



AGENDA
DESIGN ADVISORY PANEL MEETING

June 13, 2024, 5:00 PM
Boardroom, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING TO ORDER:

[Note: This meeting will be live streamed and video recorded for the public.]

2. INTRODUCTION OF LATE ITEMS:

3. ADOPTION OF AGENDA:

4. ADOPTION OF MINUTES:

2 - 8

Minutes of the Design Advisory Panel meeting held in the Boardroom of the Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC, on Thursday, 2024-MAY-23 at 5:04 p.m.

5. PRESENTATIONS:

a. Development Permit Application No. DP001341 - 6450 Island Highway North

9 - 24

To be introduced by Kristine Mayes, Planner, Current Planning.

Purpose: The proposed industrial development is for a new mini-storage building with a total gross floor area of 4,791m².

b. Development Permit Application No. DP001343 - 3530 Hillside Avenue

25 - 54

To be introduced by Kristine Mayes, Planner, Current Planning.

Purpose: The proposed development is a multi-family residential townhouse development with a total of 6 buildings with a combined total of 22 dwelling units.

6. OTHER BUSINESS:

7. ADJOURNMENT:



MINUTES

DESIGN ADVISORY PANEL MEETING

Thursday, May 23, 2024, 5:04 pm
Boardroom, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

- Present: Marie Leduc, Chair*
Councillor Eastmure
Hector Alcala, AIBC*
Johnathan Behnke, BCSLA/CSLA
Kaein Shimuzu, At Large*
- Absent: Angela Buick, At Large
Kevin Krastel, At Large
Nathan Middleton, At Large
- Staff: L. Rowett, Manager, Current Planning
P. Carter, Planner, Current Planning*
K. Mayes, Planner Current Planning*
A. Bullen, Steno, Current Planning
J. Vanderhoef, Recording Secretary

1. CALL THE MEETING TO ORDER:

The Design Advisory Panel Meeting was called to order at 5:04 p.m.

2. ADOPTION OF AGENDA:

It was moved and seconded that the Agenda be adopted. The motion carried unanimously.

3. ADOPTION OF MINUTES:

It was moved and seconded that the Minutes of the Design Advisory Panel meeting held in the Boardroom of the Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC, on Thursday, 2024-MAY-09 at 5:00 p.m. be adopted. The motion carried unanimously.

* Denotes electronic meeting participation as authorized by "Council Procedure Bylaw 2018 No. 7272"

4. PRESENTATIONS:

a. Development Permit Application No. DP001339 - 5645, 5655, 5657 Metral Drive

Introduced by Kristine Mayes, Planner, Current Planning.

Presentations:

1. Matthew Cheng, Applicant, Matthew Cheng Architect Inc., presented the neighbourhood context, site characteristics, building plans and requested variances. Highlights included:

- The application is for a 22-unit townhouse development
- The subject properties contain an existing dwelling on one property and a duplex on the other property
- Metral Drive is on the east side of the property and the E&N Railway/ Island Corridor Lands are on the west side
- Requesting variances to reduce the front yard setback from 6m to 3.5m and to reduce the side yard setback from 3m to 1.8m
- The proposed development is made up of six buildings
- The access driveway is in the middle of the site from Metral Drive with internal driveways between the rows of townhouses
- The side yard variance is being requested to provide a pedestrian crosswalk through the middle of the site rather than along the side yard
- All units have roof top patios
- An outdoor amenity space, visitor parking and short term bike storage are located centrally on the site
- 43 parking spaces are being provided including two visitor spaces, one of which will be accessible
- 22 long-term bike parking spaces are being provided and 2 short-term bike parking spaces
- Private garbage collection is proposed at the curbside
- A contemporary style is proposed for the form and character
- The staircase enclosures to the rooftop areas are located away from adjacent properties and the rooftop railings are recessed in from the edge of the buildings to provide more privacy to neighbours

2. Brad Forth, Landscape Architect, Forsite Landscape Architecture, presented the landscape plans. Highlights included:

- An underground stormwater storage tank located in front of the amenity area under the pavement
- Five street trees are planned along the frontage of the property
- Individual entrances have paved landings with a small area of lawn with a small flowering tree in front of each unit
- Special paved walkway surfaces create a link through the property from the entrance drive
- Amenity play structure is located in the center of the site
- Each unit has a dedicated patio space at ground level
- A buffer zone between the units and the E&N Railway/Island Corridor Lands includes large trees, a coniferous border, and some rain garden elements
- Along either side of the property are coniferous hedges
- Privacy fencing is planned for the three sides of the property

Marie Leduc, Chair, opened the floor for questions to Staff. Highlights included:

- Clarification that the variance for the minimum landscape treatment level is requested because there are not enough trees along the upper side lot line to meet the minimum landscape treatment level
- Clarification regarding the side yard variance being requested and how buildings on the neighbouring properties could potentially be constructed close to these townhouses

Panel discussion took place. Highlights included:

- Support for the design and massing of the buildings
- Clarification that the internal curbs are raised curbs
- Raised crosswalks do not seem necessary as traffic speeds will most likely be low in this space
- Consider ways to break up the blank walls on the sides of the building to make them more interesting
- Clarification that the retaining walls along the south side of the site would be Allan Block walls and no more than 3 feet high at the maximum height
- Clarification regarding the type of fencing proposed along the E&N Railway/Island Corridor Lands. A wood fence is being proposed

- Consider a chain link or transparent fencing material for Crime Prevention through Environmental Design (CPTED) along the railway
- Clarification regarding the proposed rain gardens being primarily for ground level catchment and designed to hold water temporarily during a peak event
- Desire to see more long-term bike storage for families and additional short-term bike storage spaces
- Future developments needing to be mindful of the proximity between buildings if the side yard variance is approved
- Support for the rooftop areas
- Potentially increasing the visitor parking spaces
- Support for townhouses which are family friendly
- Potentially adding windows to break up the end walls

It was moved and seconded that Development Permit Application No. DP001339 - 5645, 5655, 5657 Metral Drive be accepted as presented, with support for the proposed variances. The following recommendations were provided:

- Consider ways to add visual variety to the north and south walls of each unit
- Consider a fence type that enables views into the rail corridor at the back of the property

The motion carried unanimously.

b. Development Permit Application No. DP001342 - 116 Pryde Avenue

Introduced by Payton Carter, Planner, Current Planning.

Presentations:

1. Applicant, Krithi Koushik, Troost Architecture, presented the neighbourhood context, site characteristics, building plans and requested variances. Highlights included:
 - Proposed development is for a four storey building (first level parking and three levels of residential)
 - 17 units proposed with 6 one-bedroom units and 11 studio units
 - The main pedestrian entrance to the building is located on Pryde Avenue and the vehicle entrance is located on Bartlett Street

- The majority of the parking spaces are located under the building
- On level four, one of the units has been replaced with a roof deck amenity space
- The entrance area on Pryde Avenue offers a plaza area and different materials have been used to highlight the entrance to the building
- The majority of the studio units are located on the north side of the building close to the neighbouring property
- Frosted glass and vertical walls have been used to provide privacy for the balconies
- Colour changes and recessed balconies create interest in scale
- Fencing is used to block the view of the parking area on two sides of the property
- Propose to reduce the parking requirement from 19 spaces to 16 spaces and to increase the ratio of small car spaces to 50%
- Most of the proposed units are small units located close to mobility hubs allowing residents the opportunity to walk, cycle, or use public transportation

2. Brad Forth, Landscape Architect, Forsite Landscape Architecture, presented the landscape plan(s). Highlights included:

- Attempting to take advantage of the front boulevards due to the compact nature of the site
- Three street trees are proposed along Pryde Avenue and two trees along Bartlett Street
- Planting a specimen type of tree on the corner
- Using native plant material within the 1.8m planting buffer and using raised box planters
- Using hedging to create a natural boundary
- Sidewalks and entrance areas will use special paving to give colour and texture
- Incorporated textured paving in the driving aisle to better define the parking area
- There is a rain garden and native species tree in the back area

Krithi Koushik, Troost Architecture, noted the trash would be collected by a private company. The truck would pick up from the side of the street and turn around further down the street. No turn around is proposed onsite.

Marie Leduc, Chair, opened the floor for questions to Staff. Highlights included:

- Discussion regarding future sidewalks along Pryde Avenue. The City will acquire a right-of-way for the future construction of sidewalks; however, the Development Engineering Department does not have a timeline for when those sidewalks will be constructed
- Staff noted that a vehicle turn around diagram will be requested to demonstrate how garbage and recycling collection will occur

Panel discussion took place. Highlight included:

- Potentially increasing the bike parking spaces
- Potentially adding a roof or covering to the patio space on the top level and top level balconies
- Support for the materials proposed and the recessed patios to create interest
- Providing more amenity spaces due to the small size of the units
- Preference to use a large parking stall for stall 08 because it is located against a wall
- Addressing potential overlook to the property to the north by adding columnar trees
- Conducting a shadow study to assess the impact on neighbouring properties
- Consider using benches with backs for more comfort
- Confirmation that the fence heights would be the standard heights allowed within the city bylaw
- Support for accessible units being included in the proposed development
- Consider adding an indoor amenity space

It was moved and seconded that Development Permit Application No. DP001342 - 116 Pryde Avenue be accepted as presented, with support for the proposed variances. The following recommendations were provided:

- Consider ways to provide weather protection on the top floor balconies
- Consider providing more amenity space inside or on the rooftop
- Consider increasing the length of parking stall 08 to match the adjacent stall, but maintain the width as small car in order to maintain the landscape plan
- Consider adding columnar trees along the north side of the property line to improve privacy with the neighbouring property

The motion carried unanimously.

5. ADJOURNMENT:

It was moved and seconded at 6:17 p.m. that the meeting adjourn. The motion carried unanimously.

CHAIR

CERTIFIED CORRECT:

RECORDING SECRETARY

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001341 – 6450 ISLAND HIGHWAY NORTH

Applicant: RW (BOB) WALL LTD.

Architect: O.C.A. ARCHITECTURE INC.

Owner: BGR HOLDINGS INC.

Landscape Architect: VICTORIA DRAKEFORD LANDSCAPE ARCHITECT

SUBJECT PROPERTY AND SITE CONTEXT

<i>Zoning</i>	Woodgrove Urban Centre (CC4)
<i>Location</i>	The subject property is located on the east side of Island Highway North between Enterprise Street and Aulds Road/Hammond Bay Road.
<i>Total Area</i>	1.16ha
<i>City Plan (OCP)</i>	Future Land Use Designation: Secondary Urban Centre Development Permit Area DPA8 – Form and Character
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines

The subject property is a large commercial lot located in north Nanaimo. The grade change of the property is approximately 6m and slopes down to the northeast. Established commercial developments predominantly characterize the surrounding area, with the Green Thumb Garden Centre (future Bowers District development site) to the east. The subject property currently contains two existing mini storage buildings that will remain, and a multi-tenant commercial building proposed to be removed to facilitate the proposed development.

The applicant is in the process of amending the existing CC4 zone (RA497) for the subject property to add “mini storage” as a site-specific use in order to allow the expansion of an existing non-conforming mini-storage facility to accommodate the proposed development.

PROPOSED DEVELOPMENT

The applicant is proposing a four-storey mini storage and office building with a total gross floor area of 4,792m² and a proposed FAR of 1.08. The proposed total site coverage with the addition of the new building is 38% and the height of the new building is 13.8m.

Site Design

The proposed building is oriented to face the Island Highway frontage. Vehicle access to the site will be from the existing access off the Island Highway and Marlin Way with 63 surface parking spaces. Six long-term bicycle parking spaces are proposed in a room at the back of the building with short-term bicycle racks (six spaces) located near the entrance of proposed Building C. An existing refuse enclosure is located at the rear of the site, next to the Marlin Way entrance. A pedestrian network connects the existing buildings and the new Building C to an employee amenity area at the rear of the site, across from existing Building B.

Staff Comments:

- Consider opportunities to increase pedestrian connectivity along the internal drive aisle for the front of the building.

Building Design

Proposed Building C presents a modern urban form with curtain wall and glazing facing the highway exposure and large overhangs at the roof level. Exterior finishes include a mix of Hardie panel and fascia; metal siding; masonry veneer; metal flashing; glass and metal railings, aluminum windows and doors; a canopy over the front entrance; metal roll-up loading doors; wall mounted lighting; and mechanical screening.

Staff Comments:

- Consider opportunities to further emphasize the building entrance facing the Island Highway.
- Consider extending glazing of the south facing office unit to the corner of the building.
- Consider ways to create a more cohesive design with the existing storage buildings and greater use of corporate colours to add visual interest.

Landscape Design

The proposed development includes existing landscaping to be retained throughout most of the site. New landscaping is proposed along a portion of the north lot line and the northwest corner of the site; and the proposed employee amenity area at the rear of the site includes various deciduous trees, evergreen hedging, shrubs, groundcover, ferns, and vines. The amenity area will also include an arbour and bench. A green roof is proposed to cover 50% of the building roof with sedum.

Staff Comments:

- Provide robust year-round screening between the parking areas and Island Highway to mitigate headlight glare.
- Consider more visual interest in the landscaping at the site entrance off Marlin Way.
- Consider wayfinding, onsite lighting, and illuminated entrances.

PROPOSED VARIANCES

Minimum Side Yard Setback

The minimum required side yard setback in the CC4 zone is 3.0m. The applicant is proposing a minimum north side yard setback of 1.5m, a requested variance of 1.5m.

Off-Street Parking

The minimum required number of parking spaces 69. The applicant is proposing 63 parking spaces, a requested variance of 6 parking spaces.



Igor Nardin Architect AIBC

Submission to Advisory Design Panel

July 7, 2023

Budget Self Storage

6450 N. Island Hwy., Nanaimo, BC

- Design Rational
- Variance Rational
- Development Data

Page 1 of 6

2724 W1st AVENUE, VANCOUVER, B.C V6K 1H3 (604) 408-8970
e-mail: in@oca-arch.com

DESIGN RATIONAL

Introduction

The proposed development consists of adding a 4-storey mixed-use building to a site currently housing two Budget Mini Self Storage buildings. The 4 storey building will house office, self storage and self storage associated retail uses.

Context

The development site is located at 6450 North Island Hwy. The site is bound to the north by an existing commercial development, to the west by North Island Hwy., to the east by Green Thumb Garden Centre/future residential development and to the south by a vacant triangular building lot. The proposed building is to be located at the north edge of the property facing North Island Hwy. to the west and Marlin Way to the North-East.

Woodgrove Urban Centre Neighbourhood

The existing mini storage facility is a lawfully non-conforming use, given that the property was being used for its current purpose prior to the adoption of the current zoning bylaw. The site is to support Woodgrove Urban Centre as a northern gateway and regional centre for commercial activity. The current zoning is supportive of a mix of uses including commercial, retail, residential etc.

Site Design

The overall site plan is based on the City of Nanaimo Design Guidelines. The mixed-use building addresses the primary roads – North Island Hwy. and Marlin Way. Parking is shielded from the street by landscaping. The mixed-use building is set back from the street along North Island Hwy. providing landscaping, parking and a building entry focal point. The current walking trail will be extended the full site frontage along North Island Hwy and be relocated outside of the fenced in property.

The proposed building follows the existing site grades, appearing as a 3-storey building along North Island Hwy and appearing as a 4-storey building along Marlin Way. Grades within the site will be maintained to acceptable municipal standards, with no slope greater than 5 percent and made accessible to the physically challenged.

Full time security and surveillance will be provided on site, however various other CPTED initiatives have also been put in place. The entire property will be well lit with street lighting and building lighting. Visual access to all outside areas from within the building, security cameras,



ARCHITECTURE INC.

Igor Nardin Architect AIBC

as well as, avoiding deep indentations and wells, in the design of the building further adds to providing a secure environment. Access to the site is restricted to operating hours or via electronic access. The on site self storage retail component is strategically situated in the central lower portion of the building providing visual security/view to the rest of the site.

Vehicular site access is existing and consistent with governing engineering practices. Slopes for parking areas will not exceed 5%. Loading zones and garbage will be screened and located away from the building main entry points.

Architectural Character

The mixed-use building is designed to relate primarily to the principal roads – North Island Hwy and Boundary Marlin Way. The building form, proportion and material treatment complements the most recent developments in the area and is sympathetic in scale and character to the existing context. The building has a modern and urban aesthetic, consists of 3 distinctive architectural parts: a front, a back and a middle which addresses the existing main entry points/frontages and the existing self storage buildings to the south. The main frontage and office access point addresses North Island Hwy. The retail component of the self storage use is accessible from the middle of the building and visible from within the site.

The upper floors, consist of cementitious panel and galvalume metal siding. The ground and 2nd floor consists of masonry veneer. The building is articulated along its length and height and is provided with large overhangs at the roof level. Large expanses of curtain wall and glazing is being provided along the North Island Hwy exposure. The juxtaposition of materials, textures, colours, and engineering practices, serves to place the building comfortably in the present, and compatible with the adjacent existing buildings and regenerative context.

Sustainability Initiatives

Our involvement in non-profit projects and a conscientious approach to design has served to cement our belief in the importance of sustainable and green initiatives. We are incorporating the following features in this project:

Mechanical:

1. Water use reduction:
 - a. All toilets will be 4.8 L/flush .
 - b. Lavatories will use 5.7 L/min (1.5 gpm) flow restrictors.
 - c. Showers heads will use 7.6 L/min (2 gpm) flow restrictors.
 - d. Use of motion sensed faucets, flush valves to conserve water.
2. Energy efficiency:
 - a. Electrification of all proposed and existing HVAC equipment.

