

ATTACHMENT A

PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

The City of Nanaimo “ZONING BYLAW 2011 NO. 4500” is varied as follows:

1. *Section 10.5.1 Siting of Buildings* – to reduce the minimum required front yard setback from 3m to 1.5m.

The City of Nanaimo “Development Parking Regulations Bylaw 2005 No. 7013” is varied as follows:

1. *Schedule ‘A’* – to reduce the required number of off-street parking spaces from 4 to 2.

CONDITIONS OF PERMIT

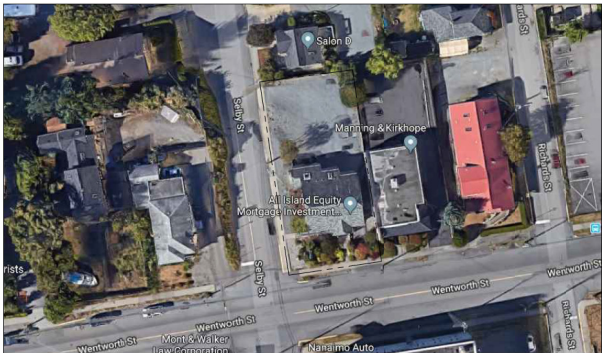
1. The subject property is developed in substantial compliance with the Site / Landscape Plan prepared by Herold Engineering, dated 2018-AUG-28 as shown on Attachment C.
2. The subject property is developed in general accordance with the Building Elevations prepared by Herold Engineering, dated 2018-AUG-28 as shown on Attachment D.

A location plan map showing a street grid. Selby St runs vertically on the left. Wentworth St runs diagonally from the bottom left to the top right. Several lots are outlined and labeled with numbers: 125, 127, 166, 195, 410, 430, 450, and 460. Two specific lots are highlighted in blue: DT8, which is a hatched rectangular lot located between Selby St and Wentworth St, and DT3, which is a large lot located south of Wentworth St. The map is titled 'LOCATION PLAN' at the top center.

ATTACHMENT C
SITE / LANDSCAPE PLAN

ARCHITECTURAL D 24" x 36"

File: A:\Projects\2138-004 Office Renovation - 450 Wentworth Street\GIS Drawings\Architectural\2138-004 A101 SITE & Landscape Plan.dwg Plot Date: Aug. 31, 18 12:38 PM User: Raining



PROPERTY LOCATION

PROPERTY DATA	
LEGAL DESCRIPTION:	LOT 3, BLOCK 38, SECTION 1, NANAIMO DISTRICT, PLAN 564
PID:	005-982-961
CIVIC ADDRESS:	450 WENTWORTH STREET, NANAIMO, BC
ZONING:	DTB OLD CITY MIXED USE
MAJOR OCCUPANCIES:	0 - BUSINESS AND PERSONAL SERVICES OCCUPANCIES
SITE AREA:	683 M ² ALL PAVED
BUILDING AREA:	NEW ADDITION AREA: 65.57 M ² EXISTING BUILDING AREA: 108.13 M ² TOTAL BUILDING AREA: 173.90 M ²
LOT COVERAGE:	25.18% (50% COVERAGE PERMITTED) MAXIMUM ALLOWABLE HEIGHT: 10.5 M
PARKING PROVIDED:	VISITOR-2 STALLS (INCLUDING 1 HANDICAP STALLS), STAFF-4 STALLS
SETBACKS:	REQUIRED:
FRONT YARD:	4 m
SIDE YARD:	3 m
REAR YARD:	3 m

LEGEND



GENERAL NOTES:

