



AGENDA
DESIGN ADVISORY PANEL MEETING

October 24, 2024, 5:00 PM
Boardroom, Service and Resource Centre
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING TO ORDER:

[Note: This meeting will be live streamed and video recorded for the public.]

2. INTRODUCTION OF LATE ITEMS:

3. ADOPTION OF AGENDA:

4. ADOPTION OF MINUTES:

a. Minutes

2 - 4

Minutes of the Design Advisory Panel meeting held in the Boardroom of the Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC, on Thursday, 2024-SEP-26 at 5:00 p.m.

5. PRESENTATIONS:

a. Development Permit Application No. DP001352 & DP001353 - Hogler Crescent

5 - 31

To be introduced by Kristine Mayes, Planner, Current Planning

Purpose: The proposed development is a multi-family row house residential development with a total of 4 dwelling units.

b. Development Permit No. DP0001356 - 6124 Metral Drive

32 - 53

To be introduced by Kristine Mayes, Planner, Current Planning

Purpose: The proposed development is a multi-family residential development with a total of 2 buildings with a combined total of 89 dwelling units.

6. OTHER BUSINESS:

7. ADJOURNMENT:



MINUTES

DESIGN ADVISORY PANEL MEETING

Thursday, September 26, 2024, 5:00 P.M.
Boardroom, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Present: Marie Leduc, Chair*
Councillor Eastmure
Hector Alcala, AIBC*
Johnathan Behnke, BCSLA/CSLA
Angie Boileau, At Large*
Kevin Krastel, At Large*
Harry Law, At Large*
Nathan Middleton, AIBC*

Staff: L. Rowett, Manager, Current Planning
P. Carter, Planner Current Planning*
C. Chee, Community Development Clerk
A. Bullen, Recording Secretary

1. CALL THE MEETING TO ORDER:

The Design Advisory Panel Meeting was called to order at 5:00 p.m.

2. ADOPTION OF AGENDA:

It was moved and seconded that the Agenda be adopted. The motion carried unanimously.

3. PRESENTATIONS:

a. Development Permit Application No. DP001350 – 77 Chapel Street

Introduced by Payton Carter, Planner, Current Planning.

- Six-storey multi-family residential development with 156 apartment units and six townhouse units
- No variances are proposed for this development

* Denotes electronic meeting participation as authorized by "Council Procedure Bylaw 2018 No. 7272"

Presentations:

1. Greg Mitchell, Primex Investments Ltd., presented an overview of the project.
2. Glenn Hill, Architect, dHKarchitects, presented the neighbourhood context, streetscape, site plan, and building renderings and materials. Highlights included:
 - Explanation of unit types
 - Two-storey parkade with entry from Skinner Street
 - Outdoor amenity area located at the corner of Chapel Street
 - Amenity gym space on the southeast corner of the building
 - Car sharing program on-site for residents
 - Incorporation of windows in the exit stairwells to enhance natural light and improve wayfinding
3. Kai Ming Ren, BCSLA Intern, MDI Landscape Architects Inc., and Scott Murdoch, Landscape Architect, MDI Landscape Architects Inc., provided an overview of the landscape plan. Highlights included:
 - A dog park situated towards the corner of Chapel Street
 - Bench seating incorporated along building walkways
 - Use of rain gardens
 - A variety of native plants to provide colour and texture
 - Focal tree positioned at the corner of the property
4. Drew Beiderwieden, Civil Engineer, Newcastle Engineering, provided an overview of the civil plans.

Panel discussion took place. Highlights included:

- Additional enhancements to the building design through colours and materials
- Consideration of adding a commercial unit to optimize corner space
- Discussion on the building facade
- Comments on the necessity of the dog park
- Considerations for effective wayfinding around the building
- Discussion regarding the proposed location for the smoking area
- Discussion of the inclusion of public art

It was moved and seconded that Development Permit Application No. DP001350 – 77 Chapel Street be accepted as presented. The following recommendations were provided:

- Consider adding texture, colour, and/or materials to break up the uniformity of the exterior in a way that would make the form and character of the building more iconic and suitable to its location

- Consider enhancing the form and character of the townhomes by adding a variety of materials, colours, and more durable and authentic materials to the exterior
- Consider adding a green roof or other treatment to the townhome rooftops as a way to improve the appearance from above
- Consider creating a retail unit on the ground floor of the north end of the building to better animate the corner plaza
- Consider ways to enhance the north corner as a potential landmark as per the applicable design guidelines
- Consider relocating the smoking area away from the plaza on the north end of the building
- Consider ways to better address the grade of the units on Chapel Street
- Consider ways to ensure security along the pedestrian corridor on the south end of the building by adding windows on the south face and by providing wayfinding and suitable lighting
- Consider relocating the dog park and ensuring materials used, such as fencing, are appropriate to the neighbourhood context and that the ground material is durable
- Consider adding texture to the retaining walls along Chapel Street
- Consider adding fenestration on the concrete walls along Skinner Street as a way to add visual interest and to provide lighting in the parkade
- Consider adding some shaded areas to the rooftop amenity space
- Consider bike racks that can accommodate larger bikes

The motion carried unanimously.

4. ADJOURNMENT:

It was moved and seconded at 6:45 p.m. that the meeting adjourn. The motion carried unanimously.

CERTIFIED CORRECT:

CHAIR

RECORDING SECRETARY

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001352 (991, 993, 995 & 997 HOGLER CRESCENT) & DP1353 (1001, 1003, 1005 & 1007 HOGLER CRESCENT)

Applicant/Architect: JOYCE REID TROOST ARCHITECTURE

Owner: HOGLER RIDGE DEVELOPMENTS

Landscape Architect: FRANK BASCIANO DESIGN

SUBJECT PROPERTY AND SITE CONTEXT

<i>Zoning</i>	Row House Residential (R7)
<i>Location</i>	The subject properties are located on the south side of Hogler Crescent, southeast of the intersection of Hogler Crescent and Harbour View Street
<i>Total Area</i>	991 Hogler 262m ² 1001 Hogler 272m ² 993 Hogler 179m ² 1003 Hogler 211m ² 995 Hogler 179m ² 1006 Hogler 211m ² 997 Hogler 280m ² 1007 Hogler 962m ²
<i>City Plan (OCP)</i>	Future Land Use Designation: Suburban Neighbourhood Development Permit Area DPA8 – Form and Character
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines + South End Neighbourhood Plan (SENP)

The subject properties are located in the South End neighbourhood, southeast of Harbour View Street and between the Island Highway and Old Victoria Road. The lots are rectangular shaped and accessed from Hogler Crescent. The lots are vacant and are primarily flat (except for portions of 1007 Hogler Crescent, which is treed and sloped). Established single-family dwellings, multi-family developments, vacant lots, and light industrial developments characterize the surrounding area.

PROPOSED DEVELOPMENT

The applicant is proposing to construct 2 two-storey multi-family residential buildings comprising a total of 8 three-bedroom fee simple row house units (4 units in each building) through two concurrent Development Permit applications on either side of a dedicated lane. The proposed total gross floor area for each unit is between 122 to 135m².

Site Design

The proposed buildings are oriented to face Hogler Crescent or an unnamed lane that bisects the two buildings. Onsite parking (2 spaces) includes a private garage and surface parking spaces for each unit accessed from Hogler Crescent or the lane.

Staff Comments:

- Consider offsetting each unit and reorienting the unit entrances to face Hogler Crescent instead of the lane for 997 & 1001 Hogler Crescent for continuity in the streetscape.
- The floor plans for 997 & 1007 Hogler Crescent show a double car garage for each unit. A covenant on title restricts each lot to a single car garage or carport as well as driveways which are directly adjacent to the driveway of the neighbouring lot.
- Consider the location of three-stream waste management container storage as well as lighting.

Building Design

The design of the proposed buildings is contemporary in nature, two-storeys in height with flat roofs. The exterior finishes of the buildings are comprised of a mix of materials including fibre cement panel, plank, board and batten, and shiplap, as well as black PVC windows.

Staff Comments:

- Consider opportunities to further emphasize the unit entries and individualize the units.
- Consider incorporating design elements from adjacent developments such as similar rooflines and materials.
- Consider opportunities to address blank walls.

Landscape Design

Through the site development, various deciduous trees, shrubs, perennials, and grasses will be planted. An existing hedge at the rear of the properties will be retained with replacement plantings as needed. Private patios are proposed on the rear of the buildings and will be separated by privacy screens.

Staff Comments:

- The required landscape buffer should complement the overall building design and contribute to the public realm where they intersect with the street as per the SENP.

PROPOSED VARIANCES

The applicant has not identified any proposed variances; however, a landscape buffer variance may need to be confirmed through the application review.

HOGLER CRESCENT | DESIGN RATIONALE

JUNE 16, 2024

The eight-unit multi-family residential project is designed to contribute to an already thriving a family-oriented community. The row-house style eight units are divided into two separate buildings which creates a thoughtful streetscape. While the two buildings have different floor plans, the contemporary exterior elevations are designed to be cohesive and complementary.

Neighborhood Context

The site is located along Hogler Crescent. The adjacent neighbors are single family homes. Additional row house style townhomes are scheduled to be integrated into the community at a future date. This integration will provide a nicely balanced density and scale.

Site Design Concept

- The sites are designed as part of a larger development which includes a mixture of single family and R7 lots.
- The R7 Zoned lots allow for full ownership of the land and building without the burden of an administration of Strata ownership. The other advantage is a zero side yard and a smaller lot.
- These eight R7 lots are located towards the back of the development and split by an access lane.
- Architecture has been emphasized on the corners lots by shifting the garage access to the lane
- The front doors of the corners lots also face the lane to visually activate this area and provide a greater sense of ownership and community.
- The additional unit entry doors face Hogler Crescent which allows for ease of way finding and a strong repetition along the street.

Proposed Building Designs:

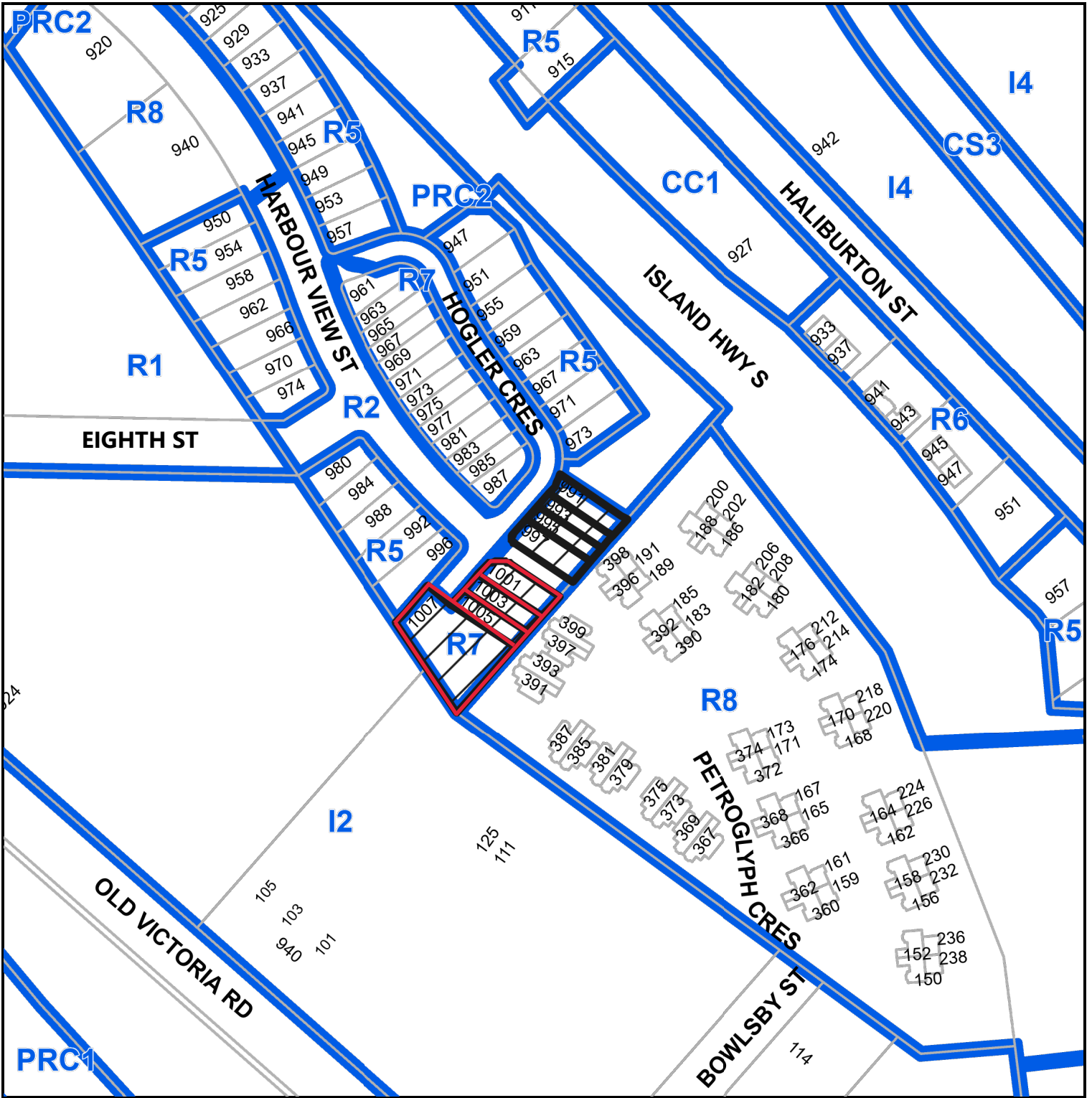
- 8 units are divided into 2 separate buildings
- All townhomes are designed to maximize their access to natural light
- All townhomes have their own private entry areas giving people a sense of ownership of space
- All townhomes have private rear patios and yards
- There are many windows from all the units the look down on the site giving the community a visual ownership of the space.

Character & Form

- The adjacent residential homes are typically more contemporary in nature.
- The two buildings have different floor plans, but the exterior designs are designed to compliment each other.

- Due to the residential nature of the building and the adjacent neighbors, providing “a residential scale”, defining townhome entries while creating a sense of ownership of ones’ space was the design concept behind the architectural language of the facade
 - Stepping the building massing and creating varied heights to create scale
 - Creating visual interest and cohesiveness architectural style throughout the project with repeated architectural elements.
 - Variety of siding textures are introduced to reduce the scale of the residences and create visual interest.
 - Front entrances are highlighted with modern flat roofs and material changes

SUBJECT PROPERTY MAP



Subject Property



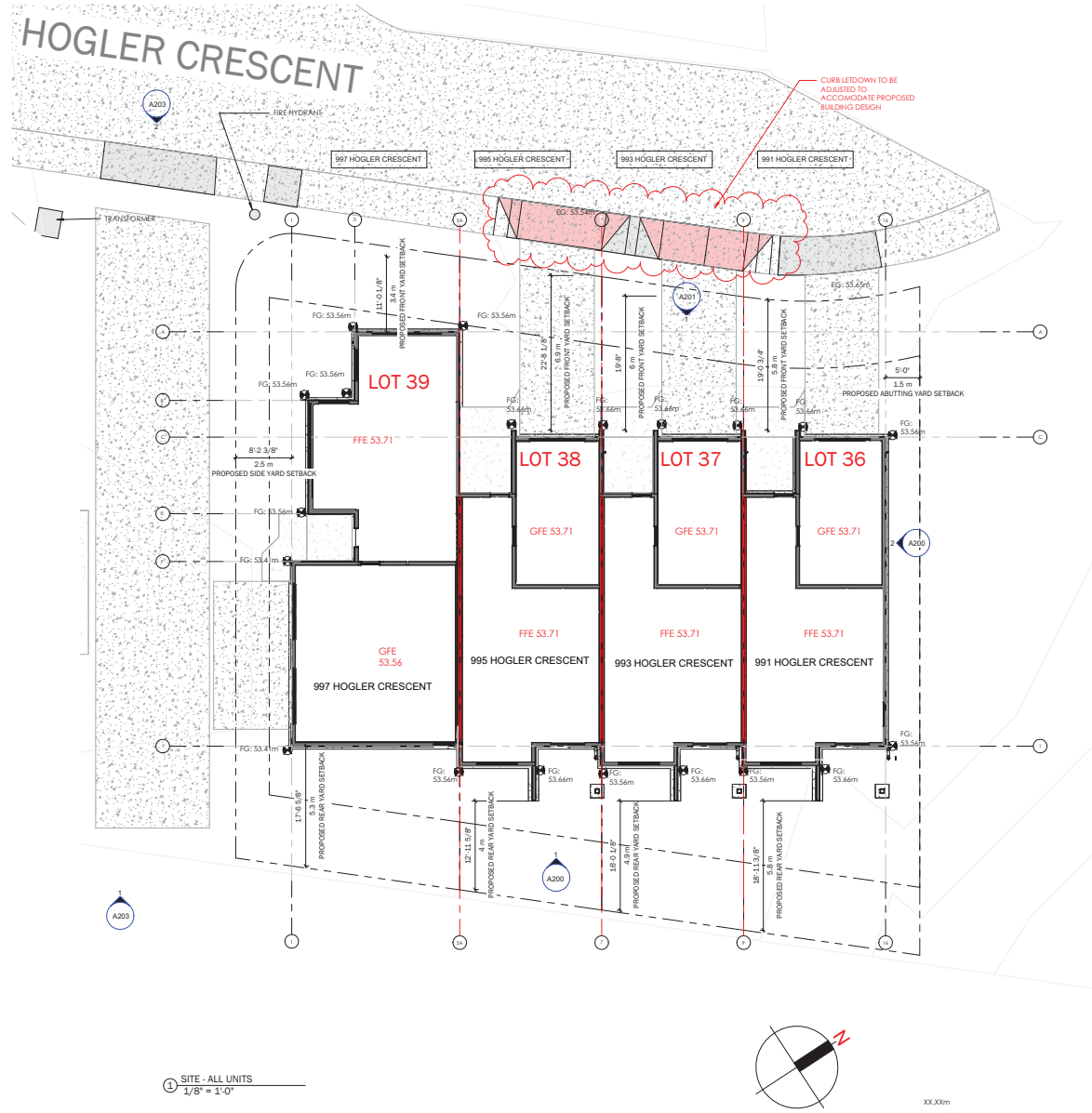
991, 993, 995, 997 Hogler Crescent

1001, 1003, 1005, 1007 Hogler Crescent

AERIAL PHOTO



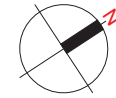
991, 993, 995, 997, 1001, 1003, 1005, 1007 Hogler Crescent



AREAS		
NAME	AREA	
LOT 39 - AREA	3024 SF	
LOT 38 - AREA	1929 SF	
LOT 37 - AREA	2437 SF	
LOT 39 - COVERAGE	1284 SF	
LOT 38 - COVERAGE	845 SF	
LOT 37 - COVERAGE	900 SF	
LOT 36 - COVERAGE	815 SF	

GROSS FLOOR AREAS (NO GARAGE)		
LOT 39 - LEVEL 2	832 SF	
LOT 38 - LEVEL 2	742 SF	
LOT 37 - LEVEL 2	742 SF	
LOT 36 - LEVEL 2	742 SF	
LOT 39 - LEVEL 1	572 SF	
LOT 38 - LEVEL 1	572 SF	
LOT 37 - LEVEL 1	572 SF	
LOT 36 - LEVEL 1	572 SF	

① SITE - ALL UNITS
1/8" = 1'-0"



XX.XXXm
DENOTES FINISHED GRADE



JOYCE REID TROOST ARCHITECTURE
2515 GLENAYR DRIVE
NANAIMO, BC V9S 3R9
joyce@jrtarchitecture.com
250.714.8749
jrtarchitecture.com

