

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
24 STOREY RESIDENTIAL/MIXED USE BUILDING
WITH 2 LEVELS OF PARKING

USES:
PRIMARYLY COMMERCIAL/RETAIL MAIN FLOOR,
RESIDENTIAL ABOVE

EXISTING ZONE: DT-6

PROPOSED ZONE: SITE SPECIFIC

SITE AREA: 4206 m² (45,273 s.f.)

FLOOR AREA:

Level P3	240 m ² (2 583 sf)
RESIDENTIAL	
SERVICE/CIRCULATION:	363 m ² (3 907 sf)
Level P2	
RESIDENTIAL	170 m ² (1 830 sf)
SERVICE/CIRCULATION:	488 m ² (5 253 sf)
Level 1	
COMMERCIAL/RETAIL	1 202 m ² (12 939 sf)
SERVICE/CIRCULATION:	312 m ² (3 358 sf)
Level 2	
RESIDENTIAL	784 m ² (8 439 sf)
COMMERCIAL/RETAIL	440 m ² (4 736 sf)
SERVICE/CIRCULATION:	214 m ² (2 304 sf)
Level 3	
RESIDENTIAL	785 m ² (8 450 sf)
COMMERCIAL-OFFICE:	517 m ² (5 565 sf)
SERVICE/CIRCULATION:	222 m ² (2 390 sf)
Level 4	
RESIDENTIAL	600 m ² (6 489 sf)
Level 5-15	
RESIDENTIAL	578 m ² (6 222 sf) X 6 = 3 468 sm
Level 11-21	
RESIDENTIAL	566 m ² (6 093 sf) X 11 = 6 226 sm
Level 22-24	
RESIDENTIAL	519 m ² (5 587 sf) X 3 = 1 557 sm
Roof	
MECHANICAL SERVICES:	301 m ² (3 240 sf)
TOTAL PROPOSED:	17 889 m² (192 557 sf, excl. parking, lobby, pool)

FLOOR SPACE RATIO: 4.25 : 1 FSR

GRADE OF BUILDING: 20.9 m (GEODETTIC)
See Site Plan for Grade Calculation

HEIGHT OF BUILDING: 78.5m

NUMBER OF STOREYS: 24 STOREYS

RESIDENTIAL PARKING: 138 stalls

COMMERCIAL PARKING: 29 stalls

BICYCLE PARKING: 109 Class 1 + 6-space rack

SETBACKS:

FRONT (Chapel St.)	3.0 m
REAR (Skinner St.)	1.0 m
SIDE (South)	0.1 m
SIDE (North)	33.8 m

SUITE COMPOSITION:

1 Bed / 1 Bath Guest Suite:	2
1 Bed / 1 Bath Live-Work:	5
2 Bed / 2 Bath Townhouse:	7
1 Bed / 1 Bath:	15
2 Bed / 2 Bath:	30
2 Bed + Den / 2 Bath:	64
3 Bed / 3.5 Bath:	6
TOTAL:	109 SUITES



MARCILO

PROJECT DATA & CONTEXT PLAN

de Hoog & Kieruff architects











Wertman Developments
Nanaimo BC
June 19, 2018

77 Chapel Street

ISSUED FOR REZONING

LIST OF DRAWINGS

Architectural

- A001 Project Data
- A100 Survey Plan
- A101 Site Plan
- A201 P3 Parking Plan
- A202 P2 Parking Plan
- A203 L1/P1 Parking Plan
- A204 L2 Plan
- A205 L3 Plan
- A206 L4 Plan
- A207 L5-L10 Plan
- A208 L11-L21 Plan
- A209 L22-L24 Plan
- A210 Mech, PH Plan
- A211 Roof Plan
- A301 East Elevation
- A301.1 East Elevation Context
- A302 N & S Elevations
- A303 West Elevation
- A303.1 West Elevation Context
- A401 N-S Building Section
- A402 N-S Building Section
- A403 E-W Building Sections
- A404 E-W Building Sections
- A501 Shadow Studies
- A502 Perspective View
- A503 Distant Views
- A504 Street Views

