

**KEITH BROWN ASSOCIATES LTD.
5102 SOMERSET DRIVE
NANAIMO, BC V9T 2K6**

December 7, 2017

File: 979.17

City of Nanaimo
411 Dunsmuir Street
Nanaimo, BC
(SARC. Building Boardroom)

ATTENTION: MAYOR AND CITY COUNCIL

SUBJECT: PUBLIC HEARING – RA00382 – 480 10th STREET.

This subject application represents rezoning of proposed Lot 2 and Lot 27 within a 27 lot residential subdivision. The subdivision is currently under construction with underground services in place. The completion of curb/gutter/sidewalks and paving depends on will follow in early spring weather permitting.

This application proposes rezoning from Single Family Residential (R1) Zone to Duplex Residential (R4) Zone. The enclosed Conceptual Layout for rezoning of proposed Lot 2 and Lot 27 articulates the site layout for use of the proposed Duplex Residential 4 zoned lots.

The layout identifies required rear yard access which includes mountable curbs onto the property. The front yard curb/gutter are non-mountable placing emphasis on rear yard access and onsite parking required for the duplex units.

The proposed Conceptual Layout for Lot 27 identifies rear yard access including mountable curbs. The front yard curb/gutter/sidewalks are non-mountable on 10th Street. Lot 27 flanks a 4.0 m. wide pedestrian walkway extending from the lane to 10th Street.

The City pursuant to Building Inspection have prescribed a 4 ft. high wood fencing along the common property line of the lane and the duplex units. The reason for the fence height limitation is to avoid possible loitering in the lane and to ensure safety.

The developer acknowledges the duplexes fronting the street and accessing from the lane will require additional articulation reflecting the single family homes which will take place in the development.

For clarification the first photograph references the subject area under subdivision and relates to the surrounding subdivisions. The second photograph references recent constructed subdivisions adjacent to the subject property.

We would be pleased to respond to questions and thank you for your consideration.

