

# ATTACHMENT A PERMIT TERMS AND CONDITIONS

## TERMS OF PERMIT

The City of Nanaimo “ZONING BYLAW 2011 NO. 4500” is varied as follows:

1. *Section 9.5.1 Siting of Buildings* – to reduce the minimum required front yard setback along Pryde Avenue from 6m to 3.9m.
2. *Section 9.7.1 Size of Buildings* – to increase the maximum allowable height for a principal building from 14m to 14.6m.

The City of Nanaimo “Development Off-Street Parking and Loading” Regulations Bylaw 2018 No. 7266” is varied as follows:

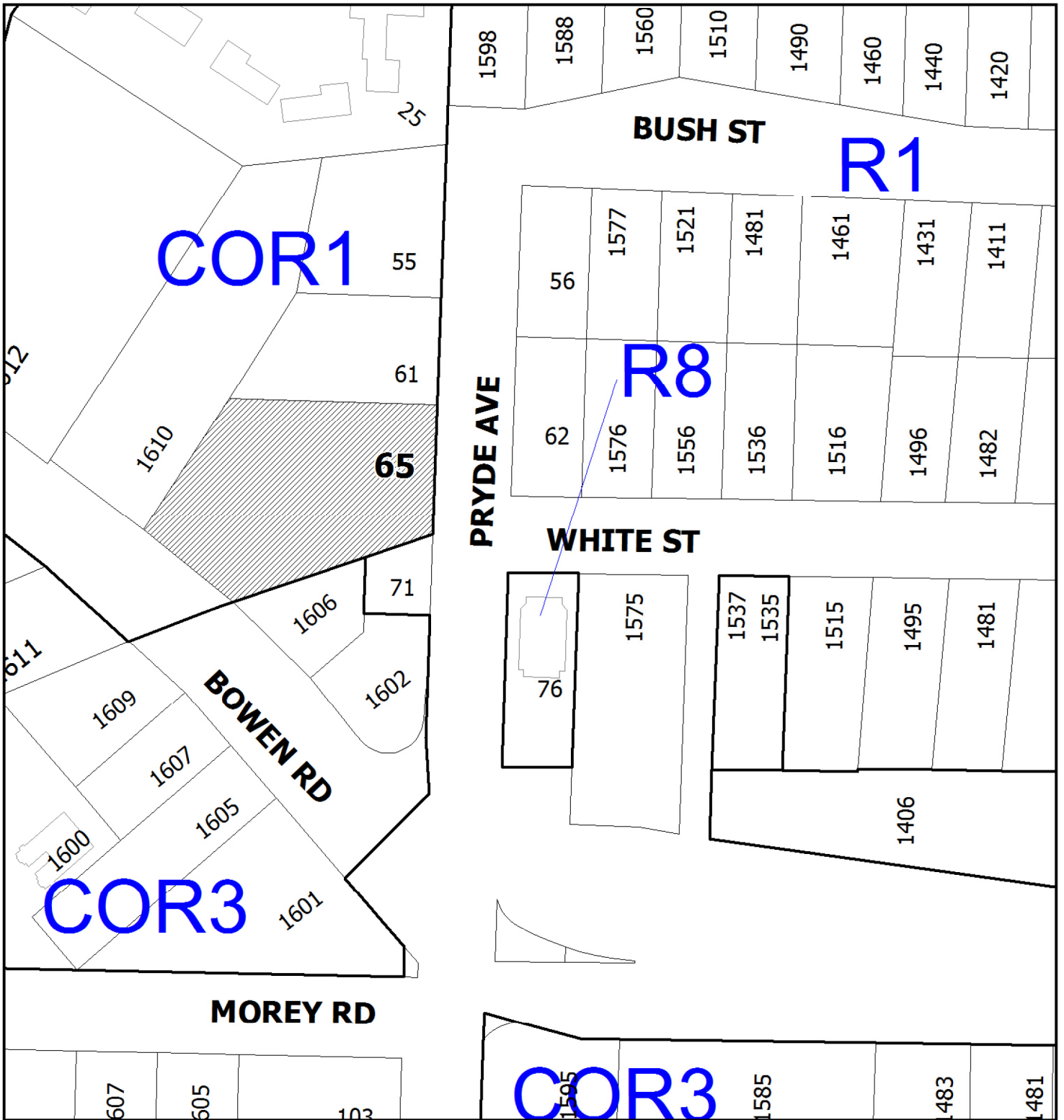
1. *Section 7.1 Multiple Family Dwelling Parking Table* – to reduce the required number of off-street parking spaces from 55 to 50.

## CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan prepared by D-Architecture dated 2018-SEP-13 as shown on Attachment C.
2. The subject property is developed in general accordance with the Building Elevations prepared by D-Architecture dated 2018-SEP-13 as shown on Attachment D.
3. The subject property is developed in substantial compliance with the Landscape Plan prepared by JPH Consultants Inc., dated 2018-APR-04 as shown on Attachment F.
4. The subject property is developed in accordance with Schedule D – Amenity Requirements for Additional Density prepared by Howard Kim, Architect, received 2018-SEP-12 as outlined in Attachment G.

A letter from the coordinating professional is required prior to the issuance of the building permit, outlining in detail how the 26 points will be obtained. A letter and accompanying evidence must also be received from the coordinating professional prior to the issuance of building occupancy proving that all 26 required points have been achieved.

ATTACHMENT B  
LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001100

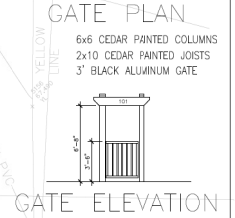
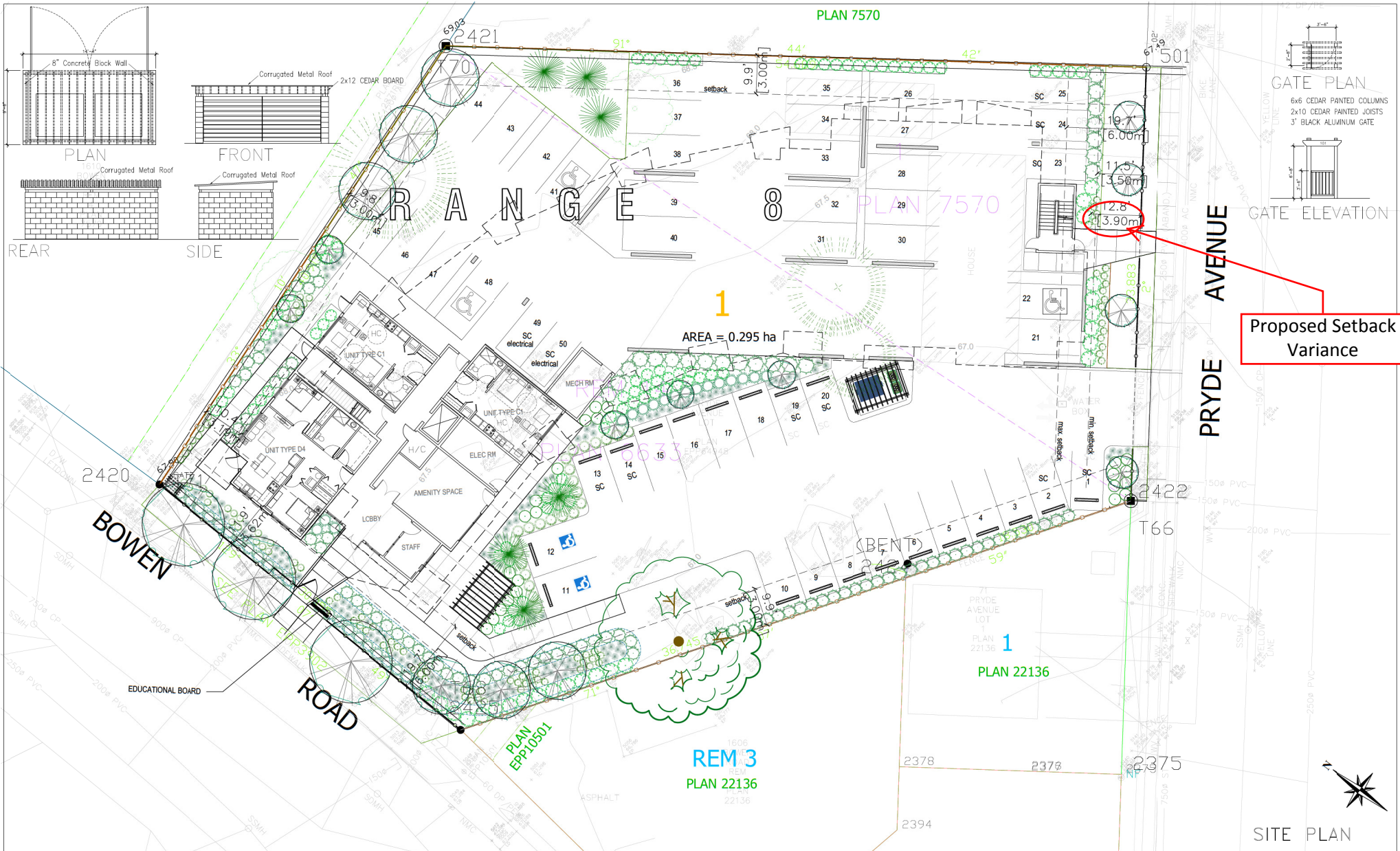
**LOCATION PLAN**