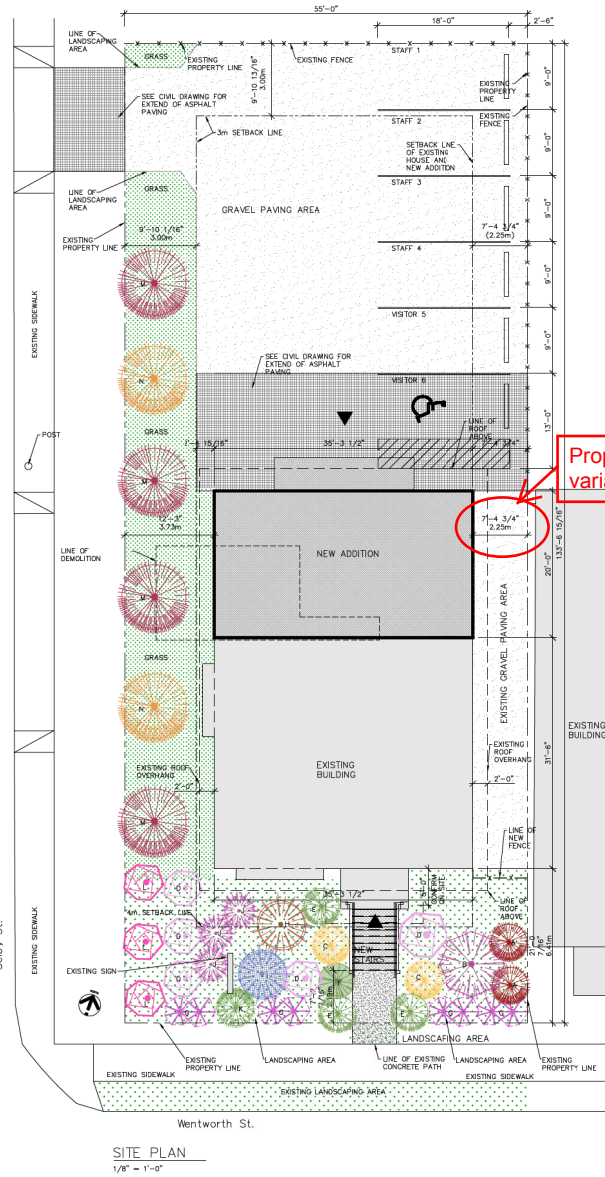
- EXAMINE SITE. ASCERTAIN ALL SITE CONDITIONS PERTINENT TO THE CONTRACT. THE ARCHITECTURAL DRAWINGS DO NOT GUARANTEE EXISTING SITE INFORMATION INDICATED IN THE CONTRACT DOCUMENTS AND THE CONTRACTOR MUST EVALUATE SUCH INFORMATION RELATIVE TO ACTUAL CONDITIONS.
- PERFORM ALL WORK IN ACCORDANCE WITH WORKSAFE BC, AS WELL AS TO CURRENT BRITISH COLUMBIA BUILDING CODE, AND/OR ANY OTHER CODE OF PROVINCIAL OR LOCAL APPLICATION PROVIDED THAT IN ANY CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS OR AUTHORITY HAVING JURISDICTION SHALL APPLY.
- CONTRACTOR IS TO COORDINATE SCHEDULE OR WORK AND RELATED TEMPORARY RELOCATION OF EQUIPMENT AND/OR FURNITURE AS REQUIRED WITH OWNER TO MINIMIZE DISRUPTION TO ACTIVE BUSINESS OPERATIONS.
- MEET OR EXCEED REQUIREMENTS OF CONTRACT DOCUMENTS, SPECIFIED STANDARDS, CODES AND REFERENCED DOCUMENTS.
- FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS AND CONDUITS AND CONFORM TO FIRE STOPPING AND FIRE SEPARATION REQUIREMENTS. CONCEAL PIPES, DUCTS AND WIRING IN FLOOR, WALL AND CEILING CONSTRUCTION OF FINISHED AREAS.
- WHERE WORK INVOLVES BREAKING INTO OR CONNECTING TO EXISTING SITE SERVICES, CARRY OUT WORK AT TIMES DIRECTED BY GOVERNING AUTHORITIES WITH MINIMUM OF DISTURBANCE TO PEDESTRIAN AND VEHICULAR TRAFFIC.
- RECORD LOCATIONS OF MAINTAINED, RE-ROUTED AND ABANDONED SERVICE LINES.
- THE LOCATION OF EXISTING FEATURES, BOTH ABOVE AND UNDERGROUND, HAS BEEN DETERMINED FROM AVAILABLE RECORDS BUT IT IS NOT GUARANTEED. THE LOCATION OF ALL SUCH FEATURES SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR.
- DEMOLITION IN THE VICINITY OF EXISTING STRUCTURES AND UTILITIES SHALL BE CAREFULLY PERFORMED. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE TO AND FOR PROTECTION OF, EXISTING STRUCTURES AND UTILITIES.
- ALL THE VARIOUS WORKS SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND OF THE BEST MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE DRAWINGS AND INSTRUCTIONS CARRIED OUT AND COMPLETED UNDER THE CONSULTANT'S SUPERVISION AND TO THEIR SATISFACTION. NONE BUT SKILLED, EXPERIENCED WORKMEN AND THEIR APPRENTICES SHALL BE EMPLOYED ON THE WORK.
- ALL THE MATERIALS USED THROUGHOUT THE EXECUTION OF THE CONTRACT SHALL BE NEW AND THE BEST QUALITY UNLESS OTHERWISE SHOWN.
- THE WORK IS INTENDED TO BE A COMPLETE WORK IN EVERY RESPECT. THE CONTRACTOR SHALL ABIDE BY AND COMPLY WITH THE TRUE INTENT AND MEANING OF ALL THE DRAWINGS TAKEN AS WHOLE. ANY WORK SHOWN ON THE DRAWINGS EVEN IF NOT PARTICULARLY DESCRIBED IN THE SPECIFICATIONS, OR VICE VERSA, IS TO BE DONE BY THE CONTRACTOR AS IF IT WERE BOTH SHOWN AND SPECIFIED.
- CONFLICT IN TERMINOLOGY UTILIZED WITHIN THE CONTRACT DOCUMENTS WILL BE DECIDED AS THE MORE EXPENSIVE ALTERNATE.

