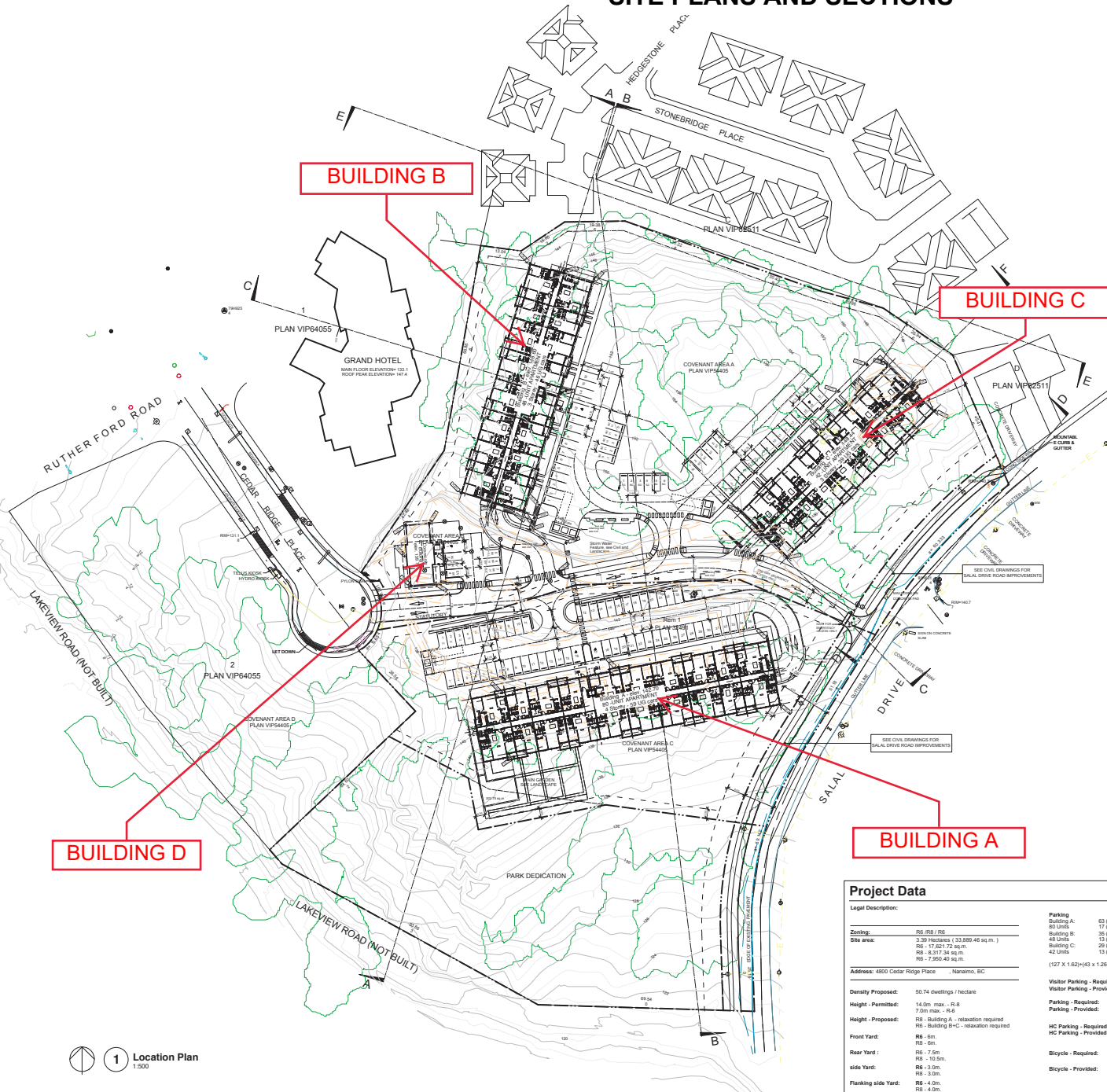


ATTACHMENT C SITE PLANS AND SECTIONS

1 of 6



B.C. Building Code (2018) Analysis
Building A, Building B + Building C - PART 3

Occupancy Classification Group C-2.2.5.3, up to 6 Storeys, Residential
Group C-2.2.5.3, up to 3 Storeys, Commercial
The Garage Gassing is considered a Separate Building as described under Clause 3.2.2.3 Storage Garage Considered as a Separate Building
It is separated from the building above by a 2-hour horizontal separation, and all penetrations by building services shall conform to clause 3.1.1.1 The Stopping of Service Penetrations