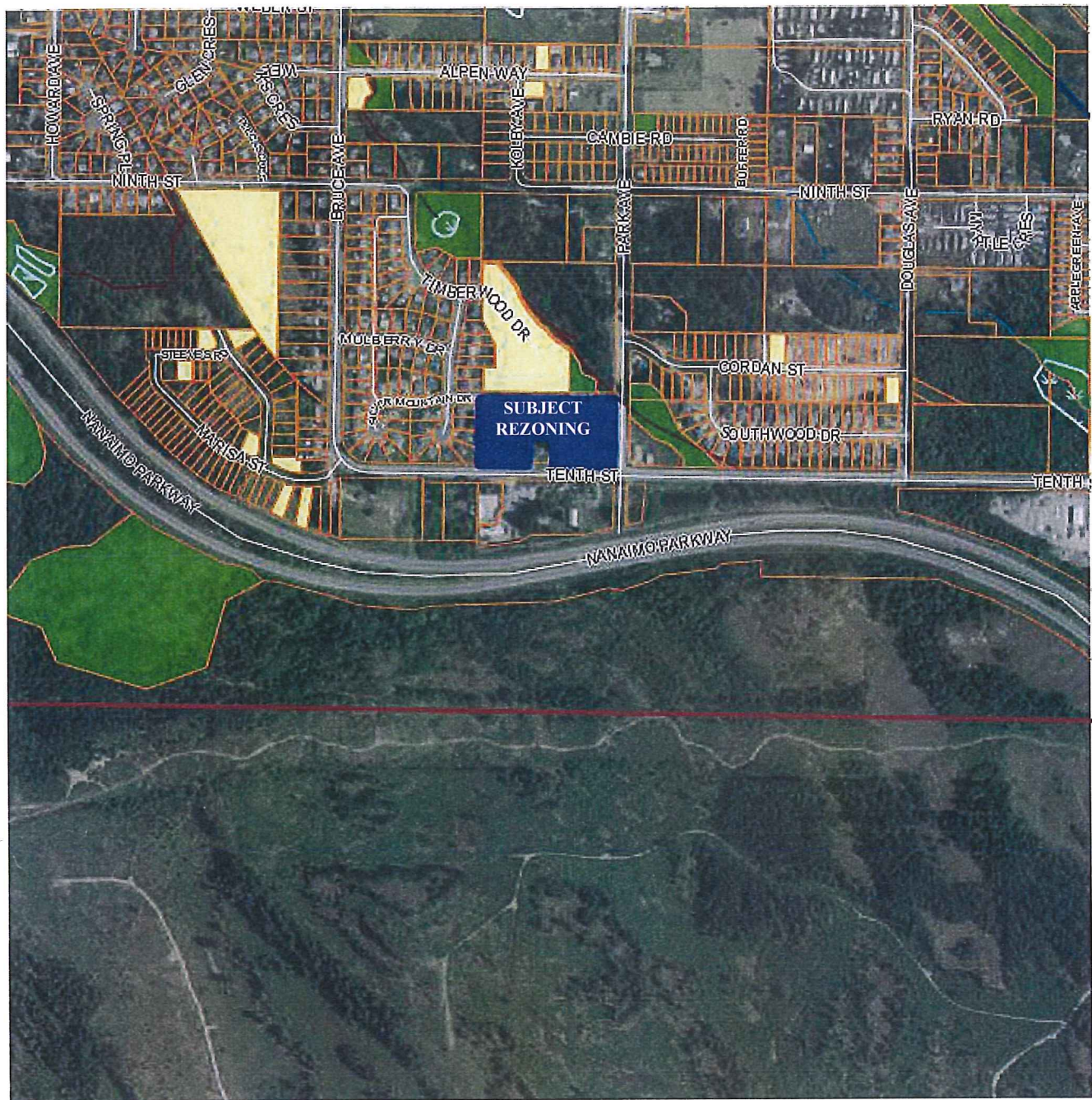
Respectfully submitted,

A handwritten signature in cursive script, appearing to read "R.K. Brown".

R.K. Brown,
Consultant Planner

Enc.

cc. Scott Stevenson, P.Eng.
J.E. Anderson & Associates
Surveyors Engineers





SILVER MOUNTAIN DRIVE

PROPOSED 10m DEDICATED FOR ROAD

8.0	12.1	18.3	11.7	11.7	11.7	11.7	11.7	11.7	11.7	11.7	11.7	11.7	11.7	11.7	11.7	13.5
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15		19.5
455 m ²	700 m ²	450 m ²	450 m ²	450 m ²	450 m ²	450 m ²	450 m ²	450 m ²	450 m ²	450 m ²	450 m ²	450 m ²	450 m ²	742 m ²		

7.m DEDICATED FOR LANE

21.4	18.1	12.0	12.0	12.0	12.0	18.1	21.4
27	26	25	24	23			
908 m ²	768 m ²	509 m ²	509 m ²	507 m ²			

2.44m DEDICATED FOR ROAD

TENTH STREET

2.44m DEDICATED FOR ROAD

JEA J.E. ANDERSON & ASSOCIATES
SURVEYORS — ENGINEERS
1A - 3411 SHENTON ROAD, NANAIMO, B.C. V9T 2H1
TEL: 250 - 759 - 4631 FAX: 250 - 758 - 4660
E-MAIL: nanaimo@jeanderson.com

PJ & R HOLDINGS LTD.

CITY OF NANAIMO
480 TENTH STREET
27 LOT FEE SIMPLE SUBDIVISION
REZONING PLAN

PROPOSED ZONE R4 - DUPLEX RESIDENTIAL



DRAWN: SS
DATE: MAY 9, 2017
SCALE: 1:500

SHEET 1 OF 1

CoN SUB: 01199

FILE: 88490

2.5 m DEDICATED FOR ROAD
PARK AVENUE

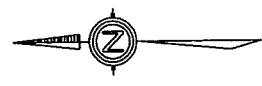
NON-- MOUNTABLE CONC. CURB RESIDENTIAL PARKING ON NORTH SIDE OF SILVER MOUNTAIN DR.