Landscape

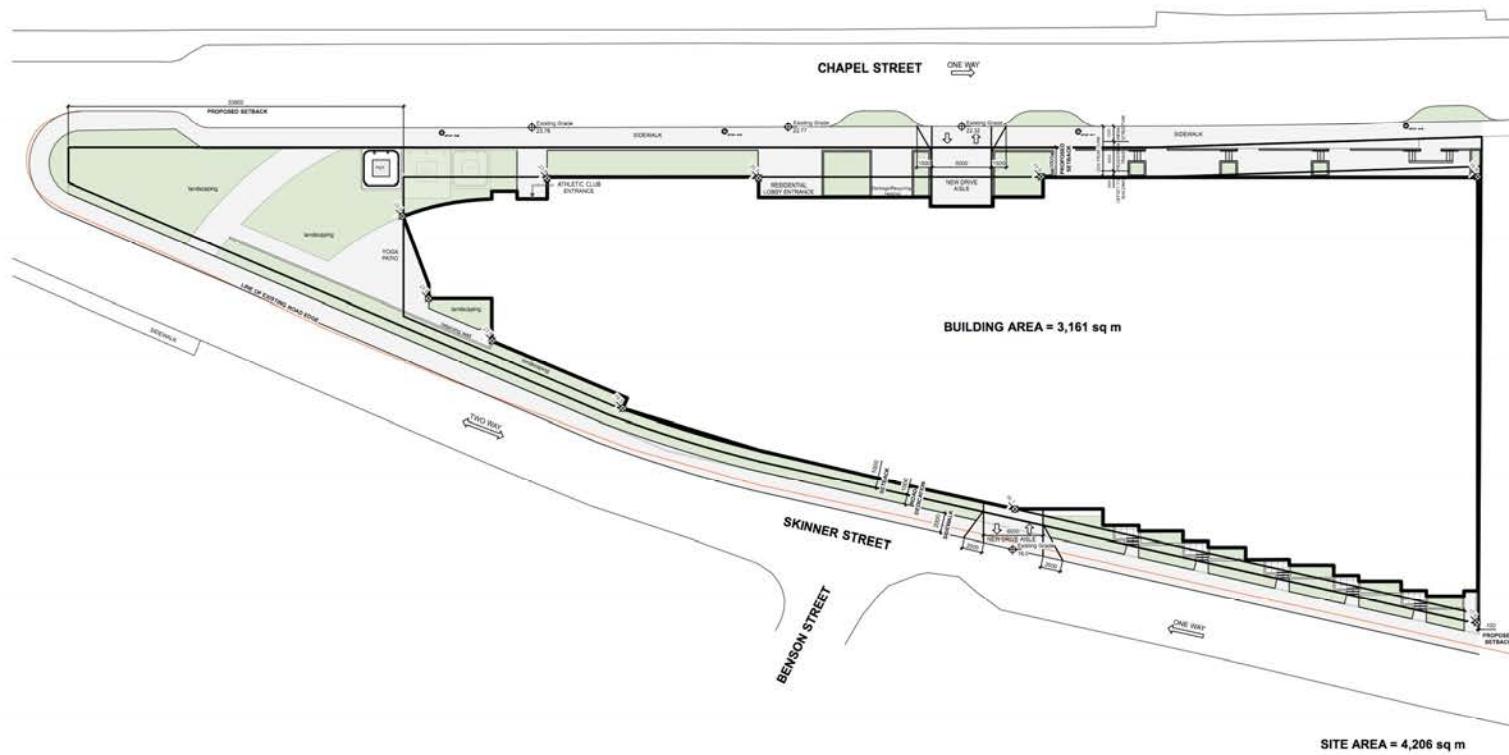
- L1.01 Landscape Materials
- L1.02 Landscape Materials - Rooftop
- L1-03 Stormwater Management
- L3-01 Planting Plan

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GRADE CALCULATION
 $19.8 + 19.9 + 20.7 + 22.6 + 23.9 + 23.8 + 23.6 + 19.5 + 16.1 + 17.6 = 209$
 $209 / 10 = 20.9m$ GEODETIC