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DP1352
2024-SEP-19

TOWNHOMES
991, 993, 995 & 997 Hogler Crescent
NANAIMO, BC

CLIENT
HOGLER ENTERPRISES

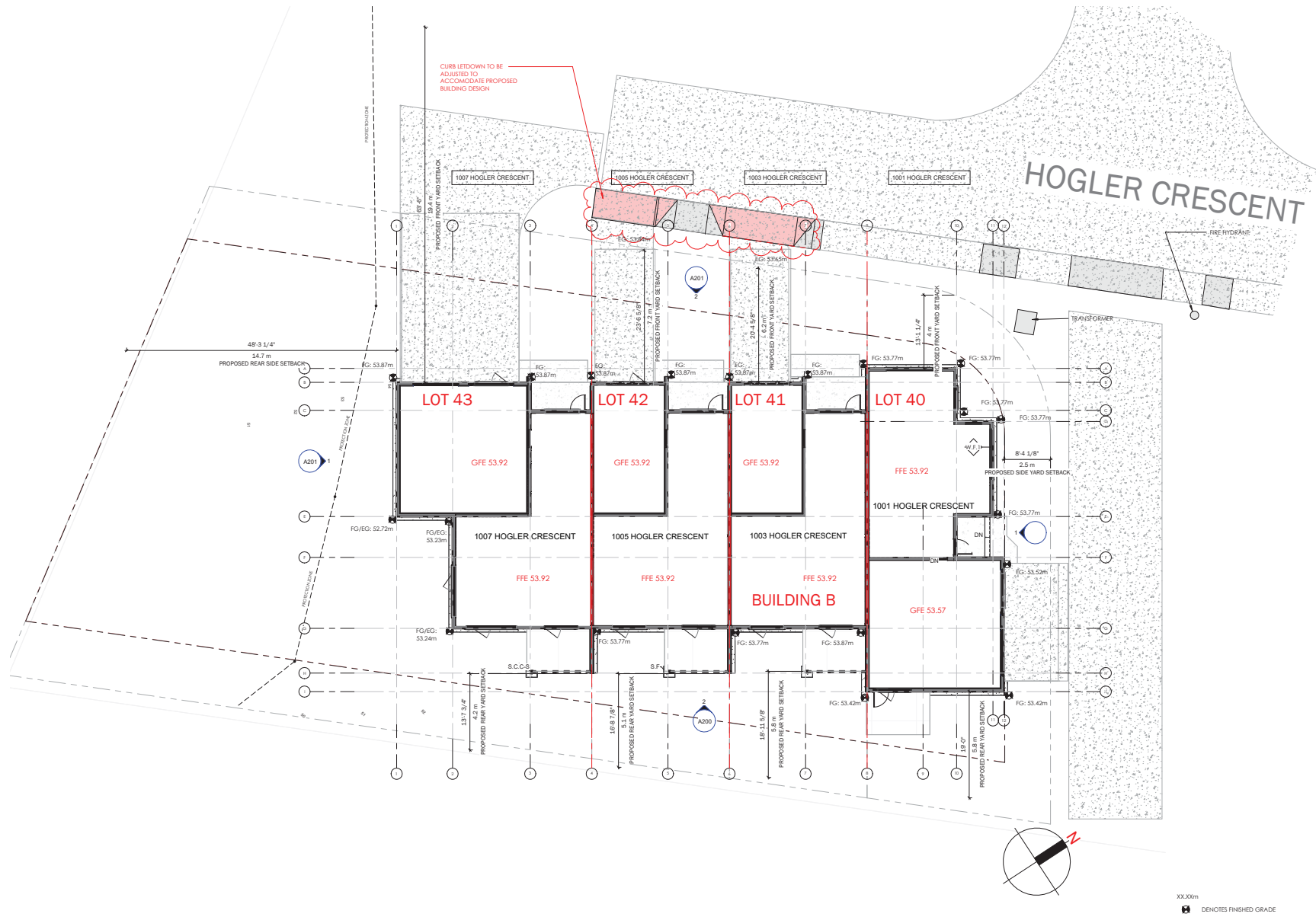
REV. DATE	NUMBER	DESCRIPTION
21.05.24	1	ISSUED FOR DP
02.08.25	2	RE-ISSUED FOR DP

DATE: JUNE 15, 2022
SCALE: 1/8" = 1'-0"
DRAWN: CC CHECKED: JRT APPROVED: JRT

SITE PLAN - BLDG. A
A100

AREAS		
NAME	AREA	
LOT 43 - AREA	10344 SF	
LOT 42 - AREA	2278 SF	
LOT 41 - AREA	2278 SF	
LOT 40 - AREA	2933 SF	
LOT 43 - COVERAGE	1287 SF	
LOT 42 - COVERAGE	1027 SF	
LOT 41 - COVERAGE	1028 SF	
LOT 40 - COVERAGE	1174 SF	

FLOOR AREA (NO GARAGE)		
Name	Area	
LOT 43 - LEVEL 3	656 SF	
LOT 42 - LEVEL 1	656 SF	
LOT 41 - LEVEL 1	656 SF	
LOT 40 - LEVEL 1	601 SF	
LOT 40 - LEVEL 2	814 SF	
LOT 41 - LEVEL 2	136 SF	
LOT 42 - LEVEL 2	795 SF	
LOT 43 - LEVEL 2	795 SF	



XXX00m
 DENOTES FINISHED GRADE



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 2515 GLENA'YR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
 250.714.8749
 jrtarchitecture.com

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TOWNHOMES
 1001, 1003, 1005, 1007 Hogler Crescent
 NANAIMO, BC

RECEIVED
DP1353
 2024-SEP-19
 CANTON PLANNING

CLIENT
 HOGLER ENTERPRISES

REV. DATE	NUMBER	DESCRIPTION
21.05.24	1	ISSUED FOR DP
02.08.24	3	REISSUED FOR DP

DATE
 JUNE 15, 2022

SCALE
 1/8" = 1'-0"

DRAWN: CC CHECKED: JRT APPROVED: JRT

SITE PLAN - BLDG. B

A100



① SITE
1/64" = 1'-0"



③ 3D - BUILDING B

PROJECT CONSULTANTS:
ARCHITECT:
 JOYCE TROOST
 JRT ARCHITECTURE
 250.714.8749
 joyce@jrtarch.com
GEOTECHNICAL:
 Terry Le
 Terrain GeoTech
 ted@terragen.com
STRUCTURAL ENGINEER:
 Mark Blusnick
 Blueprint Consulting LTD.
 mark@blusnick.com
CIVIL ENGINEER:
 Kalen Elander
 Newcastle Engineering Ltd.
 kalen@newcastleengineering.com
LANDSCAPE DESIGNER:
 Corinne Matheson
 Myrtle Woods Landscape Design
 250.286.1327
 design@myrtlewoods.ca
SURVEYOR:
 Newcastle Engineering Ltd.
 info@newcastleengineering.com

RECEIVED
 DP1352
 2024-SEP-19

SHEET INDEX	
SHEET NUMBER	SHEET NAME
A000	COVER SHEET
A100	SITE PLAN - BLDG. A
A101	LEVEL 1 - BLDG. A
A102	LEVEL 2 - BLDG. A
A103	ROOF PLAN - BLDG. A
A200	EAST/NORTH - ELEVATIONS - BLDG. A
A201	WEST/SOUTH - ELEVATIONS - BLDG. A
A202	NORTH/SOUTH - ELEVATIONS BLDG. A - AVG. FG
A203	SOUTH/NORTH ELEVATIONS - BLDG. A AND BLDG. B
A300	PERSPECTIVES 1

PROJECT DATA				
ADDRESS: CRESCENT ZONE: LOT AREA:	991, 993, 995 & 997 HOGLER	993 HOGLER CRESCENT (LOT 37)	995 HOGLER CRESCENT (LOT 38)	997 HOGLER CRESCENT (LOT 39)
ALLOWED/REQUIRED:	ALLOWED/REQUIRED:	ALLOWED/REQUIRED:	ALLOWED/REQUIRED:	PROPOSED:
BUILDING HEIGHT: 9M (>4:12)	BUILDING HEIGHT: 7.6M	BUILDING HEIGHT: 7.6M	BUILDING HEIGHT: 7.6M	BUILDING HEIGHT: 7.68M
LOT COVERAGE: 70%	LOT COVERAGE: 37.5%	LOT COVERAGE: 46.6%	LOT COVERAGE: 49.0%	LOT COVERAGE: 41.3%
FAR: .7 FLOOR AREA/LOT AREA	FAR: .54 (1314 SF/2437 SF)	FAR: .68 (1314 SF/1929 SF)	FAR: .68 (1314 SF/1929 SF)	FAR: .46 (1404 SF/3024 SF)
SETBACKS: FRONT - 3.0 M SIDE - 1.5 M SIDE - ABUTTING 0 M REAR 3.0 M	SETBACKS: FRONT - 5.8 M SIDE - 1.5 M SIDE - ABUTTING 0 M REAR 5.8 M	SETBACKS: FRONT - 6 M SIDE - N/A SIDE - ABUTTING 0 M REAR 4.9 M	SETBACKS: FRONT - 6.9 M SIDE - N/A SIDE - ABUTTING 0 M REAR 4.0 M	SETBACKS: FRONT - 3.4 M SIDE - 2.5 M SIDE - ABUTTING 0 M REAR 5.3 M
UNITS:	UNITS: 1 UNIT	UNITS: 1 UNIT	UNITS: 1 UNIT	UNITS: 1 UNIT
PARKING: 2 STALLS/UNIT	PARKING: 2 STALLS/UNIT	PARKING: 2 STALLS/UNIT	PARKING: 2 STALLS/UNIT	PARKING: 2 STALLS/UNIT

GENERAL NOTES:
 1. Dimensions provided shall take precedence over scale. Contractor to verify all dimensions of Architect and Consultants drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that exceed the requirements stated in the general notes take precedence. Prior to any alterations or modifications of the plans or details on site, Contractor(s), tradesperson(s), or homeowner(s) must contact the Architect to confirm Building Code requirements and to maintain accuracy and completeness of the plans.
 2. All references to the "British Columbia Building Code" (B.C.B.C.) or its current edition or published revision thereto, as approved by ministerial order by the Province of British Columbia. Any reference to a dated edition or revision is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised.
 3. The contractors shall examine the contract documents for conformance with these codes and regulations and shall promptly notify the Architect of any discrepancies.
 4. Written dimensions shall take precedence; drawings are not to be scaled. All dimensions and existing site conditions shall be verified in the field and any discrepancies shall be brought to the attention of the Architect immediately.
 5. All drawings and written material appearing herein constitute the original and unpublished work of the Architect, Joyce Reid Troost, and may not be changed, duplicated, used or disclosed without the written consent of the Architect.
 6. Surveyor and/or Contractor to confirm all aspects of siting and placement of structure on lot. Architect not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account.
 7. All materials to be of best quality, complying with the applicable sections of the current C.S.A. C.G.S.B. and B.C.B.C. standards. All materials shall be used strictly according to the manufacturers printed directions, where not inconsistent with the specification; no dilution permitted except where specified.
 8. Finish grading shall be performed to provide positive drainage away from the building.

<p>JOYCE REID TROOST ARCHITECTURE 2515 GLENAYR DRIVE NANAIMO, BC V9S 3R9 joyce@jrtarchitecture.com 250.714.8749 jrtarchitecture.com</p>	<p>THE DRAWINGS, DESIGN IDEAS AND MATERIALS OF CONSTRUCTION SPECIFIED HEREIN ARE THE EXCLUSIVE PROPERTY OF JOYCE REID TROOST ARCHITECT. ALL COMMUNICATION AND PROPERTY RIGHTS CONCERNING THESE DRAWINGS ARE TO BE ASSIGNED TO A THIRD PARTY WHOSE REPRESENTATIVE MEMBER(S) OF THESE PLANS BY A THIRD PARTY. THE THIRD PARTY SHALL BE SOLELY RESPONSIBLE FOR ANY ERRORS AND OMISSIONS.</p>		<p>TOWNHOMES 991, 993, 995 & 997 Hogler Crescent NANAIMO, BC</p>	<p>CLIENT HOGLER ENTERPRISES</p>	<table border="1"> <thead> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>21.05.24</td> <td>1</td> <td>ISSUED FOR DP</td> </tr> <tr> <td>02.08.25</td> <td>2</td> <td>RE-ISSUED FOR DP</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV. DATE	NUMBER	DESCRIPTION	21.05.24	1	ISSUED FOR DP	02.08.25	2	RE-ISSUED FOR DP																						<p>DATE: JUNE 15, 2022 SCALE: As indicated</p>	<p>COVER SHEET A000</p>
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<p>DRAWN: CC CHECKED: JRT APPROVED: JRT</p>																																					



① SITE
1/64" = 1'-0"



③ 3D - BUILDING B

PROJECT CONSULTANTS:

ARCHITECT:
JOYCE REID TROOST
JRT ARCHITECTURE
250.714.8749
joyce@jrtarch.com

GEOTECHNICAL:
Tham Le
Teran GeoTech
le@terangeo.com

STRUCTURAL ENGINEER:
Mark Blusink
Blusink Consulting LTD.
mark@blusink.com

CIVIL ENGINEER:
Kalen Elander
Newcastle Engineering Ltd.

LANDSCAPE DESIGNER:
Corinne Matheson
Myrtle Woods Landscape Design
250.286.1327
design@myrlewoods.ca

SURVEYOR:
Newcastle Engineering Ltd.
info@newcastleengineering.com

SHEET INDEX

SHEET NUMBER	SHEET NAME
A000	COVER SHEET
A100	SITE PLAN - BLDG. B
A101	LEVEL 1 - BLDG. B
A102	LEVEL 2 - BLDG. B
A103	ROOF PLAN - BLDG. B
A200	EAST/NORTH - ELEVATIONS - BLDG. B
A201	WEST/SOUTH - ELEVATIONS - BLDG. B
A202	NORTH/SOUTH - ELEVATIONS - BLDG. B - AVG FG
A203	SOUTH/NORTH ELEVATIONS - BLDG. A AND BLDG. B
A300	PERSPECTIVES 1

PROJECT DATA				
ADDRESS: HOGLER CRESCENT ZONE: LOT AREA:	1001 HOGLER CRESCENT (LOT 40)	1003 HOGLER CRESCENT (LOT 41)	1005 HOGLER CRESCENT (LOT 42)	1007 HOGLER CRESCENT (LOT 43)
1001, 1003, 1005 & 1007 R7 1,658.44				
ALLOWED/REQUIRED:	ALLOWED/REQUIRED:	ALLOWED/REQUIRED:	ALLOWED/REQUIRED:	ALLOWED/REQUIRED:
BUILDING HEIGHT: 9M (P<4:12)	BUILDING HEIGHT: 7.7M	BUILDING HEIGHT: 7.5M	BUILDING HEIGHT: 7.5M	BUILDING HEIGHT: 7.98M
LOT COVERAGE: 70%	LOT COVERAGE: 37.5%	LOT COVERAGE: 46.6%	LOT COVERAGE: 49.0%	LOT COVERAGE: 41.3%
FAR: .7 FLOOR AREA/LOT AREA	FAR: .50 1461 SF/2933 SF	FAR: .64 1451 SF/2279 SF	FAR: .64 1451 SF/2278 SF	FAR: .14 1451 SF/10344 SF
SETBACKS: FRONT - 3.0 M SIDE - 1.5 M SIDE - ABUTTING 0M REAR 3.0 M	SETBACKS: FRONT - 4 M SIDE - 2.5 M SIDE - ABUTTING 0 M REAR 5.8 M	SETBACKS: FRONT - 4.2 M SIDE - ABUTTING 0 M REAR 5.8 M	SETBACKS: FRONT - 7.2 M SIDE - ABUTTING 0M REAR 5.1 M	SETBACKS: FRONT - 3.8 M FLANKING - 2.5 M SIDE - 2.5 M SIDE - ABUTTING NA REAR 5.0 M
UNITS:	UNITS: 1 UNIT	UNITS: 1 UNIT	UNITS: 1 UNIT	UNITS: 1 UNIT
PARKING: 2 STALLS/UNIT	PARKING: 2 STALLS/UNIT	PARKING: 2 STALLS/UNIT	PARKING: 2 STALLS/UNIT	PARKING: 2 STALLS/UNIT

GENERAL NOTES:

- Dimensions provided shall take precedence over scale. Contractor to verify all dimensions of Architect and Consultants drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that exceed the requirements stated in the general notes take precedence. Prior to any alterations or modifications of the plans or details on site, Contractor(s), tradesperson(s), or homeowner(s) must contact the Architect to confirm Building Code requirements and to maintain accuracy and completeness of the plans.
- All references to the "British Columbia Building Code" (B.C.B.C.) or its current edition or published revision thereto, as approved by ministerial order by the Province of British Columbia. Any reference to a dated edition or revision is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised.
- The contractors shall examine the contract documents for conformance with these codes and regulations and shall promptly notify the Architect of any discrepancies.
- Written dimensions shall take precedence; drawings are not to be scaled. All dimensions and existing site conditions shall be verified in the field and any discrepancies shall be brought to the attention of the Architect immediately.
- All drawings and written material appearing herein constitute the original and unpublished work of the Architect, Joyce Reid Troost, and may not be changed, duplicated, used or disclosed without the written consent of the Architect.
- Surveyor and/or Contractor to confirm all aspects of siting and placement of structure on lot-Architect not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account.
- All materials to be of best quality, complying with the applicable sections of the current C.S.A. C.G.S.B. and B.C.C. standards. All materials shall be used strictly according to the manufacturers printed directions, where not inconsistent with the specification; no dilution permitted except where specified.
- Finish grading shall be performed to provide positive drainage away from the building.



<p>JOYCE REID TROOST ARCHITECTURE 2515 GLENAYR DRIVE NANAIMO, BC V9S 3R9 joyce@jrtarchitecture.com 250.714.8749 jrtarchitecture.com</p>	<p>THE DRAWINGS, DESIGN IDEAS AND REVISIONS OF CONSTRUCTION SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF JOYCE REID TROOST ARCHITECT. ALL COMMERCIAL AND PROPRIETARY RIGHTS ARE RESERVED. ANY REPRODUCTION OR USE OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF JOYCE REID TROOST ARCHITECT IS STRICTLY PROHIBITED. ANY REPRODUCTION OR USE OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF JOYCE REID TROOST ARCHITECT IS STRICTLY PROHIBITED.</p>	<p>ARCH. STAMP</p>	<p>TOWNHOMES</p> <p>1001, 1003, 1005, 1007 Hogler Crescent NANAIMO, BC</p>	<p>RECEIVED DP1353 2024-SEP-19</p>	<p>CLIENT</p> <p>HOGLER ENTERPRISES</p>	<table border="1"> <thead> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>21.05.24</td> <td>1</td> <td>ISSUED FOR DP</td> </tr> <tr> <td>02.08.24</td> <td>3</td> <td>REISSUED FOR DP</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV. DATE	NUMBER	DESCRIPTION	21.05.24	1	ISSUED FOR DP	02.08.24	3	REISSUED FOR DP																						<p>DATE: JUNE 15, 2022</p> <p>SCALE: As Indicated</p> <p>COVER SHEET</p> <p>A000</p> <p>DRAWN: CC CHECKED: JRT APPROVED: JRT</p>
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② ELEVATION - EAST - BLDG. A
1/4" = 1'-0"



① ELEVATION - SOUTH - BLDG. A
1/4" = 1'-0"

-  WINDOWS
BLACK PVC
-  FIBRE CEMENT PANEL
IRON GRAY
-

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joyce@jrtarchitecture.com
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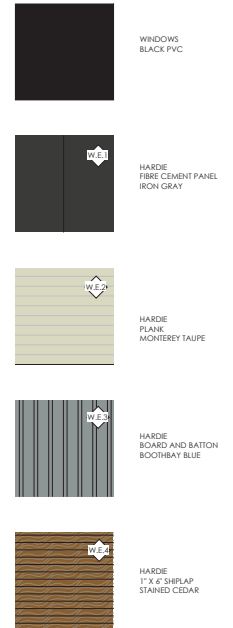
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DP 1352
2024-SEP-19
COURTESY PRINTING


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NANAIMO, BC

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HOGLER ENTERPRISES

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DATE: JUNE 15, 2022
SCALE: As Indicated
EAST/SOUTH ELEVATIONS - BLDG. A
A200
DRAWN: CC CHECKED: JRT APPROVED: JRT




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 NANAIMO, BC V9S 3R9
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2024-SEP-19
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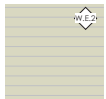

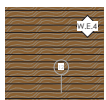
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DATE JUNE 15, 2022
 SCALE As Indicated
 DRAWN: CC CHECKED: DL APPROVED: JRT

WEST/NORTH ELEVATIONS - BLDG.
 A
A201



1 ELEVATION - EAST - BLDG. B
1/4" = 1'-0"





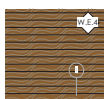
-  WINDOWS
BLACK PVC
-  W.E.1
HARDIE
FIBER CEMENT PANEL
IRON GRAY
-  W.E.2
HARDIE
PLANK
MONTEREY TAUPE
-  W.E.3
HARDIE
BOARD AND BATTON
BOOTHBAY BLUE
-  W.E.4
HARDIE
1" X 6" SHIPLAP
STAINED CEDAR