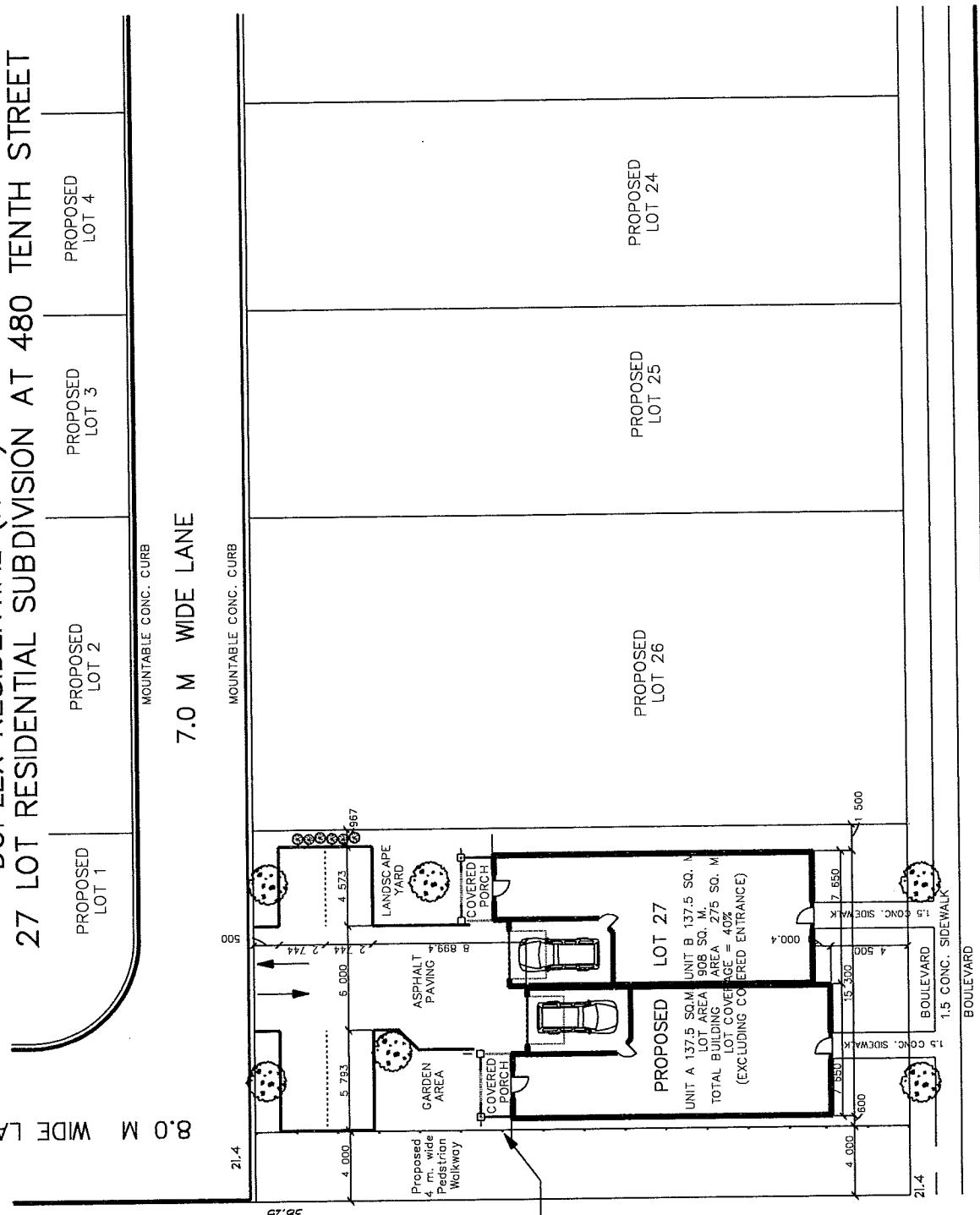
MOUNTABLE CONC. CURB

not to scale
Dec 6 2017

CONCEPTUAL LAYOUT FOR REZONING OF PROPOSED LOT 27 TO DUPLEX RESIDENTIAL (R-4) WITHIN PROPOSED 27 LOT RESIDENTIAL SUBDIVISION AT 480 TENTH STREET



8.0 M WIDE LANE



not to scale
 Dec 6 2017

RESIDENTIAL PARKING ALONG ON NORTH SIDE OF 10 TH STREET
 10 TH STREET

NON - MOUNTABLE CONC. CURB

BOULEVARD
 1.5 CONC. SIDEWALK