9720

RECEIVED
DP1442
2019-JUN-04
CITY OF NANAIMO

LA 2



Key

- a roofline
refer to architecture
- b parapet
12" height
- c guardrail
glazed 42" height
- d drain rock
3" min diameter
- e meadow planting
refer to LA4
- f sitting wall
18" height
- g permeable pavers
18" square, texada desert sand
- h elevator mechanical
refer to architecture
- i upper garden
refer to architecture
- 3 section line
refer to LA6



May 12, 2019
April 20, 2019 revision
February 26, 2019 conceptual plan

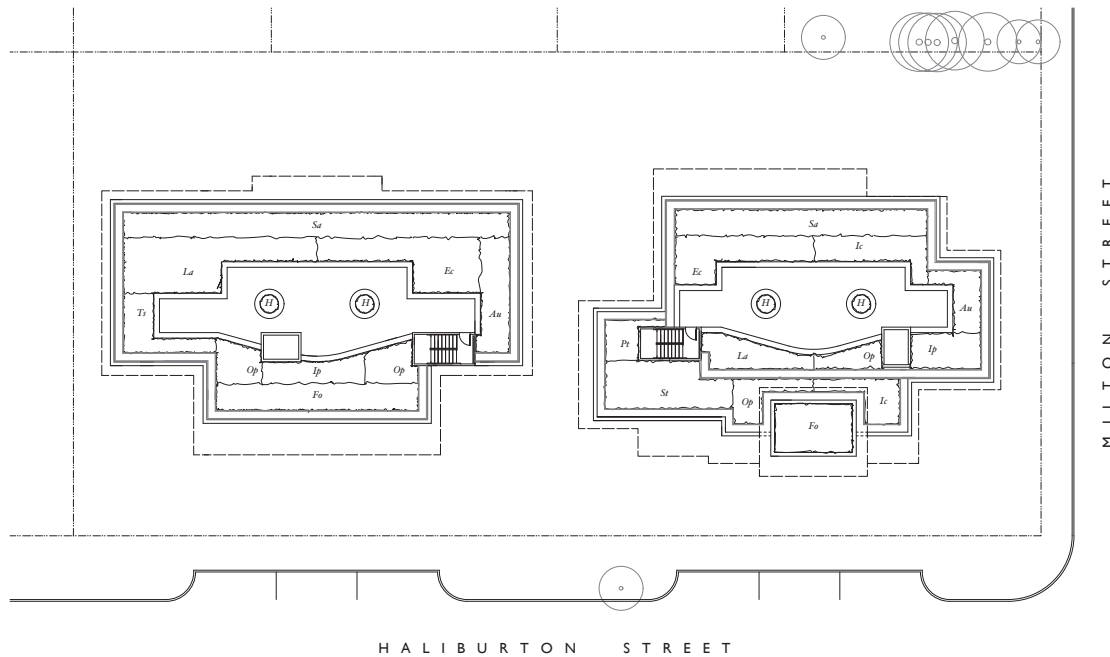
PROSPECT
151 Haliburton Street, Nanaimo BC

Level Six
Grading Plan
Scale 1/16" = 1'-0"

TOPOGRAPHICS
landscape architecture
250 247 9720

RECEIVED
DP1142
2019-JUN-04
CLIFFORD P. BROWN

LA 3



PLANT LIST				
Symbol	Qty	Botanical Name	Common Name	Size
GROUND COVER				
An	180	<i>Aristaophylus uva ursi</i>	Kinnikinnick	#1
Ec	300	<i>Erica carnea Springwood White</i>	Heather	#1
La	320	<i>Lavandula angustifolia Munstead</i>	Lavender	#1
Pt	40	<i>Pachysandra terminalis</i>	Japanese Spurge	#1
PERENNIAL				
Ip	160	<i>Iris pansilla</i>	Iris	#1
Su	460	<i>Sedum alba</i>	Sedum	4"
St	160	<i>Sedum tenuissimum</i>	Sedum	4"
Ti	100	<i>Thymus serpyllum</i>	Thyme	#1
GRASS				
Fo	260	<i>Festuca ovina</i>	Blue Fescue	#1
Ic	140	<i>Imperata cylindrica Red Baron</i>	Japanese Bloodgrass	#1
Op	180	<i>Ophiopogon plantiscarpus Arabicus</i>	Black Mondo Grass	#1
HERB				
H	20	<i>to be selected</i>		#1
All Plants to meet BCSLA / BCNTA Standards				
Drip irrigation to be provided for all planting areas				