Number of Storeys 1 street
Number of Storeys 4 floors
Building Area 3 storeys - 3000 sq.m. / 4 storeys - 2550 sq.m. (max. permitted)
Construction Combustible Group C on Noncombustible F
Assemblies Floors: 1 floor
Load bearing walls, columns and arches: 1 floor
Sprinkler System Installed to NFPA 13R 2013
Fire Alarm / Detection Systems Required as per 3.2.4.1
Standpipe is required as per 3.2.5.8
Lighting + Emergency Power Systems Provided as per 3.2.7
Requirement for Exit Every floor is served by not less than 2 exits, 3.4.2.1.1
Minimum width for Exit Corridors, Passageways, Public Stairs and Corridors: 1.00m, 800mm for single travel 3.2.2.4
Residential suites to be separated from each other and the remainder of the Building by a Fire Separation having a fire-resistance rating of not less than 1 hour, 3.3.4.2.1
Fire Separation of Suites

Spatial Separation - Building A

Building Elevation	East	North	West	South	Code Reference
Area Expanding Building Face	200 sq.m.	1000 sq.m.	200 sq.m.	1000 sq.m.	
Area of Unprotected Openings	200 sq.m.	1000 sq.m.	200 sq.m.	1000 sq.m.	
Limiting Distance	10m	10m	10m	10m	
permitted % unprotected openings	100%	100%	100%	100%	Table 3.2.3.1.0
actual % unprotected openings	0.0%	0.0%	0.0%	0.0%	
Wall Rating Required	45 min.	45 min.	45 min.	45 min.	Table 3.2.3.1
Combustible/Noncombustible Wall	combustible	combustible	combustible	combustible	Table 3.2.3.1
Combustible/Noncombustible Cladding	combustible	combustible	combustible	combustible	Table 3.2.3.1

Spatial Separation - Building B

Building Elevation	North	East	South	West	Code Reference
Area Expanding Building Face	200 sq.m.	875 sq.m.	200 sq.m.	888 sq.m.	
Area of Unprotected Openings	200 sq.m.	875 sq.m.	200 sq.m.	888 sq.m.	
Limiting Distance	10m	10m	10m	10m	
permitted % unprotected openings	100%	100%	100%	100%	Table 3.2.3.1.0
actual % unprotected openings	0.0%	0.0%	0.0%	0.0%	
Wall Rating Required	45 min.	45 min.	45 min.	45 min.	Table 3.2.3.1
Combustible/Noncombustible Wall	combustible	combustible	combustible	combustible	Table 3.2.3.1
Combustible/Noncombustible Cladding	combustible	combustible	combustible	combustible	Table 3.2.3.1

Spatial Separation - Building C

Building Elevation	East	North	West	South	Code Reference
Area Expanding Building Face	200 sq.m.	1000 sq.m.	200 sq.m.	1000 sq.m.	
Area of Unprotected Openings	200 sq.m.	1000 sq.m.	200 sq.m.	1000 sq.m.	
Limiting Distance	10m	10m	10m	10m	
permitted % unprotected openings	100%	100%	100%	100%	Table 3.2.3.1.0
actual % unprotected openings	0.0%	0.0%	0.0%	0.0%	
Wall Rating Required	45 min.	45 min.	45 min.	45 min.	Table 3.2.3.1
Combustible/Noncombustible Wall	combustible	combustible	combustible	combustible	Table 3.2.3.1
Combustible/Noncombustible Cladding	combustible	combustible	combustible	combustible	Table 3.2.3.1

B.C. Building Code (2018) Analysis
Building D - PART 3

Occupancy Classification Group C-2.2.5.3, up to 3 Storeys
Residential Suite

Number of Storeys 1 street
Number of Storeys 2 floors
Building Area 150 sq.m. (max. permitted - 500 sq.m.)
Construction Floors: 45 min.
Load bearing walls, columns and arches: 45 min.
Assemblies

Spatial Separation - Building D

Building Elevation	East	South	West	North	Code Reference
Area Expanding Building Face	200 sq.m.	1000 sq.m.	200 sq.m.	1000 sq.m.	
Area of Unprotected Openings	200 sq.m.	1000 sq.m.	200 sq.m.	1000 sq.m.	
Limiting Distance	10m	10m	10m	10m	
permitted % unprotected openings	100%	100%	100%	100%	Table 3.2.3.1.0
actual % unprotected openings	0.0%	0.0%	0.0%	0.0%	
Wall Rating Required	45 min.	45 min.	45 min.	45 min.	Table 3.2.3.1
Combustible/Noncombustible Wall	combustible	combustible	combustible	combustible	Table 3.2.3.1
Combustible/Noncombustible Cladding	combustible	combustible	combustible	combustible	Table 3.2.3.1

Level 2 EV Charging Stalls for 200 Required Parking Spaces

Area	EV Charging stalls	Future EV Charging stalls
Building A	10	0
Building B	10	0
Building C	10	0
Building D - Community Building	4	0
Total	34	0

* EV Charging Stalls to be Located in Respective Building Parkades

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2019-MAY-25

Project Data

Legal Description:

Zoning: RS, R8 / RS
Site area: 3.30 Hectares (33,889 sq.m.)
RS - 17,621.72 sq.m.
RS - 8,517.34 sq.m.
RS - 7,550.45 sq.m.