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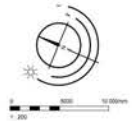
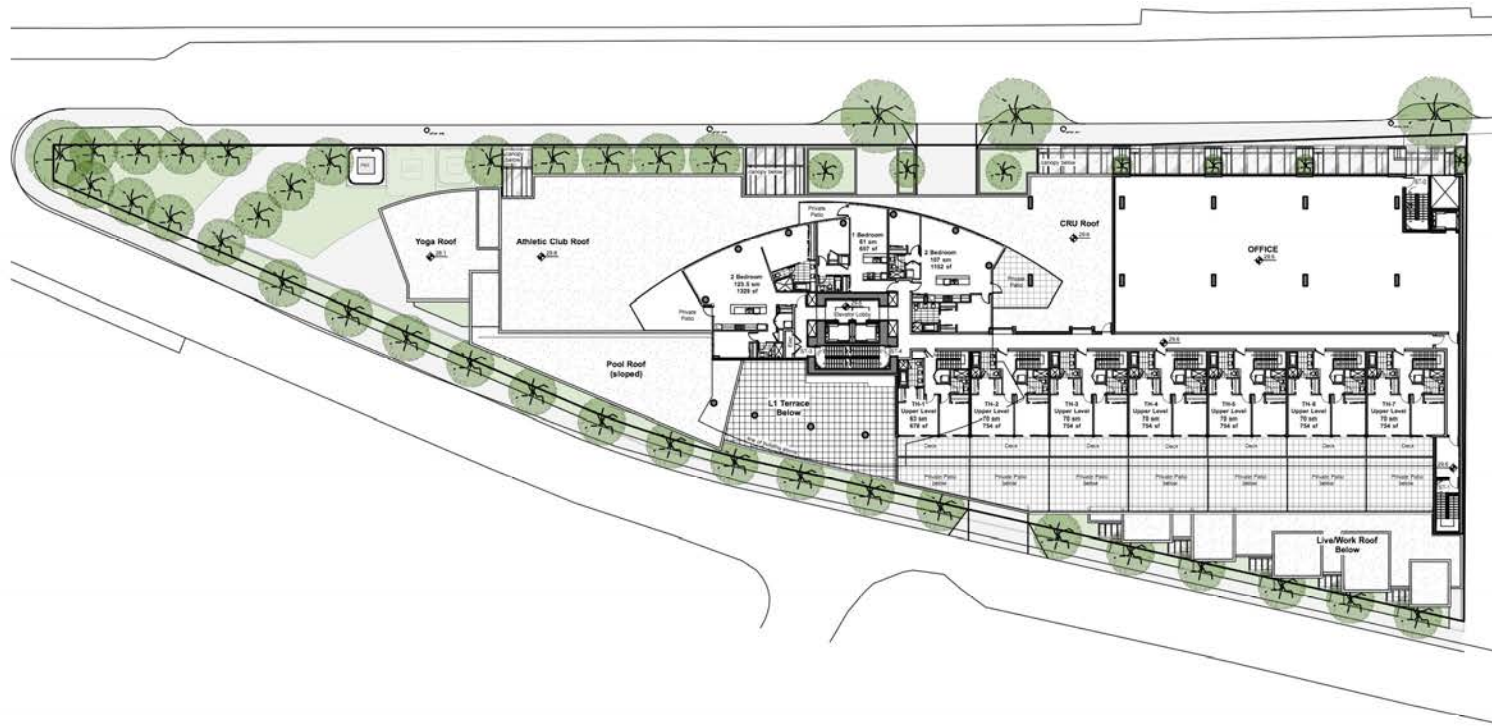
SITE PLAN