ARCHITECTURAL DRAWING IS ARCHITECTURAL DRAWING ISSUE RECORD:

A101	SITE PLAN	ISSUE No.	ISSUE DATE (YYYYMMDD)	ISSUED FOR	DRAWING NUMBER									
					A101	A201	A202	A203	A204	A301	A302	A401	A501	
A201	FLOOR PLANS	1	2017.11.20	CLIENT REVIEW										
A202	REFLECTED CEILING PLANS	2	2017.12.22	BUILDING PERMIT										
A203	ROOF PLAN	3	2018.01.10	BUILDING PERMIT										
A204	STAIRS DETAILS	4	2018.08.08	BUILDING PERMIT REVISION 1										
A205	W/DOOR/ WINDOW DETAILS	5	2018.08.10	DP & BP REVISION 2										
A301	ELEVATIONS	6	2018.08.28	DP & BP REVISION 3										
A302	ELEVATIONS													
A401	SECTIONS													
A501	DOOR/ WINDOW/ SCHEDULE & DETAILS													

LEGEND OF PLANT	PLANT NAME	QUANTITY	NOTE
	PHOTNIA	2	
	ORNAMENTAL MAPLE TREE	1	
	EUKYMNUS EUROPAEUS	1	
	ROSES	5	
	EUKYMNUS JAPONICA	4	
	WINTER DAPHNE	1	
	WINGELIA	2	
	COTNUS (SMOKE TREE)	1	
	GEONOTHUS (CALIFORNIA LIAC)	1	
	RHODODENDRON	3	
	EUKYMNUS RADICIS	1	
	ROSES DAPHNE	3	
	PRINCESS KAY PLUM (PRUNUS NIGRA)	4	
	SUGAR MAPLE TREE	2	