Address: 4000 Cedar Ridge Place - Nanaimo, BC

Density Proposed: 50.74 dwellings / hectare
Height - Permitted: 14.0m max. - R-8
7.0m max. - R-8
Height - Proposed: RS - Building A - rotation required
RS - Building B+C - rotation required
Front Yard: RS - 6m
RS - 7.0m
RS - 10.0m
Rear Yard: RS - 3.0m
RS - 3.0m
Flanking side Yard: RS - 4.0m
RS - 4.0m

Parking

Building	Units	Spaces
Building A	63 (2 bedroom)	17 (1 bedroom)
Building B	80 Units	35 (2 bedroom)
Building C	48 Units	29 (2 bedroom)
Building D	42 Units	13 (1 bedroom)
Total	233	94

(127' X 1.62' (43' X 1.26') = 259.92 spaces)

Visitor Parking - Required: 259.92 / 22 = 11.8 spaces (included)
Visitor Parking - Provided: 12 spaces (included)
Parking - Required: 260 spaces
Parking - Provided: 200 spaces (116 surface / 144 underground)
HC Parking - Required: 6 spaces
HC Parking - Provided: 7 spaces (5 surface / 2 underground)

Bicycle - Required: 170 x 0.5 = 85 long term
170 x 0.5 = 17.5 short term
Bicycle - Provided: 144 long term
20 short term

Building Areas:

Building	Ground floor	2nd floor	3rd floor	4th floor	Total
Building A	20,860 sq.ft. (1,938.0 sq.m.)	20,860 sq.ft.	20,860 sq.ft.	20,860 sq.ft.	83,440 sq.ft. (7,752.0 sq.m.)
Building B	16,488 sq.ft.	16,488 sq.ft.	16,488 sq.ft.	16,488 sq.ft.	65,952 sq.ft. (6,131.6 sq.m.)
Building C	14,294 sq.ft. (1,328.0 sq.m.)	14,294 sq.ft.	14,294 sq.ft.	14,294 sq.ft.	57,176 sq.ft. (5,304.8 sq.m.)
Building D	14,294 sq.ft.	14,294 sq.ft.	14,294 sq.ft.	14,294 sq.ft.	57,176 sq.ft. (5,304.8 sq.m.)
Community Building	3,432 sq.ft. (318.8 sq.m. - 2 floors)				6,864 sq.ft.

Building Foot Prints: 4,957.0 sq.m.
Total Site Coverage: 14.62%

F.A.R.: RS (8,897.6 sq.m. + 17,621.72 sq.m.) = 0.50
RS (7,752.0 sq.m. + 8,897.6 sq.m.) = 0.899
RS (0 sq.m. + 7,647.65 sq.m.) = 0.00
RS (maximum permitted 0.45x)

Notes & Standards:
Conform to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

Date	Revised	Description
11 May 7 2019	DP	Re-submission
10 April 11 2019	Revised	Revised Date
9 Feb 20 2019	Revised	Revised for DP
8 Jan 11 2019	Issued	Issued for Tender
7 Nov 20 2018	Rev	Rev Application
6 Nov 21 2018	Review	
5 Nov 07 2018	Review	
4 Sept 14 2018	Rev	Rev Application
3 Sept 4 2018	DP	DP Application
2 Aug 28 2018	DP	DP Review
1 April 15 2018	Review	