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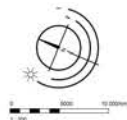
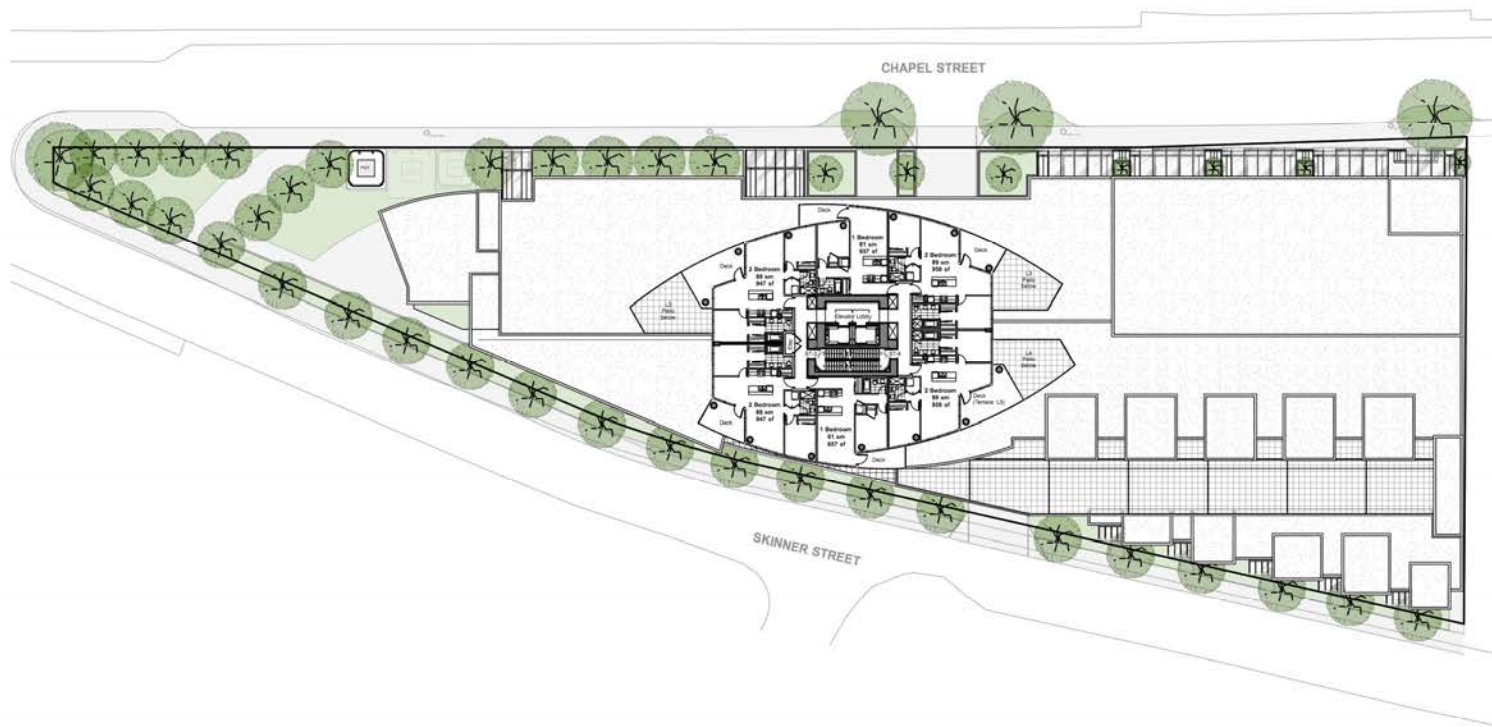




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LEVEL 3 FLOOR PLAN

de Hoog & Kierulf architects dKa



MARCIELO LEVEL 5-10 FLOOR PLAN



91 CHAPEL STREET

77 CHAPEL STREET

MARCILO

EAST ELEVATION-Chapel Street

de Hoog & Kierulf architects





77 CHAPEL STREET

91 CHAPEL STREET

MARCIELO WEST ELEVATION-Skinner Street

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NORTH ELEVATION



SOUTH ELEVATION

[illegible]

77 Chapel Street
Nanaimo BC
Colour Rendering

dH-Ka A502

de Hoog & Kienit architects
Victoria
577 Fort Street V8V 3K3 T 1-250-698-3367
Nanaimo
102-5190 Outlin Way V9T 2G8 T 1-250-586-5810

An aerial photograph of an industrial area. A specific building footprint is highlighted with a red outline, indicating the proposed site for a new building. The surrounding area includes various industrial structures, parking lots, and a waterfront with a pier and boats.