LANDSCAPING DESIGN BY:
DMY AMIRALTY, B.L.A. ECO SIGN
MOUNTAIN RESORT PLANNERS
LTL
HEIGNE SULLIVAN



SITE PLAN
1/8" = 1'-0"

ISSUES	
NO.	ISSUED FOR
1	2017.11.20 CLIENT REVIEW
2	2017.12.22 BUILDING PERMIT
3	2018.01.10 BUILDING PERMIT
4	2018.08.08 BUILDING PERMIT REVISION 1
5	2018.08.10 DP & BP REVISION 2
6	2018.08.28 DP & BP REVISION 3

SUB CONSULTANT

ISSUED FOR
BUILDING PERMIT

NOT FOR
CONSTRUCTION

OFFICE RENOVATIONS, 450
WENTWORTH STREET

C/O INTEGRAL WEALTH MANAGEMENT NANAIMO BC V9R 3R1
ANDRE SULLIVAN

**HEROLD
ENGINEERING**
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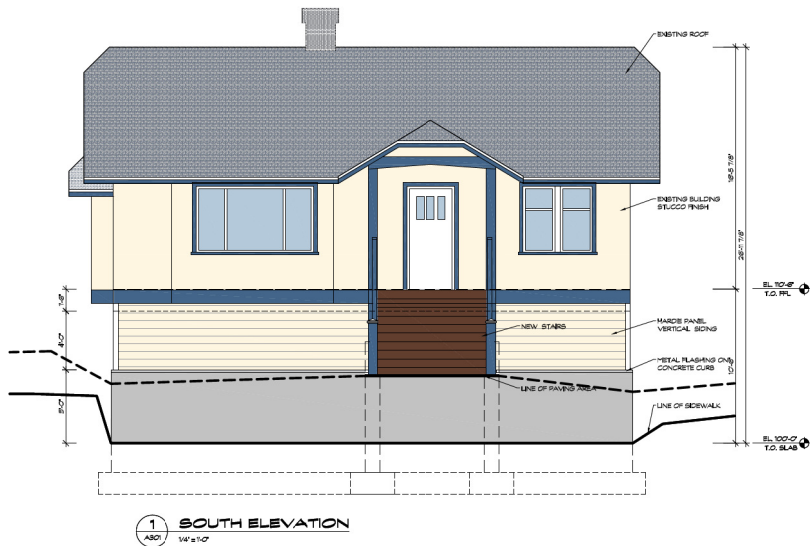
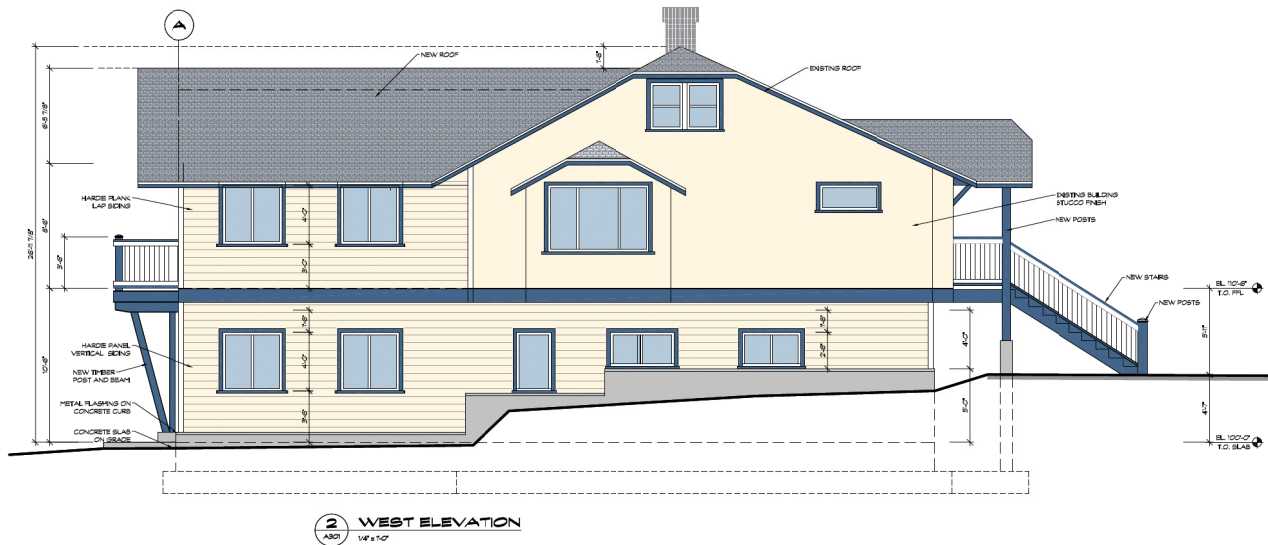
SITE PLAN &
LANDSCAPE PLAN