Rev. No. DATE DESCRIPTION

Rev. No. Y1801

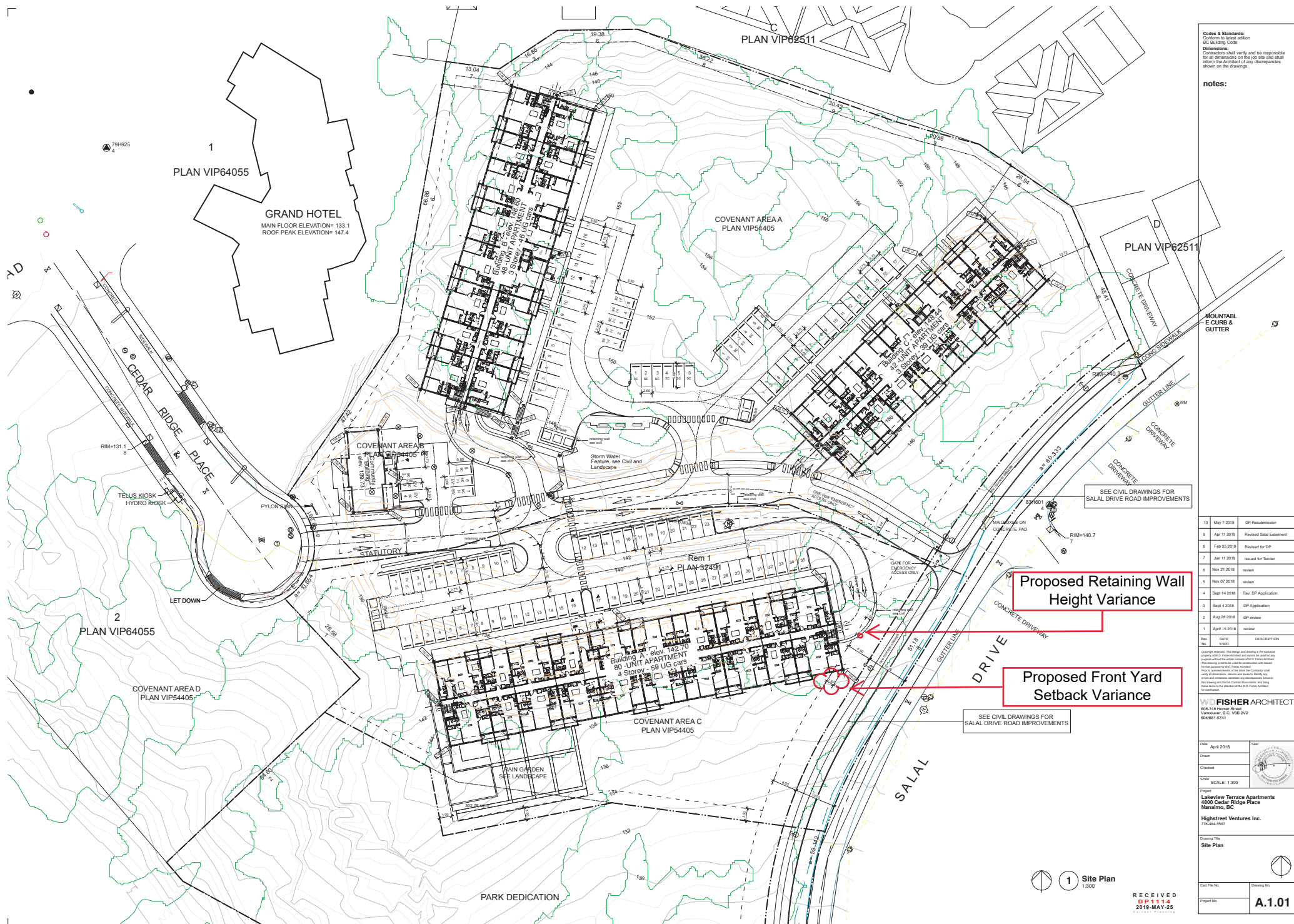
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608-518-1888
Vancouver, B.C. V6B 2V2
60868-0141

Date: April 2018
Drawn:
Checked:
Scale: 1:500

Lakeview Terrace Apartments
4000 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
778-484-5567

Crawing Title
Location Plan
Project Data

Cut File No. Drawing No.
Project No. **A.1.00**



Notes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

10	May 7 2019	DP Resubmission
9	Apr 11 2019	Revised Solid Easement
8	Feb 25 2019	Revised for DP
7	Jan 11 2019	Issued for Tender
6	Nov 21 2018	Review
5	Nov 07 2018	Review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	Aug 28 2018	DP Review
1	April 15 2018	Review

Rev.	DATE	DESCRIPTION
1	Y1803	

FISHER ARCHITECT
 608-514 Avenue Street
 Vancouver, B.C. V6B 2V2
 604-685-0741

Date: April 2018
 Drawn:
 Checked:
 Scale: 1:300

Project:
Lakeview Terrace Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highest Ventures Inc.
 778-484-5557

Drawing Title:
Site Plan

Client File No.:
 Drawing No.:
 Project No.:
A.1.01

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 DP 11-14
 2019-MAY-25
 COUNTY OF NANAIMO

SITE SECTIONS

Codes & Standards:
 Conform to local edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

STONEBRIDGE PLACE

155
150
145
140
135
130
125
120

LAKEVIEW ROAD

9	May 7 2019	DP Re-submission
8	Apr 5 2019	Rev for city comments
7	Jan 11 2019	Issued for Tender
6	Nov 29 2018	BP Application
5	Nov 21 2018	review
4	Nov 07 2018	review
3	Sept 14 2018	Rev DP Application
2	Sept 4 2018	DP Application
1	April 15 2018	review
Rev.	DATE	DESCRIPTION
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FISHER ARCHITECT
 608-310 Homer Street
 Vancouver, B.C. V6B 2V2
 6046815741