MARCELO
77 Chapel Street
Nanaimo BC
Shadow Study

A501

de Hoog & Kienit architects
Victoria
877 Fort Street V8V 2K3 T 1-250-636-3367
Nanaimo
922-5190 Dublin Way V9T 2K3 T 1-250-585-5812



VIEW LOOKING EAST FROM CAMPBELL & RICHARDS STREETS



VIEW LOOKING NORTH-EAST FROM FITZWILLIAM & WALLACE STREETS



Project	777 Chapel Street	Client	777 Chapel Street
Location	Nanaimo, BC	Architect	dt+ka
Scale	1:100	Year	2017

MARCELO
77 Chapel Street
Nanaimo BC
Distant Views



A503

dt+ka
777 Chapel Street
Nanaimo, BC
V9T 2G3
Tel: 250-458-3807
Fax: 250-458-3807
Email: info@dtka.com





VIEW LOOKING EAST FROM CAMPBELL & RICHARDS STREETS



VIEW LOOKING NORTH-EAST FROM FITZWILLIAM & WALLACE STREETS



Project	777 Chapel Street	Client	777 Chapel Street
Location	Nanaimo, BC	Architect	dt+ka
Scale	1:100	Year	2017

MARCELO
77 Chapel Street
Nanaimo BC
Distant Views



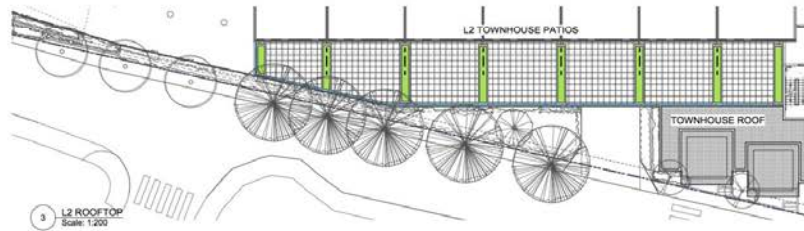
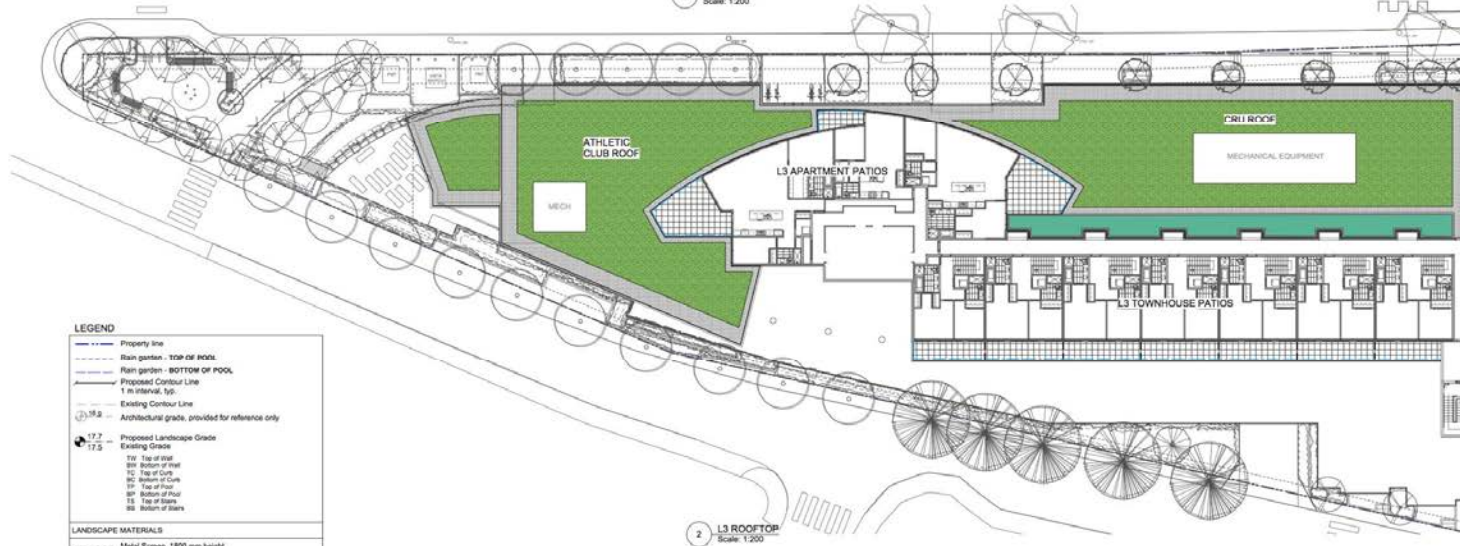
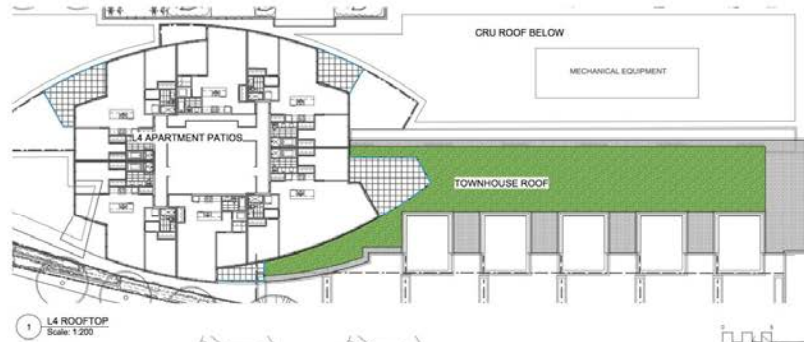
A503