2 ELEVATION - SOUTH - BLDG. B
1/4" = 1'-0"

	JOYCE REID TROOST ARCHITECTURE 2515 GLENAYR DRIVE NANAIMO, BC V9S 3R9 joyce@jrtarchitecture.com 250.714.8749 jrtarchitecture.com	THE DRAWING, DESIGN IDEAS AND MATERIALS OF CONSTRUCTION DEPICTED HEREIN ARE THE EXCLUSIVE PROPERTY OF JOYCE REID TROOST ARCHITECT. ALL DIMENSIONS AND PROPERTY RIGHTS ARE RESERVED. THIS DRAWING IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR USED FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. IF THESE PLANS BY A THIRD PARTY, THE ARCHITECT SHALL NOT BE RESPONSIBLE. REID TROOST ARCHITECT RESPONSIBLE.	ARCH. STAMP	TOWNHOMES 1001, 1003, 1005, 1007 Hogler Crescent NANAIMO, BC	RECEIVED DP 1353 2024-SEP-19	CLIENT HOGLER ENTERPRISES	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>21.05.24</td> <td>1</td> <td>ISSUED FOR DP</td> </tr> <tr> <td>02.08.24</td> <td>3</td> <td>REISSUED FOR DP</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV. DATE	NUMBER	DESCRIPTION	21.05.24	1	ISSUED FOR DP	02.08.24	3	REISSUED FOR DP																			DATE: JUNE 15, 2022 SCALE: As Indicated	EAST/SOUTH ELEVATIONS - BLDG. B <h1 style="font-size: 24px;">A200</h1>
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HARDE
FIBRE CEMENT PANEL
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HARDE
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HARDE
1" X 6" SHIPLAP
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4 STREET PERSPECTIVE



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 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
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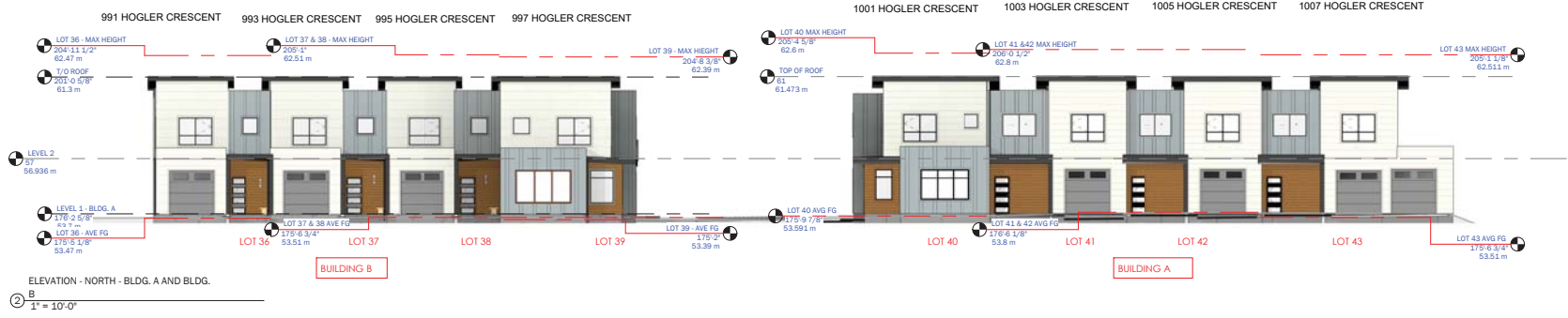
TOWNHOMES
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 NANAIMO, BC

CLIENT
 HOGLER ENTERPRISES

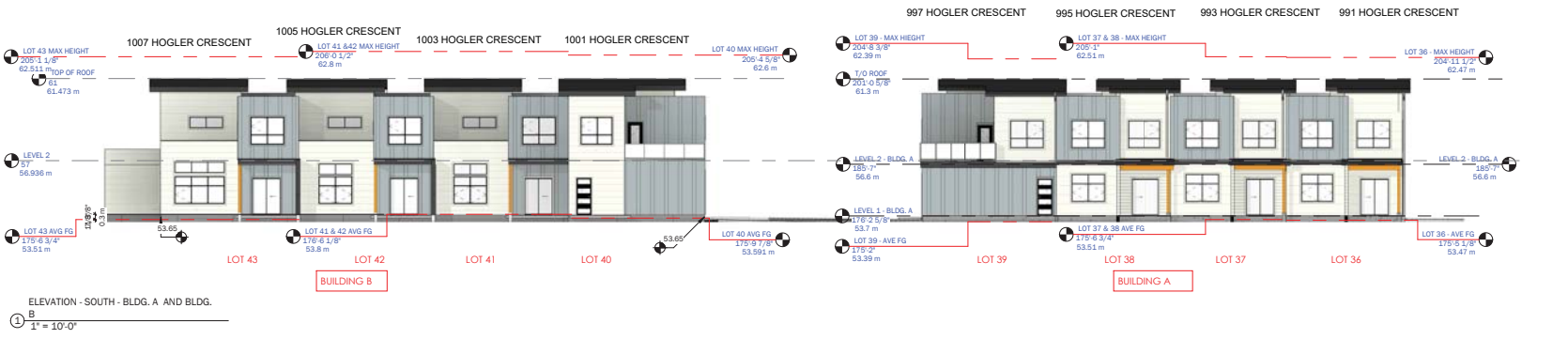
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DATE	JUNE 15, 2022
SCALE	3/16" = 1'-0"
DRAWN: CC	CHECKED: JRT
APPROVED: JRT	

SOUTH/NORTH ELEVATIONS - BLDG.
 A - AVG FG
A202



PERSPECTIVE 3



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 NANAIMO, BC V9S 3R9
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 SCALE: 1" = 10'-0"
 DRAWN: CC CHECKED: JRT APPROVED: JRT

SOUTH/NORTH ELEVATIONS - BLDG. A AND BLDG. B
A203



① 3D View 5



② 3D View 17



⑤ 3D View 14

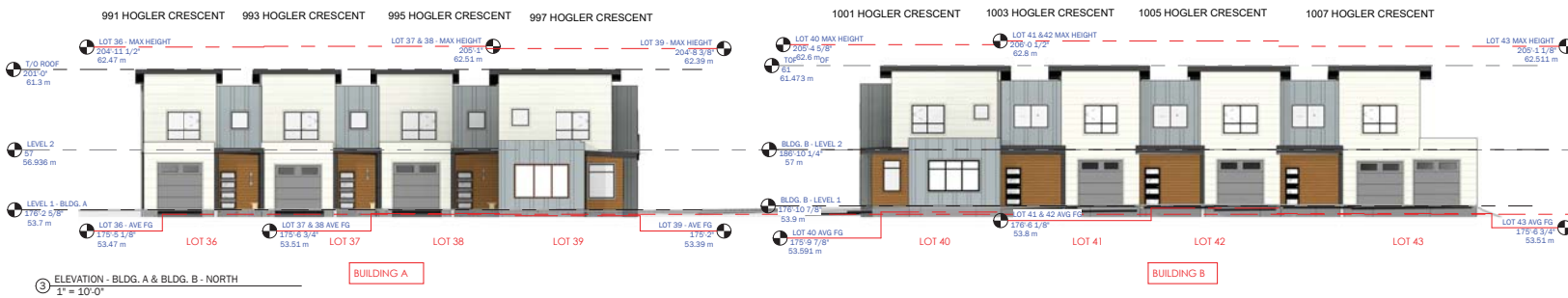
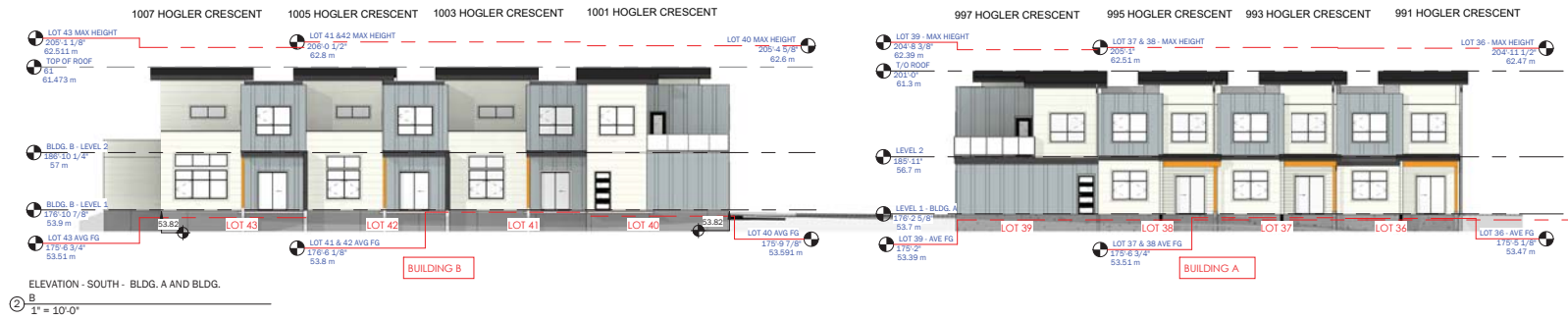


③ 3D View 8

 <p>JOYCE REID TROOST ARCHITECTURE 2515 GLENAYR DRIVE NANAIMO, BC V9S 3R9 joyce@jrtarchitecture.com 250.714.8749 jrtarchitecture.com</p>	<p>THE DRAWINGS, DESIGN IDEAS AND MATERIALS OF CONSTRUCTION SPECIFIED HEREIN ARE THE EXCLUSIVE PROPERTY OF JOYCE REID TROOST ARCHITECT. ALL CONSTRUCTION AND PROPERTY RIGHTS CONCERNING THIS DESIGN SHALL BE THE PROPERTY OF JOYCE REID TROOST ARCHITECT. NO PART OF THIS DESIGN SHALL BE REPRODUCED, COPIED, REPRODUCED, OR USED FOR ANY PURPOSES WITHOUT THE WRITTEN CONSENT OF JOYCE REID TROOST ARCHITECT. JOYCE REID TROOST ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS BY A THIRD PARTY. THE THIRD PARTY SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS BY A THIRD PARTY. THE THIRD PARTY SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS BY A THIRD PARTY.</p>	<p>ARCH. STAMP</p> <p>RECEIVED DP1352 2024-SEP-19</p>	<p>TOWNHOMES 991, 993, 995 & 997 Hogler Crescent NANAIMO, BC</p>	<p>CLIENT HOGLER ENTERPRISES</p>	<table border="1"> <thead> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>21.05.24</td> <td>1</td> <td>ISSUED FOR DP</td> </tr> <tr> <td>02.08.25</td> <td>2</td> <td>RE-ISSUED FOR DP</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV. DATE	NUMBER	DESCRIPTION	21.05.24	1	ISSUED FOR DP	02.08.25	2	RE-ISSUED FOR DP																						<p>DATE: JUNE 15, 2022</p> <p>SCALE:</p>	<p>PERSPECTIVES 1</p> <p>A300</p>
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SOUTH/NORTH ELEVATIONS - BLDG.
 A AND BLDG. B

A203



② 3D View 6



④ 3D View 13

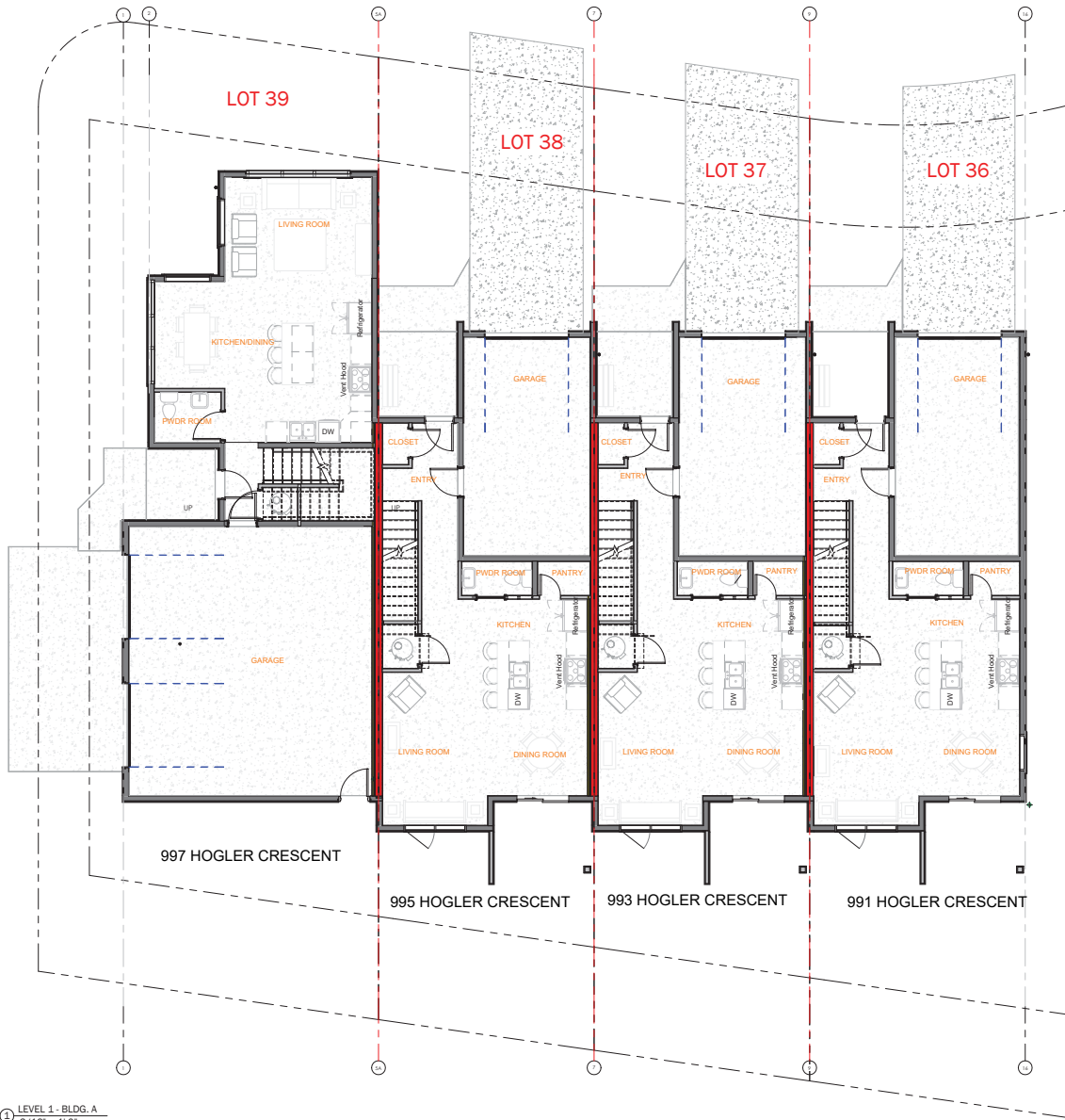


③ 3D View 14



① 3D View 16

 <p>JOYCE REID TROOST ARCHITECTURE 2515 GLENAYR DRIVE NANAIMO, BC V9S 3R9 joyce@jrtarchitecture.com 250.714.8749 jrtarchitecture.com</p>	<p>THE DRAWINGS, DESIGN IDEAS AND REVISIONS OF CONSTRUCTION SPECIFIED HEREIN ARE THE EXCLUSIVE PROPERTY OF JOYCE REID TROOST ARCHITECTURE. ALL CONSTRUCTION AND PROPERTY RIGHTS, INCLUDING BUT NOT LIMITED TO, ARE RESERVED FOR ANY FUTURE PHASES. THIS DRAWING IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR USED FOR ANY FUTURE PHASES WITHOUT THE WRITTEN CONSENT OF JOYCE REID TROOST ARCHITECTURE. JOYCE REID TROOST ARCHITECTURE IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS.</p>	<p>ARCH. STAMP</p>	<p>TOWNHOMES 1001, 1003, 1005, 1007 Hogler Crescent NANAIMO, BC</p>	<p>RECEIVED DP1353 2024-SEP-19</p>	<p>CLIENT HOGLER ENTERPRISES</p>	<table border="1"> <thead> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>21.05.24</td> <td>1</td> <td>ISSUED FOR DP</td> </tr> <tr> <td>02.08.24</td> <td>3</td> <td>REISSUED FOR DP</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV. DATE	NUMBER	DESCRIPTION	21.05.24	1	ISSUED FOR DP	02.08.24	3	REISSUED FOR DP																			<p>DATE: JUNE 15, 2022</p> <p>SCALE:</p>	<p>PERSPECTIVES 1</p> <p>A300</p>
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1 LEVEL 1 - BLDG. A
3/16" = 1'-0"



JOYCE REID TROOST ARCHITECTURE
 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
 250.714.8749
 jrtarchitecture.com

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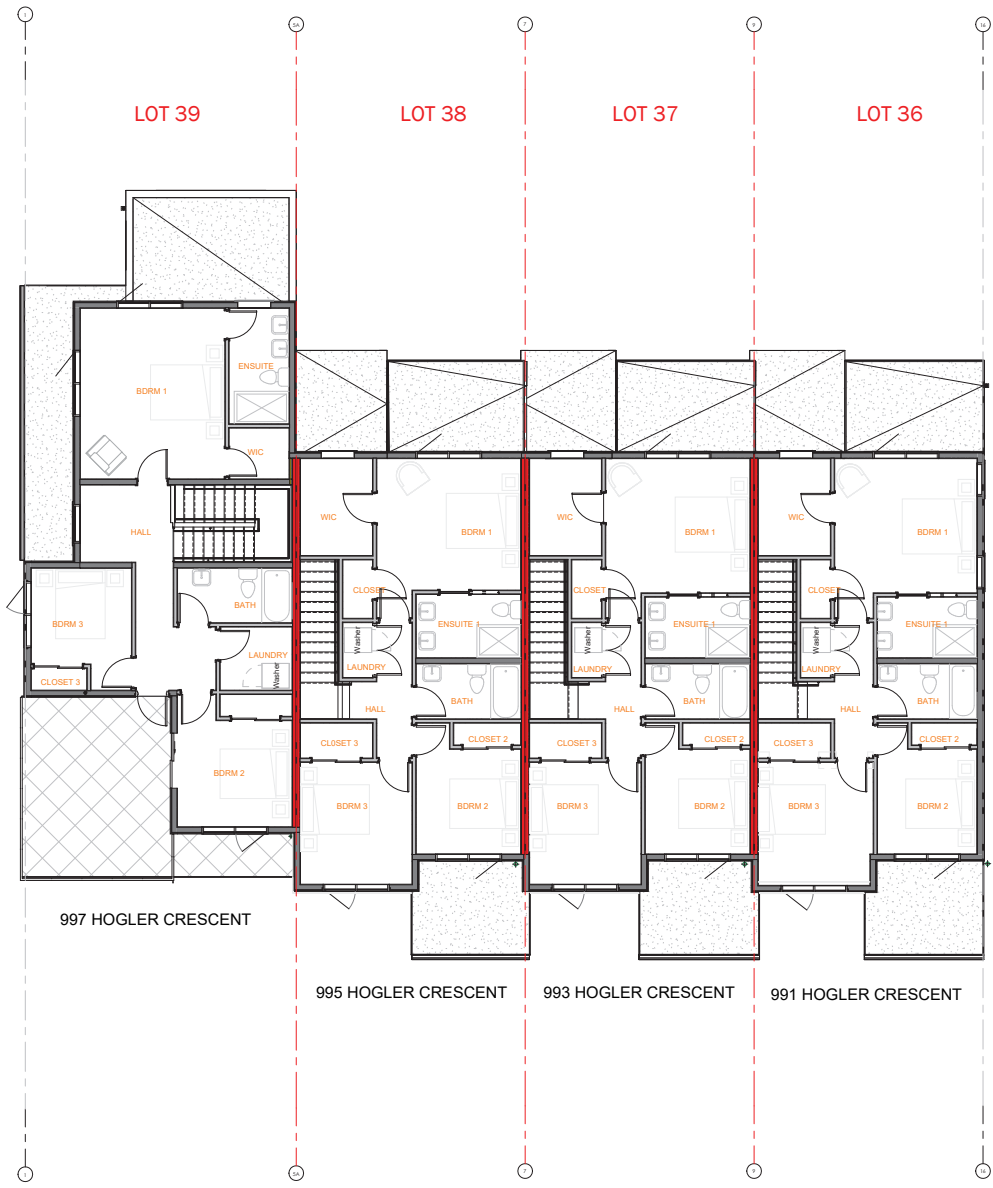
TOWNHOMES
 991, 993, 995 & 997 Hogler Crescent
 NANAIMO, BC