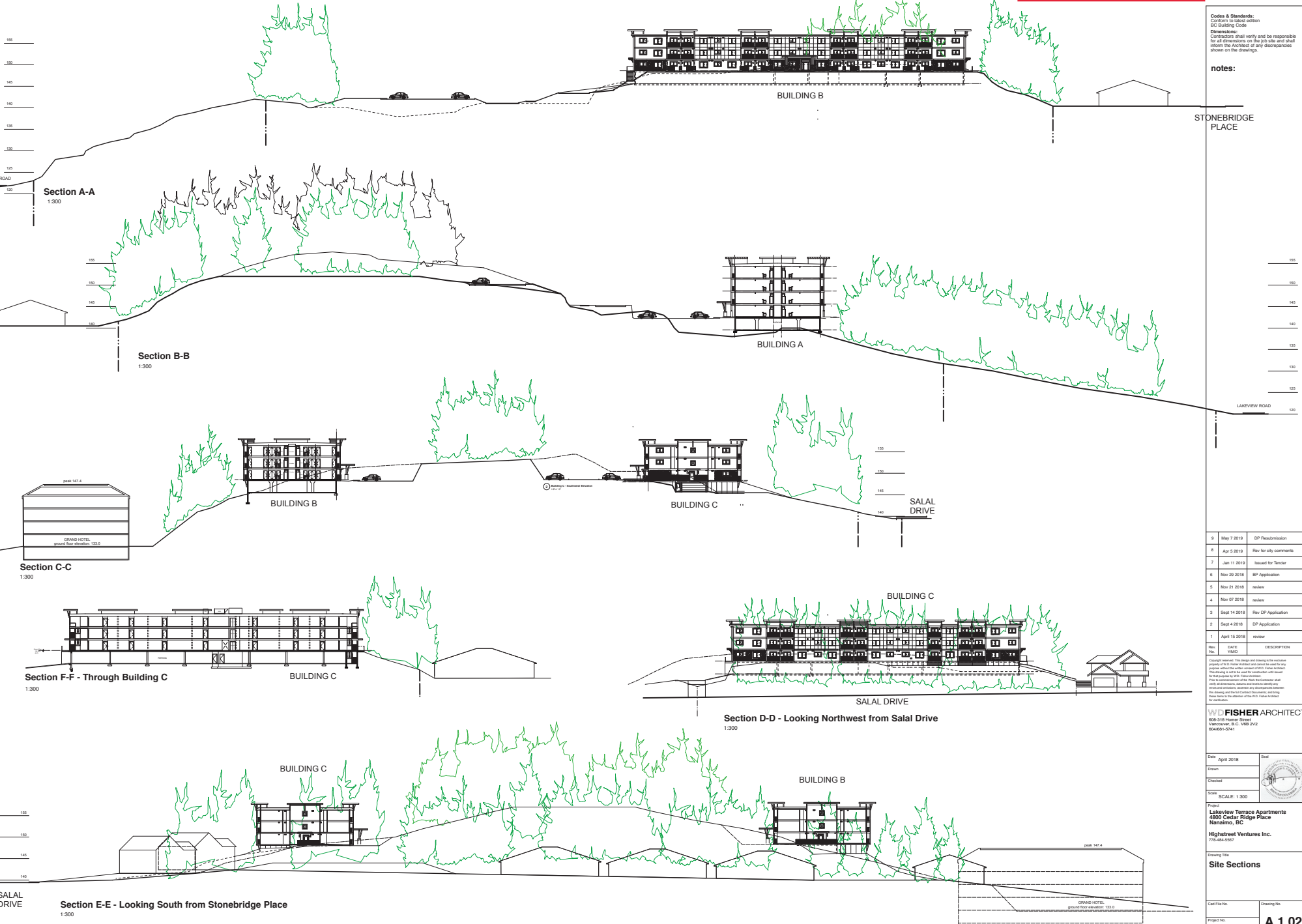
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Drawn		
Checked		
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Project
Lakeview Terrace Apartments
 4820 Cedar Ridge Place
 Nanaimo, BC
 Highstreet Ventures Inc.
 778-484-5567