DESIGNED		ENGINEER'S SEAL	
ES			
DESIGN REVIEW		DRAFTED	
JK		LHY	
DRAFTING REVIEW		DRAFTING REVIEW	
ES		ES	
PROJECT No.	3738-004	CLIENT DRAWING No.	n/a
SCALE	1/8" = 1'-0"	PERMIT No.	n/a
HEL DRAWING No.	A101	REVISION	6

RECEIVED
DP1111
2018-SEP-13
Current Planning & Subdivision

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION

ATTACHMENT D
BUILDING ELEVATIONS



ISSUES		
No.	DATE	ISSUED FOR
1	2017.12.01	DESIGN REVIEW
2	2017.12.22	BUILDING PERMIT
3	2018.01.10	BUILDING PERMIT
4	2018.08.08	BUILDING PERMIT REVISION 1
5	2018.08.10	DP & SP REVISION 2
6	2018.08.28	DP & SP REVISION 3

SUB CONSULTANT

ISSUED FOR
BUILDING PERMIT

NOT FOR
CONSTRUCTION

OFFICE RENOVATIONS,
450 WENTWORTH STREET

C/O INTEGRAL WEALTH MANAGEMENT NANAIMO BC V9B 3R1
ANDRE SULLIVAN

**HEROLD
ENGINEERING**
3701 Shenton Rd, Nanaimo, BC V9T 2H1
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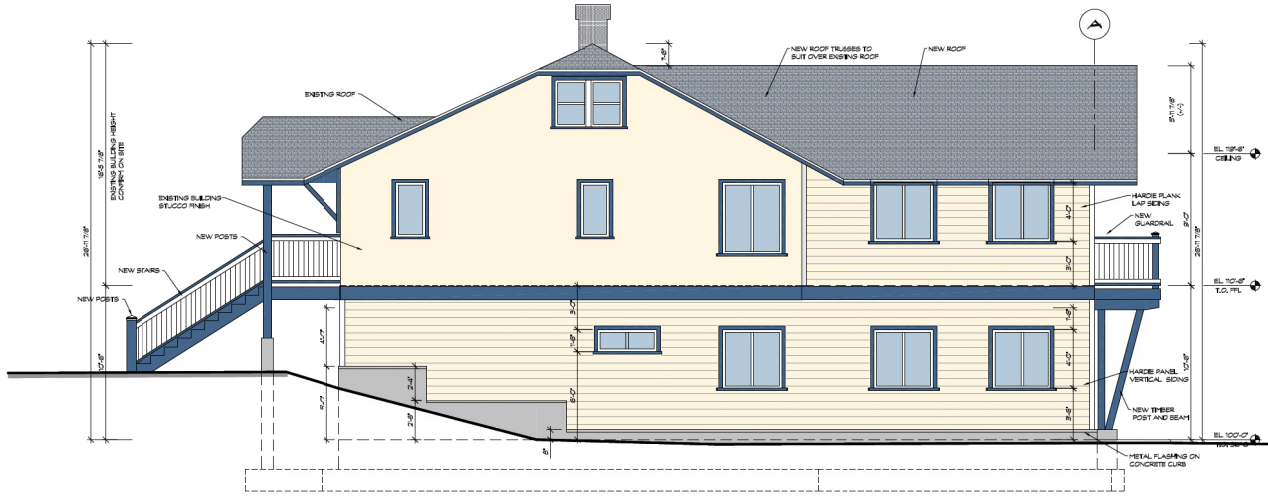
ELEVATIONS