dt+ka
777 Chapel Street
Nanaimo, BC
V9T 2G3
Tel: 250-458-3807
Fax: 250-458-3807
Email: info@dtka.com



DRAWING NOTES

1. DO NOT SCALE DRAWING. Verify all property lines and existing structural/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current IABC Standards and Context Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



LEGEND

- Property line
 - Rain garden - TOP OF ROOF
 - Rain garden - BOTTOM OF POOL
 - Proposed Contour Line
1 m interval, 1p
 - Existing Contour Line
 - Architectural grade, provided for reference only
 - Proposed Landscape Grade
 - Existing Grade
 - Top of wall
 - Bottom of wall
 - Top of curb
 - Bottom of curb
 - Top of pool
 - Bottom of pool
 - Top of beam
 - Bottom of beam
- LANDSCAPE MATERIALS
- Metal Screen, 1800 mm height
 - Glass Guard Rail to meet BCSC
 - Cast in Place Concrete Planter Wall
 - Unit Paving at 15000: 600mm x 1200mm x 20mm Antracite Series Porcelain Slabs in Dark Grey. Supplier: Astoriaform Concrete.
 - Extensive Green Roof with pre-grown sedum mats.
 - Rain Planter
 - Maintenance pathway: gravel.

NOT FOR CONSTRUCTION

1 01P 18.05.03

rev no description date



client

Wortman Developments

project

Marcelo
77 Chapel Rd.
Nanaimo, BC

sheet title

Landscape
Materials: Rooftop

project no. 117.25

scale 1:200 @ 24"x36"

drawn by

TB

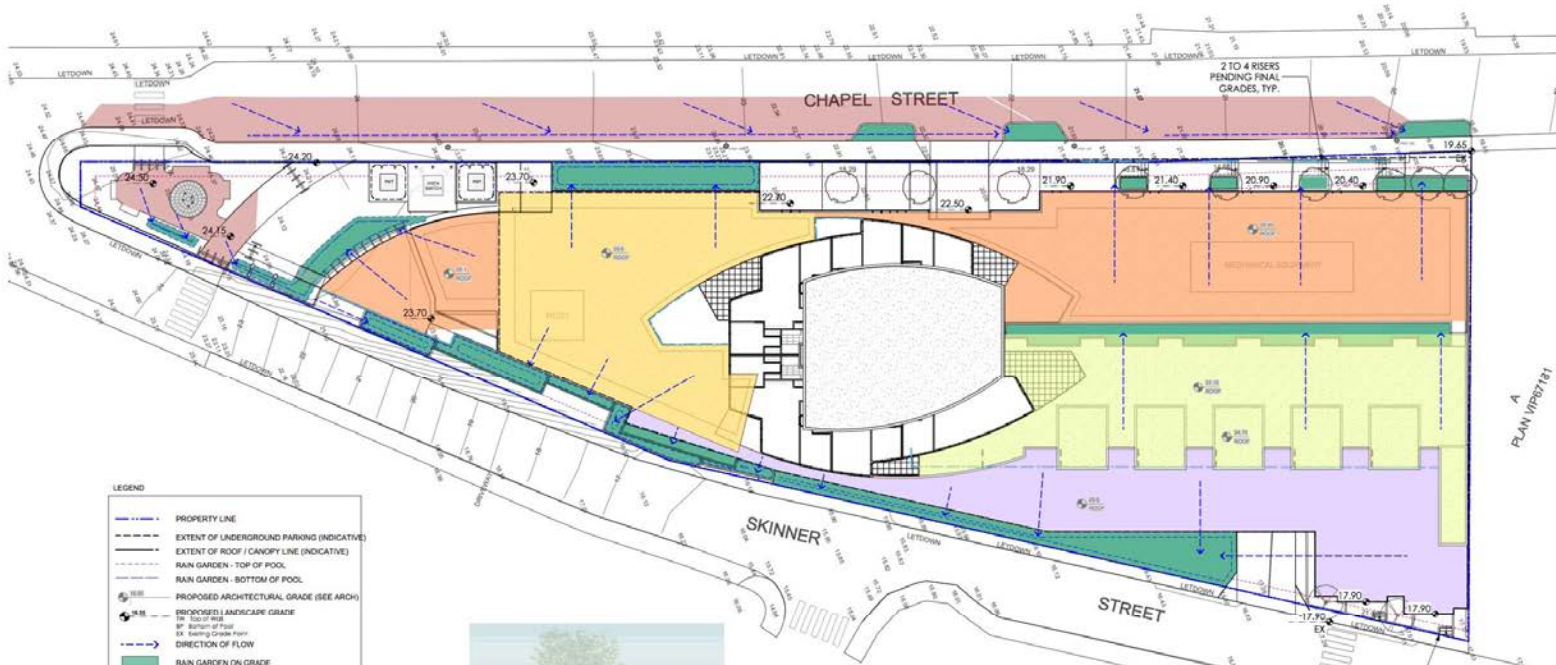
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BMFUG