 **Subject Property**



Civic: 65 Pryde Avenue  
Lot 1, Section 14, Range 8,  
Mountain District, Plan EPP64948

# ATTACHMENT C SITE PLAN



**Proposed Setback Variance**

SITE PLAN

<p>NOTE:</p> <p>The drawings are the property of the architect. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.</p> <p>When dimensions are given, they shall govern over any conflicting dimensions shown on the drawings. The architect shall be responsible for the accuracy of the dimensions shown on the drawings.</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	REVISIONS							<p><b>D ARCHITECTURE</b>          8377 ICARUS DRIVE, NANAIMO, BC V9V 1N4          T: 250-933-1991, E: FIRDOUZI@SHAW.CA          DARYOUSH FIRDOUZI ARCHITECTURE INC.</p>	<p>SCALE  <math>3/32" = 1'-0"</math></p> <p>DRAWN:          CHECKED:          DATE: 13 SEPT 18</p>	<p>PROJECT          65 PRYDE AVENUE          NANAIMO, BC</p>	<p>CLIENT          Robin Kelley          Investissements Camargue Inc.          PROJECT NO.: 2754</p>	<p>SHEET TITLE          SITE PLAN</p>	<p>RECEIVED          DP 1100          2018-SEP-13          (Seal of the City of Nanaimo)</p>	<p>SHEET NO.  <b>A1.1R</b></p>
	NO.	DATE	REVISIONS														
<p><b>PRELIMINARY</b></p>																	

# ATTACHMENT D BUILDING ELEVATIONS



Proposed Public Art Locations

**EXTERIOR MATERIALS & COLORS**

CODE	COLOR	MATERIAL
1		8" HARDIE PLANK SIDING
2		VERTICAL HARDIE PANELS
3		HORIZONTAL HARDIE PANELS (IRON GRAY JH90-30)
4		HARDIE PANELS FASCIA (IRON GRAY JH90-30)
5		2x4 CEDAR WOOD SCREENING
6		ALUMINUM/GLASS RAILING
7		VINYL WINDOWS
8		CONCRETE COLUMNS

Proposed Building Height Variance

Proposed Building Height Variance

NOTE:  
The owner shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall not be responsible for any delays or costs incurred by the owner in obtaining such permits and approvals. The architect shall not be responsible for any delays or costs incurred by the owner in obtaining such permits and approvals. The architect shall not be responsible for any delays or costs incurred by the owner in obtaining such permits and approvals.

NO.	DATE	REVISIONS



**PRELIMINARY**

**D-ARCHITECTURE**  
6377 ICARUS DRIVE, NANAIMO, BC V9Y 1N4  
T: 250-933-1991, E: FIRUZLI@SHA.WA  
DARYOUSH FIRUZLI ARCHITECTURE INC.

SEAL

CONSULTANT LOGO

SCALE  
1/8" = 1'-0"  
DRAWN  
CHECKED  
DATE  
13 SEPT 18

PROJECT  
65 PRYDE AVENUE  
NANAIMO, BC

CLIENT  
Robin Kelley  
Investissements Camargue Inc.  
PROJECT NO.  
2754

SHEET TITLE  
BUILDING ELEVATIONS

SHEET NO.  
**A5.1**  
REVISION

# ATTACHMENT E BUILDING RENDERINGS



NO.	DATE	REVISIONS



**PRELIMINARY**

**D-ARCHITECTURE**  
 6377 IDARUS DRIVE, NANAIMO, BC V9V 1N4  
 T: 250-933-1991, E: FIRDOZU@SHAW.CA  
 DARYOUSH FIRDOZU ARCHITECTURE INC.

DESIGNER

CONSULTANT LOGO

SCALE  
 DRAWN  
 CHECKED  
 DATE 16 APR 18

PROJECT  
 65 PRYDE AVENUE  
 NANAIMO, BC

CLIENT  
 Robin Kelley  
 Investissements Camargue Inc.  
 PROJECT NO. 2754

SHEET TITLE  
 RENDERING

SHEET NO.  
**A4.1**  
 REGION



NO.	DATE	REVISIONS
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**PRELIMINARY**

**D-ARCHITECTURE**  
 6377 ICARUS DRIVE, NANAIMO, BC V9V 1N4  
 T: 250-933-1991, E: FIRUZU@DHAW.GA  
 DARYOUSH FIRUZLI ARCHITECTURE INC.

IDEA

CONCEPT LAYOUT

SCALE  
 DRAWN  
 CHECKED  
 DATE 16 APR 18

PROJECT  
 65 PRYDE AVENUE  
 NANAIMO, BC

CLIENT  
 Robin Kelley  
 Investissements Camargue Inc.  
 PROJECT NO. 2754

SHEET TITLE  
 RENDERING

SHEET NO.  
**A4.2**  
 REVISION

NOTE:  
 This drawing is an architectural rendering of a proposed project. It is not a contract document and should not be used for legal or financial purposes. It is intended for informational purposes only. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any construction or other work done in reliance on this drawing. The architect is not responsible for any damage or injury to any person or property resulting from the use of this drawing. The architect is not responsible for any other work done in reliance on this drawing. The architect is not responsible for any other work done in reliance on this drawing.