CLIENT
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LEVEL 1 - BLDG. A
A101

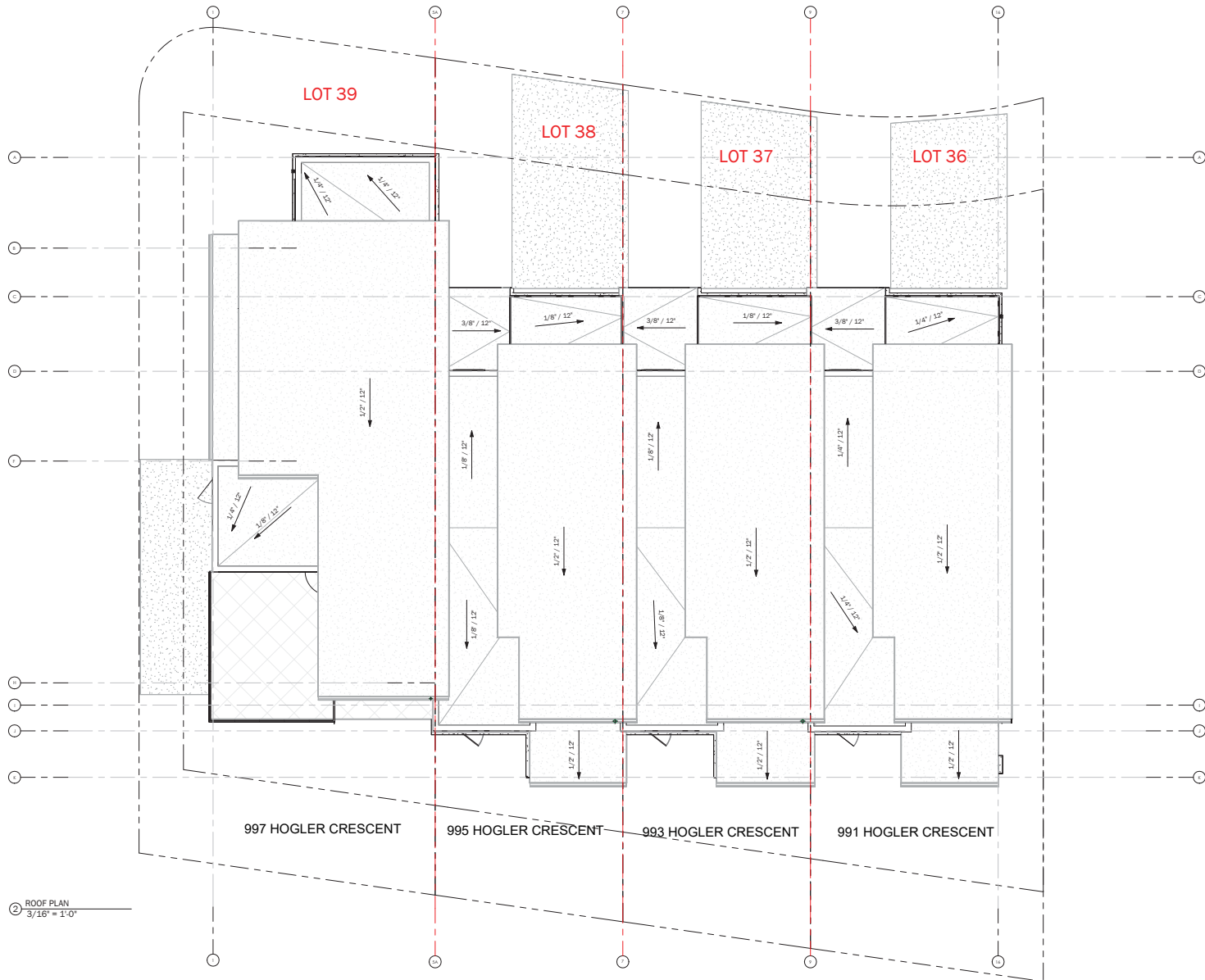


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A203
 2 ROOF PLAN
 3/16" = 1'-0"

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JOYCE REID TROOST ARCHITECTURE
 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
 250.714.8749
 jrtarchitecture.com

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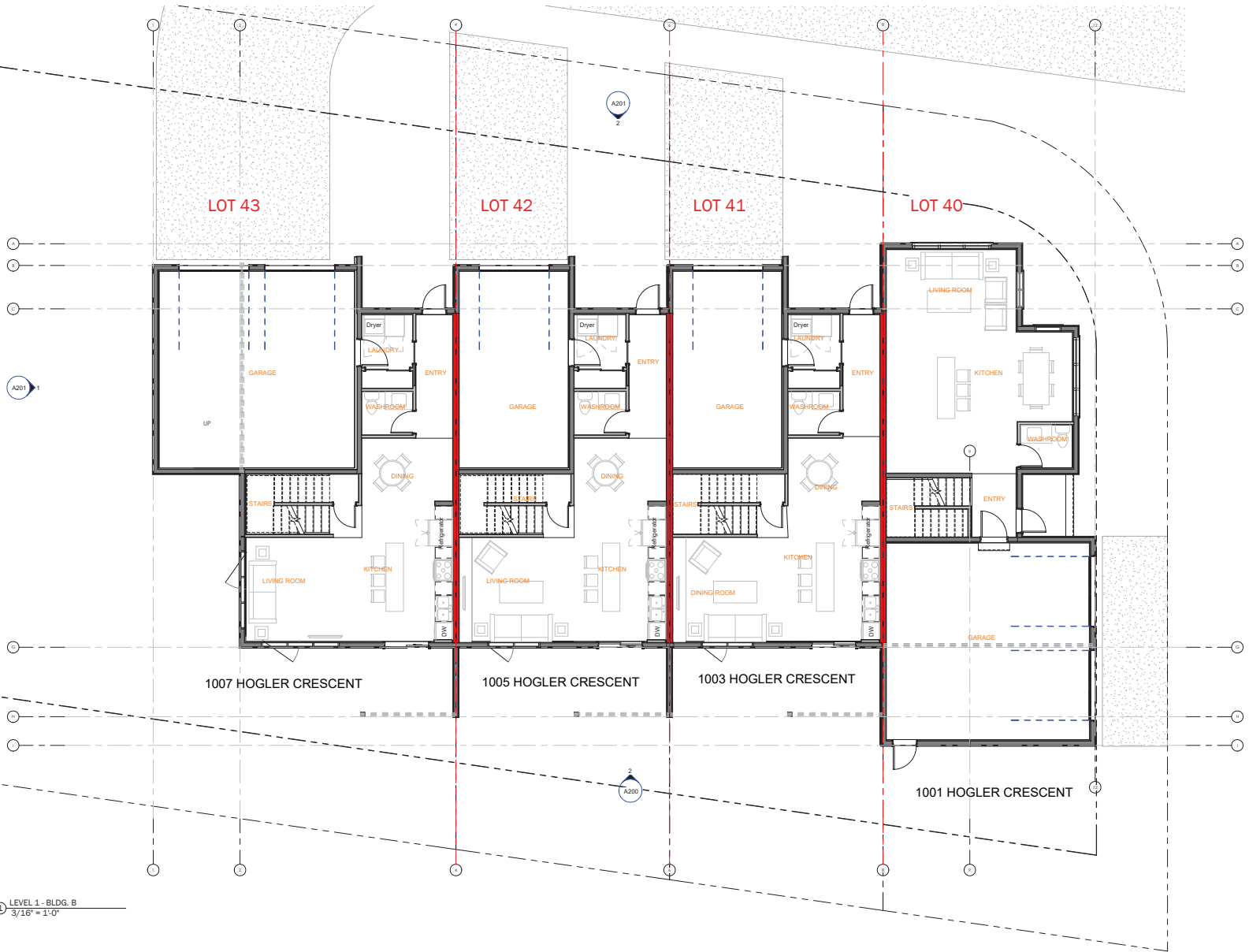
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ROOF PLAN - BLDG. A

A103



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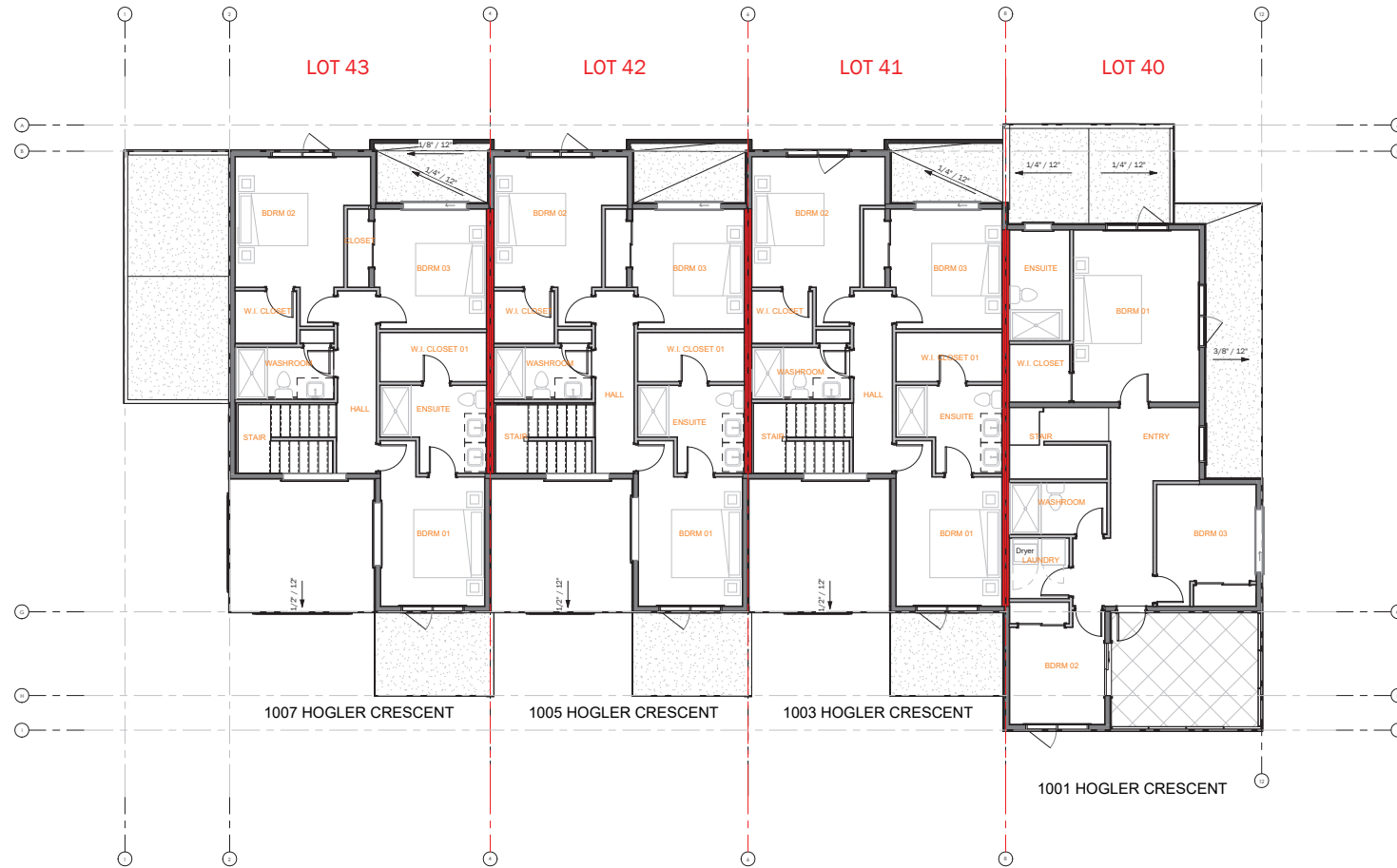
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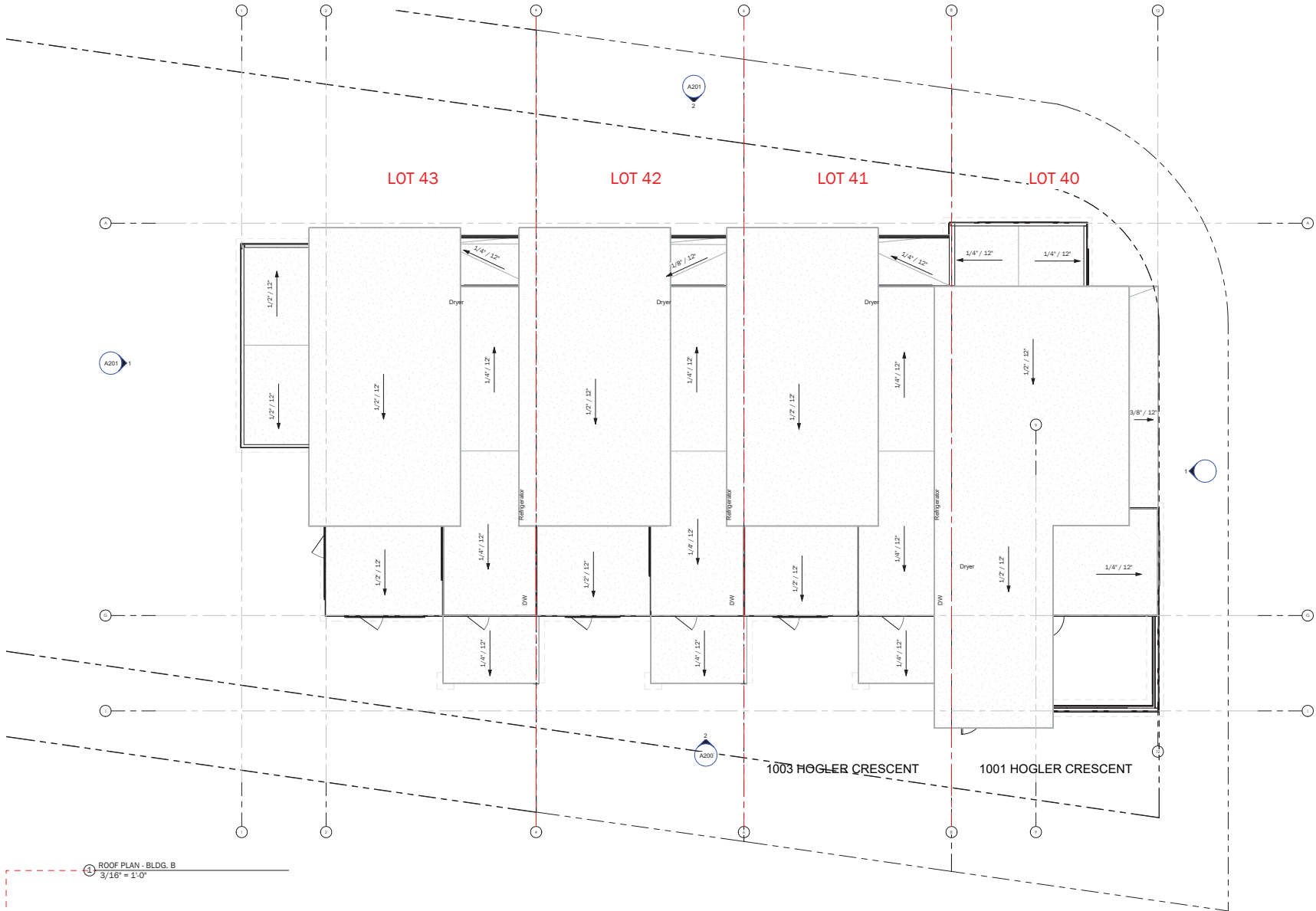
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2515 GLENAYR DRIVE
NANAIMO, BC V9S 3R9

joyce@jrtarchitecture.com
250.714.8749
jrtarchitecture.com

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ROOF PLAN - BLDG. B

A103

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 Current Planning

Key Plan
 General Notes

SOURCE OF INFORMATION:
 ENGINEERS DRAWINGS BY NEWCASTLE ENGINEERING

3	May 28, 2024	REVIEW	FB
2	May 17, 2024	INFORMATION	FB
1	May 13, 2024	INFORMATION	FB

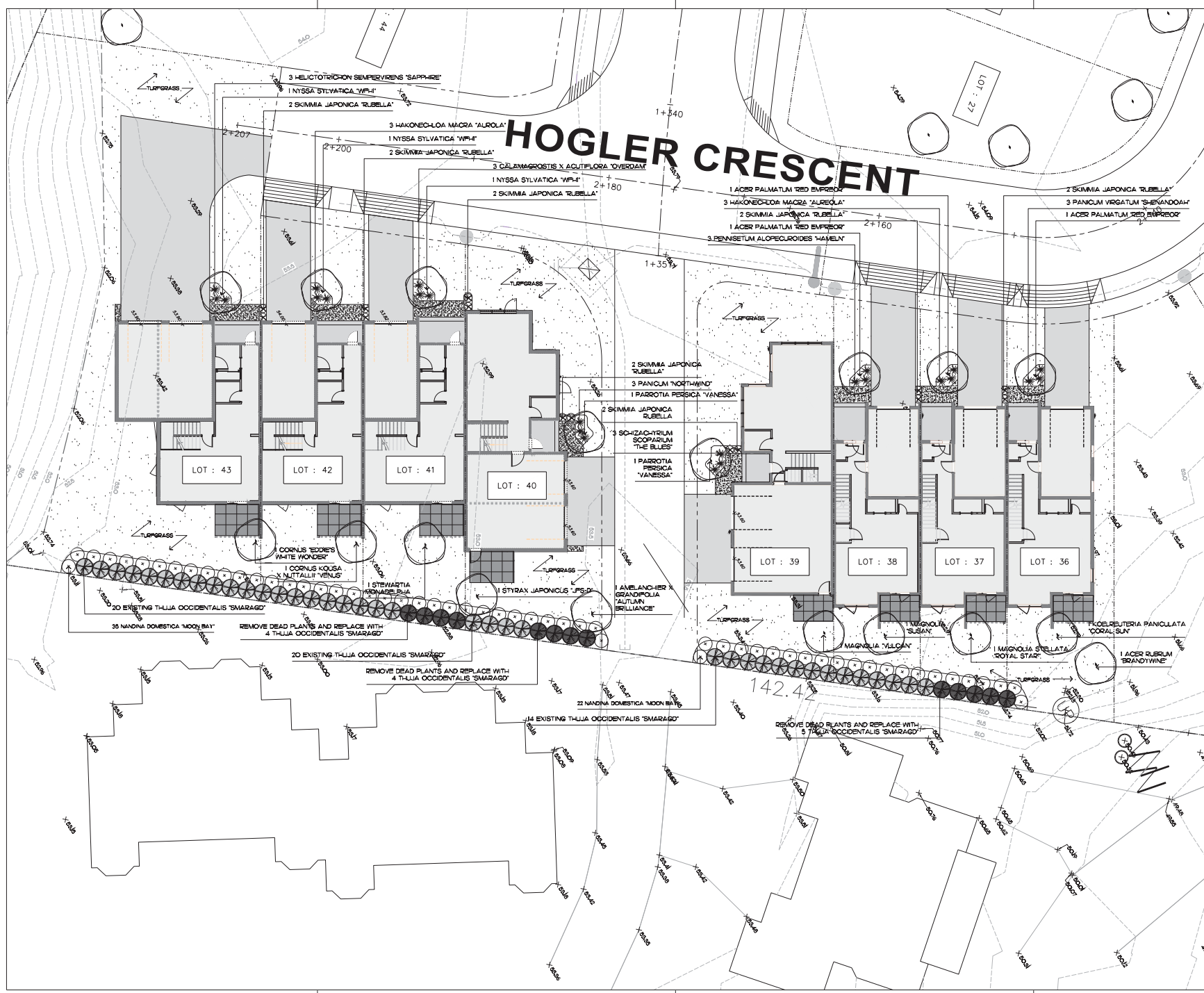
FRANK BASCIANO DESIGN
 LANDSCAPE DESIGN
 PHONE (250) 739 1960



Preliminary Planting Plan	
Scale:	1:125
Author:	Hogler
Checked:	FB
Drawn:	FB
Discussed:	FB

Townhomes
 Hogler Cresc
 Nanaimo, British Columbia
 Date:
 Landscape Plan

L1.1



STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001356 – 6124 METRAL DRIVE

Applicant/Architect: JOYCE REID TROOST ARCHITECTURE

Owner: CASTERA PROPERTIES INC.