- b. Exhaust from all washrooms will be centralized and air to air heat recovery employed to transfer recovered heat to the incoming makeup air to the building.
 - c. All heating pumps will utilize variable frequency drives.
 - d. Building envelope and mechanical equipment efficiency will meet ASHRAE 90.1-2010 and Step 3 This, inherently, will provide a much higher performance building than required.
3. All refrigeration systems will utilize CFC & HCFC free refrigerants where proposed.
 4. Outdoor air ventilation to all spaces will meet or exceed ASHRAE 62.1 requirements.
 5. Common, office and retail areas will contain inoperable windows to maintain HVAC balance and minimize energy use.

Electrical:

1. Energy efficiency:
 - a. Common area lighting will utilize LED lighting.
 - b. Occupancy sensors will be utilized for common area spaces, where appropriate, to turn lighting on and off.
2. Exterior lighting:
 - a. Lighting fixtures will utilize “dark sky” design to avoid light pollution.
 - b. Exterior lighting control will utilize daylight sensors to turn lights on and off.

Architectural:

1. Higher density vs. lower coverage provided, thereby promoting open space.
2. Building Siting - Use existing grades and minimize transfer of soil off site.
3. Reducing the amount of asphalt and surface water run-off.
4. Storm water quantity control will utilize infiltration back into the ground.
5. Drought-tolerant, and indigenous natural plant material to minimize irrigation.
6. Permeable paving, rain harvesting/gardens and bioswales for enhanced stormwater management and to promote the native habitat.
7. Build in concrete and steel durable renewable materials.
8. Sealed thermal low e glazing.
9. Well-insulated building design practices.
10. Shading devices.
11. Incorporate DDC systems to monitor and schedule mechanical and electrical systems.
12. Naturally ventilated ventilation systems.
13. Use of lighter more reflective surface materials on walls and roof to minimize heat gain.
14. Green roof providing stormwater management, reducing urban heat island effect, and improved air quality.
15. Environmentally friendly materials, adhesives and paints.
16. Max. 40% glazing.



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Igor Nardin Architect AIBC

- 17. Solar heat gain reduction thru use of large overhangs.
- 18. Provisions for future solar panels.

Variance Rational:

North Setback:

A variance of 1.5m is requested along portions of the north property line to allow for larger ground related storage units. The proposed building positioning and setback is consistent with the neighbouring property to the north, which is also below the 3m setback requirement. Portions of the height of the building has also been reduced to better assimilate with the neighbouring context and to visually articulate and enhance the appearance of the proposed building.

Parking:

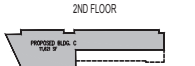
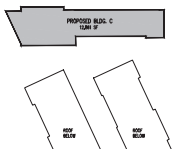
Parking deficiency of 4 spaces is required to accommodate the office uses proposed. The nature of the parking required for the self-storage use is periodic, short duration and usually adjacent to the actual location of storage units and building entries. The longer-term load of the office uses is provided and will easily be accommodated along the visible frontage of North Island Hwy.



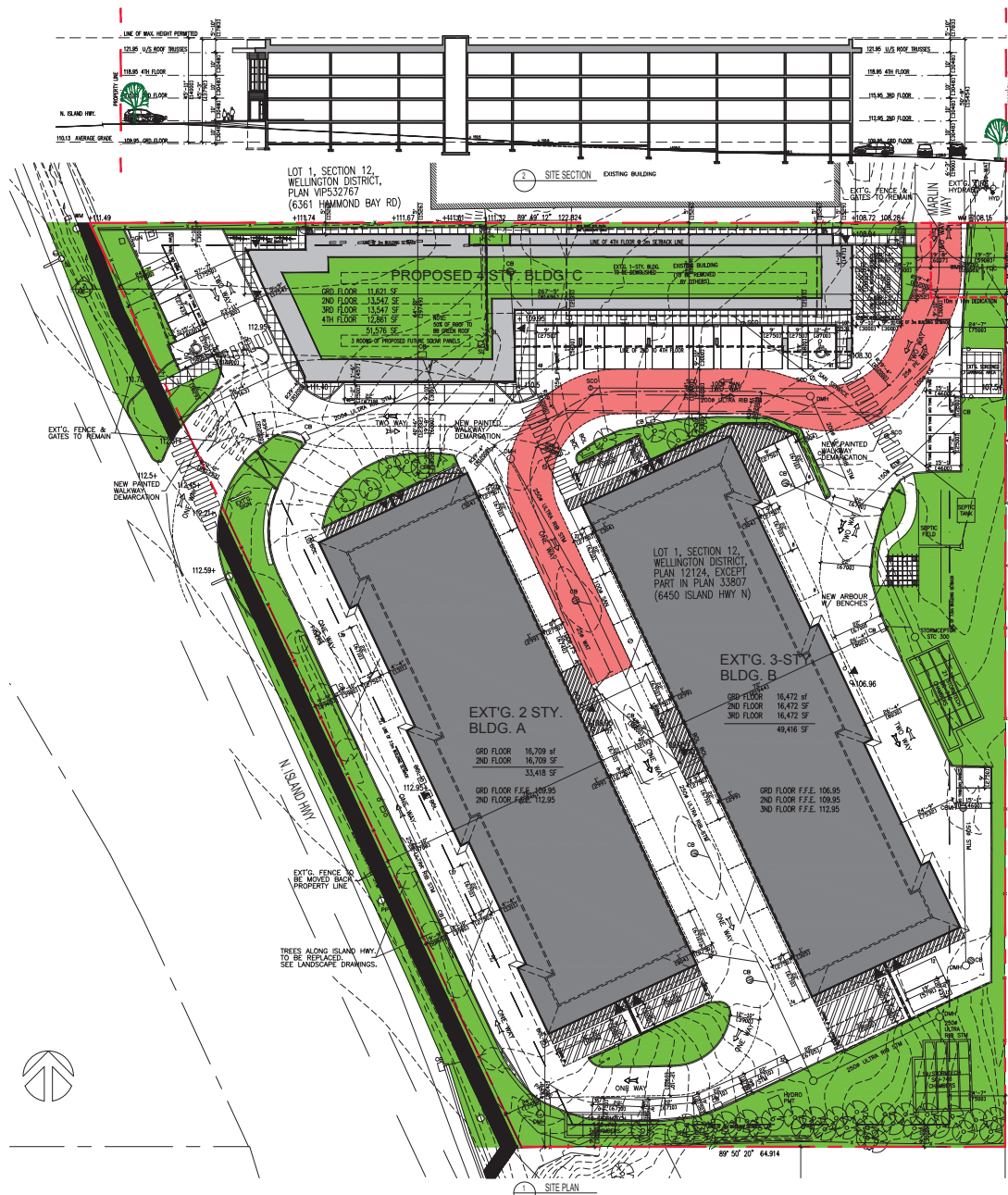
2023-07-07

SITE DATA:

ZONING:	CC4 NORTH NANAIMO URBAN CENTRE																										
CIVIL ADDRESS:	6450 N ISLAND HWY.																										
LEGAL ADDRESS:	LOT 1, SEC. 12, WELLINGTON DISTRICT, PLAN 12124, EXCEPT PART IN PLAN 33807																										
SITE AREA:	125,166 sf (11,628.29mm)																										
BUILDING AREA:	<table border="0"> <tr> <td>BUILDING A</td> <td>16,709 sf</td> <td></td> <td></td> </tr> <tr> <td>BUILDING B</td> <td>16,472 sf</td> <td></td> <td></td> </tr> <tr> <td>BUILDING C</td> <td>12,475 sf</td> <td></td> <td></td> </tr> <tr> <td></td> <td><u>45,656 sf</u></td> <td></td> <td></td> </tr> </table>			BUILDING A	16,709 sf			BUILDING B	16,472 sf			BUILDING C	12,475 sf				<u>45,656 sf</u>										
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PROPOSED BUILDING C	<table border="0"> <tr> <td>GRD FLOOR</td> <td>11,621 SF</td> <td></td> <td></td> </tr> <tr> <td>2ND FLOOR</td> <td>13,547 SF</td> <td></td> <td></td> </tr> <tr> <td>3RD FLOOR</td> <td>13,547 SF</td> <td></td> <td></td> </tr> <tr> <td>4TH FLOOR</td> <td>12,861 SF</td> <td></td> <td></td> </tr> <tr> <td></td> <td><u>51,576 SF</u></td> <td>51,576 SF/4,791 sm</td> <td></td> </tr> <tr> <td></td> <td></td> <td><u>134,410 SF/12,487 sm</u></td> <td></td> </tr> </table>			GRD FLOOR	11,621 SF			2ND FLOOR	13,547 SF			3RD FLOOR	13,547 SF			4TH FLOOR	12,861 SF				<u>51,576 SF</u>	51,576 SF/4,791 sm				<u>134,410 SF/12,487 sm</u>	
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REQUIRED PARKING:	<p>MINI STORAGE: 1 SPACE PER 200sm (2152sf) OF GROSS FLOOR AREA 3 LOADING SPACES FOR 4,650sm + 1 PER ADDITIONAL 4,650sm</p> <p>OFFICE: 1 SPACE PER 22sm (236.8sf) OF GROSS FLOOR AREA</p>																										
PARKING CALCS:	<table border="0"> <tr> <td>EXT'G. BUILDING A</td> <td>33,418 SF/2152 SF = 16 SPACES</td> <td></td> <td></td> </tr> <tr> <td>EXT'G. BUILDING B</td> <td>49,416 SF/2152 SF = 23 SPACES</td> <td></td> <td></td> </tr> <tr> <td>PROPOSED BUILDING C</td> <td></td> <td></td> <td></td> </tr> <tr> <td>MINI STORAGE</td> <td>49,914 SF/2152 SF = 24 SPACES</td> <td></td> <td></td> </tr> <tr> <td>OFFICE</td> <td>1,662 SF/236.8 SF = 7 SPACES</td> <td></td> <td></td> </tr> <tr> <td></td> <td><u>70 SPACES</u></td> <td></td> <td></td> </tr> </table>			EXT'G. BUILDING A	33,418 SF/2152 SF = 16 SPACES			EXT'G. BUILDING B	49,416 SF/2152 SF = 23 SPACES			PROPOSED BUILDING C				MINI STORAGE	49,914 SF/2152 SF = 24 SPACES			OFFICE	1,662 SF/236.8 SF = 7 SPACES				<u>70 SPACES</u>		
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PARKING:	<p>Provided:</p> <table border="0"> <tr> <td>30 regular car spaces</td> <td></td> <td></td> <td></td> </tr> <tr> <td>14 small spaces (14/44=32%)</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2 b/c spaces</td> <td></td> <td></td> <td></td> </tr> <tr> <td>20 spaces in front of CHD @ Bldg. A & B</td> <td></td> <td></td> <td></td> </tr> <tr> <td><u>66 spaces provided</u></td> <td></td> <td></td> <td></td> </tr> </table>			30 regular car spaces				14 small spaces (14/44=32%)				2 b/c spaces				20 spaces in front of CHD @ Bldg. A & B				<u>66 spaces provided</u>							
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LOADING CALCS:	<p>Required: 12,487sm-4,650sm = 3 + (7,837sm/4,650 =1.6) 2 = 5 LOADING SPACES</p> <p>Provided: 6 LOADING SPACES REQUIRED.</p>																										
BUILDING HEIGHT:	<p>Permitted: 14m</p> <p>Average Grade: 111.87 + 111.40 + 108.3 + 108.94 = 440.51/4 = 110.13</p> <p>Proposed: 13.27m (NOT INCL. ROOF TOP MECHANICAL)</p>																										
BUILDING CLASSIFICATION	<p>3.2.2.77. GROUP F, DIV 2, UP TO 4 STOREYS, SPRINKLERED MAX. BLDG. AREA = 3,200 S.M.(34,444 SF) IF 3 STY. MAX. BLDG. AREA = 2,400 S.M.(25,833) IF 4 STY. COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION</p> <p>F.R.R.:</p> <table border="0"> <tr> <td>FLOORS:</td> <td>3/4 HR.</td> </tr> <tr> <td>L.B. WALLS, COLNS. ETC.:</td> <td>3/4 HR. OR NON-COMBUSTIBLE</td> </tr> <tr> <td>ROOF:</td> <td>0 min.</td> </tr> </table>			FLOORS:	3/4 HR.	L.B. WALLS, COLNS. ETC.:	3/4 HR. OR NON-COMBUSTIBLE	ROOF:	0 min.																		
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ROOF:	0 min.																										
SETBACKS:	REQD.	PROPOSED	VARIANCE																								
FRONT YARD - ISLAND HWY.	7.5m	7.5m	NONE																								
REAR YARD - MARLIN WAY	7.5m	7.5m	NONE																								
SIDE YARD (SOUTH):	3.0m	15.2m	NONE																								
SIDE YARD (NORTH):	3.0m	1.5m	1.5m																								



- LEGEND:**
- EXISTING PROPERTY LINE
 - DEMOTES 3m SETBACK LINE
 - CONCRETE CURB
 - FIRE ROUTE
 - PROPOSED ADDITION
 - EXISTING BUILDINGS
 - ASPHALT PAVING
 - DEMOTES PAVERS
 - LANDSCAPED AREA
 - KEEP CLEAR AREA
 - 4" DIA. TREE
 - TREES TO BE REMOVED
 - EXTD. GRADE
 - PROPOSED GRADE
 - EXISTING HYDRO POLE
 - LIGHT STANDARD
 - ENTRANCE
 - EXISTING FIRE HYDRANT
 - EXTD. FENCE & GATES
 - NEW WOOD FENCE
 - DRAINAGE
 - CONCRETE WHEEL STOPS



SITE DATA:

ZONING: C04 NORTH NANAIMO URBAN CENTRE
 CIVIL ADDRESS: 6450 N ISLAND HWY
 LEGAL ADDRESS: LOT 1, SEC. 12, WELLINGTON DISTRICT, PLAN 12124, EXCEPT PART IN PLAN 33807

SITE AREA:
 125,166 sf (11,628.29sqm)
 1076 sf (100m) DEDICATION
 124,090 sf (11,528.29sqm)

BUILDING AREA:
 BUILDING A: 16,709 sf
 BUILDING B: 16,472 sf
 BUILDING C: 12,475 sf
 43,656 sf

COVERAGE:
 Permitted: 50% (5 x 124,090 SF = 620,450 SF)
 Proposed:
 EXTC. BLDG. A: 16,709 sf
 EXTC. BLDG. B: 16,472 sf
 PROPOSED BLDG. C: 13,547 sf
 46,728 sf / 124,090 sf x 100 = 38% Proposed

DENSITY:
 Permitted: 1.25 (1.25 x 124,090 sf = 155,112.5 sf ALLOWED)
 Proposed: 134,410 sf = 1.08 Proposed
 124,090 sf

G.F.A.:

EXTG. BUILDING A	GRID FLOOR: 16,709 sf	2ND FLOOR: 16,709 sf	33,418 sf/3,105 sqm
EXTG. BUILDING B	GRID FLOOR: 16,472 sf	2ND FLOOR: 16,472 sf	32,944 sf/3,051 sqm
PROPOSED BUILDING C	GRID FLOOR: 11,621 sf	2ND FLOOR: 13,547 sf	25,168 sf/2,341 sqm

REQUIRED PARKING:
 MINI STORAGE:
 1 SPACE PER 200m² (2152sf) OF GROSS FLOOR AREA
 3 LOADING SPACES FOR 4,650m² + 1 PER ADDITIONAL 4,650m²
 OFFICE:
 1 SPACE PER 22m² (236.8sf) OF GROSS FLOOR AREA

PARKING CALCULATIONS:
 EXTC. BUILDING A: 33,418 sf/2152 sf = 16 SPACES
 EXTC. BUILDING B: 32,944 sf/2152 sf = 15 SPACES
 PROPOSED BUILDING C: 25,168 sf/2152 sf = 12 SPACES
 MINI STORAGE: 1,662 sf/236.8 sf = 7 SPACES
 OFFICE: 70 SPACES
 (62)

PARKING:
 Provided:
 27 regular car spaces
 12 small spaces (12/63x195)
 2 1/2' spaces
 20 spaces in front of Bldg. A & B
 2 extra loading spaces
 63 spaces provided

LOADING:
 Required:
 12,487m² - 4,650m² = 3 + (7,837m²/4,650 - 1.6) 2 = 5 LOADING SPACES
 Provided: 5 LOADING SPACES REQUIRED.