revision no.

sheet no.

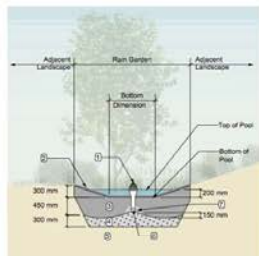
L1.02



LEGEND

- PROPERTY LINE
- EXTENT OF UNDERGROUND PARKING (INDICATIVE)
- EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- RAIN GARDEN - TOP OF POOL
- RAIN GARDEN - BOTTOM OF POOL
- PROPOSED ARCHITECTURAL GRADE (SEE ARCH)
- RECYCLED LANDSCAPE GRADE (SEE ARCH)
- EXISTING GRADE
- DIRECTION OF FLOW
- RAIN GARDEN ON GRADE
- ROOF AND PATIO DRAINS TO RAIN GARDENS/RAIN PLANTERS
- ROAD / HARDSCAPE DRAINS TO SOIL CELLS

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- RAIN GARDEN MATERIALS**
- Overflow drain, 200 mm domed grate x adaptor
 - Composted mulch, 50-75 mm depth
 - Bio-retention growing medium, 450 mm depth
 - Soil-filtration subgrade, 300 mm depth
 - Existing subgrade material
 - 100 mm diameter trench perforated zone
 - 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden Detail
Scale: 1:50

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

RAIN WATER MANAGEMENT NOTES

Water collected from road areas, building roofs, flow to the rain gardens located throughout the site.

Rain gardens are integrated building landscapes and landscape features within stormwater areas and are designed to capture, slow flow, and treat runoff from roadways.

Rain gardens will be designed with underdrains and a high capacity overflow drain that will be connected to the on-site piped drainage system.

The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area.

NOT FOR CONSTRUCTION

rev no	description	date
1	OMP	18.05.03



client
Wertman Developments

project
Marcelo
77 Chapel Rd.
Nanaimo, BC

sheet title
Stormwater
Management

project no. 117.25
scale 1:500 @ 24"x36"
drawn by TB
checked by BM/PG

revision no. sheet no. L1.03

















	16-05-30	Issued for Reasoning Revision
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On: 16-05-30	At: 17:27 A000 Supplemental	
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Name:	N.T.S.	Order Number:
		1727

A000 - All documents are placed in electronic form.

77 Chapel Street
Nanaimo BC
Colour Rendering

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De Hoog & Karuul architects
Victoria
977 Fort Street V8V 3K3 T 1-250-696-3367
Nanaimo
102-6190 Dublin Way V9T 2K8 T 1-250-566-5910