Landscape Architect: CALID SERVICES LTD.

SUBJECT PROPERTY AND SITE CONTEXT

<i>Zoning</i>	Residential Corridor (COR1)
<i>Location</i>	The subject property is located north of Turner Road at the intersection of Metral Drive and Dunbar Road
<i>Total Area</i>	0.64 ha
<i>City Plan (OCP)</i>	Future Land Use Designation: Residential Corridor Development Permit Area DPA8 – Form and Character
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines

The subject property is a large rectangular residential lot located in North Nanaimo adjacent to the Metral Drive complete street, a multi-modal transportation corridor with transit service, sidewalks, and a cycling pathway. The property is within walking distance to services and is well connected to the Woodgrove Secondary Urban Centre. The grade change of the property is approximately 15m and slopes down to Metral Drive. The property currently contains two dwellings. Established single family dwellings, multiple family developments, commercial uses, Pleasant Valley Elementary School, and a park predominantly characterize the surrounding area.

PROPOSED DEVELOPMENT

The applicant is proposing to construct two multi-family residential apartment buildings – a five-storey building fronting Metral Drive with 59 units (Building A) and a four-storey building at the rear of the site with 30 units (Building B). The proposed total gross floor area is 7,471m² and the proposed total Floor Area Ratio (FAR) is 1.16 (base far of 1.0 + up to 0.25 Schedule D Tier 1 density).

The proposed unit composition is as follows:

Unit Type	No. of Units (Building A)	No. of Units (Building B)	Floor Area
Studio	0	18	51m ²
1-Bedroom	30	6	61m ² – 65m ²
2-Bedroom	28	6	74m ² – 101m ²
3-Bedroom	1	0	162m ²
<i>Total:</i>	89 Units		

Site Design

The proposed buildings are rectangular shaped with Building A fronting on Metral Drive and Building B at the rear of the lot adjacent to two statutory rights-of-way (SRW) which includes a 7m wide lane and a 2m wide sidewalk secured as conditions of rezoning (RA485). The main entrance for Building A connects to Metral Drive with the main access to Building B accessed from the pedestrian SRW. Vehicle parking consists of 115 parking spaces, with one level of partially underground parking under Building A with 46 spaces and the remaining spaces as under-building or surface parking. Long-term bicycle storage (45 spaces) and 6 electric scooters will be located within a secure room in Building

A at grade with Metral Drive and short-term bicycle racks (9 spaces) are located beside both buildings. Three-stream waste management containers for both buildings are located in a room at the back of Building A. Public art is proposed to be provided as a Schedule D amenity.

Staff Comments:

- Consider opportunities to incorporate a direct pedestrian connection from the townhouse unit to Metral Drive.
- Relocate parking spaces adjacent to the underground parking entrance to Building A to reduce potential vehicle conflicts.
- Consider ways to increase the visibility of the entry of Building B such as incorporating a larger pedestrian plaza and relocating the short-term bicycle rack to the front of entrance.

Building Design

The rectilinear buildings are contemporary in design with flat roofs. The exterior finishes of the buildings include a mix of fibre cement sidings including panel, board and batten, lap siding, and wood-look fibre, as well as windows with black frames. The balconies are clad with fibre cement panels or glazing.

Staff Comments:

- Consider different accent colours to differentiate the buildings.
- Consider ways to address blank walls on the north side of Building B.
- Consider weather protection for uppermost balconies.
- Consider additional opportunities to reduce overlook and shadowing on adjacent dwellings.

Landscape Design

The proposed development includes clearing the existing vegetation except for the southeast corner of the site (which will retain a stand of mature trees) and planting various deciduous and coniferous trees, shrubs, groundcover, vines, and edible perennials (blueberries and strawberries). Conifer hedges are proposed for screening. Private balconies (and a patio for the townhouse) are provided for each unit and common amenities include a deck oriented toward Metral Drive at the front of Building A.

Staff Comments:

- Consider opportunities to increase landscaping and trees at the rear of the site to screen the parking area.
- Consider provision of outdoor seating near building entrances and along pedestrian pathways.
- Provide pedestrian scale lighting along the pathways and throughout the site, ensuring no spillage into the units or adjacent properties.

Proposed Variances

Retaining Wall (Fence) Height

The maximum height of a retaining wall in a side yard in the COR1 zone is 1.8m. The applicant is proposing a 2.51m retaining wall in the north side yard and a 2.8m retaining wall in the south side yard, a requested variance of 0.71m and 1m respectively.

Building Height

The maximum height of a principal building in the COR1 zone is 14m. The applicant is proposing a height of approximately 15m for Building A, a requested variance of 1m.

Landscape Buffer

A minimum required landscape buffer is 1.8m. The applicant is proposing a minimum landscape buffer of 1.0m along a portion of the rear (east) lot line, a requested variance of 0.8m.

Off-Street Parking

The required number of parking spaces is 121. The applicant is proposing 115 parking spaces, a requested variance of 6 parking spaces. Additionally, the applicant is proposing an increased percentage of small spaces from a maximum of 40% to a maximum of 50%.

6124 Metral Drive | DESIGN RATIONALE

Aug 06, 2024

Located at the junction of Metral Drive and Dunbar Road, this project is a 89-unit multi family residential development with direct access to the newly upgraded Metral bike path and walkway. This development provides a visually pleasing design, in a highly walkable area all while creating a solution to the increased demand for rental housing in Nanaimo.

Neighbourhood Context:

- The site is located between Woodgrove Mall and North Nanaimo mobility hubs with direct access to new bike path and walkway along the Metral corridor.
- Easy access to neighborhood amenities and transportation on Metral Drive.
- A school and park are located across the street.
- Single family homes are to the north and south. The southern properties have been rezoned for more density and are likely to be developed in the near future.
- The building has been set back from the single family properties as much as possible to mitigate overlook.
- Landscape buffers have been provided along all property lines in keeping with the zone changes in those corresponding directions.

Character & Form:

- The colour scheme of the building includes shades of grey, green, white, and wood tones to emphasize the massing and form of the building.
- The massing of the front building has been stepped in both the horizontal and vertical plane, to facilitate scale and reduce overlook.
- The mass of the building is simple in nature to accommodate energy efficient build. The balconies have been used in a playful manner to create pattern and interest along the elevations.
- The entry is emphasized with prominent doors, entry plaza and material change.
- Landscaping is designed to continue a nice residential scale along the streetscape.

Proposed Building Design

- 89 units, 2 buildings.
- Front building has 3 levels of residential, 1 parkade and 1 lobby level (Total 5 Story)
- The back building has 3 levels of residential and 1 parking level. (Total 4 Story)
- A majority of the parking spaces are located in a large parkade under the front building and the rest of the parking under the back building and towards the rear of the property, screened from the street and the neighbours.
- A common trash area is located within the front building with pick up from the public drive lane located within the lot.
- Sufficient bike storage provided, accessed from walkway connected to Metral Drive
- Bike storage and Trash area located within front building.
- The design provides proper lighting to the site for safety and to direct people properly around the building and to the main doors.

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DP1356
2024-SEP-11
Current Planning

- Amenity room provided in the front building (level 2) to foster a sense of community and connection with Metral Street. This space will enjoy great natural light to make it an enjoyable workout and gathering space.

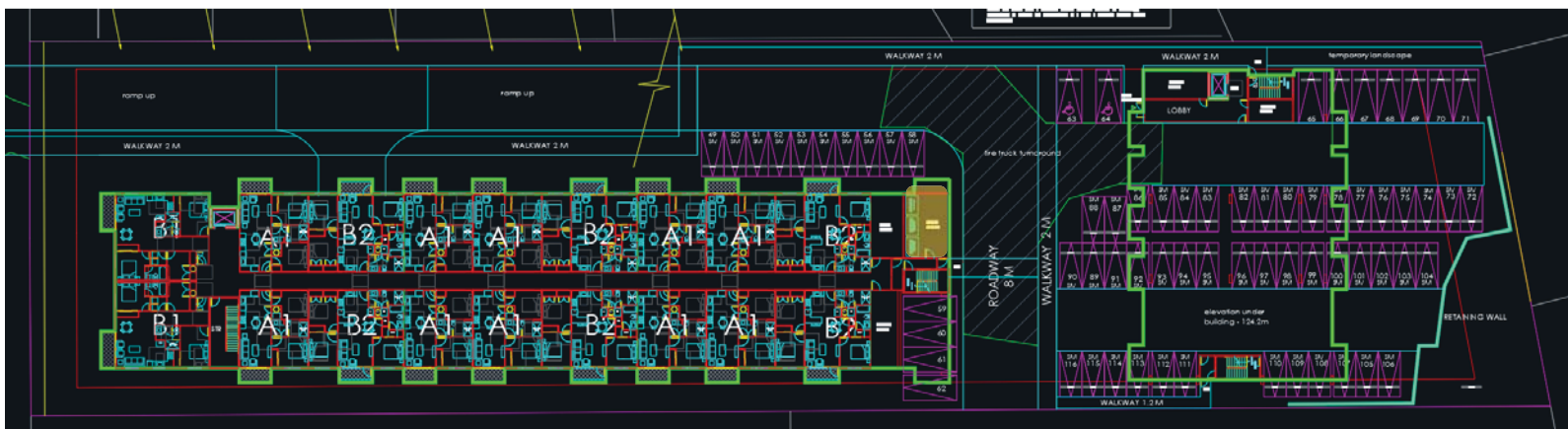
Trash Management Plan: (Three Stream)

Trash receptacles:

We are proposing a three-stream waste management plan. 4-yard bins for recycle, trash, and organic waste as a common facility to the residents in both buildings.

Trash area location:

We have located the common trash room on level 3 within the building, with direct access from drive lane. See screenshot below for location on site plan (yellow highlight).



Trash pick-up proposal:

We are proposing private pick up for this development from the drive lane. We are anticipating that the trash truck will park on the road in front of the building and the trash company will organise the movement of the bins from the trash room to the street and back during the time of pick-up. As the drive lane is part of a public road network, the trash vehicle will be able to use the network to exit the property. If the public road network is not completed, there is a proposed fire truck turn around on site(See plan in screenshot above), that can be used to turn the vehicle back on to Metral Drive. We anticipate pickup time as 2-3 minutes during which time the trash vehicle will be parked on the drive lane.

Variances Requested

- Parking Space Variance:
 - Requirement: 122 spaces
 - Provided: 115 spaces
 - Variance Request: 7 spaces (5.7%)
 - Rationale: Due to this lot's location within the mobility hub (Buffer) on Metral Drive, ('Major Collector' classification as per NTMP), with access to the Rapid-Bus-Transit-Corridor (Short Term), frequent bus routes, cycle paths and walking paths are readily accessible to the residents of this building. Subsequently, less parking is likely required to be provided within the property.
 - Additionally, the unit mix of 20% studio units and 37% 1-bedroom units also plays a role in the demographic of the resident's likely to reside within this property. The smaller units might be suitable for individuals who are less likely to own a vehicle and more likely to use public transportation. Overall, providing various housing options in this neighbourhood provides a net benefit to the community facing a current housing shortage.
 - Furthermore, we have provided sufficient bike storage to encourage the use of bikes in keeping with the proximity to bicycle-lanes on Metral Drive and nearby cycle gateways.
 - Lastly, the property is less than 400 meters from shopping centres like Great Canadian Superstore and Metral Station.

- Parking Ratio Variance:
 - Requirement: 50:50 (Std: Sm)
 - Provided: 50.5 : 49.5 (Std: Sm)
 - Variance Request: 10% small car increase
 - Rationale: In addition to the rationale mentioned above, a greater percentage of small cars might be a good match for the unit types located in this development. Residents of studio or smaller 1- bedroom units might own smaller cars and therefore proposing a nearly equal ratio of small and standard cars might be an appropriate proposal for this development.

- Height Variance:
 - Allowed: 14 m
 - Provided: 15 m
 - Variance Request: <1 m

- Rationale: A less than 1 m variance is being requested for both the front and back building that will mostly be used to accommodate the roof of the buildings.

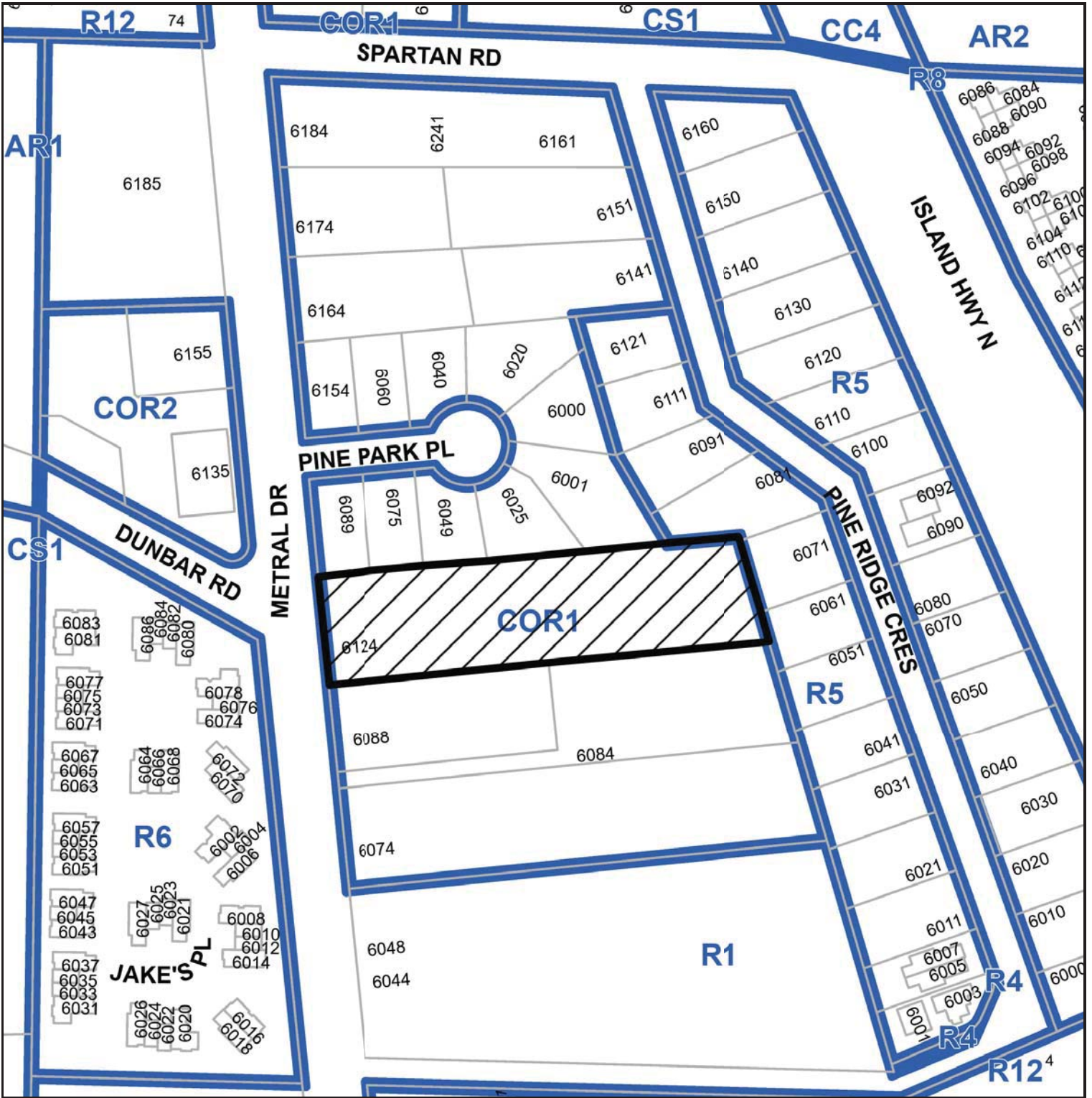
- Landscape Buffer Variance:
 - Requirements: 1.8 m, all 4 sides
 - Provided: front 1.8 m, side 1 1.8 m, side 2 1.0 m, rear 1.0 m
 - Variance Request: 0.8 m variance for side 2 and rear. Requesting for variances in some sections of the landscape buffer. See Architecture Site Plan for details)

 - Rationale: Some sections of the landscape buffer are being utilised for exit walkways, reducing the available space for the landscape buffer.

- Retaining Wall Variance:
 - Requirements: front 1.2 m, side 1 1.8 m, side 2 1.8 m, rear 1.8 m
 - Provided: front 1.2 m, side 1 2.51 m, side 2 2.8 m, rear 1.41 m
 - Variance Request: Requesting for a variance on side 1 for 0.71 m and side 2 for up to 1 M.

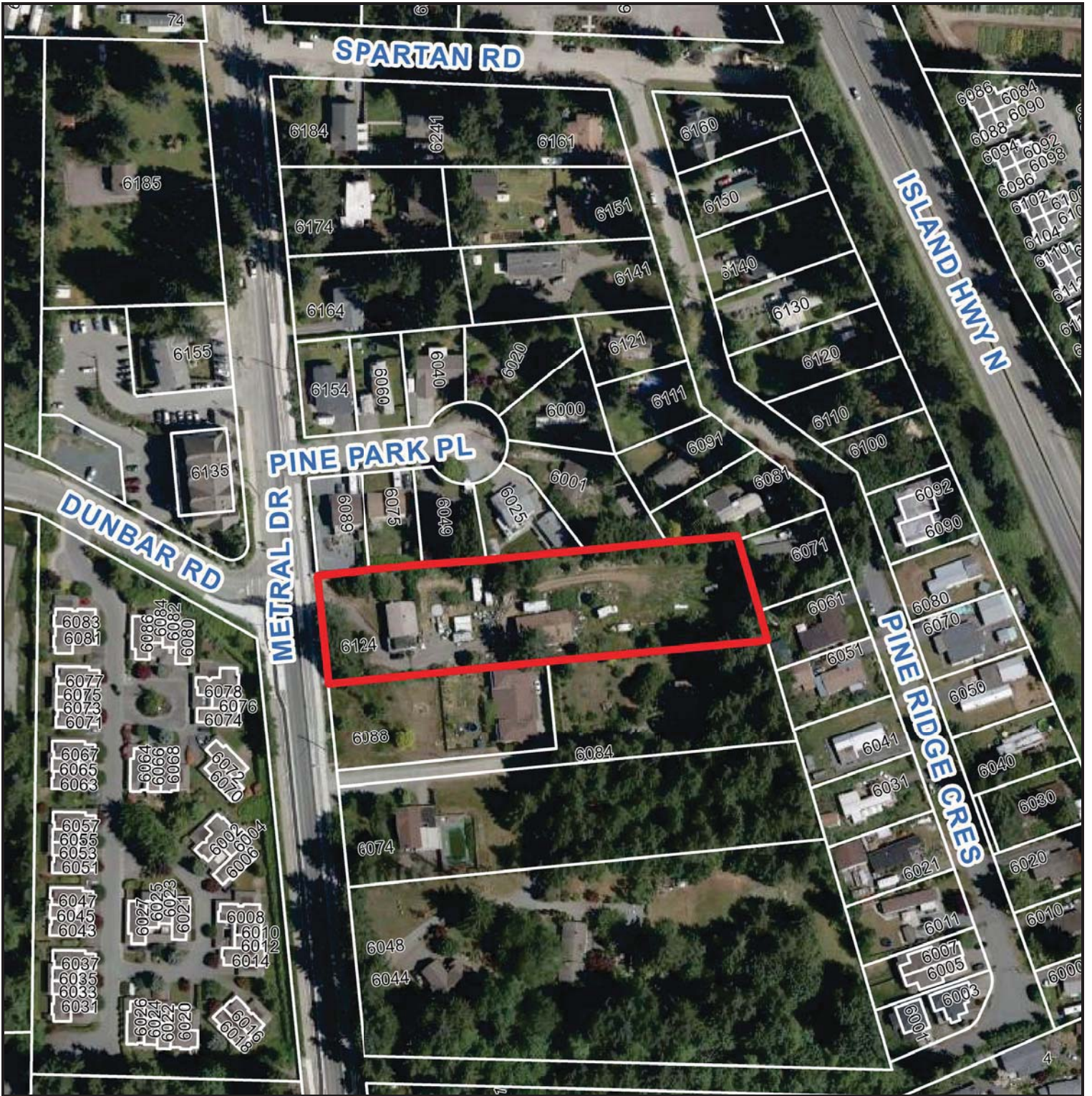
 - Rationale: The shape of the lot is long and narrow. We need the retaining walls to mitigate the slope along the length of the property,