BIKE PARKING:
 Required:
 OFFICE: SHORT TERM: 1/1000m LONG TERM: .35/100m
 155/1000x1=1 SPACE 155m/1000x35=1 SPACE
 INDUSTRIAL: SHORT TERM: N/A LONG TERM: 1/1000m
 0 REQD. 4,637m/1000x1=5 SPACES
 Provided:
 SHORT TERM: 6 SPACES
 LONG TERM: 6 SPACES

BUILDING HEIGHT:
 Permitted: 14m
 Average Grade: 111.87 + 111.40 + 108.3 + 108.94 = 440.51/4 = 110.13
 Proposed: 13.8m (NOT INCL. ROOF TOP MECHANICAL)

BUILDING CLASSIFICATION:
 3.2.2.7. GROUP F, DIV 2, UP TO 4 STOREYS, SPRINKLERED
 MAX. BLDG. AREA = 3,200 S.M. (34,444 SF) # 3 STY.
 MAX. BLDG. AREA = 2,400 S.M. (25,833 SF) # 4 STY.
 COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION

F.R.R.:
 FLOORS: L.B. WALLS, COLNS. ETC. 3/4 HR. OR NON-COMBUSTIBLE
 ROOF: 0 mls.
 GROUP D: UNDER 10% OF FLOOR AREA = NOT A MAJOR OCCUPANCY

SETBACKS:

SETBACKS:	REQD.	PROPOSED	VARIANCE
FRONT YARD - ISLAND HWY.	7.5m	9.7m @ 11.5m	NONE
REAR YARD - MARLIN HWY.	7.5m	7.5m	NONE
SIDE YARD (SOUTH):	3.0m	15.1m	NONE
SIDE YARD (NORTH):	3.0m	1.5m	1.5m

O.C.A. ARCHITECTURE INC.
 2724 W. 1st AVENUE, VANCOUVER BC V6K 1H3
 Tel: 604-408-8970 Email: info@oca-arch.com

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1	10m x 10m DEDICATION AT MARLIN HWY	12/23
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3	REZONING & LP	3/26/24
2	PLANNING PRE APP	1/17/23
1	REVIEW	4/19/22

BUDGET SELF STORAGE
 6450 N ISLAND HWY.
 NANAIMO, B.C.

SITE PLAN



Scale: 1/32"=1'-0"
 Drawn By:
 Checked By:
 Project Number: 2115
 Date: JUNE 2021
 Drawing Number:

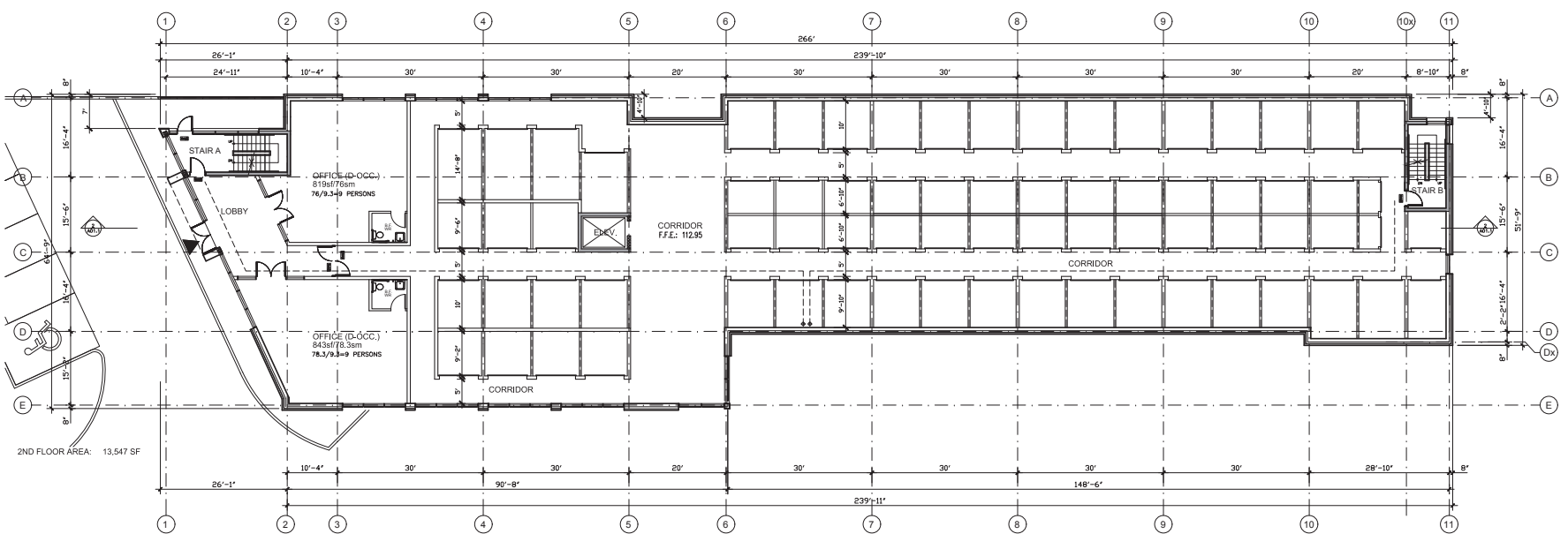
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 DP1341
 2024-APR-12

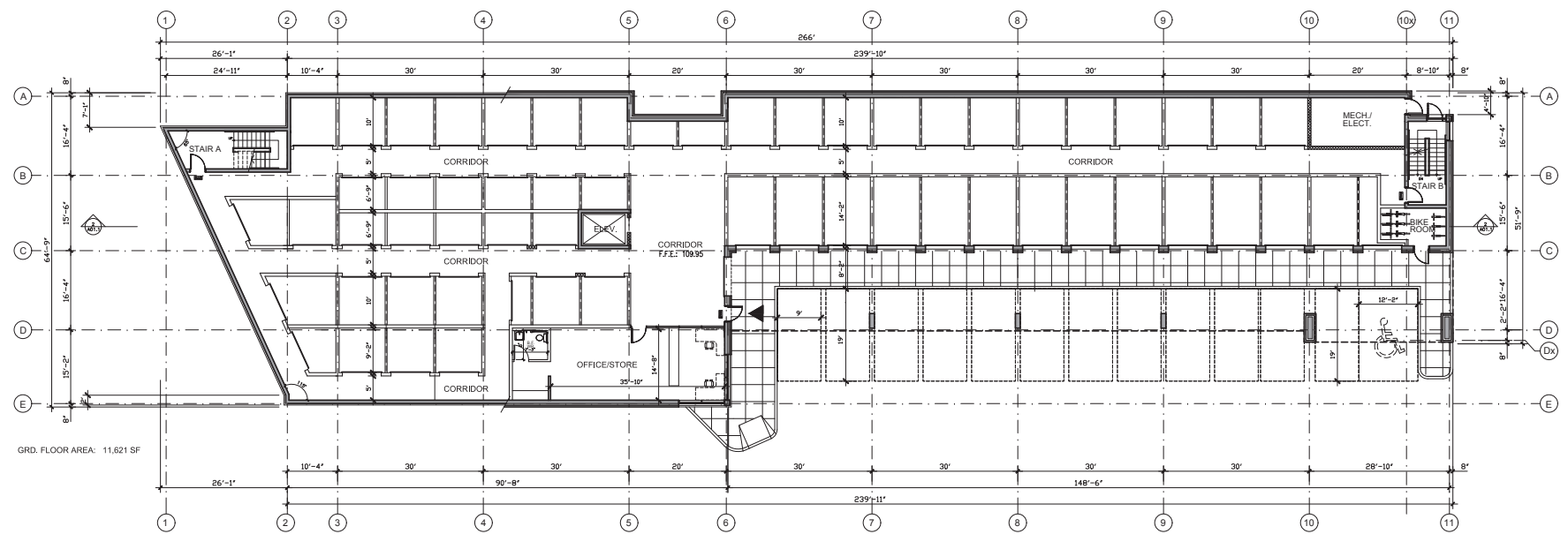


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2 SECOND FLOOR PLAN



GROUND FLOOR PLAN

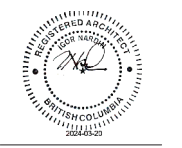
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Revisions

3	REVISION & DP	3/20/24
2	PLANNING PRE APP	7/7/23
1	REVIEW	4/11/22

Project:
BUDGET SELF STORAGE
 6450 N ISLAND HWY.
 NANAIMO, B.C.

GROUND & SECOND FLOOR PLANS



Scale: 1/32"=1'-0"
 Drawn By:
 Checked By:
 Project Number: 2115
 Date: JUNE 2021
 Drawing Number:

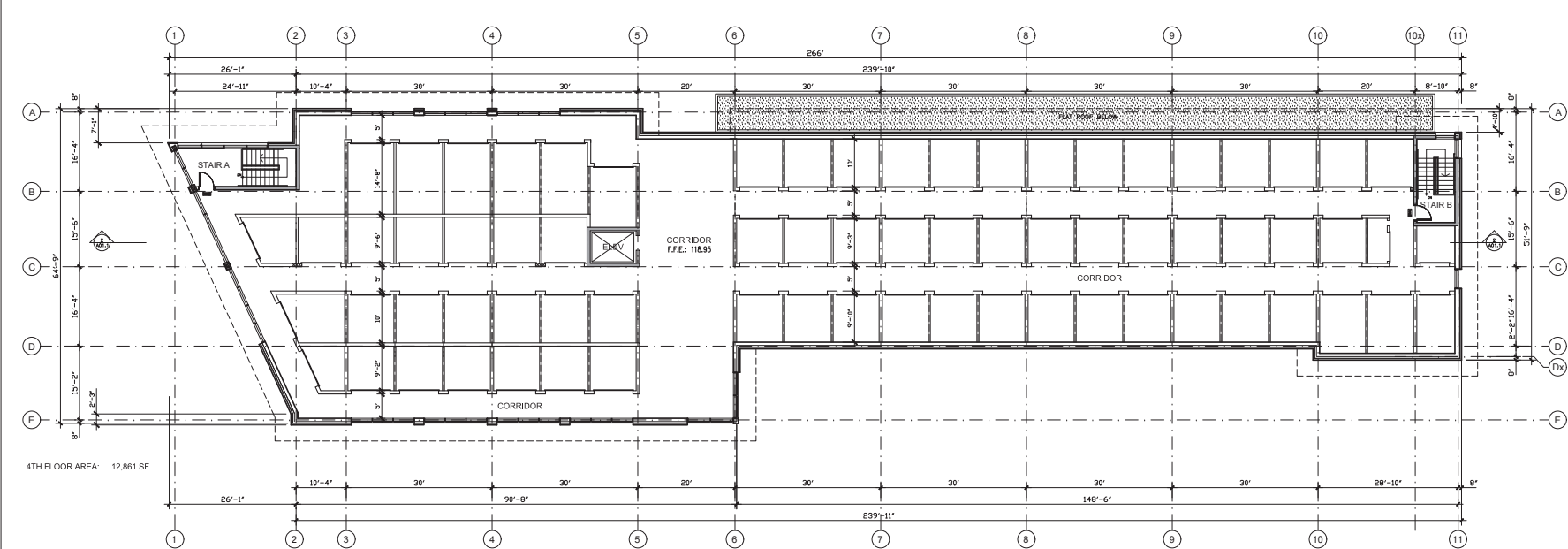
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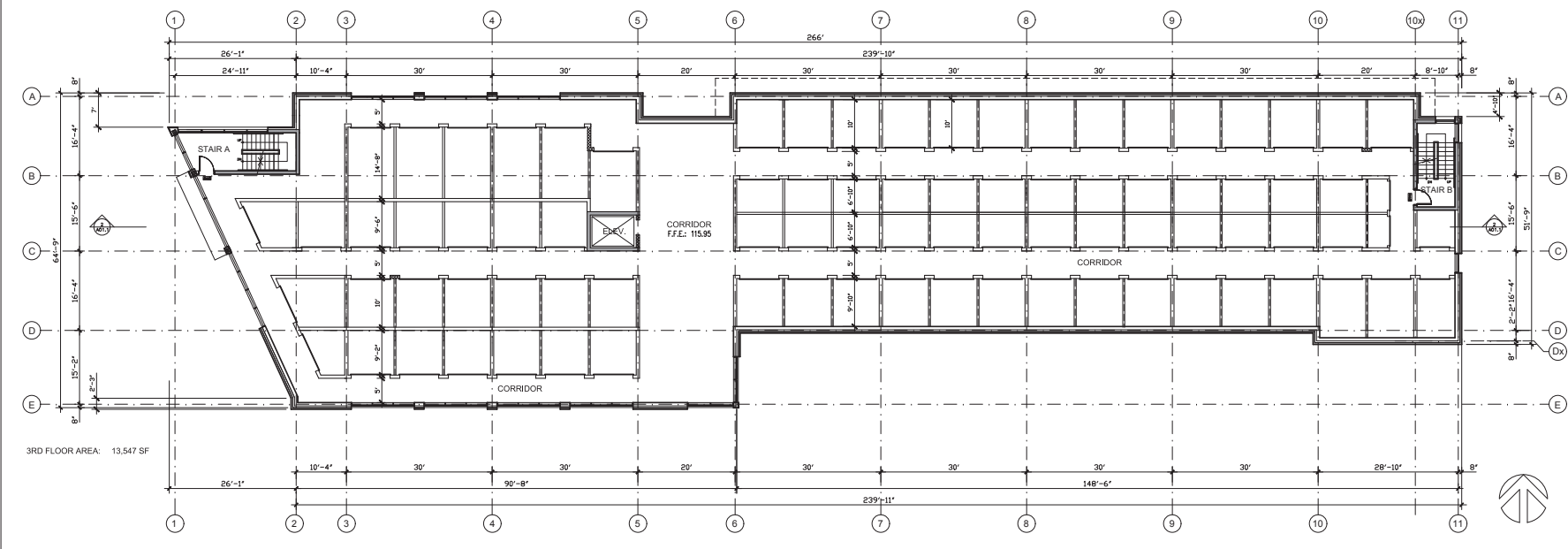


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4 FOURTH FLOOR PLAN



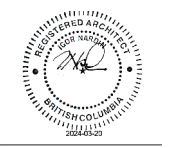
3 THIRD FLOOR PLAN

1	
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3	REVISION & DP	3/20/24
2	PLANNING PRE APP	7/7/23
1	REVIEW	4/11/23

Project:
BUDGET SELF STORAGE
 6450 N ISLAND HWY.
 NANAIMO, B.C.

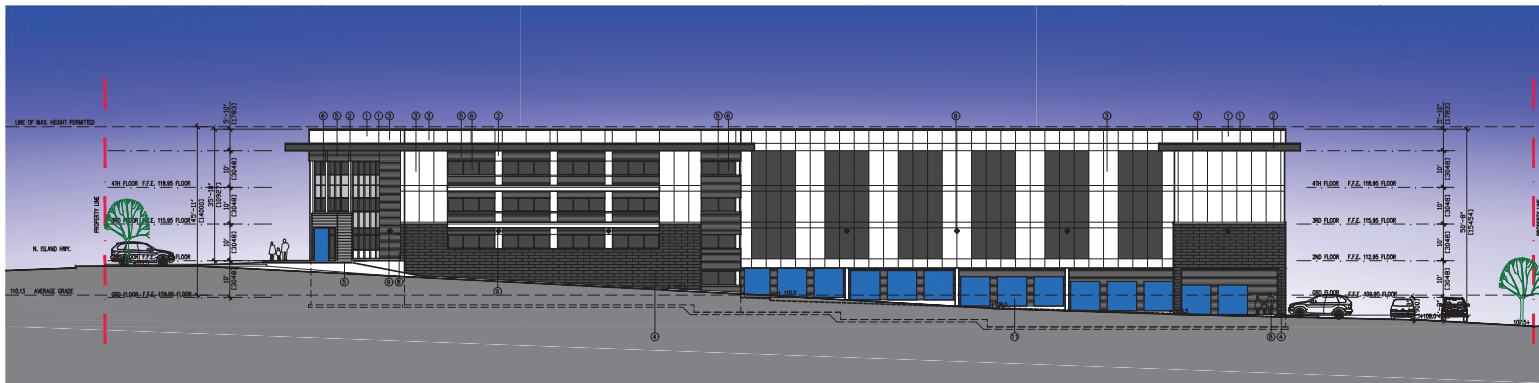
Drawing Title:
THIRD & FOURTH FLOOR PLANS



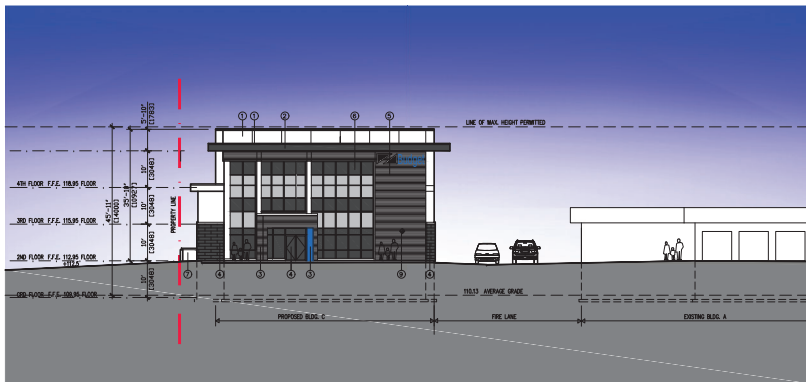
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 Drawn By:
 Checked By:
 Project Number: 2115
 Date: JUNE 2021
 Drawing Number:

A02.2

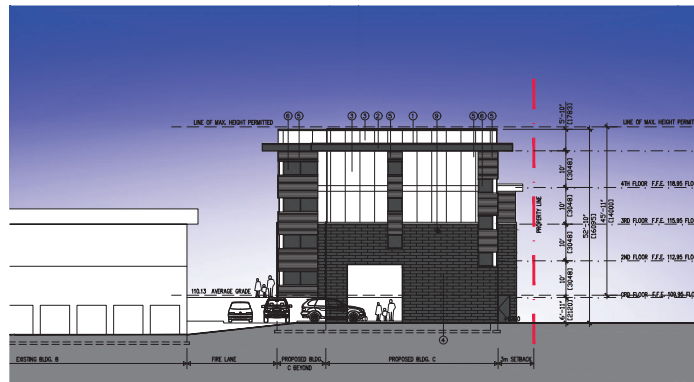
RECEIVED
 DP1341
 2024-APR-12



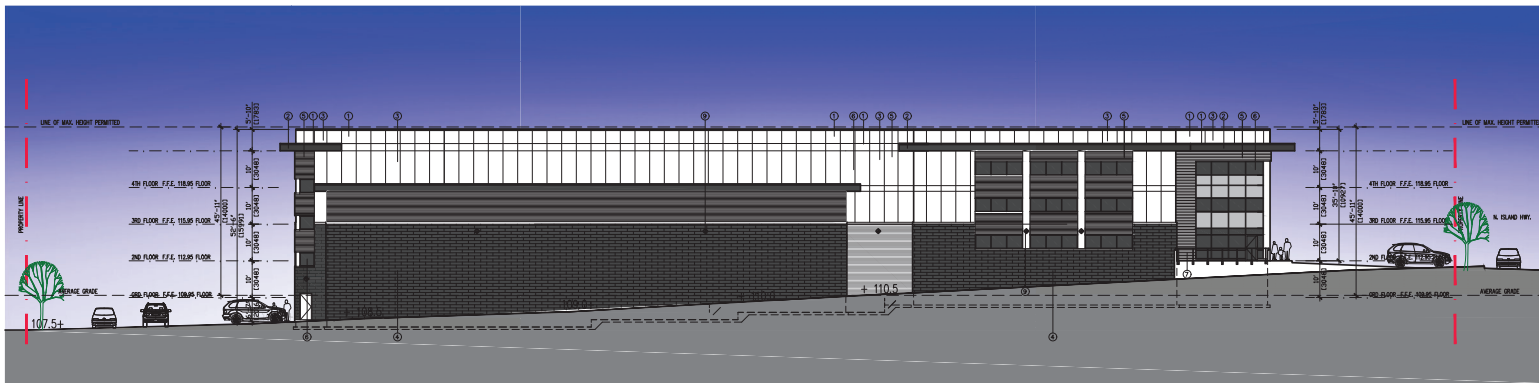
1 SOUTH ELEVATION



2 WEST ELEVATION



3 EAST ELEVATION



4 NORTH ELEVATION

MATERIALS:

- EXTERIOR MATERIAL FINISHES:
1. PRE-FIN METAL FLASHING
 2. HARDE PANEL & METAL SOFFIT
 3. HARDE PANEL
 4. MASONRY RENDER
 5. METAL SIDING
 6. ALUMINUM WINDOWS & DOORS
 7. GLASS & ALUM. FRAMES
 8. HOLLOW METAL FRAME DOORS
 9. WALL MOUNTED LIGHTING
 10. WOOD FINIC SCREENING
 11. METAL ROLL-UP DOORS
- COLOURS:
- CHARCOAL
 - NOCT GREY
 - LIGHT GREY
 - CHARCOAL
 - CALIFORNIA
 - CLEAR ANODIZED
 - WHITE
 - CHARCOAL
 - BLACK
 - WHITE
 - BLACK



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Tel: 604-408-8970 Email: info@oca-arch.com



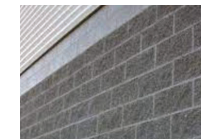
METAL FLASHING



HARDE PANEL



METAL SIDING



SPLITFACE BLOCK



STOREFRONT GLAZING



LIGHTING



GLASS & METAL RAILING

1	
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Revisions:

3	REVISION & DP	3/26/24
2	PLANNING PRE APP	7/7/23
1	REVIEW	4/17/22

Issued For:

Project:

BUDGET SELF STORAGE
6450 N ISLAND HWY.
NANAIMO, B.C.

Drawing Title:

ELEVATIONS



Scale: 1/8"=1'-0"

Drawn By:

Checked By:

Project Number: 2115

Date: JUNE 2021

Drawing Number:

A03.1

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2024-APR-12

BUDGET SELF STORAGE

6450 N. ISLAND HWY, NANAIMO, B.C.



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1	
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Revisions:

3	REVISION & DP	3/26/24
2	PLANNING PRE APP	7/7/23
1	REVIEW	4/11/23

Issued for:

Project:

BUDGET SELF STORAGE
6450 N ISLAND HWY.
NANAIMO, B.C.

Drawing Title:

RENDERINGS & SHADING STUDIES

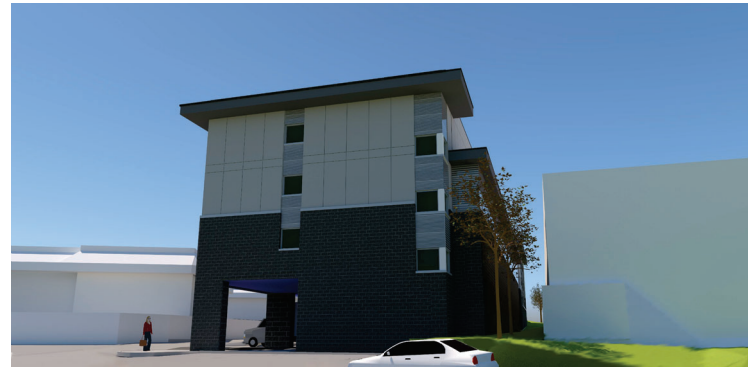


Scale: 1/8"=1'-0"
Drawn By:
Checked By:
Project Number: 2115
Date: JUNE 2021
Drawing Number:

A0



1 VIEW FROM SOUTH-WEST



2 VIEW FROM SOUTH-EAST



3 VIEW FROM NORTH-WEST



4 VIEW FROM NORTH-EAST



5 SEPTEMBER 21 @ 2pm



6 SEPTEMBER 21 @ 12pm



7 SEPTEMBER 21 @ 10am

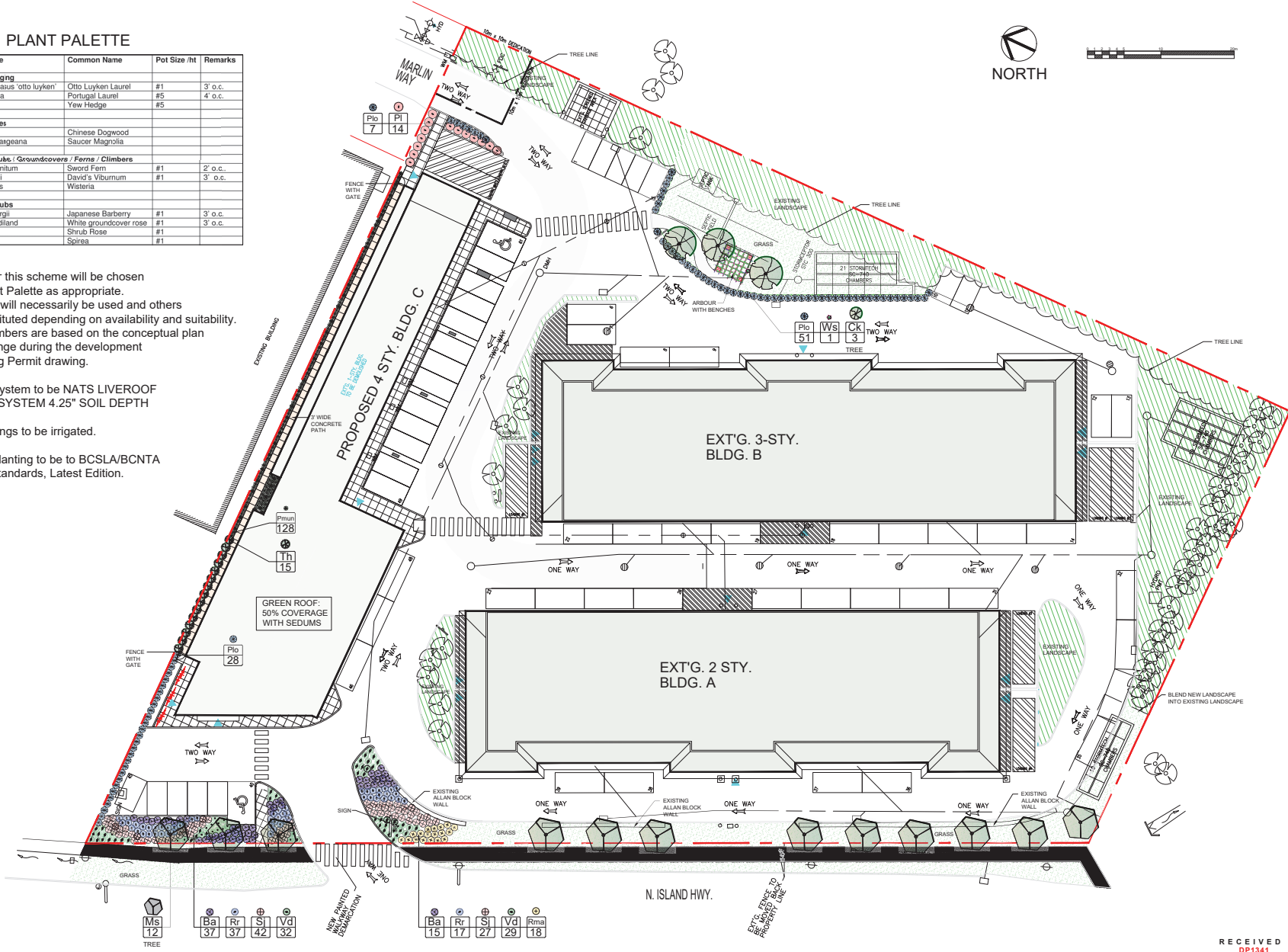
NOTES:

PLANT PALETTE

Key	Qty	Botanical Name	Common Name	Pot Size /ht	Remarks
Evergreen Hedging					
Plo	84	Prunus laurocerasus 'otto luyken'	Otto Luyken Laurel	#1	3' o.c.
Pl	14	Prunus lusitanica	Portugal Laurel	#5	4' o.c.
Th	15	Taxus hicksii	Yew Hedge	#5	
Deciduous Trees					
Ck	3	Cornus kousa	Chinese Dogwood		
Ms	12	Magnolia x soulangeana	Saucer Magnolia		
Evergreen Shrubs / Groundcovers / Ferns / Climbers					
Pmun	128	Polystichum munitum	Sword Fern	#1	2' o.c.
Vd	61	Viburnum davidii	David's Viburnum	#1	3' o.c.
Ws	1	Wisteria sinensis	Wisteria		
Deciduous Shrubs					
Ba	52	Berberis thunbergii	Japanese Barberry	#1	3' o.c.
Rma	18	Rosa white mediland	White groundcover rose	#1	3' o.c.
Rr	54	Rosa rugosa	Shrub Rose	#1	
Si	69	Spiraea japonica	Spiraea	#1	

NOTES:

- The plants for this scheme will be chosen from the Plant Palette as appropriate. Not all plants will necessarily be used and others may be substituted depending on availability and suitability. The plant numbers are based on the conceptual plan and may change during the development of the Building Permit drawing.
- Green Roof system to be NATS LIVEROOF STANDARD SYSTEM 4.25" SOIL DEPTH
- All new plantings to be irrigated.
- All plants & planting to be to BCSLA/BCNTA Landscape Standards, Latest Edition.



REVISIONS:

Issued for DP Review - 2023Jul08
Issued for DP Review - 2023Jul09
Issued for DP Review - 2023Jul10
Issued for DP - 2024Mar20



PROJECT:

6450 NORTH ISLAND HWY NANAIMO, BC

SITE LEGAL DESCRIPTION:

LOT 1, SECTION 12, WELLINGTON DISTRICT, PLAN 12/124, EXCEPT PART IN 33807

SHEET TITLE:

CONCEPTUAL LANDSCAPE DESIGN SCHEME

SCALE: 1" = 20'-0" DATE: JUL. 5, 2023

DRAWN: DR CHECKED: VJD

PROJECT NUMBER: WOODGROVE SELF STORAGE 2023

DRAWING NUMBER: L0.1/DP

RECEIVED DP1341 2024-APR-12

MUN. DWG#:

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001343 – 3530 HILLSIDE AVENUE

Applicant: ADMIRAL OPERATIONS LTD.

Architect: PACIFIC WEST ARCHITECTURE

Owner: B. MASON

Landscape Architect: RPL PROJECTS

SUBJECT PROPERTY AND SITE CONTEXT

<i>Zoning</i>	Steep Slope Residential (R10)
<i>Location</i>	The subject property is located on the north side of Hillside Avenue east of Cottleview Drive
<i>Total Area</i>	1.44 ha
<i>City Plan (OCP)</i>	Future Land Use Designation: Suburban Neighbourhood Development Permit Area DPA6 – Steep Slope Development Permit Area DPA8 – Form and Character
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines Steep Slope Development Permit Area Guidelines

The subject property is located in the Long Lake neighbourhood. The lot is irregularly shaped and is accessed from Hillside Avenue. The lot is treed and slopes steeply downward from the southwest to the northeast. The existing single-family dwelling fronting Hillside Avenue is proposed to remain. Established single-family dwellings, multi-family developments, and parkland characterize the surrounding area. The property is adjacent to the southwest extent of Linley Valley Cottle Lake Park which encompasses a wetland – the proposed development is located outside the wetland leave strip.

PROPOSED DEVELOPMENT

The applicant is proposing to construct six three-storey ground oriented multi-family residential buildings comprising a total of 22 three-bedroom townhouse units. The proposed total gross floor area is 3,276m² and the proposed total FAR is 0.23.

Site Design

The proposed buildings are oriented to face an internal road network that connects to Hillside Avenue. Onsite parking (46 spaces) includes a mix of private garages for each unit and two visitor parking spaces in the middle of the site beside Building 3 and between Buildings 1 and 2. Long-term bicycle parking spaces (22 total) will be located in private garages. Two short-term bicycle racks (two spaces) are located near the entrance to the site in the pocket park next to Building 5. A refuse enclosure is proposed between Building 4 and the truck turnaround. A concrete pedestrian network from Hillside Avenue provides ground level connections with to the rear of Buildings 3, 4 and 5, amenity areas, and units in the southeast portion of the site.

Staff Comments:

- Pedestrian circulation and common amenity areas are provided in accordance with the General Development Permit Area Design Guidelines. Consider pathways in front of Buildings 1 and 2, adjacent to the drive aisle, to complete a functional pedestrian network.

- Provide screening and increase the spatial separation between the refuse enclosure and the end unit in Building 4.
- Consider weather protection for the short-term bicycle racks.

Building Design

The design of the proposed buildings is contemporary in nature, three-storeys in height with flat roofs. The exterior finishes of the buildings are comprised of a mix of materials including Hardie panel in two shades, Hardie siding, stone veneer, metal cladding, as well as aluminum and glass railings.

Staff Comments:

- The applicant has used natural materials and textures in accordance with the Steep Slope Development Permit Area Design Guidelines; however, additional wood, and stone exterior finishes, could be considered as well as incorporating a colour palette that blends with the characteristics of the surrounding ridgeline and vegetation.
- Consider additional detailing and unique colour palettes for each building to create interest and individualize the buildings.
- Address the blank wall on the west side of Building 6 facing the existing dwelling.

Landscape Design

Facilitation of the development includes clearing the vegetation in the area proposed to be developed and retaining existing upslope and downslope vegetation. Through the site development, various deciduous trees, coniferous trees, shrubs, ground cover, perennials, and grasses will be planted. Private patios are proposed on the rear of the buildings and will be separated by low aluminum fencing or privacy fencing. A pocket park beside Building 5 includes benches, and the common amenity area in the middle of the site includes a dome play structure, salvaged cedar logs, benches, and a perimeter seating wall with retaining walls and plantings.

Staff Comments:

- Consider opportunities to replace concrete retaining walls with rock retaining walls and incorporate cascading plants in accordance with the Steep Slope Development Permit Area Design Guidelines.
- Consider increasing coniferous plantings in accordance with the “North Nanaimo” Character Area (Zoning Bylaw) and ensure at least 50% evergreen trees in planting scheme.
- Consider replacing aluminum fencing with fencing made from natural materials (ie. wood).
- Incorporate CPTED and dark sky friendly pedestrian scale lighting.

PROPOSED VARIANCES

The applicant has not identified any proposed variances; however, the building heights, drive aisle width, and refuse enclosure screening may require variances to be confirmed through the application review.

Apr 19, 2024

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Re: Design Rationale for Development Application 3530 Hillside Ave

This development proposes 22 dwelling units in 6 townhouse building form on site based on its current R10 zoning and Suburban Neighbourhood land use designation.

Site Context

The project site is located within the Rutherford Neighbourhood, to the south edge of the Linley Valley Park. Currently the property has a single family house on site. The east and west neighbour sites along Hillside Ave are also utilized as single family residential. The site is also located in DPA 6: Steep Slope Development Area.

Planning and Site Design

The total site area of 14409 square meters. Driveway entry will be set at the southeast of the site, going northwest and following the general topographical condition of the terrain. Building#1 to 5 sit on both sides of the new internal road, paralleled with the contour lines. Building #6 is in the site entry area, in a one-family building form. A pocket park, an amenity area with a children's play area, and a range of patios and greenspaces are planned on site, in order to increasing the ecological and aesthetical assets of the development. A continuous walkway is provided from the site entry, through the south side of the buildings, all the way to the end of the internal road.