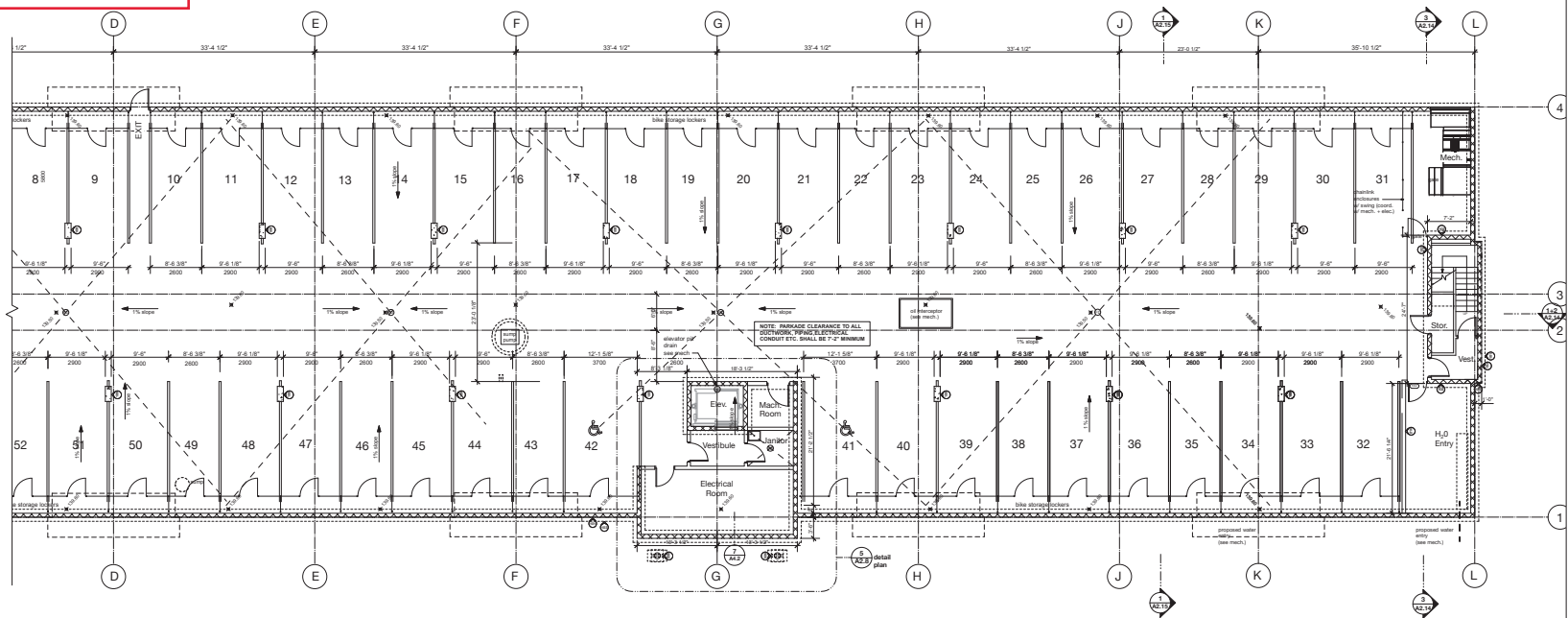
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Site Sections

Chief File No.	Drawing No.
Project No.	A.1.02

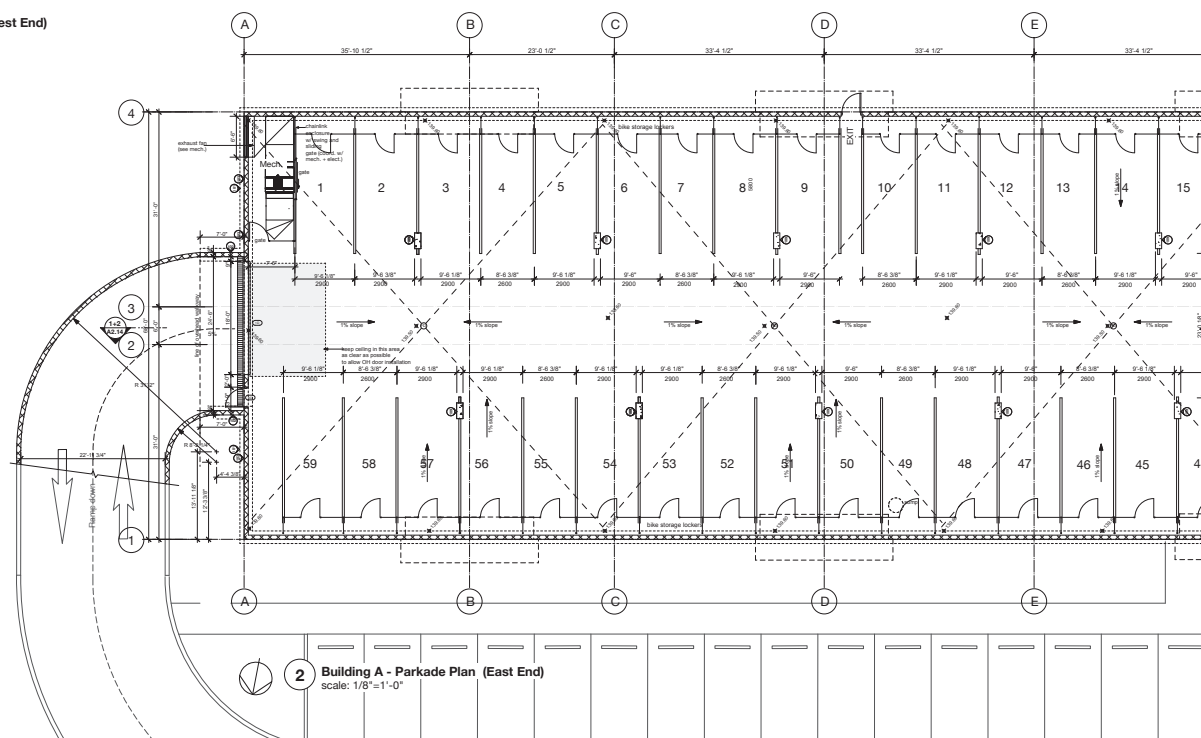
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 DP 1114
 2019-MAY-09
 COUNCIL PLANNING



BUILDING A - PARKADE



1 Building A - Parkade Plan (West End)
scale: 1/8"=1'-0"



2 Building A - Parkade Plan (East End)
scale: 1/8"=1'-0"

Codes & Standards:
Conforms to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

DIMENSIONS:
Dimensions are to framing unless
otherwise indicated.