DESIGNED ES	ENGINEER'S SEAL
DESIGN REVIEW JK	
DRAFTED LHY	
DRAFTING REVIEW JK	
PROJECT No. 3738-004	CLIENT DRAWING No. n/a
SCALE AS SHOWN	PERMIT No. n/a
REL. DRAWING No. A301	REVISION 6

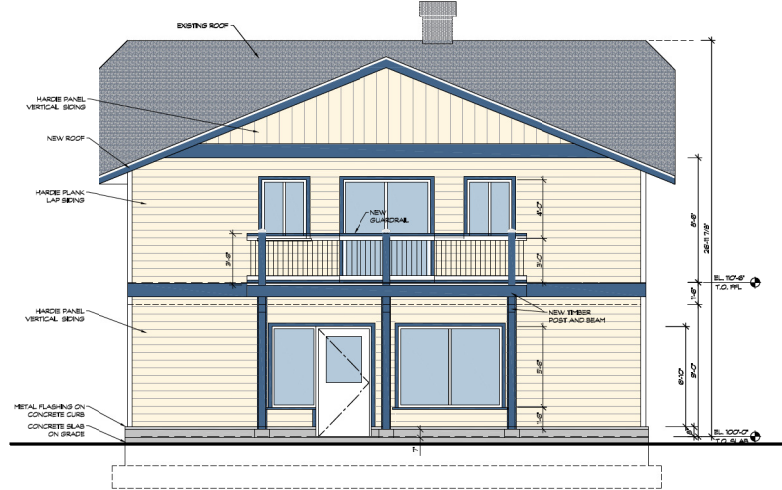
RECEIVED
DP 1110
2018-AUG-30

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION

ARCHITECTURAL D 24" x 36" FILE: N:\Projects\1718-004 Office Renovation 450 Wentworth Street\045 Herold\Architectural\1718-004 A301 ELEVATIONS - COLOUR.dwg Plot Time: Aug 28, 18 10:23 AM User: Herold



4 EAST ELEVATION
A302 1/4" x 1/4"



3 NORTH ELEVATION
A303 1/4" x 1/4"

ISSUES		
No.	DATE	ISSUED FOR
1	2017.12.01	CLIENT REVIEW
2	2017.12.22	BUILDING PERMIT
3	2018.07.10	BUILDING PERMIT
4	2018.08.08	BUILDING PERMIT REVISION 1
5	2018.08.10	DP # 8 REVISION 2
6	2018.08.28	DP # 8 REVISION 3

SUP CONSULTANT

ISSUED FOR
BUILDING PERMIT

NOT FOR
CONSTRUCTION

OFFICE RENOVATIONS,
450 WENTWORTH STREET
C/O INTEGRAL WEALTH MANAGEMENT NANAIMO BC V9B 3R1
ANDRE SULLIVAN

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ELEVATIONS

DESIGNED ES	ENGINEER'S SEAL
DESIGN REVIEW JK	
DRAFTED LHY	
DRAFTING REVIEW JK	
PROJECT No. 1718-004	CLIENT DRAWING No.
SCALE AS SHOWN	PERMIT No.
REL DRAWING No. A302	REVISION 6

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DP 1110
2018-AUG-30

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**ATTACHMENT E
AERIAL PHOTO**



DEVELOPMENT PERMIT NO. DP001110