The subject property is within the Steep Slope Development Area. We as the project architect have worked closely with the other consultants to produce a reliable design which will minimize impacts on the surrounding environment and advance the safety and comfortability of the development. The buildings are staggered into the slope to match the changing grade as it slopes down from Hillside Ave to the Linley Valley Park.

Two visitor parking spaces is provided between Accessible between Buildings 1 and 2, and a Full Sized between buildings 3 and 4.

Building Design

There are two types of units in this development. The units (Type A) in Building #1 and 2 consists of 5 bedrooms, as well as private patio, and side-by-side 2-car garage. The units (Type B) in Building #3, 4, and 5 have 3 bedrooms + den, private patio, and side-by-side 2-car garage. The third floor of each unit type will have views to the park area. Unit Type C in Building#6 also has 3 bedrooms +

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den, in a unique one-family building form. Its entry and parking will face to the east side.

Material and Color

The buildings are contemporary style incorporating a flat roof, generous balconies and large frame windows. The exterior finishes are comprised of a mix of Hardie panel siding in a variety of colors, metal cladding, glass railing, and stone veneer. Materials will be durable and simple in a modern manner. The overall interplay of shapes, proportions, durable materials and varied colours provides enduring interest to the facades and roof-lines.

Summary

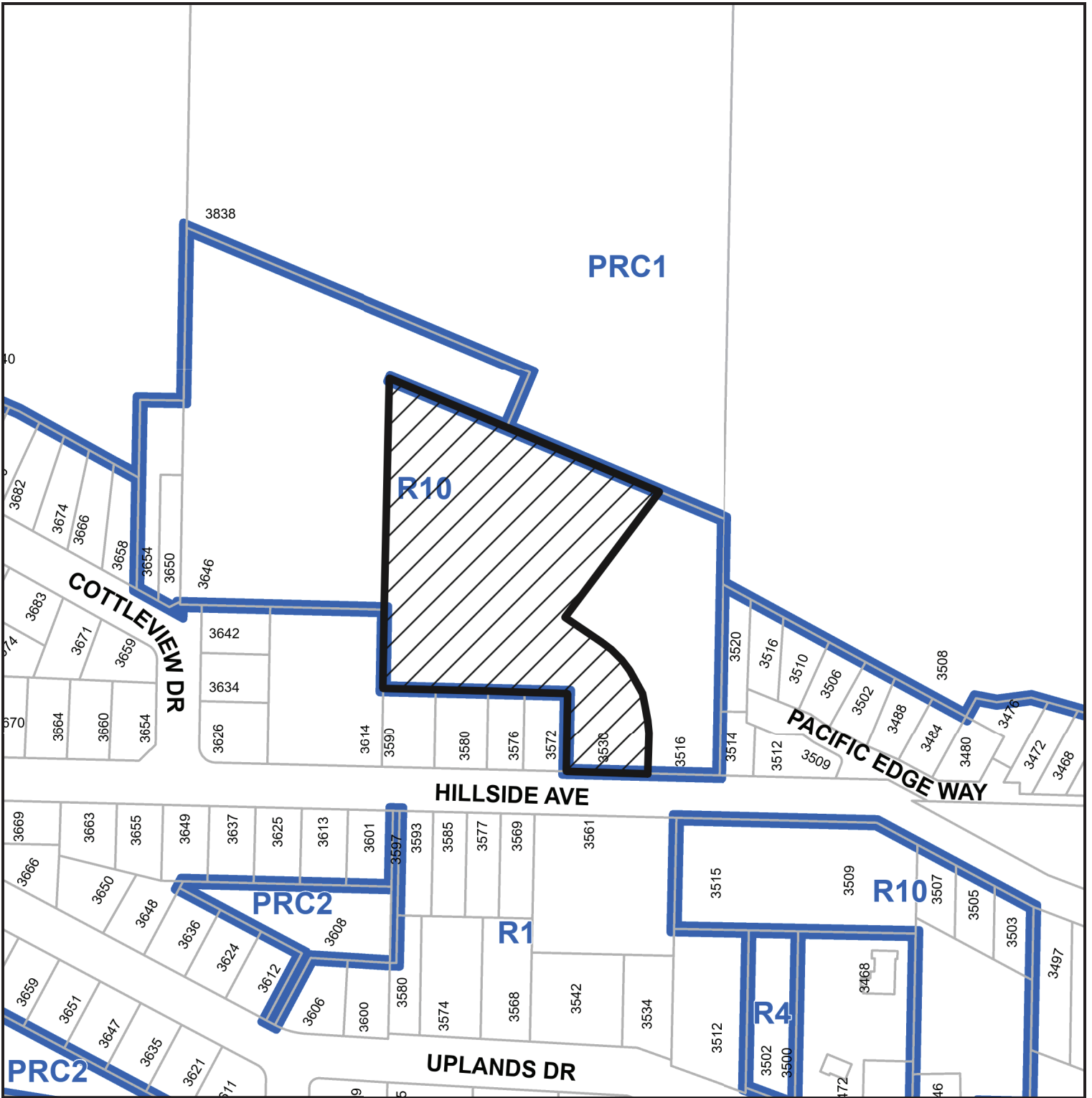
This project will provide family oriented housing and help promote sustainable growth in its neighborhood. The development creates multi-family density while maintaining comfort, private, and safe living experience. We believe this development will bring interest and benefit for the community. We welcome your feedback, and look forward to receiving your support on this project.

Respectfully submitted,

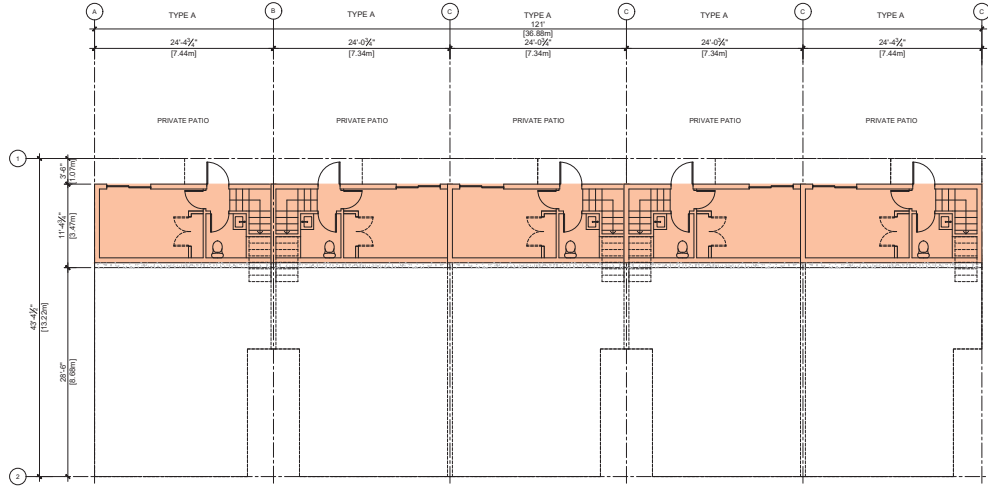


Patrick Xu Yang, Architect.AIBC
Pacific West Architecture Inc.

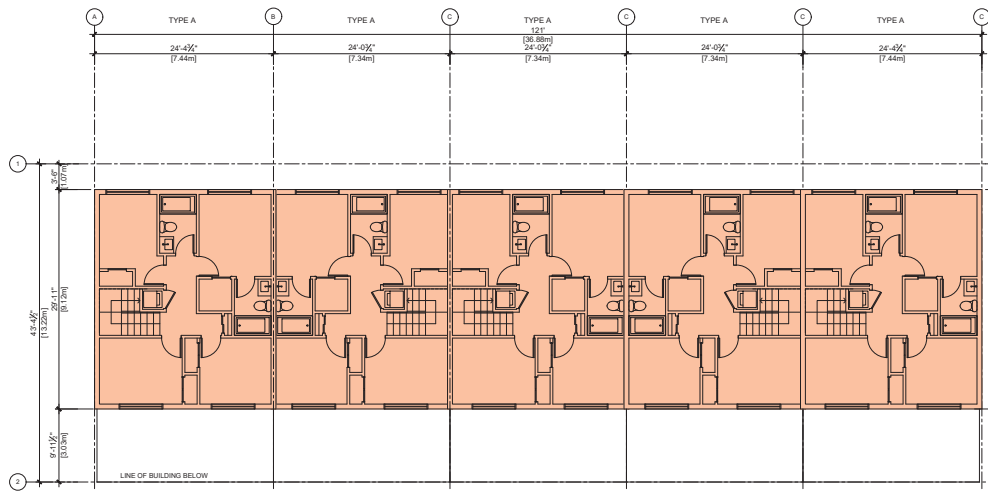
SUBJECT PROPERTY MAP



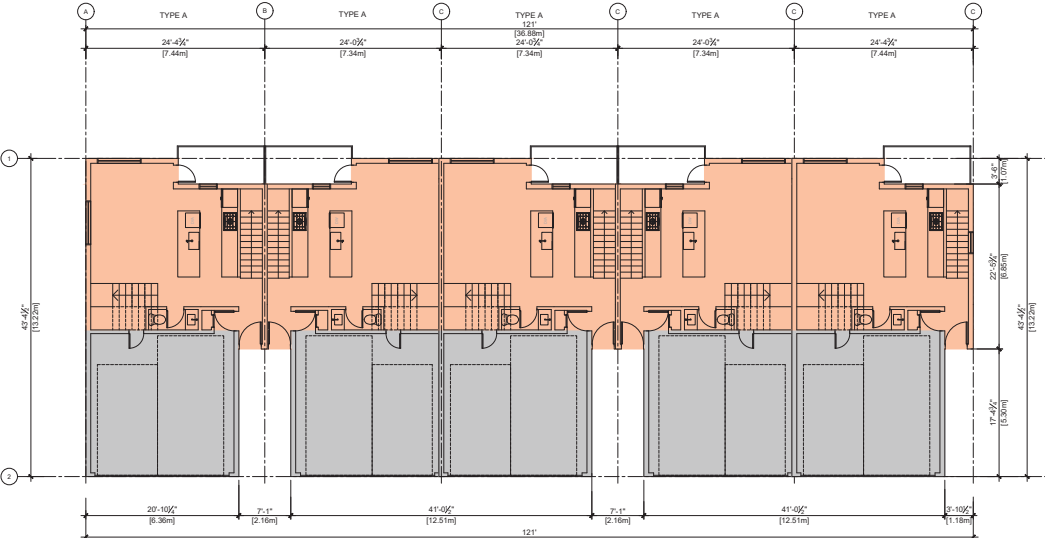
 3530 Hillside Avenue



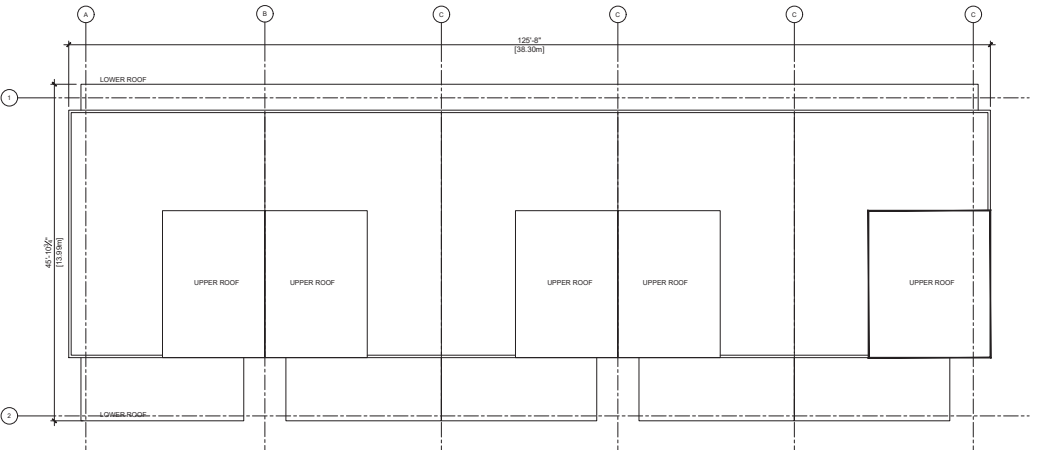
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Scale: 1/8" = 1'-0"



3 BUILDING 1 THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"



2 BUILDING 1 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



4 BUILDING 1 ROOF PLAN
Scale: 1/8" = 1'-0"



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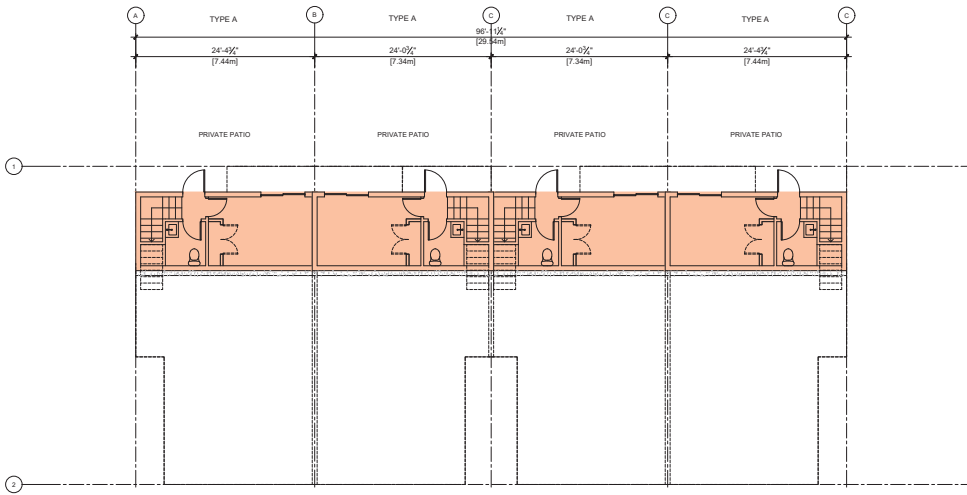
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PROJECT NUMBER	A427
DRAWN BY	FC
CHECKED BY	PY

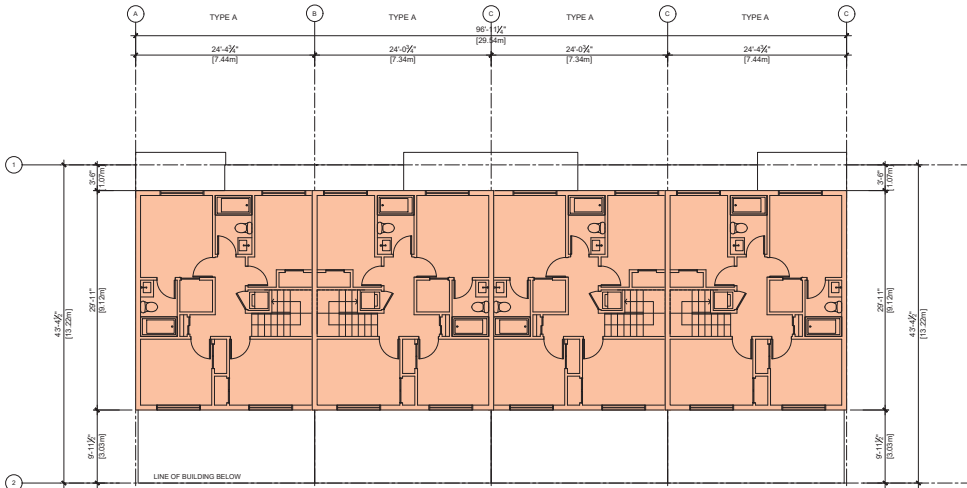
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PROJECT	NEW TOWNHOUSE DEVELOPMENT 3530 HILLSIDE AVE NANAIMO, BC
DRAWING TITLE	BUILDING PLAN

DRAWING No.	A2.01
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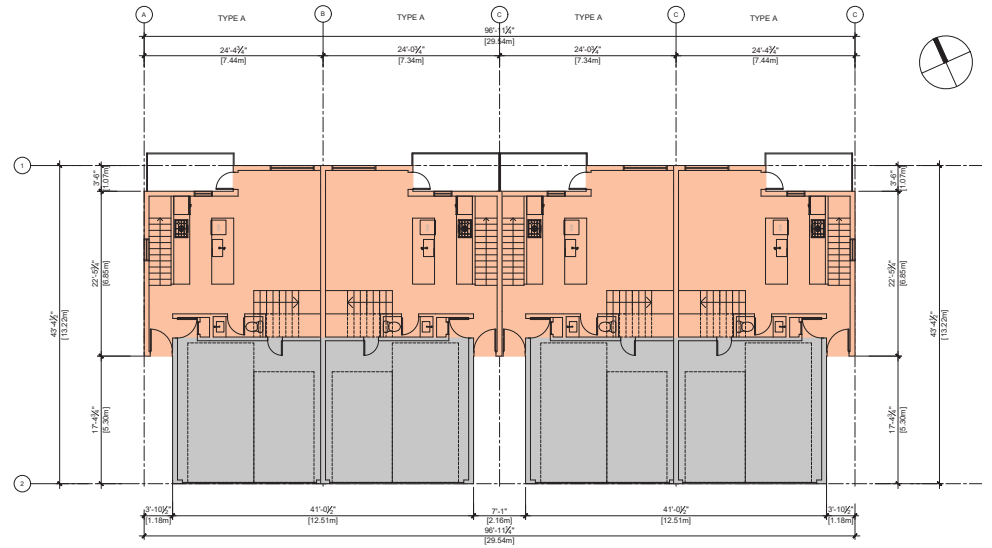