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**D-ARCHITECTURE**  
 6377 ICARUS DRIVE, NANAIMO, BC V9V 1N4  
 T: 250-933-1991, E: FIRUZLI@SHAW.CA  
 DARYDUSH FIRUZLI ARCHITECTURE INC.

**PRELIMINARY**

SEAL

CONSULTANT LOGO

SCALE  
 DRAWN  
 CHECKED  
 DATE 16 APR 18

PROJECT  
 65 PRYDE AVENUE  
 NANAIMO, BC

CLIENT  
**Robin Kelley**  
 Investissements Camargue Inc.  
 PROJECT NO. 2754

SHEET TITLE  
 RENDERING

SHEET NO.  
**A4.3**  
 REVISION

# ATTACHMENT F LANDSCAPE PLAN

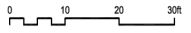


**BOWEN RD**

**PRYDE AVENUE**

Municipal Pump Station

7-11



**Revisions**

Date	Details	Init.
12/09/18	Revised to C o N mark-up	JPH
05/09/18	Revised to Comp. letter	JPH
10/04/18	DPA	JPH
14/04/18	Adjusted to Architectural	JPH
04/04/18	DP Draft - coordination	JPH

## 65 Pryde Ave - Landscape Plan Investisements Camargue Inc.



JPH Consultants Inc.  
434 Wilton Street, Norwalk, CT 06851  
Phone: 203-734-6807, Cell: 203-714-9558

RECEIVED  
DP 1100  
2018-SEP-13

Project: 18-PRYDE  
Date: 04/04/18  
Drawn: JPH Checked: DF  
Scale: 1/32" = 1'-0"  
Sheet: L1 of 1



**ATTACHMENT G**  
**SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY**



Reference: 2754

July 3, 2018

**Dear Ms. Lauren Wright**  
**Development Planner**  
**Community Development**

**DP 1100, 65 Pryde Avenue, Nanaimo BC Tier 1 proposal**

The proposed project proposing to use Tier 1 additional density and here are the 3 Categories requirements:

**Category 1: Site Selection (10 points required)**

	Amenity	Points
B	The proposed development is located on an existing street where the location dose not required ant new infrastructure such as storms drains...	3
C	The Proposed development is located within 200m of a park or trail network.	1
D	The proposed building is located within 400m of the following: <ul style="list-style-type: none"><li>- Retail Store</li><li>- Daycare facility</li><li>- Nanaimo Regional District transit bus stop</li><li>- PRC zoned property</li><li>- CS-1 zoned property</li></ul>	5
E	The Proposed development is immediately adjacent to: <ul style="list-style-type: none"><li>- Nanaimo Regional District transit bus stop</li><li>- A CS-1 zoned property</li></ul>	2
	<b>Total</b>	<b>11</b>

**Category 4: Building Materials (8 points required)**

	Amenity	Points
A	Wood is the primary building material	1
B	The Proposed development uses reused material; the sum of which constitutes at least 10% of the total value of materials on the project.	2
D	The proposed development uses materials with recycled content such that the sum of the postconsumer recycled material constitutes at least 25%, based on costs, of total value of materials in project	2
E	The project developer will submitted a construction and waste management plan that, at a minimum, identifies the material to be diverted from disposal and whether the materials will be sorted onsite or comingled	2
H	The development includes permanent educational signage regarding the sustainable use of building materials used during construction of the project.	1
	Total	8

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**Category 6: Water Management (8 points required)**

	Amenity	Points
B	The proposed building on property include plumbing fixtures which will use 35% less water than BC Building Code standard	2
E	A non-potable irrigation system is installed and used for all site irrigation.	3
F	A water efficient irrigation system (such as drip) will be installed	1

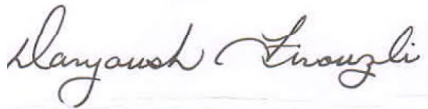
G	The Proposed development includes a rain garden, bioswale on the property.	2
H	The development includes permanent educational signage regarding the sustainable use of building materials used during construction of the project.	1
Total		9

Our client also proposing the apply for CMHC affordable housing agreement 9please see the attached document which reviewed by Mr. Gary Nobel and agreed can qualified for Category 7 Social and Cultural Sustainability.

Please feel free to contact if there is any question

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Sincerely,



**Daryoush Firouzli**  
 Architect AIBC, RAIC, AIA, MArch

ATTACHMENT H  
AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001100