10	May 07 2019	DP Re-submission
9	Jan 11 2019	Issued for Tender
8	Nov 20 2018	BP Application
7	Nov 21 2018	review
6	Nov 20 2018	coordination
5	Nov 07 2018	review
4	Sept 14 2018	Rev DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Aug 10 2018	client review

Rev. DATE DESCRIPTION
1. 08/10/2018
2. 07/13/2018

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600-1181 Hornet Street
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604-681-8141

Date	Aug 10, 2018	Seal
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Scale		

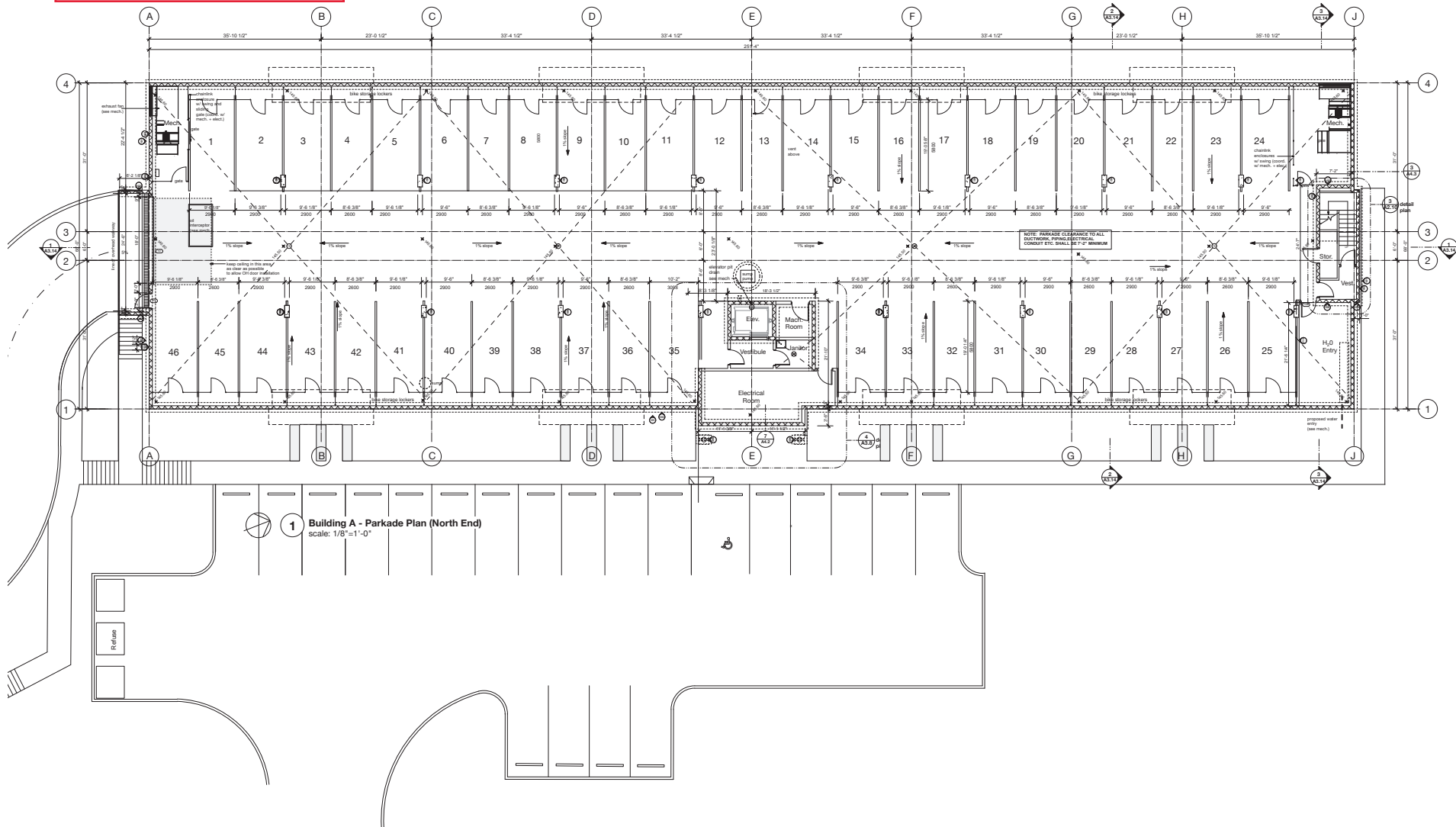
Project:
Lakeview Terrace Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
178-444-0007

**Building A
Parkade Plan**

Sheet No. **A02.0**

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DP 1114
2019-MAY-09

BUILDING B - PARKADE



Building A - Parkade Plan (North End)
scale: 1/8"=1'-0"