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Scale: 1/8" = 1'-0"



2 BUILDING 2 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"

3 BUILDING 2 THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"



4 BUILDING 2 ROOF PLAN
Scale: 1/8" = 1'-0"



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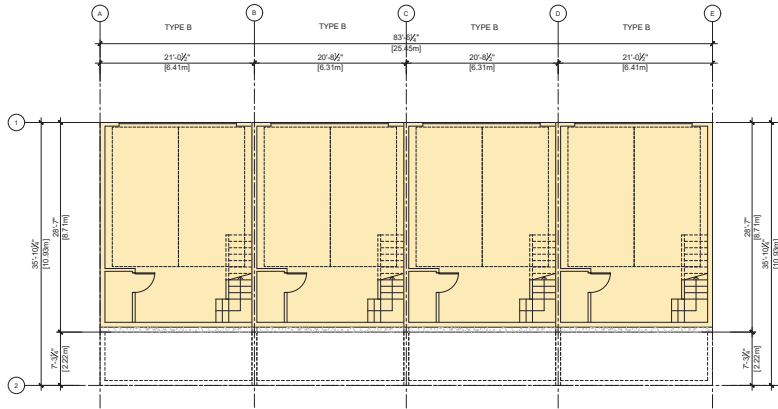
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PROJECT NUMBER	A427
DRAWN BY	FC
CHECKED BY	PY

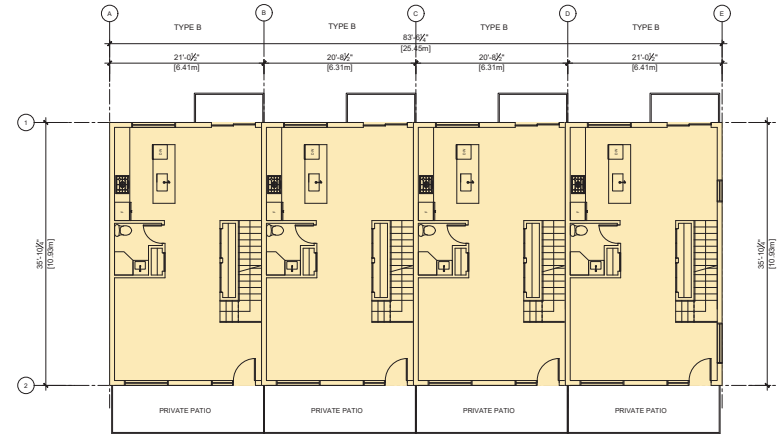
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PROJECT	NEW TOWNHOUSE DEVELOPMENT 3530 HILLSIDE AVE NANAIMO, BC
DRAWING TITLE	BUILDING PLAN

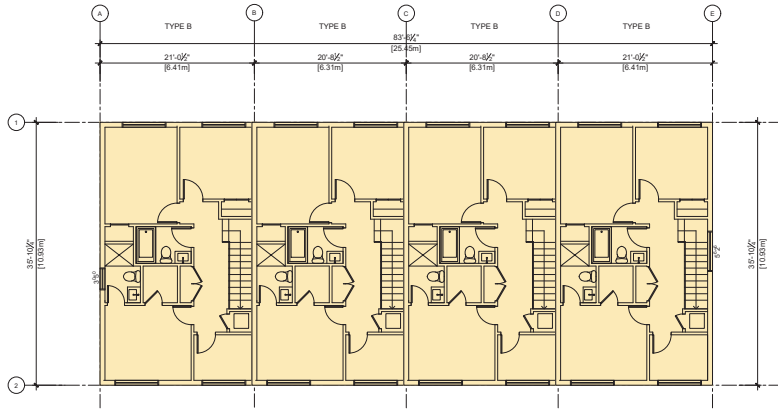
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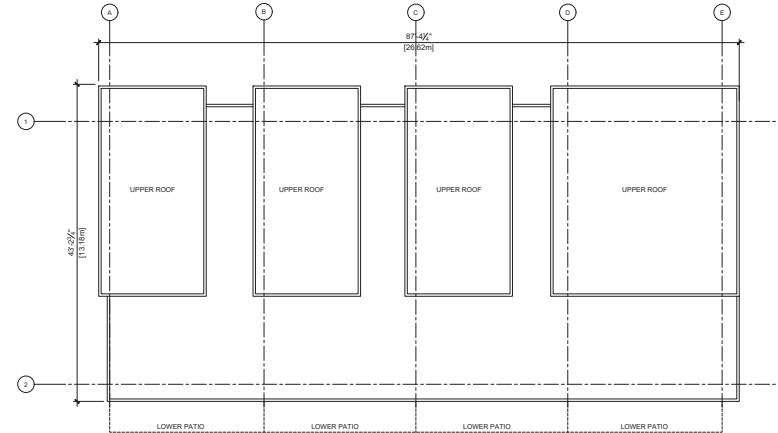
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Scale: 1/8" = 1'-0"



3 BUILDING 3 THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"



4 BUILDING 3 ROOF PLAN
Scale: 1/8" = 1'-0"



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1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

PROJECT NUMBER	A417
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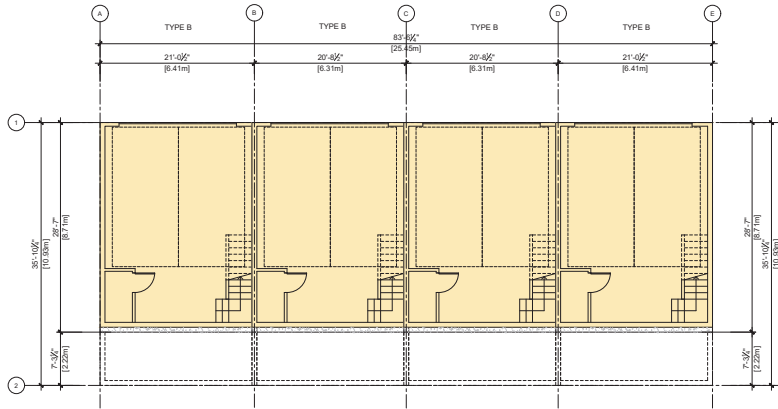
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3530 HILLSIDE AVE
NANAIMO, BC

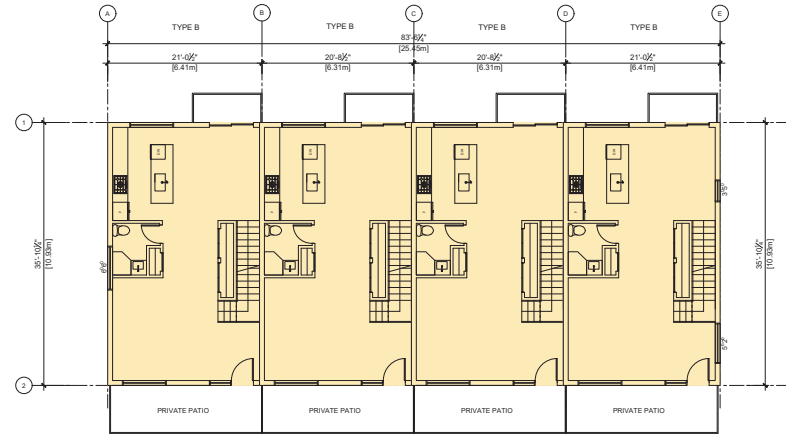
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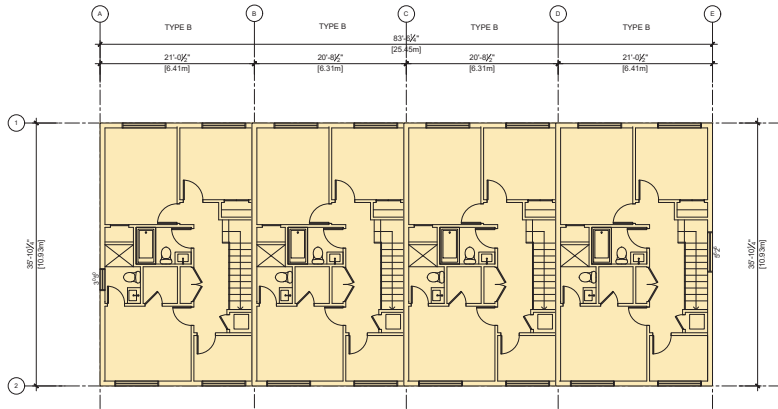
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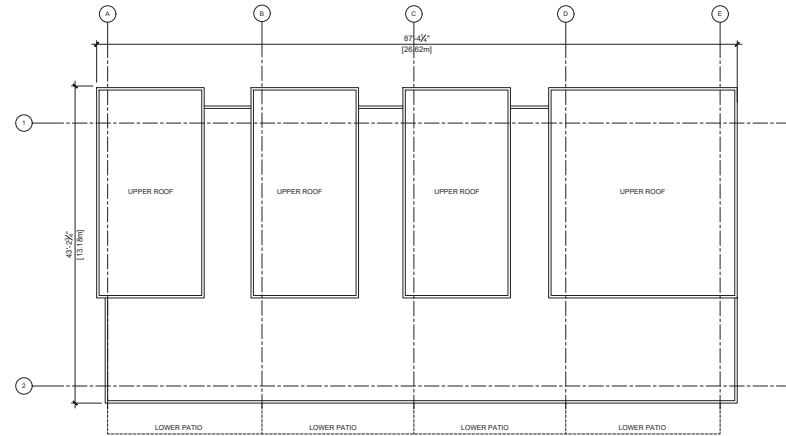
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Scale: 1/8" = 1'-0"



3 BUILDING 4 THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"



4 BUILDING 4 ROOF PLAN
Scale: 1/8" = 1'-0"



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PROJECT NUMBER	A417
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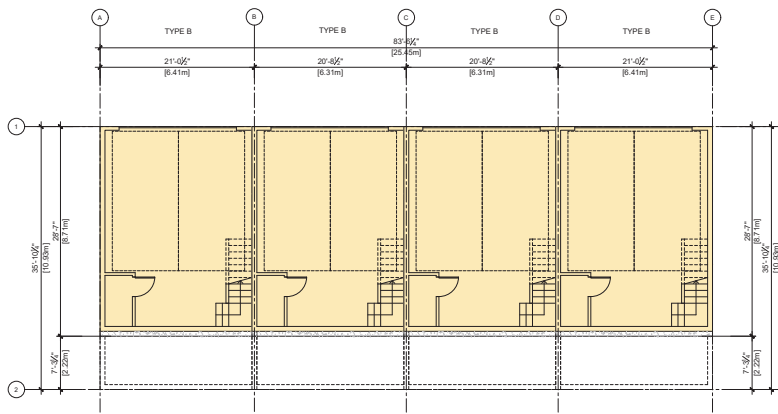
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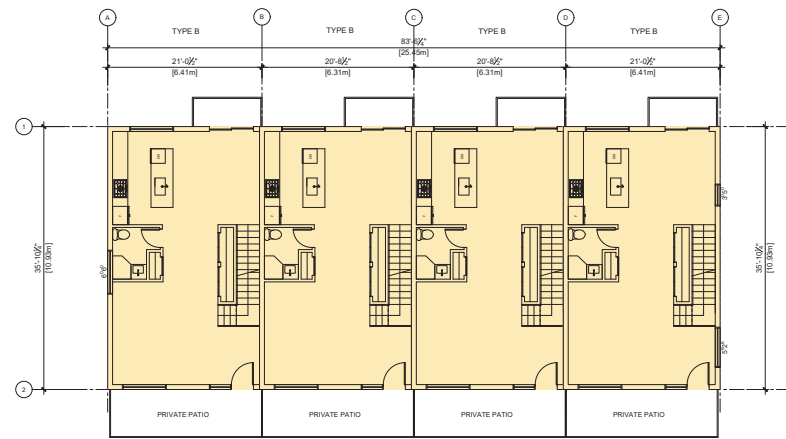
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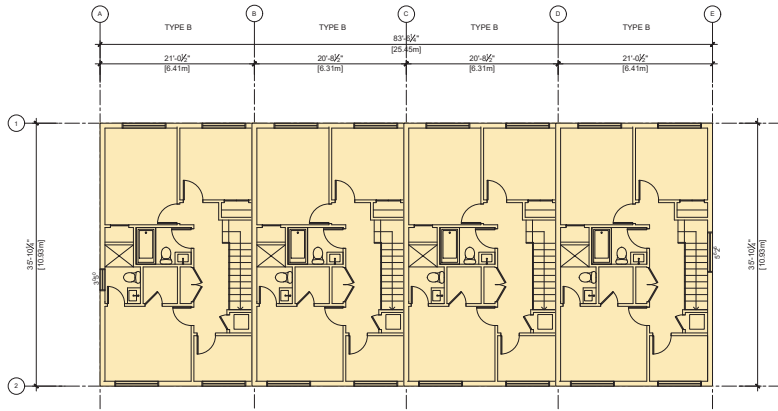
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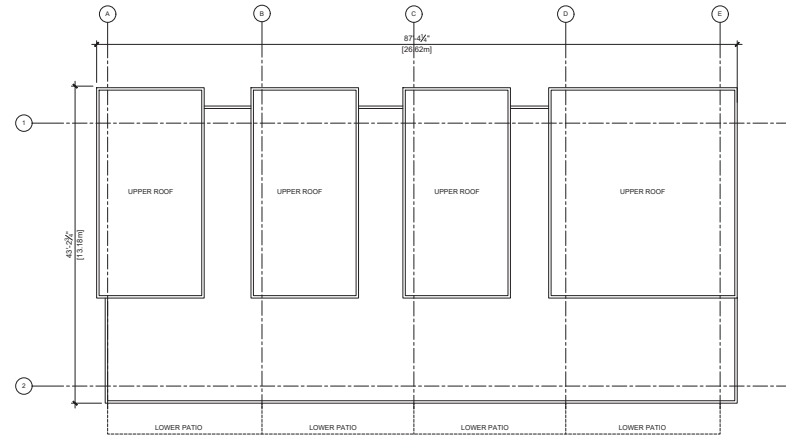
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2 BUILDING 5 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



3 BUILDING 5 THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"



4 BUILDING 5 ROOF PLAN
Scale: 1/8" = 1'-0"



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ISSUES	DATE
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1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

PROJECT NUMBER	A47
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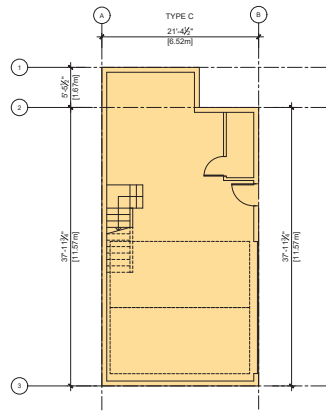
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PROJECT
NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE
NANAIMO, BC

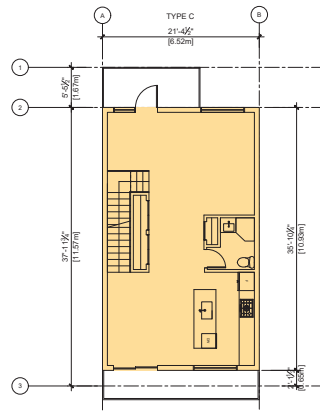
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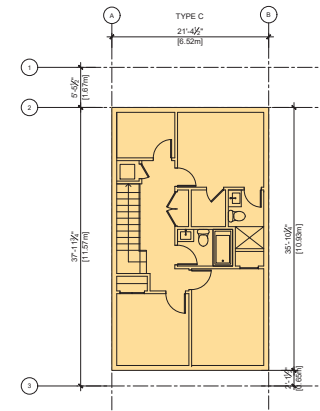
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Scale: 1/8" = 1'-0"



3 BUILDING 6 THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"



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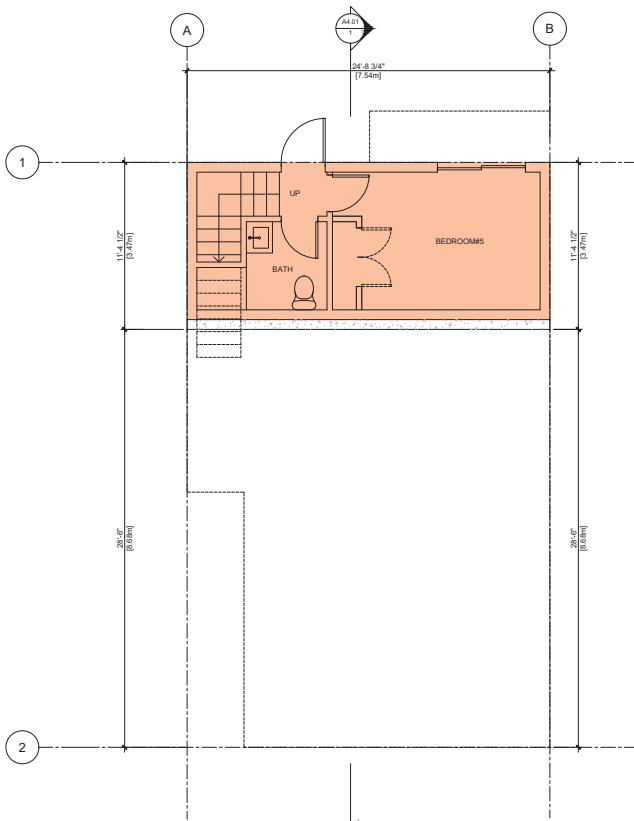
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ISSUES	DATE
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1 ISSUED FOR DEVELOPMENT PERMIT APPLICATION	APR 15, 2024