SUBJECT PROPERTY MAP

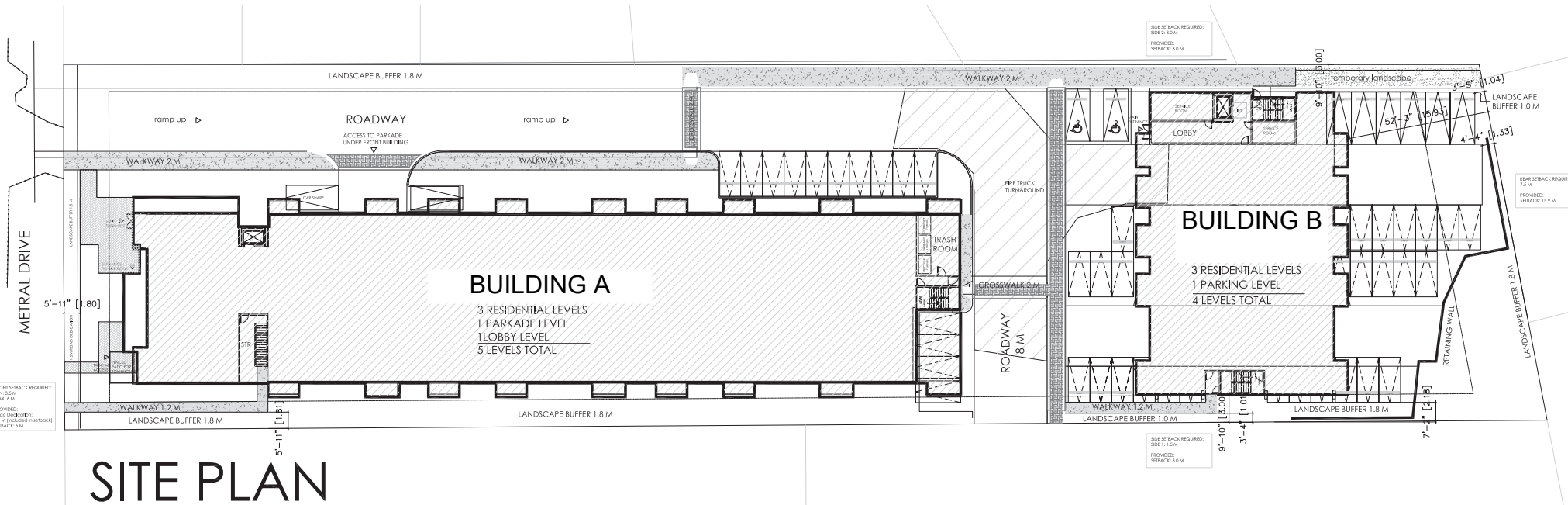


 6124 METRAL DRIVE

AERIAL PHOTO

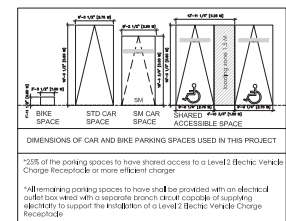


 6124 METRAL DRIVE



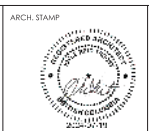
SITE PLAN

SITE PLAN



JOYCE REID TROOST ARCHITECTURE
 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitect.com
 250.714.8749
 jrtarchitect.com

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 6124 METRAL DRIVE, NANAIMO, BC

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FEB 15, 2023	2	ISSUE REV 02
NOV 12, 2022	3	ISSUE REV 03
MAY 26, 2024	4	ISSUE REV 04
JUL 26, 2024	5	ISSUE REV 05

DATE: JAN 14, 2022

SCALE:

DRAWN BY: JRT

SITE PLAN

A100

SHEET NUMBER SHEET NAME

A000 COVER SHEET
 A100 SITE PLAN
 A101 LEVELS 1 & 2 PLANS
 A102 LEVEL 3,4 & 5 PLANS
 A103 UNIT PLANS
 A200 ELEVATIONS
 A201 ELEVATIONS
 A202 ELEVATIONS
 A300 PERSPECTIVES
 A301 PERSPECTIVES

PROJECT CONSULTANTS

ARCHITECT:
 JOYCE TROOST
 JRT ARCHITECTURE
 (250)714-8749
 joyce@jrtarchitecture.com

CIVIL:
 SCOTT STEVENSON
 J.E. ANDERSON & ASSOCIATES
 (250)740-7065
 scott@janderson.com

SENIOR PLANNER:
 KEVIN BROOKS
 MCELHANNNEY
 (250)202-9037
 KBrooks@mcelhannney.com

LANDSCAPE ARCHITECT:
 DANKA PROVEN
 CALD SERVICES LTD
 (250)388-6919
 danka@calid.ca

PROJECT DATA

LOT ADDRESS: 6124 METRAL DRIVE, NANAIMO, BC

ZONE: COR1

LOT AREA: 69,327 SF	ALLOWED	PROPOSED
FAR	1.25	1.16
(FAR + Tier 1)	(1 + .25)	
GFA	86,658.7 SF	80,411.9 SF
LOT COVERAGE	60%	40.6%
FOOTPRINT AREA	41,596.2 SF	28,145.7 SF
BUILDING HEIGHT		
FRONT BUILDING	14 M	<15 M
BACK BUILDING	14 M	<15 M
		(±1 M Variance)

TOTAL UNITS
89 UNITS

SETBACKS (required)	SETBACKS (provided)
FRONT(MIN): 3.5 M	FRONT: 5.0 M
FRONT(MAX): 6.0 M	
REAR: 7.5 M	REAR: >7.15 M
SIDE 1: 1.5 M	SIDE (north): 3.00 M
SIDE 2: 3.0 M	SIDE (south): 3.00 M

UNIT TYPES AND AREAS

S TYPE : 18 UNITS: STUDIO
 A TYPE : 33 UNITS: 1BED + DEN
 B TYPE : 37 UNITS: 2 BED + DEN

TWNH: 1 UNIT: 3 BED

BUILDING DETAILS

2 BUILDINGS;
 FRONT BUILDING: 5 levels ; 59 units
 BACK BUILDING: 4 levels ; 30 units

PARKING ZONE: AREA 2

STUDIO: 1.05 X 18 UNITS = 18.9 SPACES
 1 BEDROOM: 1.26 X 33 UNITS = 41.58 SPACES
 2 BEDROOM: 1.62 X 37 UNITS = 59.94 SPACES
 1 TWN HOUSE: 2 X 1 UNIT = 2 SPACES

PARKING REQUIREMENT: 122.4 SPACES

PARKING PROVIDED: 115 SPACES
VARIANCE REQUEST: 7 SPACES (5.7%)

(INCLUDES 4 ACCESSIBLE STALLS)
 (INCLUDES 5 VISITOR STALLS)
 (INCLUDES 1 CAR SHARE)

PARKING RATIO

STD CAR: 58 SPACES
 SM CAR: 57 SPACES

RATIO STD: SM
 50.5 : 49.5

VARIANCE REQUEST: 10% SM CAR
 RATIO INCREASE

BIKE PARKING: Required:

SHORT TERM: 0.1 X 89 = 9 SPACE
 LONG TERM: 0.5 X 89 = 45 SPACES

BIKE PARKING: Provided:

SHORT TERM: 9 SPACE
 LONG TERM: 45 SPACES
 MOTORISED ELECTRIC SCOOTER: 6 SPACES

RETAINING WALLS (allowed)

FRONT	REAR	RETAINING WALLS (provided)	FRONT	REAR
1.2 M	1.2 M	1.2 M	1.2 M	1.2 M
1.8 M	1.8 M	2.51 M	1.8 M	2.51 M
1.8 M	1.8 M	2.8 M	1.8 M	2.8 M

LANDSCAPE BUFFER (required)



FRONT	REAR	LANDSCAPE BUFFER (provided)	FRONT	REAR
1.8 M	1.8 M	1.8 M	1.8 M	1.8 M
1.8 M	1.8 M	1.8 M	1.8 M	1.8 M
1.8 M	1.8 M	1.0 M	1.8 M	1.0 M



PROPOSED BUILDINGS



AERIAL SITE PLAN

 <p>JOYCE REID TROOST ARCHITECTURE 2515 GLENAYR DRIVE NANAIMO, BC V9S 3R9 joyce@jrtarchitecture.com 250.714.8749 jrtarchitecture.com</p>	<p>THE DRAWINGS, DESIGN IDEAS AND FEATURES OF CONSTRUCTION EXPRESSED HEREIN ARE THE EXCLUSIVE PROPERTY OF JOYCE REID TROOST ARCHITECTURE. ALL COMMON COPY AND PROPERTY RIGHTS ARE EXPRESSLY RESERVED. THEY ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR USED FOR ANY PURPOSES WITHOUT WRITTEN CONSENT. IN THE EVENT OF ANY UNAUTHORIZED USE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL NOT HOLD JOYCE REID TROOST ARCHITECTURE RESPONSIBLE.</p>	<p>ARCH. STAMP</p> 	<p>RECEIVED DP1356 2024-SEP-11 Current Planning</p>	<p>METRAL APTS. 6124 METRAL DRIVE, NANAIMO, BC</p>	<p>CLIENT CASTERA PROPERTIES, INC.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>MAY 19, 2022</td> <td>1</td> <td>REV 01</td> </tr> <tr> <td>FEB 15, 2023</td> <td>2</td> <td>REZONE REV 02</td> </tr> <tr> <td>NOV 12, 2023</td> <td>3</td> <td>REVISED DWG</td> </tr> <tr> <td>FEB 20, 2024</td> <td>4</td> <td>12P</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV. DATE	NUMBER	DESCRIPTION	MAY 19, 2022	1	REV 01	FEB 15, 2023	2	REZONE REV 02	NOV 12, 2023	3	REVISED DWG	FEB 20, 2024	4	12P																<p>DATE MAY 05, 2022</p> <p>SCALE SEE DRAWING</p> <p>DRAWN BY JRT</p>	<p>COVER SHEET</p> <p style="font-size: 2em; font-weight: bold;">A000</p>
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SOUTH SIDE ELEVATION | BUILDING A | Scale 3/32" = 1' |



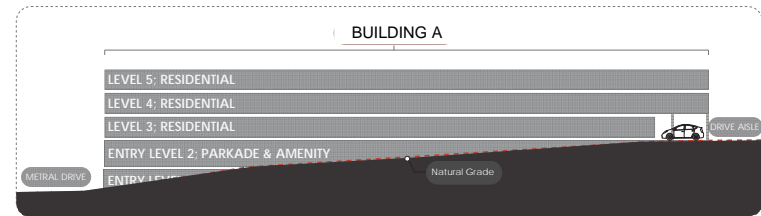
NORTH SIDE ELEVATION | BUILDING A | Scale 3/32" = 1' |



FRONT ELEVATION | BUILDING A | Scale 3/32" = 1' |



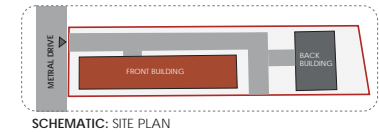
FRONT ELEVATION | BUILDING A | Scale 3/32" = 1' |



BUILDING SCHEMATIC: SECTION

BUILDING A

5 STORY
(3 RESIDENTIAL LEVELS + 1 PARKADE LEVEL + 1 LOBBY LEVEL)



SCHEMATIC: SITE PLAN

JOYCE REID TROOST ARCHITECTURE
 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
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 jrtarchitecture.com

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MAY 19, 2022	1	REV 01
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NOV 12, 2023	3	REVISED DWGS
FEB 29, 2024	4	IFP

DATE: MAY 05, 2022
 SCALE: SEE DRAWING
 DRAWN BY: JRT

ELEVATIONS
A200

MATERIAL LEGEND

- 01** Windows Black
- 02** HARDIE Panel Gray Slate
- 03** HARDIE Panel Arctic White
- 04** HARDIE Board & Batton Night Gray
- 05** Woodtone Sand Castle
- 06** HARDIE 7" Lap Siding Pearl Grey
- 07** Panel Benjamin Moore Wales Green
- 08** HARDIE 7" Lap Siding Arctic White



FRONT ELEVATION | BUILDING B | Scale 3/32" = 1' |



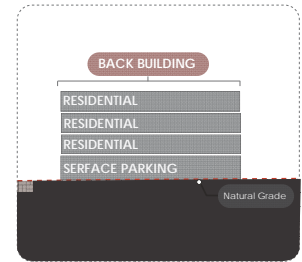
NORTH | SIDE ELEVATION | BUILDING B | Scale 3/32" = 1' |



REAR ELEVATION | BUILDING B | Scale 3/32" = 1' |



SOUTH | SIDE ELEVATION | BUILDING B | Scale 3/32" = 1' |



BUILDING SCHEMATIC: SECTION



SCHEMATIC: SITE PLAN

BUILDING B

4 STORY | (3 RESIDENTIAL LEVELS + 1 PARKING LEVEL)

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 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
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DATE: MAY 05, 2022
 SCALE: SEE DRAWING
 DRAWN BY: JRT

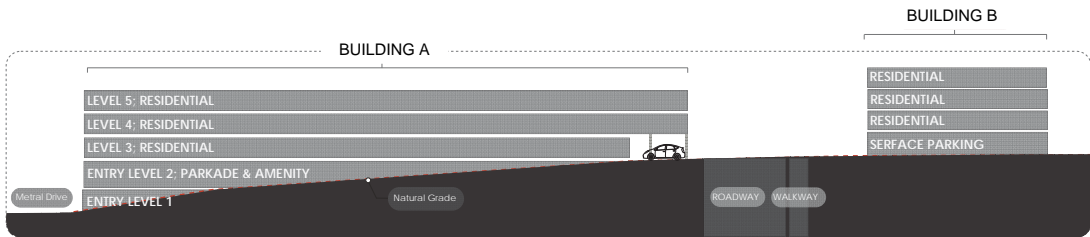
ELEVATIONS
A201



NORTH ELEVATION | FROM ACCESS LANE | Scale 1/16" = 1' |



SOUTH ELEVATION | Scale 1/16" = 1' |



BUILDING SCHEMATIC: EAST WEST SECTION

JOYCE REID TROOST ARCHITECTURE
 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
 250.714.8749
 jrtarchitecture.com

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NOV 12, 2023	3	REVISED DWGS
FEB 29, 2024	4	IFC

DATE: MAY 05, 2022
 SCALE: SEE DRAWING
 DRAWN BY: JRT

ELEVATIONS
A202



BUILDING A | NORTH WEST VIEW | FROM METRAL DRIVE



BUILDING A



BUILDING A | SOUTH WEST VIEW | FROM METRAL DRIVE



LOBBY / AMENITY SPACE | BUILDING A

JOYCE REID TROOST ARCHITECTURE
 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
 250.714.8749
 jrtarchitecture.com

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NOV 12, 2023	3	REVISED DWGS
FEB 29, 2024	4	CP

DATE: MAY 05, 2022
 SCALE: SEE DRAWING
 DRAWN BY: JRT

PERSPECTIVES
A300



BUILDING B | NORTH WEST VIEW | FROM DRIVE LANE



BUILDING B | REAR VIEW



AERIAL VIEW

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 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
 250.714.8749
 jrtarchitecture.com

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NOV 12, 2023	3	REVISED DWG
MAR 29, 2024	4	IFP

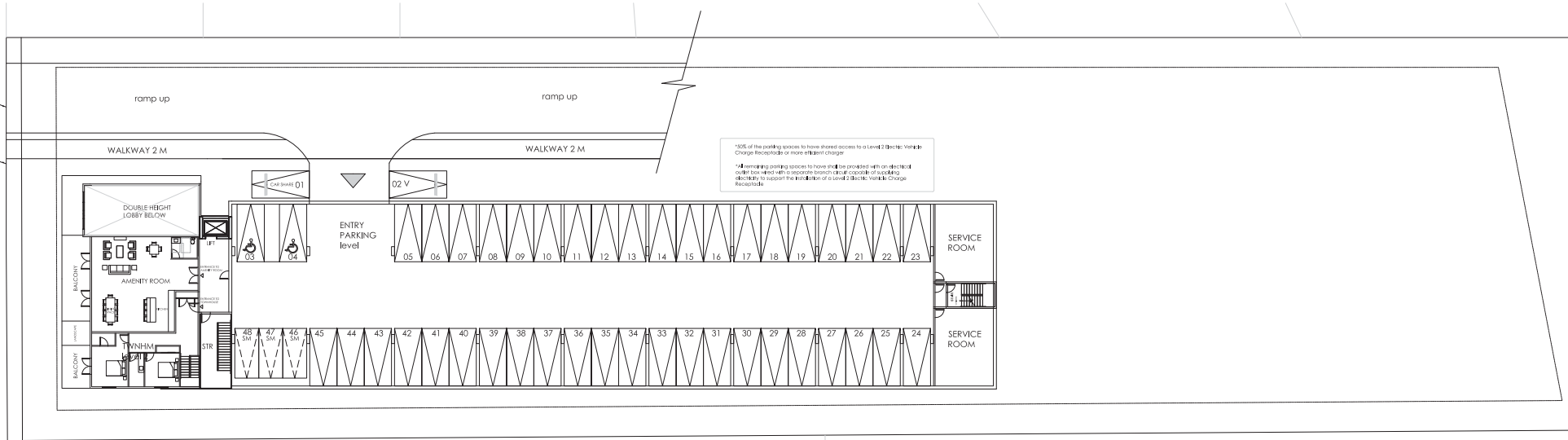
DATE
 MAY 05, 2022

SCALE
 SEE DRAWING

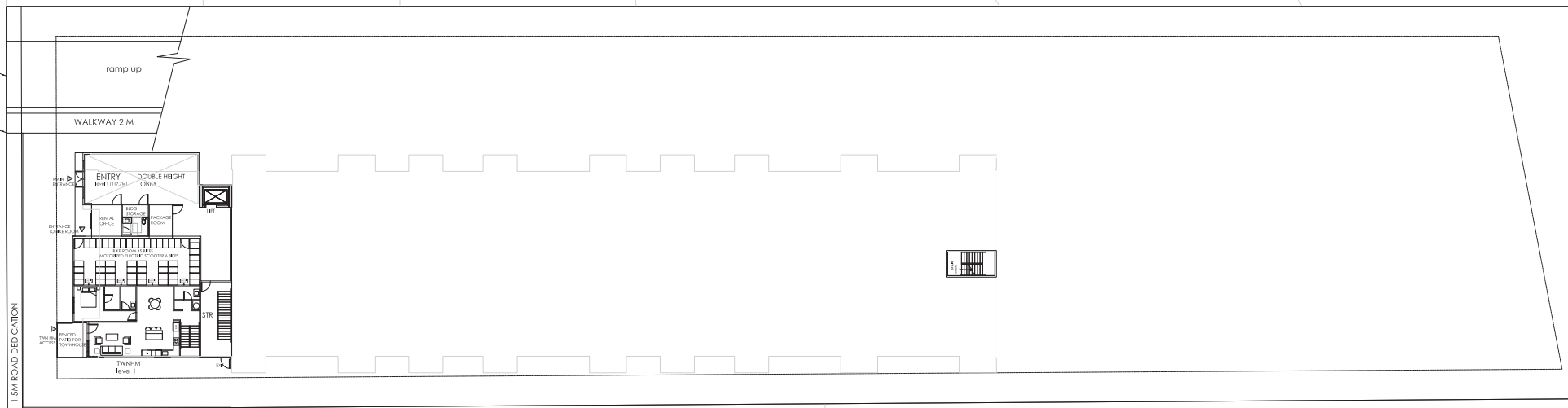
DRAWN BY
 JRT

PERSPECTIVES

A301



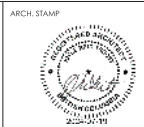
LEVEL 2 - PARKING & AMENITY



LEVEL 1 - LOBBY & RESIDENTIAL

JOYCE REID TROOST ARCHITECTURE
 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
 250.714.8749
 jrtarchitecture.com