May 12, 2019
April 26, 2019 revision
February 20, 2019 conceptual plan

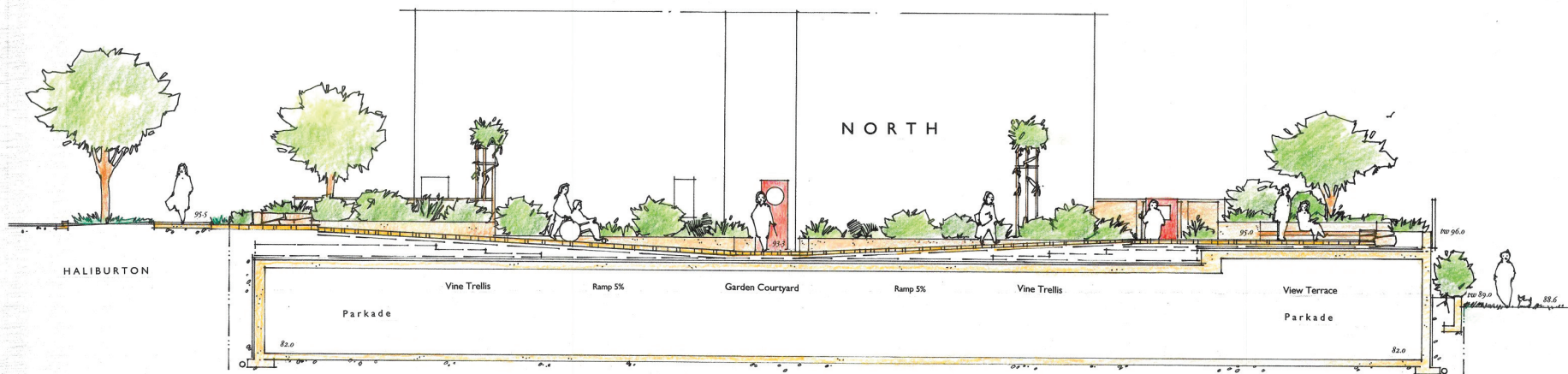
PROSPECT
151 Haliburton Street, Nanaimo BC

Level Six
Planting Plan
Scale 1/16"=1'-0"

TOPOGRAPHICS
landscape architecture
250 247 9720

RECEIVED
DP1142
2019-JUN-04
CITY OF NANAIMO

LA 4



Section 1



Section 2

May 18, 2019

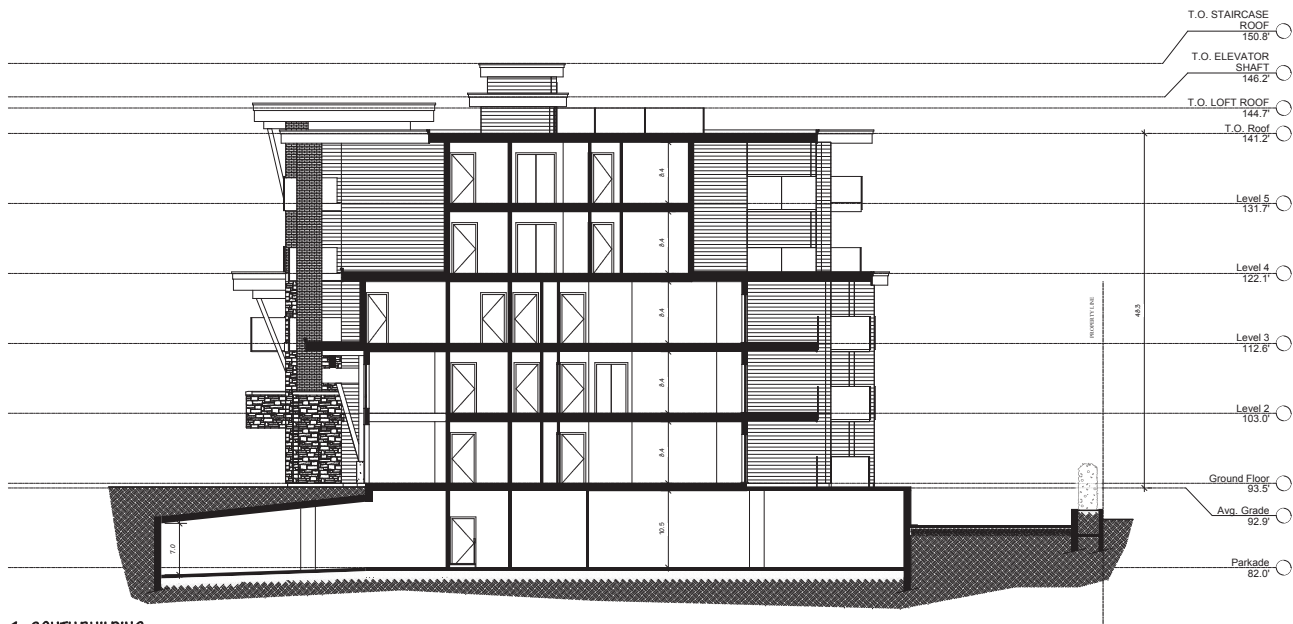
PROSPECT
151 Haliburton Street, Nanaimo BC
Level One
Landscape Sections