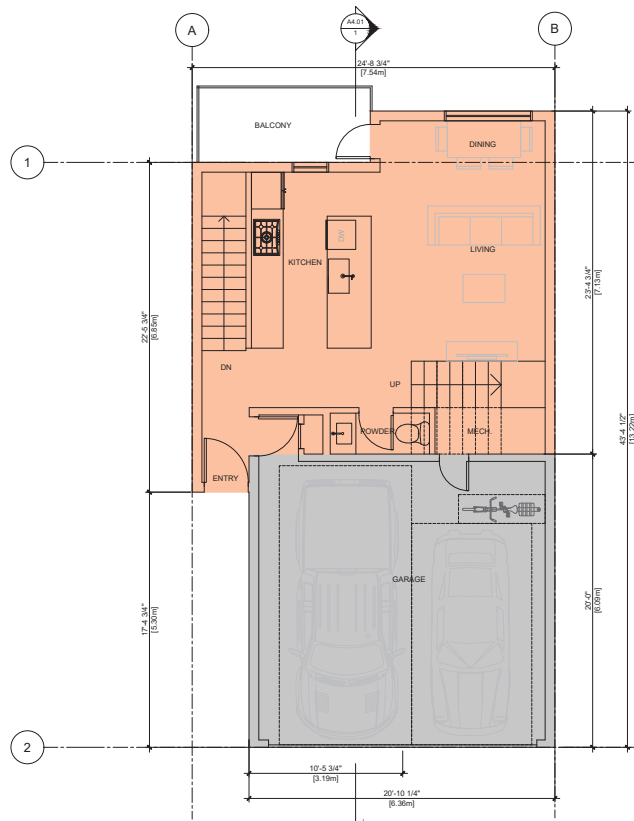
PROJECT NUMBER	A417
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PROJECT NEW TOWNHOUSE DEVELOPMENT 3530 HILLSIDE AVE NANAIMO, BC
DRAWING TITLE
BUILDING PLAN

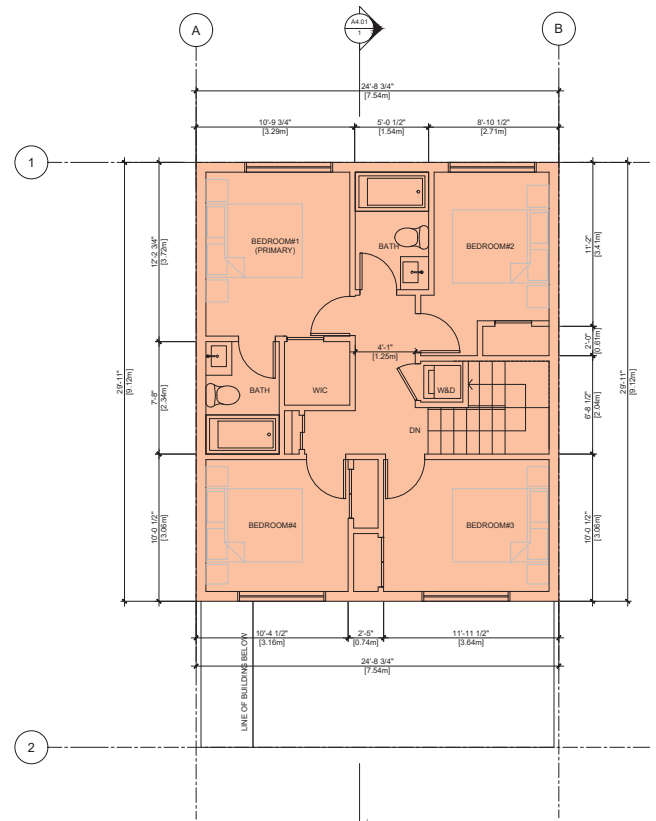
DRAWING No.
A2.06



1 TYPE A PLAN - FIRST FLOOR
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2 TYPE A PLAN - SECOND FLOOR
Scale: 1/4" = 1'-0"



3 TYPE A PLAN - THIRD FLOOR
Scale: 1/4" = 1'-0"

UNIT TYPE A		FLOOR AREA	
5-BEDROOM with 3.5 BATHROOM			
L1	258 SQ.FT	24.0 m ²	
L2	934 SQ.FT	86.8 m ²	
EXCLUSION	GARAGE: -403 SQ.FT	-37.4 m ²	
	MECH ROOM: -24 SQ.FT	-2.2 m ²	
L3	707 SQ.FT	65.7 m ²	
TOTAL	1472 SQ.FT	136.9 m ²	

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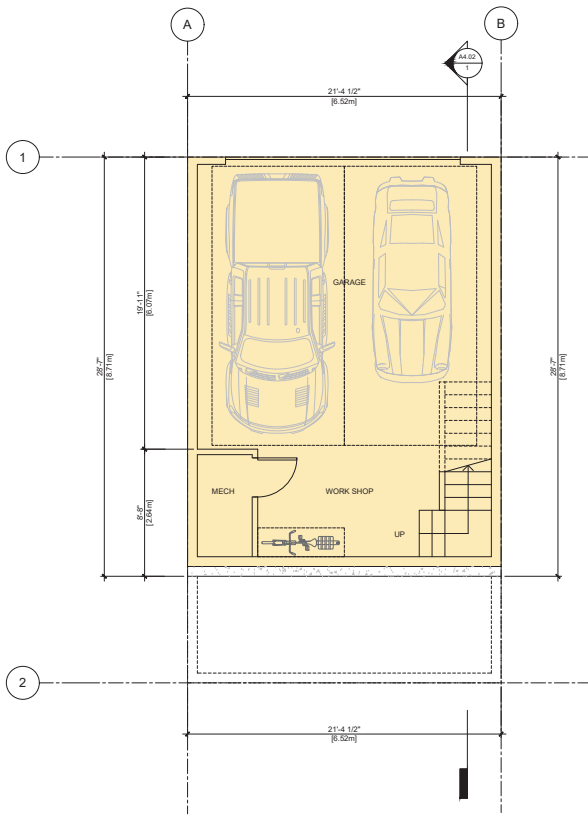


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1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

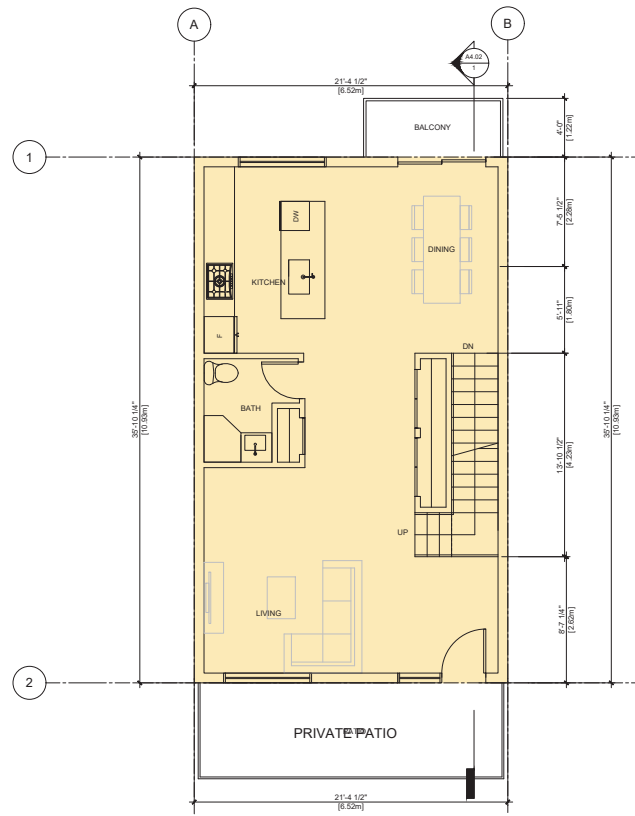
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PROJECT: NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE NANAIMO, BC
DRAWING TITLE: TYPE A PLAN
RECEIVED DP1343 2024-APR-24 CURRERI PLANNING

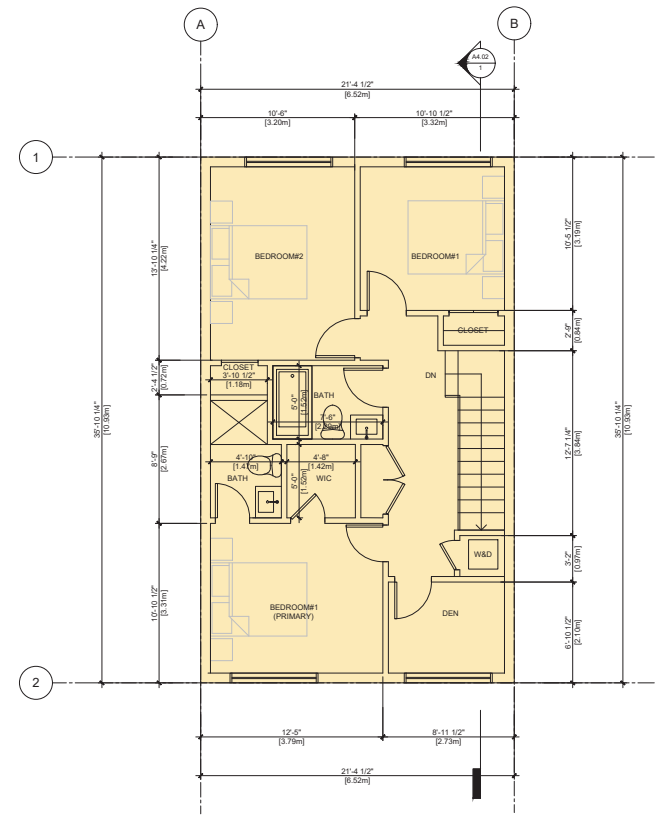
DRAWING NO.: A2.07



1 TYPE B PLAN - FIRST FLOOR
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2 TYPE B PLAN - SECOND FLOOR
Scale: 1/4" = 1'-0"



3 TYPE B PLAN - THIRD FLOOR
Scale: 1/4" = 1'-0"

UNIT TYPE B		FLOOR AREA	
3-BEDROOM+DEN with 3 BATHROOM & WORKSHOP			
L1		578 SQ.FT	53.7 m ²
EXCLUSION	GARAGE:	-407 SQ/FT	-37.8 m ²
	MECH ROOM:	-30 SQ/FT	-2.8 m ²
L2		743 SQ.FT	69.0 m ²
L3		743 SQ.FT	69.0 m ²
TOTAL		1627 SQ.FT	151.1 m ²



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ISSUES	DATE
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1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

PROJECT NUMBER	A47
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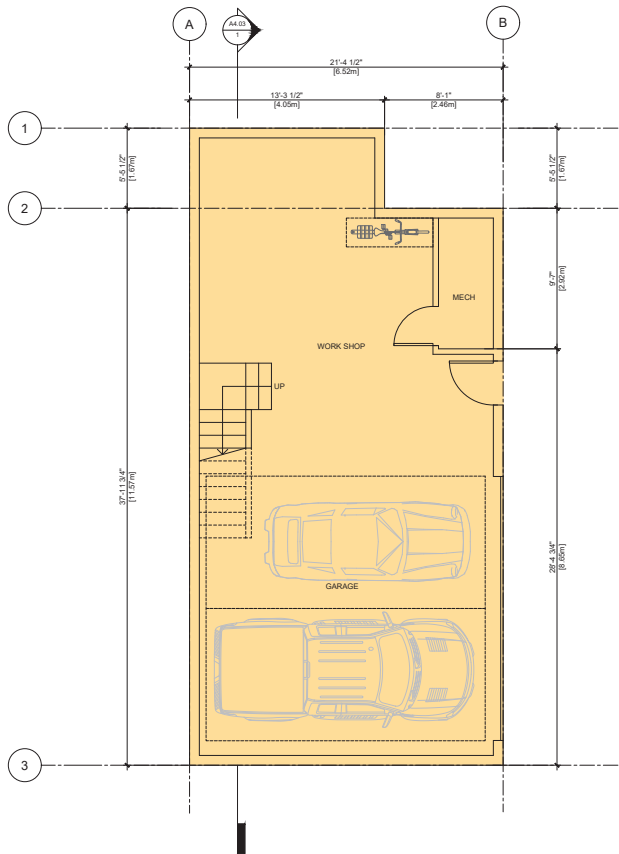
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PROJECT
NEW TOWNHOUSE DEVELOPMENT
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NANAIMO, BC

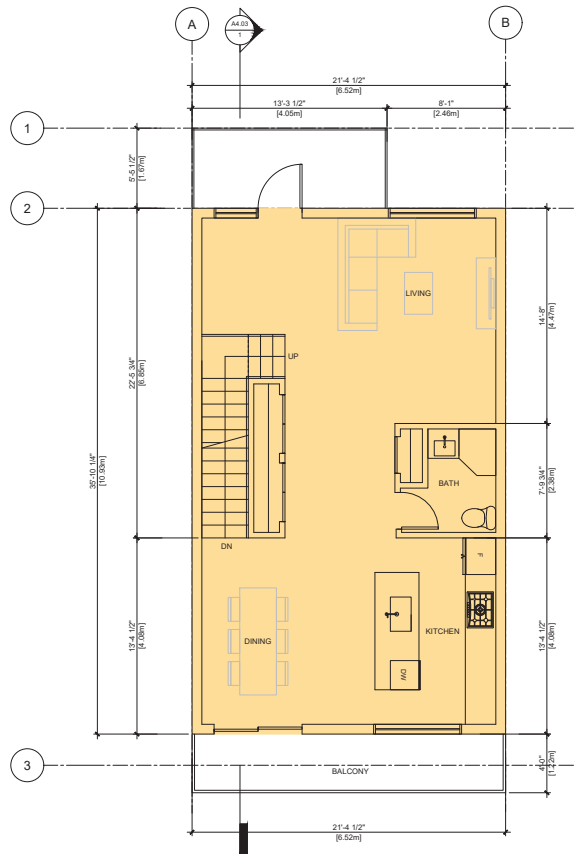
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TYPE B PLAN
RECEIVED
DP1343
2024-APR-24
Current Planning

DRAWING NO.

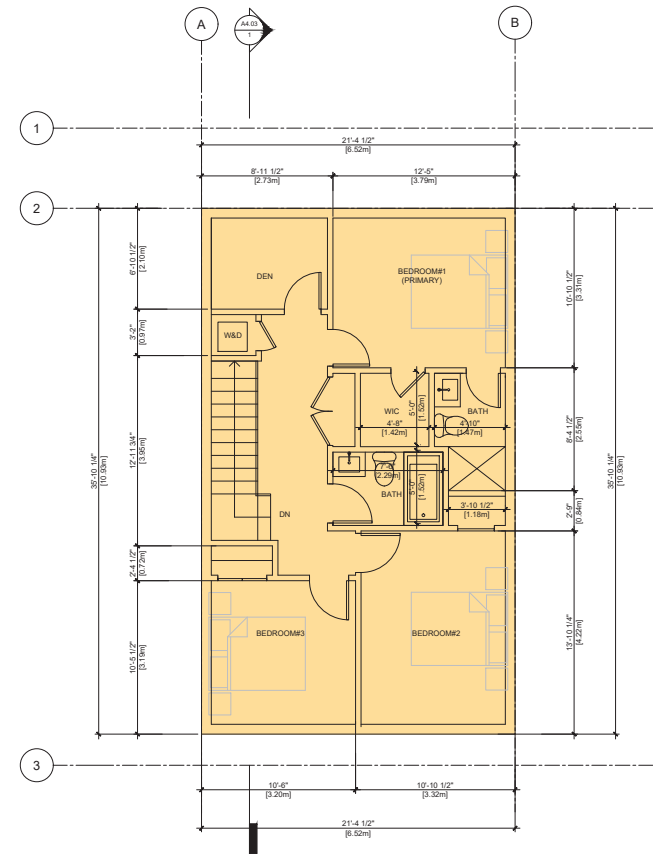
A2.07



1 TYPE C PLAN - FIRST FLOOR
Scale: 1/4" = 1'-0"



2 TYPE C PLAN - SECOND FLOOR
Scale: 1/4" = 1'-0"



3 TYPE C PLAN - THIRD FLOOR
Scale: 1/4" = 1'-0"

UNIT TYPE C		FLOOR AREA	
3-BEDROOM+DEN with 3 BATHROOM & WORKSHOP			
L1	EXCLUSION	842 SQ.FT	78.2 m ²
	GARAGE:	-429 SQ.FT	-39.9 m ²
	MECH ROOM:	-30 SQ.FT	-2.8 m ²
L2		743 SQ.FT	69.0 m ²
L3		743 SQ.FT	69.0 m ²
TOTAL		1869 SQ.FT	173.5 m ²



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1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

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PROJECT
NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE
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DRAWING TITLE
TYPE C UNIT PLAN