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ARCH. STAMP

METRAL APTS.
 6124 METRAL DRIVE, NANAIMO, BC

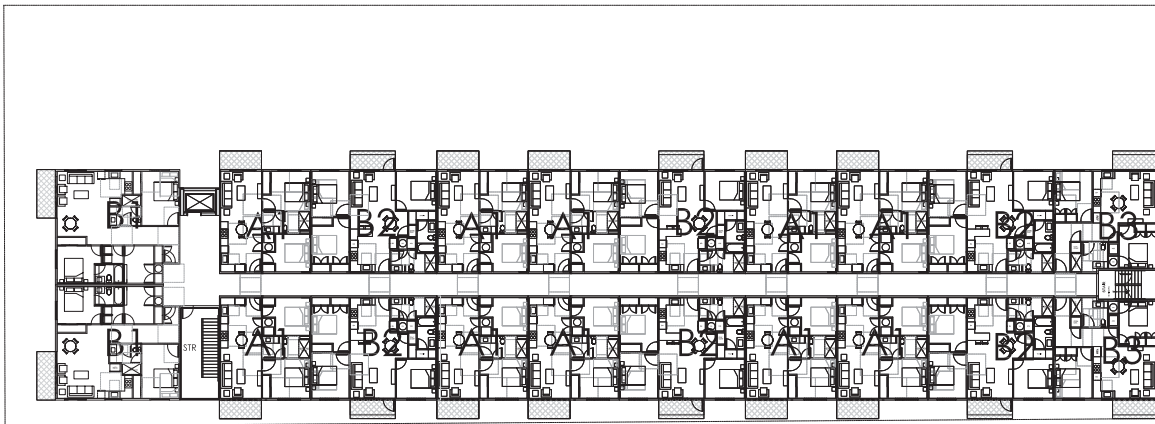
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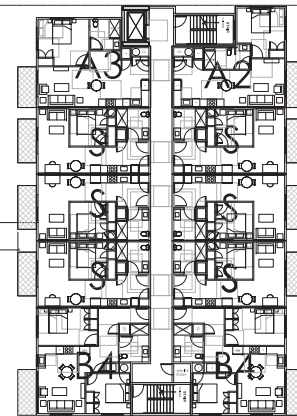
REV. DATE	NUMBER	DESCRIPTION
MAY 15, 2023	1	ISSUE REVISED
FEB 15, 2023	2	ISSUE REV. 02
DEC 01, 2023	3	DESIGN CHANGES
JAN 08, 2024	4	ISSUE NO.
JUN 26, 2024	5	REV. DRAWG.
JUL 20, 2024	6	DP

DATE JAN 14, 2022
 SCALE
 DRAWN BY JRT

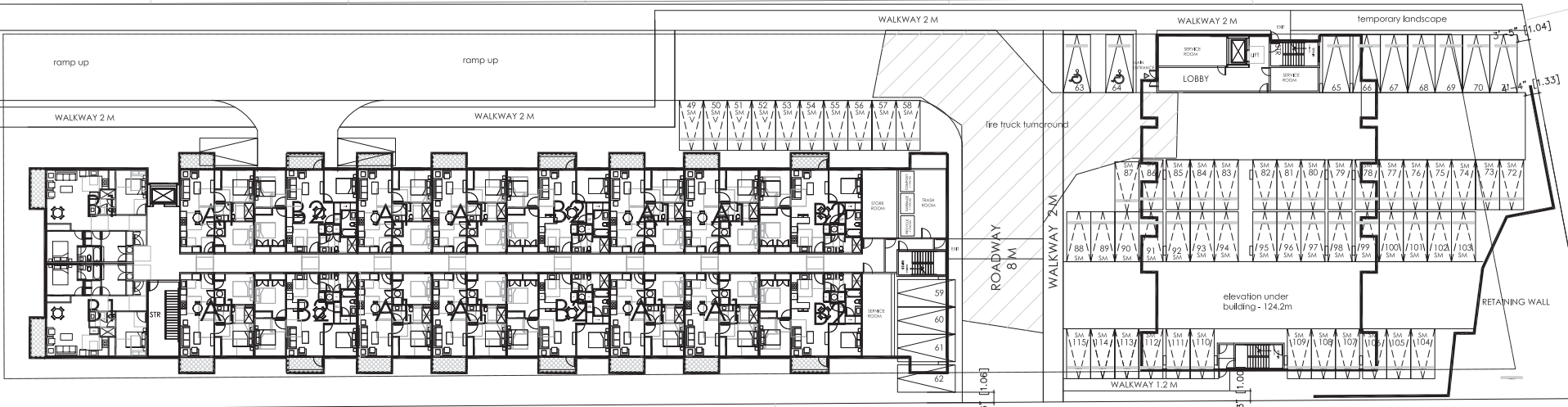
BUILDING PLAN
A101



LEVEL 4 & 5 - RESIDENTIAL



LEVEL 2, 3 & 4 (Building B)



LEVEL 3 - RESIDENTIAL & PARKING

JOYCE REID TROOST ARCHITECTURE
 2515 GLENAYR DRIVE
 NANAIMO, BC V9S 3R9
 joyce@jrtarchitecture.com
 250.714.8749
 jrtarchitecture.com

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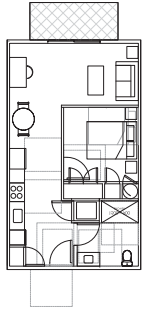
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REV. DATE	NUMBER	DESCRIPTION
MAY 15, 2023	1	REVISED REV. 01
FEB 15, 2023	2	REVISED REV. 02
DEC 01, 2023	3	DESIGN OPTIONS
MAR 26, 2024	4	SCHEMATIC
MAR 26, 2024	5	REV. DWG.
JUL 20, 2024	6	DP

DATE	JAN 14, 2022	BUILDING PLAN
SCALE		
DRAWN BY	JRT	A102

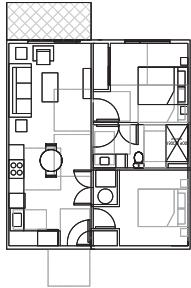
S

STUDIO
S TYPE 547.6 sf



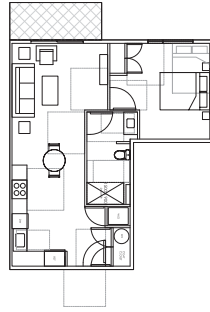
A1

1 BDRM + 1 BATH + DEN
A TYPE 701.1 sf



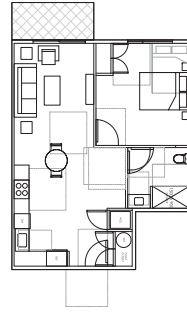
A2

1 BDRM + 1 BATH
A TYPE 655.1 sf



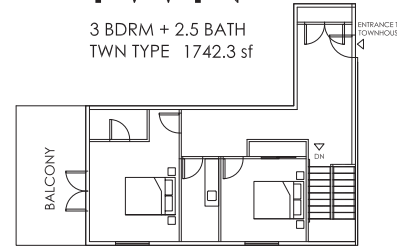
A3

1 BDRM + 1 BATH
A TYPE 684.8 sf

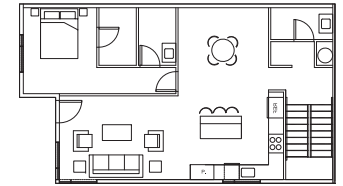


TWN

3 BDRM + 2.5 BATH
TWN TYPE 1742.3 sf



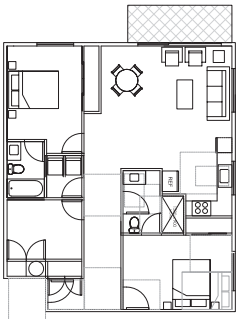
TWNHM
level 1 786.5 sf



TWNHM
level 2 955.8 sf

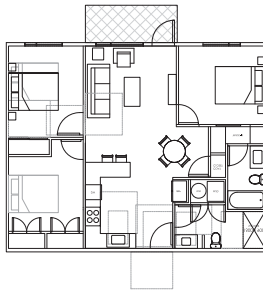
B1

2 BDRM + 2 BATH + DEN
B TYPE 1091.0 sf



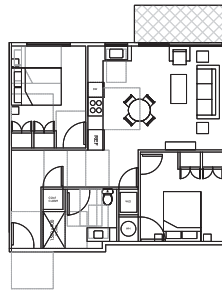
B2

2 BDRM + 2 BATH + DEN
B TYPE 977.6 sf



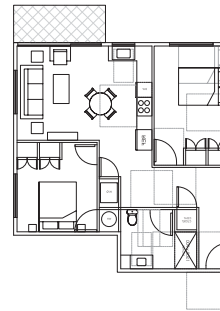
B3

2 BDRM + 1 BATH
B TYPE 797.8 sf



B4

2 BDRM + 1 BATH
B TYPE 823.3 sf



JOYCE REID TROOST ARCHITECTURE
2515 GLENAYR DRIVE
NANAIMO, BC V9S 3R9
joyce@jrtarchitecture.com
250.714.8749
jrtarchitecture.com

THE DRAWINGS, SPECIFICATIONS AND
RESULTS OF CALCULATIONS CONTAINED
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JOYCE REID TROOST ARCHITECTURE INC.
CONTRACTORS AND OTHER PROFESSIONALS
AND SERVICE PROVIDERS ARE ADVISED
TO BE RESPONSIBLE FOR VERIFYING THE
ACCURACY OF ALL DIMENSIONS AND
NOT TO BE RELIED UPON TO AVOID
LIABILITY FOR ANY ERRORS OR OMISSIONS.
IF THESE PLANS ARE TO BE USED FOR
ANY OTHER PROJECT, THE ARCHITECT
AND ENGINEER SHALL BE RESPONSIBLE.

ARCH. STAMP



METRAL APTS.
6124 METRAL DRIVE, NANAIMO, BC

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DP1356
2024-SEP-11
Current Planning

CLIENT

CASTERA PROPERTIES, INC.

REV. DATE	NUMBER	DESCRIPTION
MAR 15, 2023	1	ISSUE FOR PERMIT
FEB 15, 2023	2	ISSUE FOR REV. 01
MAR 26, 2024	3	REV. P.W.G.
JUL 09, 2024	4	CF

DATE JAN. 14, 2022

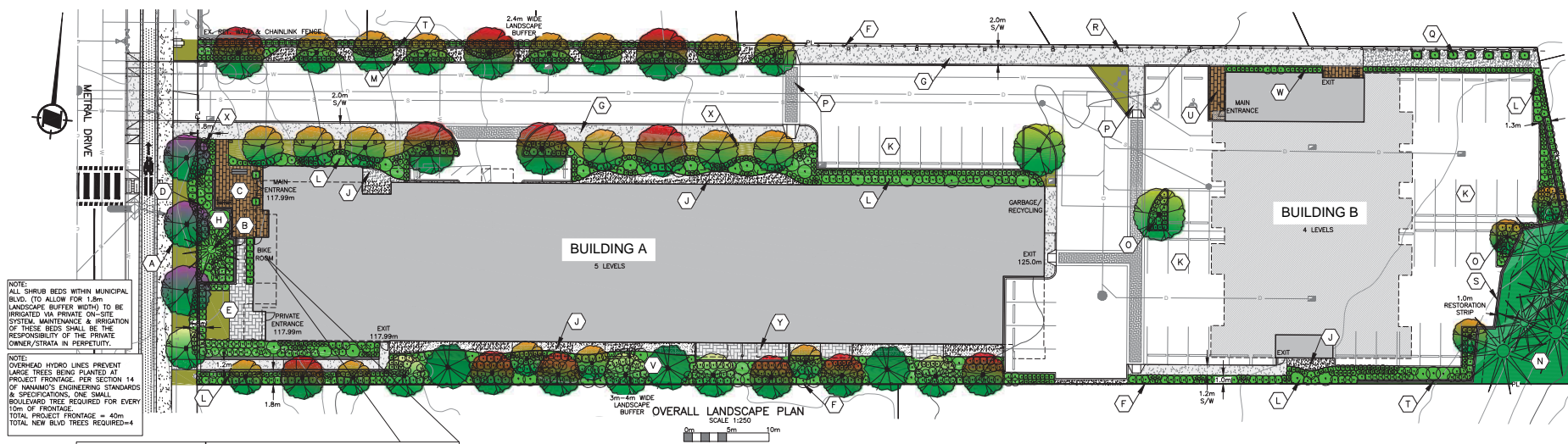
SCALE

UNIT PLANS

A103

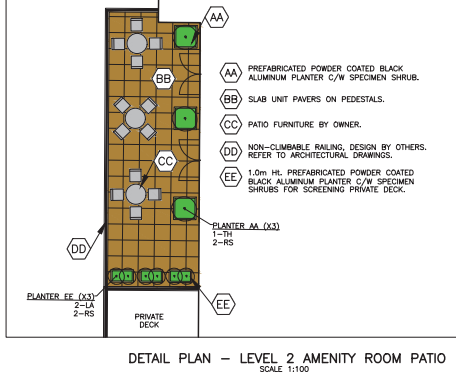
DRAWN BY JRT

NOTE:
REFER TO DRAWINGS BY OTHERS
FOR ADDITIONAL INFORMATION SUCH
AS SITE GRADING, SITE LIGHTING,
RETAINING WALLS, ETC.



NOTE:
ALL SHRUB BEDS WITHIN MUNICIPAL
BLVD. (TO ALLOW FOR 1.8m
LANDSCAPE BUFFER WIDTH) TO BE
IRRIGATED VIA PRIVATE ON-SITE
SYSTEM. MAINTENANCE & IRRIGATION
OF THESE BEDS SHALL BE THE
RESPONSIBILITY OF THE PRIVATE
CONTRACTOR IN PURSUIT.

NOTE:
OVERHEAD HYDRO LINES PREVENT
LARGE TREES BEING PLANTED AT
PROJECT FRONTAGE. PER SECTION 14
OF NANAIMO'S ENGINEERING STANDARDS
& SPECIFICATIONS, ONE SMALL
BOULEVARD TREE REQUIRED FOR EVERY
10m OF FRONTAGE.
TOTAL PROJECT FRONTAGE = 40m
TOTAL NEW BLVD TREES REQUIRED=4



DETAIL PLAN - LEVEL 2 AMENITY ROOM PATIO
SCALE 1:100



PROP. FENCING

TYPE 1: 1.8m H. CEDAR FENCE (PERMITS)

TYPE 2: 1.2m H. DECORATIVE METAL FENCE (FRONTAGE)

TYPE 3: 1.5m H. CHAIN LINK FENCE (AT RESTORATION AREA RET. WALL)

NOTE:
CONTRACTOR TO PROVIDE
SHOP DRAWINGS OF FENCE
PANELS FOR APPROVAL
PRIOR TO ORDERING.

KEY NOTES

- (A) PROPOSED SMALL BOULEVARD TREE (BELOW POWER LINES), 15.5m³ SOIL VOLUME REQUIRED PER TREE, TYPICAL.
- (B) EXISTING TREE TO BE PROTECTED & RETAINED.
- (C) BUILDING ENTRANCE C/W UNIT PAVES PLAZA SEATING BENCHES & VISITOR BIKE PARKING. PRE-FABRICATED PLANTER WITH SPECIMEN PLANTING TO BE PLACED AT DOORWAYS.
- (D) 1.2m H. DECORATIVE METAL FENCE POWDER COATED BLACK, MORTARED ROCK COLUMNS TO BE DISCUSSED WITH DEVELOPER.
- (E) FRONTAGE TOWNHOUSE PRIVATE YARD C/W SOD LAWN, SCREEN HEDGE & UNIT PAVES PATIO. GATE REQUIRED AT UNIT PAVES ENTRANCE WALKWAY.
- (F) 1.8m H. CEDAR PANEL FENCE (DESIGN BY OTHERS).
- (G) 2.0m WIDE CONCRETE WALKWAY (FUTURE COMMUNITY PATHWAY CONNECTOR). REFER TO CIVIL ENGINEERING PLANS FOR DETAILED INFORMATION.
- (H) FRONTAGE PLANTING BED C/W DROUGHT TOLERANT ORNAMENTAL GRASSES, NATIVE SHRUBS AND FLOWERING ACCENT PLANTS.
- (J) 1.5m WIDE RIVER ROCK MAINTENANCE BORDER AT BUILDING C/W PLASTIC WOOD EDGER, WEED BARRIER FABRIC REQUIRED BELOW BORDER.
- (K) VEHICLE PARKING, (DESIGN BY OTHERS) UNIT PAVES OR PERMEABLE PAVES TO BE DISCUSSED WITH DEVELOPER.
- (L) PLANTING BED C/W DROUGHT TOLERANT ORNAMENTAL GRASSES, NATIVE SHRUBS & FLOWERING ACCENT PLANTS.
- (M) ENTRANCE DRIVEWAY FEATURE PLANTING AREA C/W DECIDUOUS SHADE TREES & RIVER ROCK BORDER. PLANTING BEDS TO INCLUDE NATIVE AND DROUGHT TOLERANT SHRUBS & ORNAMENTAL GRASSES.
- (N) NATIVE PLANT RESTORATION AREA. INVASIVE PLANT REMOVAL MAY BE REQUIRED. TO BE REVIEWED IN FIELD WITH DEVELOPER.
- (O) PARKING ISLAND C/W DECIDUOUS SHADE TREE & SHRUBS BELOW.
- (P) UNIT PAVES CROSSWALK.
- (R) RESIDENT GARDEN C/W RAISED CEDAR PLANTING BOXES, COMMUNITY WALKWAY TO BE EXTENDED THROUGH THIS AREA IN FUTURE, (ONCE ADJACENT LOTS DEVELOPED).
- (S) PROPOSED LIGHT BOLLARD, SCHEMATIC ONLY, DEVELOPER'S ELECTRICAL ENGINEERING CONSULTANT TO PROVIDE DETAILED SITE LIGHTING DESIGN AT BUILDING PERMIT STAGE.
- (T) 1.5m H. BLACK CHAIN LINK FENCE, DESIGN BY OTHERS.
- (U) PROPOSED RETAINING WALL, DESIGN BY OTHERS.
- (V) BUILDING ENTRANCE C/W UNIT PAVES, VISITOR BIKE RACK TO BE INSTALLED AT STAIR EXIT.
- (W) PERIMETER PLANTING AREA C/W NATIVE SHRUBS, FIVE (5) BIRD BOXES TO BE INSTALLED ON FENCE, NON-NATIVE COLUMNAR FORM TREES TO BE PLANTED WHERE TREES ARE 2.0m FROM BUILDING, TREES OUTSIDE 3.0m SETBACK FROM BUILDING TO BE NATIVE SPECIES.
- (X) PLANTING BED C/W SHADE TOLERANT SHRUBS.
- (Y) PUBLIC ART FEATURE, TYPE TO BE DISCUSSED WITH DEVELOPER & CITY OF NANAIMO.
- (Z) PRIVATE PATIO C/W UNIT PAVING, (WHERE GRADE PERMITS)

GENERAL NOTES

1. ALL PLANTING, TREE PIT SOIL VOLUMES, CONSTRUCTION, AND MATERIALS TO BE IN ACCORDANCE WITH CITY OF NANAIMO ENGINEERING STANDARDS & SPECIFICATIONS, EDITION 14, SECTION 14. LANDSCAPE STANDARDS, MMCD SPECIFICATIONS & STANDARD DRAWINGS, AND BC NURSERY TRADES. ALL LANDSCAPING WORK TO BE REVIEWED BY CALID SERVICES LTD.
2. ALL OFFSITE AREAS AFFECTED BY THE WORK ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION BY CONTRACTOR AND COMPLETED IN PROMPT MANNER TO MINIMIZE LOCAL DISRUPTION.
3. CONTRACTOR TO ENSURE PROPER DRAINAGE OF ALL LAWNS AND PLANTING AREAS TO AN APPROVED OUTLET. MINIMUM GRADE TO BE 2.0%.
4. CONTRACTOR TO CONFIRM LOCATION OF AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO INSTALLATION OF ANY OF THE LANDSCAPE WORKS.
5. CONTRACTOR TO BE REGISTERED WITH WORK SAFE BC AND ALL WORK TO BE CONDUCTED UNDER WORK SAFE BC REGULATIONS AND WORK AREAS TO BE PROTECTED BY APPROVED ROAD CONSTRUCTION FENCING.
6. FOR ANY AMBIGUITIES IN SPECIFICATIONS THE MOST CONSERVATIVE/ROBUST SPECIFICATIONS SHALL GOVERN.
7. CONTRACTOR TO NOTIFY CALID SERVICES LTD. IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
8. THE CONTRACTOR IS SOLELY RESPONSIBLE TO ENSURE THEIR CREW HAS THE MOST CURRENT LANDSCAPE DRAWINGS IN THE FIELD.
9. CONTRACTOR TO COORDINATE A PRE-CONSTRUCTION MEETING WITH CALID SERVICES LTD., LANDSCAPE SUB-CONTRACTOR, IRRIGATION SUB-CONTRACTOR, ETC. PRIOR TO START OF LANDSCAPE WORKS. ALLOW 72 HOURS NOTICE FOR SITE MEETINGS.
10. CONTRACTOR IS TO NOTIFY CALID SERVICES LTD. FOR FIELD REVIEWS AT CRITICAL STAGES OF WORK. ALLOW 72 HOURS NOTICE FOR FIELD REVIEWS. FAILURE TO CONTACT CALID SERVICES LTD. FOR FIELD REVIEWS MAY RESULT IN WORK BEING REDONE AT CONTRACTOR'S EXPENSE. (FIELD REVIEWS GENERALLY REQUIRED AS FOLLOWS: SUB-GRADE REVIEW PRIOR TO SOIL PLACEMENT, IRRIGATION SLEEVE AND IRRIGATION PIPE PRIOR TO BACKFILL, TREE PITS, IRRIGATION SYSTEM START-UP, SHRUB LAYOUT AND PLANTING BEGS PRIOR TO MULCHING, ETC.)
11. ALL TREES, LANDSCAPE BEDS, SOD LAWN, ETC. TO BE WATERED VIA AN AUTOMATIC IRRIGATION SYSTEM. CITY OF NANAIMO PARKS TO CONFIRM MUNICIPAL BOLLARD IRRIGATION REQUIREMENTS AND POINT OF CONNECTION. DIGEST SYSTEM P.O.C. TO BE LOCATED IN BUILDING MECHANICAL ROOM.