Scale 3/16" = 1'-0"

TOPOGRAPHICS
landscape architecture
250.247.9720

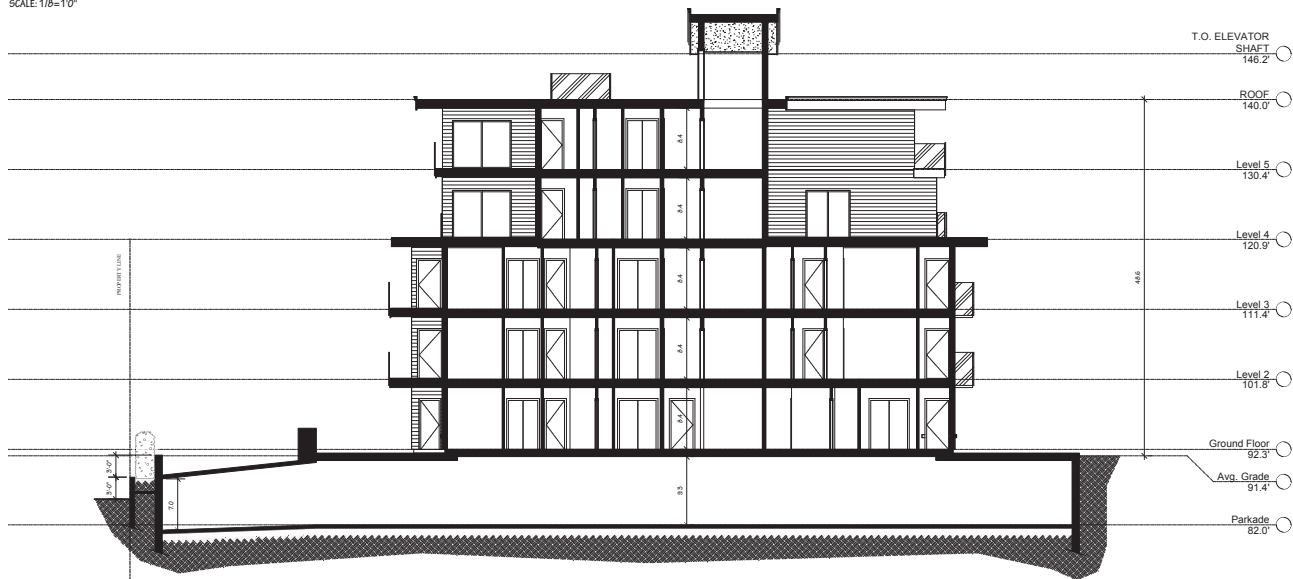
LA5

RECEIVED
DP1142
2019-JUN-04



1 - SOUTH BUILDING

SCALE: 1/8"=1'0"



1 - NORTH BUILDING

SCALE: 1/8"=1'0"

NO.	DATE	REVISION
04		
03		
02		
01		

MATTHEW T. HANSEN
architect

1372 River Road
North Haven, CT
06457

T 404-883-3733
F 404-883-8725
C 404-871-2283

www.mtharchitect.ca

Copyright reserved

This drawing and design are the intellectual property of Matthew T. Hansen Architectural Center Inc. and are not to be reproduced or used in any manner without the written consent of Matthew T. Hansen Architectural Center Inc. The client is responsible for all dimensions and conditions of the building and shall be held responsible for any errors or omissions.

PROJECT TITLE

PROSPECT

HAUBERTON AND MELSON OF
NANAMU, BC

DRAWING TITLE

**NORTH & SOUTH BUILDING
SECTIONS**

DATE MAY 2019

DRAWN DB

SCALE ADJUSTED

DRAWING NO.

A02

RECEIVED
DP 1142
2019-JUN-04

Critical Planning

AERIAL PHOTO



Legend

 Subject Properties

DEVELOPMENT PERMIT NO. DP001142