Codes & Standards:
Conform to latest edition
BC Building Code

Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
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shown on the drawings.

notes:

DIMENSIONS:
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9	May 07 2019	DP Resubmission
8	Feb 25 2019	Revised for DP
7	Jan 11 2019	Issued for Tender
6	Nov 29 2018	BP Application
5	Nov 21 2018	review
4	Nov 07 2018	review
3	Sept 14 2018	Rev DP Application
2	Sept 4 2018	DP Application
1	July 10 2018	review
Rev. No.	DATE YMD	DESCRIPTION

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Date	July 2018	Seal	
Drawn			
Checked			
Scale			

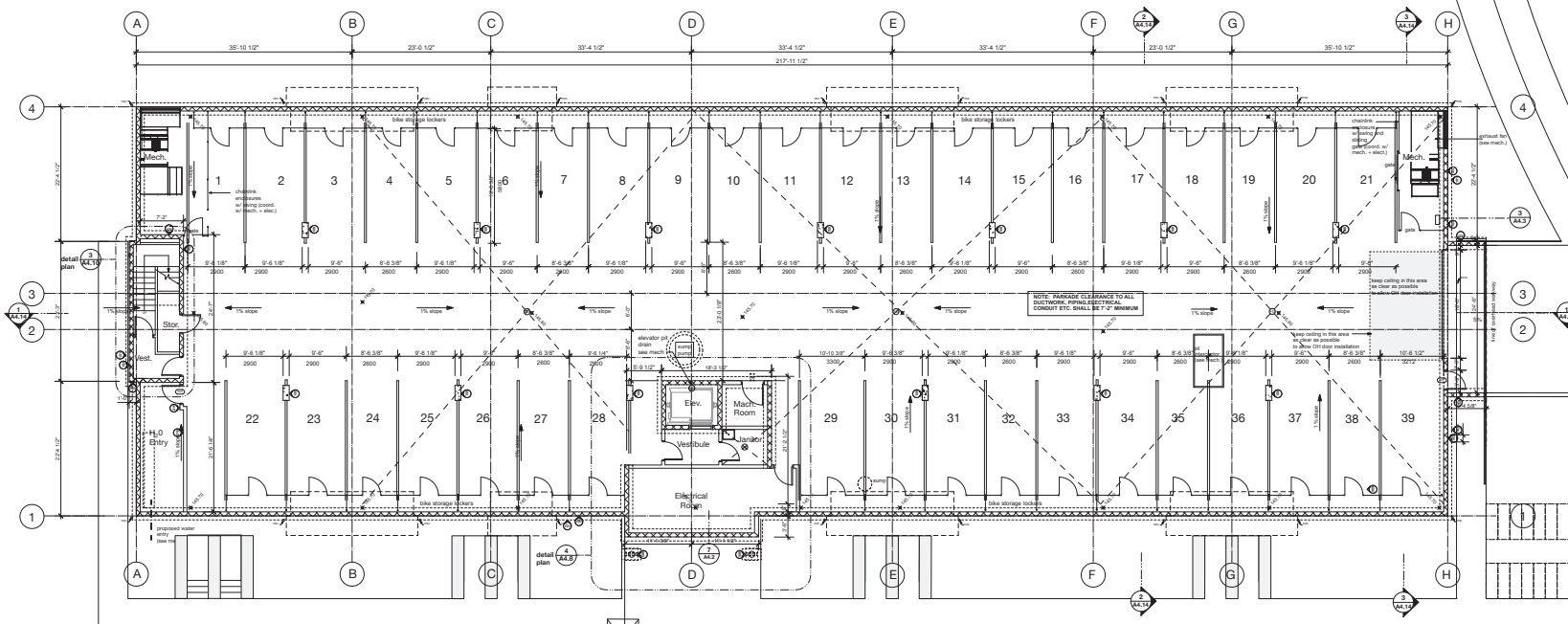
Project
Lakeview Terrace Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.

Drawing Title

**Building B
Parkade Plan**

Cad File No.	Drawing No.
Project No.	A03.0

BUILDING C - PARKADE



 **1 Building C - Parkade Plan**
scale: 1/8"=1'-0"

Codes & Standards:
Conform to latest edition
BC Building Code

Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
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notes:

DIMENSIONS:
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9	May 07 2019	DP Reapplication
8	Feb 25 2019	Revised for DP
7	Jan 11 2019	Issued for Tender
6	Nov 29 2018	BP Application
5	Nov 21 2018	review
4	Nov 07 2018	review
3	Sept. 14 2018	Rev DP Application
2	Sept. 4 2018	DP Application
1	July 10 2018	client review
Rev	DATE	DESCRIPTION

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604/681-5741

Date	July 2018	
Drawn		
Checked	4	
Scale		

Project
Lakeview Terrace Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.

Building C Parkade Plan

	Cad File No.
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Drawing No.
A04.0