IRRIGATION NOTES

1. IRRIGATION SYSTEMS TO MEET MMCD AND CITY OF NANAIMO IRRIGATION STANDARDS. IRRIGATION CONTRACTOR TO INSTALL IRRIGATION SYSTEM TO ALL APPLICABLE PLUMBING REGULATIONS.
2. REFER TO ENGINEERING PLANS FOR IRRIGATION POINT OF CONNECTION LOCATIONS.
3. SOD LAWN AREAS, TREES AND PLANTING AREAS TO BE IRRIGATED. SOD LAWN TO HAVE A MICROSPRAY IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE, PLANTING BEDS TO BE IRRIGATED WITH DRIP IRRIGATION. TREES TO HAVE TWO (2) DMITTER LOOPS PER TREE.
4. IRRIGATION SYSTEM TO BE DESIGNED BY A CERTIFIED IRRIGATION DESIGNER AS CERTIFIED BY IABC OR IN SHOP DRAWINGS TO BE PROVIDED TO CALID SERVICES LTD. FOR REVIEW.
5. ALL IRRIGATION COMPONENTS AND INSTALLATION TO COMPLY WITH MMCD AND IABC STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. SYSTEM TO INCLUDE FLOW SENSOR, CENTRAL SHUT-OFF VALVE, AND METER. PRESSURE REGULATING DEVICE AND MOISTURE SENSOR/DRAIN DELAY CONTROLLER ALSO REQUIRED.
6. IRRIGATION SYSTEM TO HAVE A DYNAMIC OPERATING AND PRESSURE BETWEEN 50 TO 90 psi.
7. IRRIGATION CONTRACTOR TO ENSURE ALL CRITICAL POINTS (CORNERS, EDGES, TIGHT CONTOURS, ETC) RECEIVE FULL COVERAGE.
8. IRRIGATION CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCING WORK.
9. IRRIGATION SYSTEM TEST TO BE WITNESSED BY CALID SERVICES LTD. CONTRACTOR TO PROVIDE 72 HOUR NOTICE FOR REVIEW.
10. IRRIGATION CONTRACTOR TO GUARANTEE WORK AND MATERIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
11. IRRIGATION CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS, ZONE MAPS, AND OPERATIONS MANUAL TO DEVELOPER FOR STRATA.
12. IRRIGATION CONTRACTOR TO INCLUDE ONE WINTERIZATION & SYSTEM START UP IN THEIR PRICING.
13. CIVIL CONTRACTOR TO INSTALL 150mm PVC IRRIGATION SLEEVES WITH CAPS AT ALL SIDEWALKS, PATIOS, WALLS, ETC. TO ENSURE ALL LANDSCAPE AREAS CAN BE CONNECTED TO SITE IRRIGATION SYSTEM. FAILURE BY CONTRACTOR TO PROVIDE IRRIGATION SLEEVES WILL RESULT IN WORK BEING REDONE AT CONTRACTOR'S EXPENSE. SLEEVES TO EXTEND 300mm BEYOND EDGE OF HARD SURFACES. CONTRACTOR TO STAKE EDGES OF SLEEVES AND LABEL "IRRIGATION SLEEVE" FOR IRRIGATION CONTRACTOR.
14. POWER SOURCE FOR IRRIGATION CONTROLS/TIMER SHALL BE FROM BUILDING, BATTERY/SOLAR POWER SOURCE IS NOT TO BE USED.

PLANTING NOTES

1. CONTRACTOR TO STRIP ALL ORGANIC MATERIAL TO SPECIFIED LIMITS OF THE PLANTING AREAS AND STOCKPILE ANY SUITABLE MATERIAL FOR REUSE. EXCAVATED DEPTH FOR SHRUBS TO BE MIN. 450mm, DEPTH OF TREE PITS TO BE 1.0m. (TREE PITS TO BE EXCAVATED AT SAME TIME AS ANY SERVING/UTILITY TRENCHING IN AREA. BACKFILL WITH GROWING-MEDIUM & STAKE TREE PIT CENTRES FOR LANDSCAPE CONTRACTOR.)
2. SCARIFY AREAS SHOWING EXCESSIVE COMPACTION AND SIDES AND BOTTOM OF TREE PITS.
3. CONTRACTOR TO REMOVE AND DISPOSE OF OFF-SITE ALL DEBRIS AND UNSUITABLE MATERIAL, ROOTS, STONES, ETC. THAT MAY INTERFERE WITH THE PROPER GROWTH OF THE FINISHED LANDSCAPING.
4. GROWING MEDIUM TO MEET MMCD SPECIFICATION AND BC LANDSCAPE STANDARDS.
5. GROWING MEDIUM DEPTH TO BE MIN. 300mm FOR SOD LAWN, 600mm FOR PLANTING AREAS AND 1.0m FOR TREE PITS.
6. IMPORTED TOPSOIL TO CONTAIN A MIN. OF 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% ORGANIC MATTER FOR SAND LOAMS, TO A MAX. OF 20% VOLUME SOIL TO BE FREE OF ROOTS, NOXIOUS WEEDS (CRABGRASS, COUCHGRASS, HORSETAIL, SEDS, ETC.), TOXIC MATERIALS, STONES OVER 35mm OR FOREIGN OBJECTS. ACIDITY RANGE TO BE 5.5-7.2 pH. NATIVE TOPSOIL MAY BE USED PROVIDED IT MEETS STANDARDS SET FOR IMPORTED TOPSOIL.
7. PLANTING OF TREES, SHRUBS AND GROUND COVERS TO CONFORM TO MMCD SECTION 02950 AND CITY OF NANAIMO ENGINEERING STANDARDS & SPECIFICATIONS SECTION 14.
8. LANDSCAPE CONTRACTOR TO ENSURE ALL MATERIALS AND PROCEDURES COMPLY WITH ACCEPTED LANDSCAPE PRACTICES. SPECIES SELECTION TO BE AS SPECIFIED. SUBSTITUTIONS WILL ONLY BE DONE WITH THE WRITTEN APPROVAL OF CALID SERVICES LTD.
9. PLANT MATERIAL TO BE NURSERY GROWN STOCK AND COMPLY WITH BRITISH COLUMBIA STANDARD FOR CONTAINER GROWN PLANTS AND LANDSCAPE CANADA GUIDE SPECIFICATION FOR NURSERY STOCK. PLANTS TO BE TRUE TO NAME, TYPE AND FORM, AND BE REPRESENTATIVE OF THEIR SPECIES AND VARIETY. PLANTS TO BE OF GOOD HEALTH, PROPERLY PROPORTIONED, NOT WEAK, INJURED OR THIN.
10. TREES TO BE STAKED AND BRACED IN AN UPRIGHT POSITION, INSTALLED STAKES, CLAMPS, ANCHORS, ABSORBIVE TREE TIES, ETC. AS NOT TO DAMAGE THE TREE. STAKES TO BE 100mm DIAMETER, DO NOT DAMAGE IRRIGATION LINES WHEN STAKING.
11. LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR THE STANDARD ONE (1) YEAR MAINTENANCE PERIOD.
12. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR PLANT LOSS DUE TO THEFT, VANDALISM, ANIMALS, OR FAILURE BY STRATA/OWNER TO RUN IRRIGATION SYSTEM DURING THE MAINTENANCE PERIOD.
13. PRUNING OF TREES TO BE DONE BY A CERTIFIED ARBORIST.
14. WELL-ROTTED, HIGH ORGANIC CONTENT, LOW WOOD CONTENT MULCH TO BE APPLIED TO BEDS AFTER FINISHED GRADING IS APPROVED AND PLANTING COMPLETE. MULCH TO BE FREE OF CHAINS, STICKS, SOIL, STONES, ROOTS, ETC. LANDSCAPE CONTRACTOR TO ENSURE MINIMUM BARK MULCH DEPTH OF 50mm AFTER SETTLEMENT. 1.2m MULCH PASS REQUIRED FOR ALL TREES IN LAWN.
15. ALL TREE PITS SHALL BE REVIEWED BY CALID SERVICES LTD. PRIOR TO PLANTING. ALLOW 72 HOURS NOTICE FOR REVIEWS.



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2024-SEP-11
City of Nanaimo Planning

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NOTE:
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Drawn	Date
Checked	07/10/2024
Approved	0809
Designed	AS NOTED

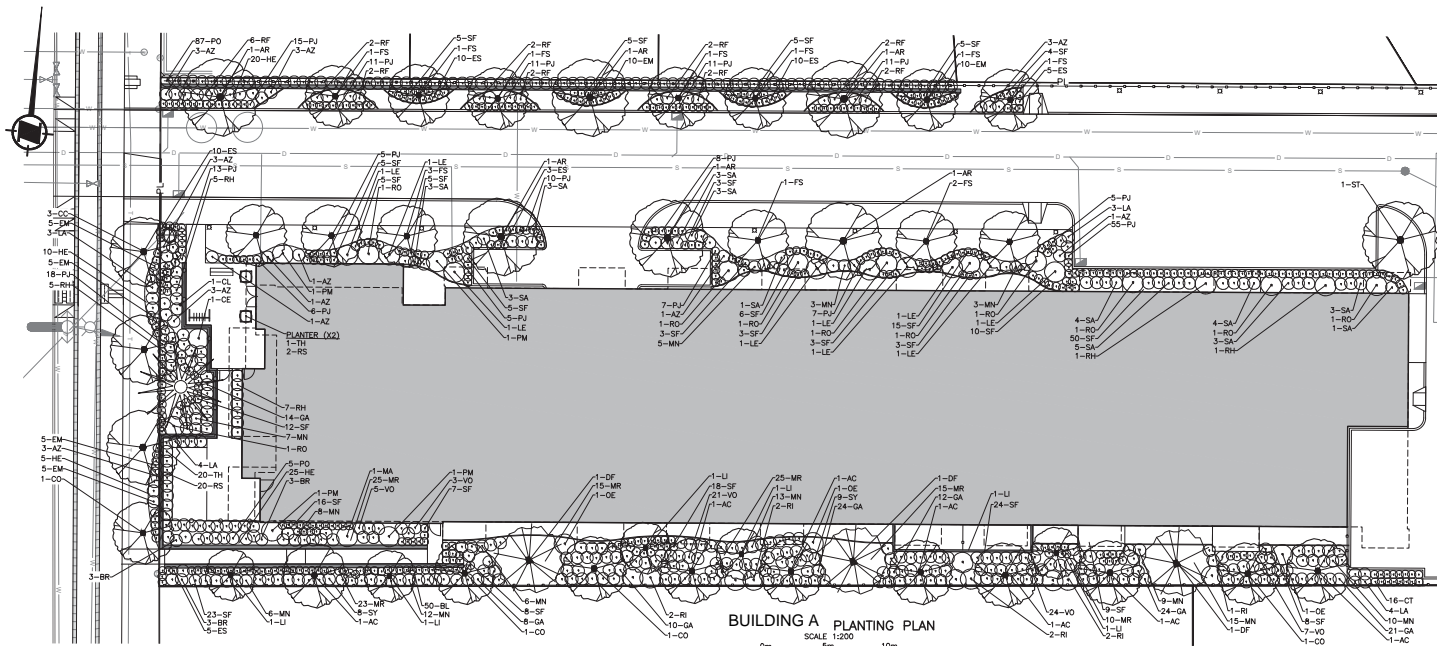
REV.	DATE	REVISIONS	BY	APPROVED

LEGEND	DESCRIPTION
	EX. TREE TO BE RETAINED
	PROP. 1.5m H. CHAIN LINK FENCE
	PROP. RET. WALL (DESIGN BY OTHERS)
	PROP. 1.2m H. DECORATIVE METAL FENCE
	PROP. 1.8m H. CEDAR FENCE
	SOD LAWN
	PLANTING BED
	UNIT PAVES
	BROOM FINISHED CONC.
	CRUSHED ROCK BORDER
	RIVER ROCK COBBLE BORDER
	PROP. TREES
	PROP. SHRUBS

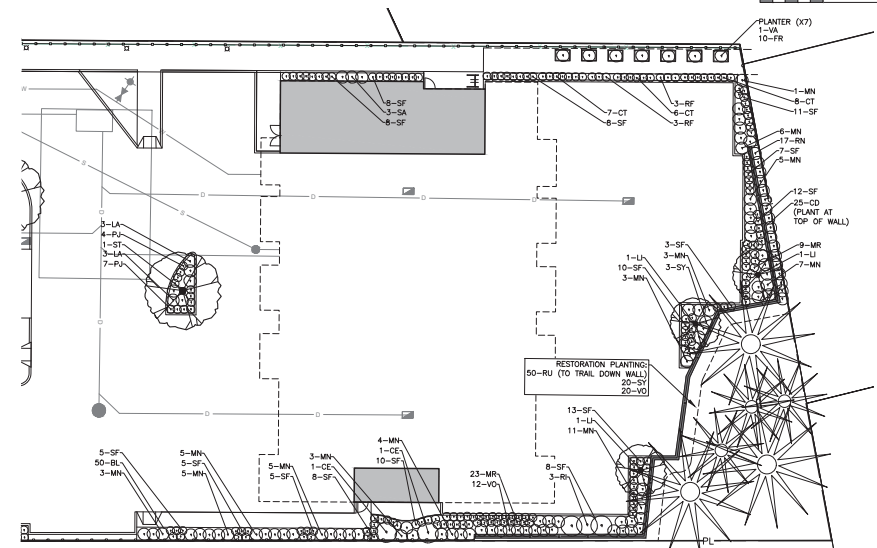
6124 METRAL DRIVE
Overall Landscape Plan & Notes
Client: Castera Properties Inc.



007-2798 QUADRA ST
VICTORIA, B.C. V8T 4E8
PHONE: 250-394-6499
FAX: 250-31-6919
www.calid.ca



BUILDING A PLANTING PLAN
SCALE 1:200



BUILDING B PLANTING PLAN
SCALE 1:200

Plant List	Code	Qty.	Size
Boulevard Trees:			
Cercis canadensis Forest Pansy (Eastern Rose Bud)	CC	3	5cm Cal
Cornus Eddies White Wonder (Flowering Dogwood)	CO	1	5cm Cal
Site Trees:			
Acer circinatum Pacific Fire (Vine Maple)	AC	7	5cm Cal
Acer rubrum var. October Glory (Red Maple)	AR	6	6cm Cal
Cornus Eddies White Wonder (Flowering Dogwood)	CO	3	6cm Cal
Liriodendron tulipifera Fastigiatum (Columnar Tulip Tree)	LI	9	6cm Cal
Fagus sylvatica Dawyck Golf (Columnar European Beech)	FS	13	3m Ht.
Pseudotsuga menziesii (Douglas Fir)	DF	3	3m Ht.
Slyxax Obsessa (Fragrant Snowbell)	ST	2	5cm Cal
Hedge			
Thuja occidentalis (Emerald Arborvitae)	TH	20	1.2m Ht.
Topiary/Specimen Shrub (pre-fabricated planters)			
Thuja occidentalis (Emerald Arborvitae) or approved equal	TH	5	1.2m Ht.
Native Shrubs:			
Blechnum spicant (Deer Fern)	BL	100	#1 Pot
Ceanothus (California Lilac)	CE	3	#5 Pot
Gaultheria shalton (Salal)	GA	113	#1 Pot
Leucothoe axillaris (Coastal Leucothoe)	LE	9	#5 Pot
Mahonia aquifolium (Oregon Grape)	MA	1	#1 Pot
Mahonia nervosa (Cascade Oregon Grape)	MN	158	#1 Pot
Mahonia repens (Creeping Oregon Grape)	MR	145	#1 Pot
Oemleria cerasiformis (Osoberry)	OE	3	#5 Pot
Polystichum munitum (Sword Fern)	SF	383	#2 Pot
Potentilla fruticosa (Shrubby Cinquefoil)	PO	92	#2 Pot
Ribes sanguineum (Red Flowering Currant)	RI	12	#3 Pot
Rosa nutkana (Nootka Rose)	RN	17	#3 Pot
Rubus ursinus (Pacific Trailing Blackberry)	RU	50	#1 Pot
Symphoricarpos albus (Snowberry)	SY	40	#1 Pot
Vaccinium ovatum (Evergreen Huckleberry)	VO	92	#2 Pot
Evergreen Shrubs & Groundcovers:			
Azalea 'Hino Crimson' (Red Azalea)	AZ	22	#2 Pot
Cotoneaster dammeri (Bearberry Cotoneaster)	CD	25	#1 Pot
Erica darleyensis Mediterranean Pink (Pink Dwarf Heather)	EM	40	#1 Pot
Erica darleyensis 'Siberschnitz' (White Bell Heather)	ES	40	#1 Pot
Paris japonica Cavatine (Dwarf Lily-of-the-Valley)	PJ	154	#2 Pot
Pinus mugo var. 'Sherwood Compact' (Dwarf Mugo Pine)	PM	4	#5 Pot
Rhododendron Baden Baden (Red Rhododendron)	RH	17	#2 Pot
Rhododendron Christmas Cheer (Pink Rhododendron)	RO	12	#5 Pot
Sarcococca humilis (Sweetbox)	SA	39	#3 Pot
Deciduous Shrubs, Accent Plants & Vines:			
Berberis thunbergii 'Rose Glow' (Barberry)	BR	9	#2 Pot
Carex testacea 'Orange Flame' (Sedge)	CT	37	#2 Pot
Clematis armandi (Evergreen Clematis)	CL	1	#1 Pot
Hemerocallis 'Silla de Oro' (Day Lily)	HE	60	#1 Pot
Lavandula angustifolia 'Hidcote' (Lavender)	LA	21	#2 Pot
Rosemarinus officinalis 'Prostratus' (Rosemary)	RS	36	#1 Pot
Rutbeckia fulgida 'Goldstrum' (Black-eyed Susan)	RF	28	#3 Pot
Resident Garden Beds			
Vaccinium corymbosum 'Bluecrop' or approved equal (Blueberry)	VA	7	#3 Pot
Fragaria sp. everbearing variety (Strawberry)	FR	70	#5P4 Pot

Notes:
 1. Plants to be irrigated with an automatic irrigation system to City of Nanaimo irrigation standards.
 2. Tree caliper size to be measured 1.4m above rootball.
 3. Changes to plant size, quantity, or type to be reviewed & approved in writing by Calid Services Ltd.



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RECEIVED
 DP1356
 2024-SEP-11
 Current Planning

6124 METRAL DRIVE
 Planting Plan
 Client: Castra Properties Inc.



207-2795 QUADRA ST
 VICTORIA, B.C. V8T 4E8
 PHONE: 250-360-6939
 FAX: 250-31-0499
 www.calid.ca

Drawn	by	Date
Checked	by	July 10, 2024
Approved	by	0869
Designed	by	AS NOTED

Rev.	Date	Revisions	By	Approved

REFERENCE DRAWINGS

LEGEND	DESCRIPTION
	EX. TREE TO BE RETAINED
	PROP. TREES
	PROP. 1.2m HT. DECORATIVE METAL FENCE
	PROP. 1.5m HT. CHAIN LINK FENCE
	PROP. 1.8m HT. CEDAR FENCE
	PROP. RET. WALL (DESIGN BY OTHERS)
	PROP. SHRUBS