RECEIVED
DP1343
2024-APR-24
Current Planning

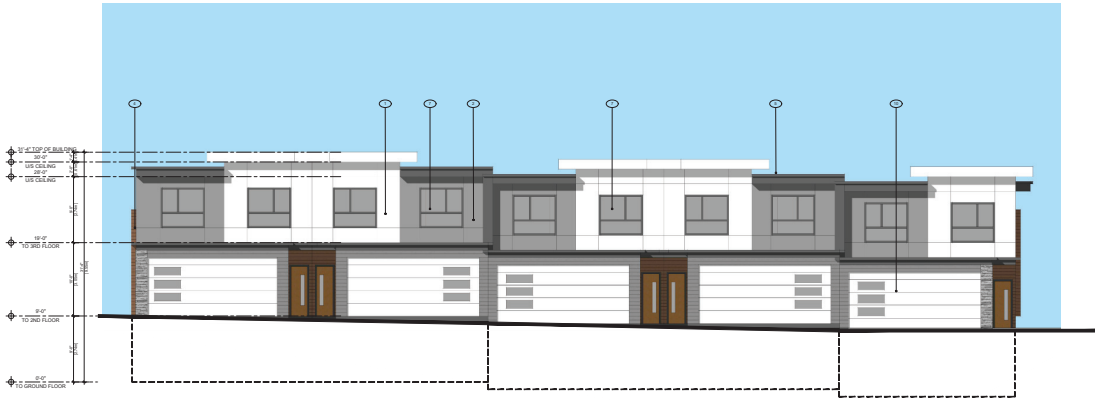
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1 BUILDING 1 - NORTH
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2 BUILDING 1 - EAST
Scale: 1/8" = 1'-0"



3 BUILDING 1 - SOUTH
Scale: 1/8" = 1'-0"



4 BUILDING 1 - WEST
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- | | | | | | |
|---|---|---|---|----|--|
| 1 | HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: LIGHT GREY | 5 | METAL CLADDING - COLOR: CHARCOAL | 9 | ALUMINUM RAILING, COLOUR: DARK GREY |
| 2 | HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: DARK GREY | 6 | SEALED DOUBLE GLAZED FRENCH DOOR | 10 | COMMERCIAL PARKING OVERHEAD ENTRY DOOR |
| 3 | STONE VENEER - COLOR: COLORADO GREY | 7 | SEALED DOUBLE GLAZED P.V.C. WINDOW | | |
| 4 | HARDIE SIDING/SOFFIT - COLOR: CEDAR | 8 | ALUMINUM AND GLASS RAILING, COLOUR: DARK GREY | | |



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20724-04-15

ISSUES	DATE
4	
3	
2	
1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

PROJECT NUMBER	A417
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CHECKED BY	PY

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PROJECT
NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE
NANAIMO, BC

DRAWING TITLE
BUILDING ELEVATIONS
2024-APR-24
Current Planning

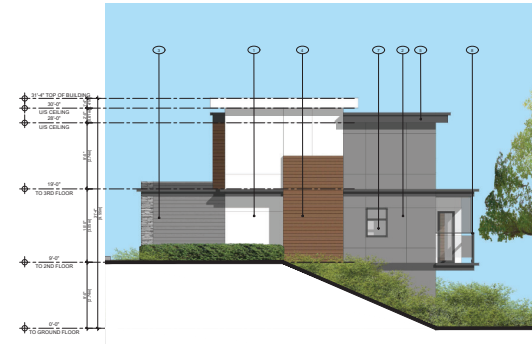
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DP1343

DRAWING NO.

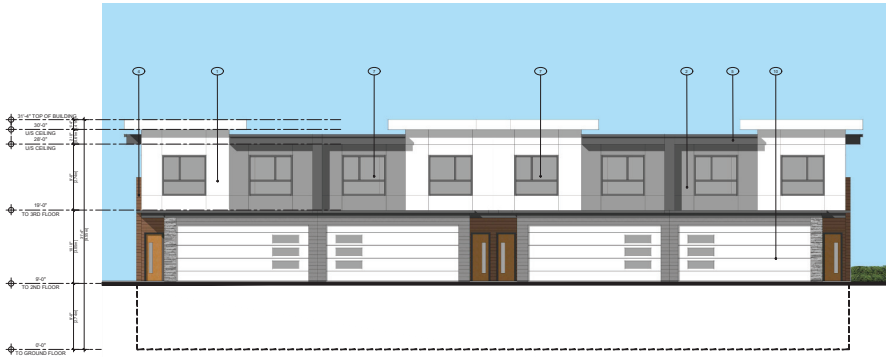
A3.01



1 BUILDING 2 - NORTH
Scale: 1/8" = 1'-0"



2 BUILDING 2 - EAST
Scale: 1/8" = 1'-0"



3 BUILDING 2 - SOUTH
Scale: 1/8" = 1'-0"



4 BUILDING 2 - WEST
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- | | | | | | |
|---|---|---|---|----|--|
| 1 | HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: LIGHT GREY | 5 | METAL CLADDING - COLOR: CHARCOAL | 9 | ALUMINUM RAILING, COLOUR: DARK GREY |
| 2 | HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: DARK GREY | 6 | SEALED DOUBLE GLAZED FRENCH DOOR | 10 | COMMERCIAL PARKING OVERHEAD ENTRY DOOR |
| 3 | STONE VENEER - COLOR: COLORADO GREY | 7 | SEALED DOUBLE GLAZED P.V.C. WINDOW | | |
| 4 | HARDIE SIDING/SOFFIT - COLOR: CEDAR | 8 | ALUMINUM AND GLASS RAILING, COLOUR: DARK GREY | | |



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2024.04.15

ISSUES	DATE
4	
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2	
1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

PROJECT NUMBER	A437
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PROJECT
NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE
NANAIMO, BC

DRAWING TITLE
BUILDING ELEVATIONS RECEIVED
DP1343
2024-APR-24
Current Planning

DRAWING No.
A3.02



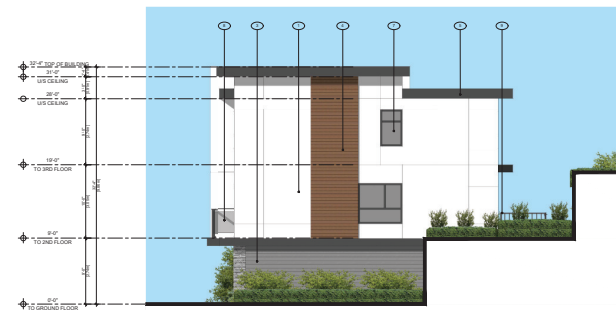
1 BUILDING 3 - NORTH
Scale: 1/8" = 1'-0"



2 BUILDING 3 - EAST
Scale: 1/8" = 1'-0"



3 BUILDING 3 - SOUTH
Scale: 1/8" = 1'-0"



4 BUILDING 3 - WEST
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- | | | | | | |
|---|---|---|---|----|--|
| 1 | HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: LIGHT GREY | 5 | METAL CLADDING - COLOR: CHARCOAL | 9 | ALUMINUM RAILING, COLOUR: DARK GREY |
| 2 | HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: DARK GREY | 6 | SEALED DOUBLE GLAZED FRENCH DOOR | 10 | COMMERCIAL PARKING OVERHEAD ENTRY DOOR |
| 3 | STONE VENEER - COLOR: COLORADO GREY | 7 | SEALED DOUBLE GLAZED P.V.C. WINDOW | | |
| 4 | HARDIE SIDING/SOFFIT - COLOR: CEDAR | 8 | ALUMINUM AND GLASS RAILING, COLOUR: DARK GREY | | |



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ISSUES	DATE
4	
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1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

PROJECT NUMBER	A417
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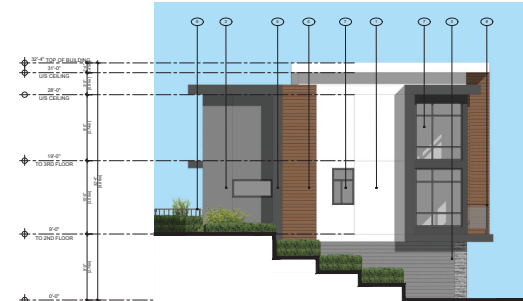
PROJECT
NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE
NANAIMO, BC

DRAWING TITLE
BUILDING ELEVATIONS RECEIVED
DP1343
2024-APR-24
CURRENT PLANNING

DRAWING No.
A3.03



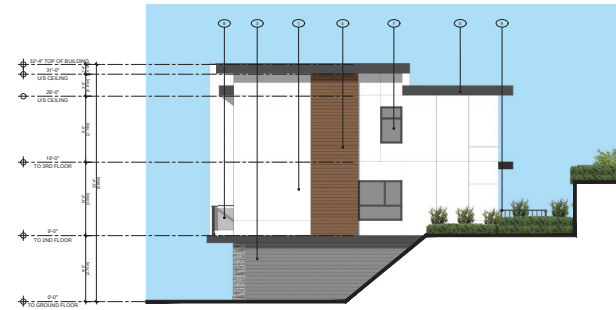
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Scale: 1/8" = 1'-0"



2 BUILDING 4 - EAST
Scale: 1/8" = 1'-0"



3 BUILDING 4 - SOUTH
Scale: 1/8" = 1'-0"



4 BUILDING 4 - WEST
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- | | | |
|---|---|---|
| 1 HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: LIGHT GREY | 5 METAL CLADDING - COLOR: CHARCOAL | 9 ALUMINUM RAILING, COLOUR: DARK GREY |
| 2 HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: DARK GREY | 6 SEALED DOUBLE GLAZED FRENCH DOOR | 10 COMMERCIAL PARKING OVERHEAD ENTRY DOOR |
| 3 STONE VENEER - COLOR: COLORADO GREY | 7 SEALED DOUBLE GLAZED P.V.C. WINDOW | |
| 4 HARDIE SIDING/SOFFIT - COLOR: CEDAR | 8 ALUMINUM AND GLASS RAILING, COLOUR: DARK GREY | |



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ISSUES	DATE
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1 ISSUED FOR DEVELOPMENT PERMIT APPLICATION	APR 15, 2024

PROJECT NUMBER	A437
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PROJECT
NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE
NANAIMO, BC

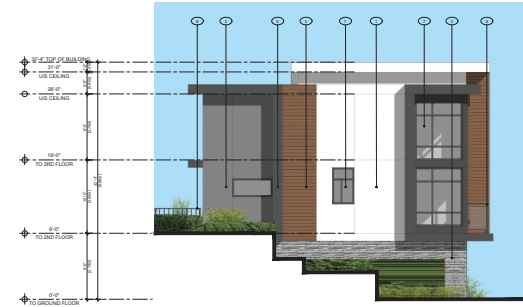
DRAWING TITLE
BUILDING ELEVATIONS

RECEIVED
DP1343
2024-APR-24
Current Planning

DRAWING No.
A3.04



1 BUILDING 5 - NORTH
Scale: 1/8" = 1'-0"



2 BUILDING 5 - EAST
Scale: 1/8" = 1'-0"



3 BUILDING 5 - SOUTH
Scale: 1/8" = 1'-0"



4 BUILDING 5 - WEST
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- | | | | | | |
|---|---|---|---|----|--|
| 1 | HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: LIGHT GREY | 5 | METAL CLADDING - COLOR: CHARCOAL | 9 | ALUMINUM RAILING, COLOUR: DARK GREY |
| 2 | HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: DARK GREY | 6 | SEALED DOUBLE-GLAZED FRENCH DOOR | 10 | COMMERCIAL PARKING OVERHEAD ENTRY DOOR |
| 3 | STONE VENEER - COLOR: COLORADO GREY | 7 | SEALED DOUBLE-GLAZED P.V.C. WINDOW | | |
| 4 | HARDIE SIDING/SOFFIT - COLOR: CEDAR | 8 | ALUMINUM AND GLASS RAILING, COLOUR: DARK GREY | | |



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ISSUES	DATE
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1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

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PROJECT
NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE
NANAIMO, BC

DRAWING TITLE
BUILDING ELEVATIONS
RECEIVED
DP1343
2024-APR-24
Current Planning

DRAWING No.

A3.05



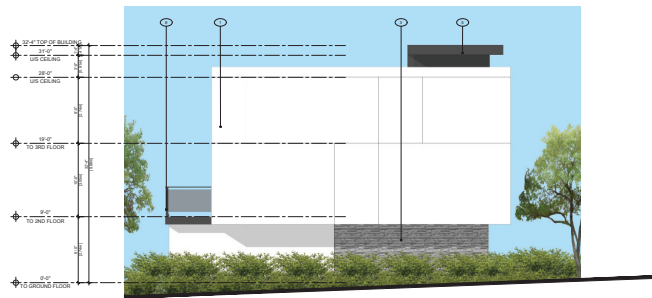
1 BUILDING 6 - NORTH
Scale: 1/8" = 1'-0"



2 BUILDING 6 - EAST
Scale: 1/8" = 1'-0"



3 BUILDING 6 - SOUTH
Scale: 1/8" = 1'-0"



4 BUILDING 6 - WEST
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- | | | | | | |
|---|---|---|---|----|--|
| 1 | HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: LIGHT GREY | 5 | METAL CLADDING - COLOR: CHARCOAL | 9 | ALUMINUM RAILING, COLOUR: DARK GREY |
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ISSUES	DATE
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1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

PROJECT NUMBER	A477
DRAWN BY	FC
CHECKED BY	PY

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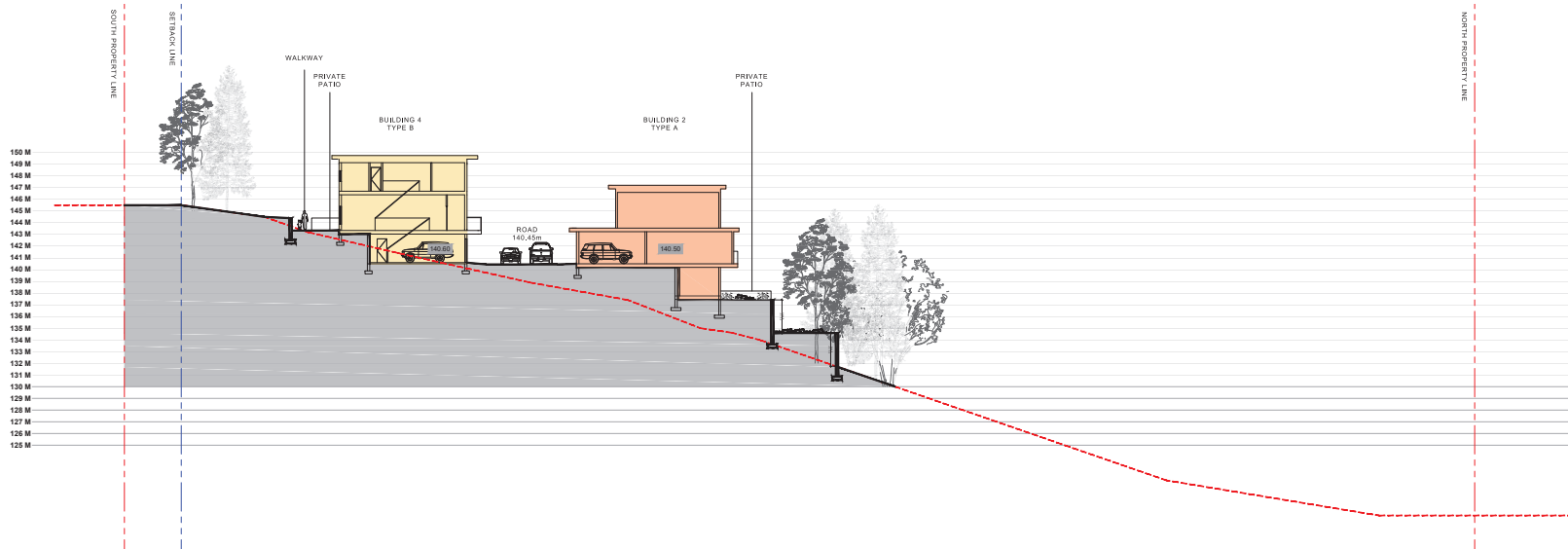
PROJECT
NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE
NANAIMO, BC

DRAWING TITLE
BUILDING ELEVATIONS RECEIVED
DP1343
2024-APR-24
Current Planning

DRAWING No.
A3.06



1 SITE SECTION 1
Scale: 1/16"= 1'-0"



--- EXISTING GRADE
— FINISHED GRADE

2 SITE SECTION 2
Scale: 1/16"= 1'-0"



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2024.04.15

ISSUES	DATE
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1 ISSUED FOR DEVELOPMENT PERMIT APPLICATION	APR 15, 2024

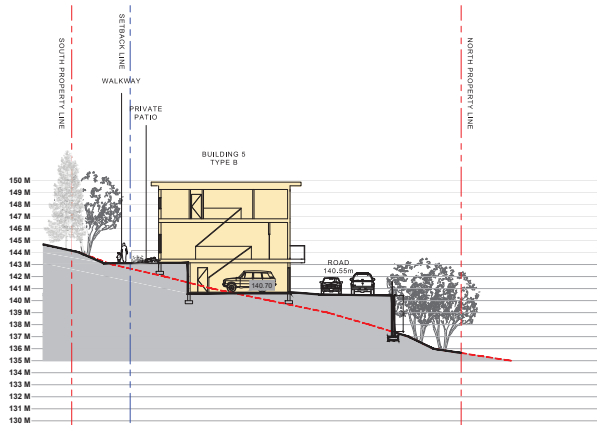
PROJECT NUMBER	A47
DRAWN BY	PC
CHECKED BY	PY
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PROJECT
NEW TOWNHOUSE DEVELOPMENT
3530 HILLSIDE AVE
NANAIMO, BC

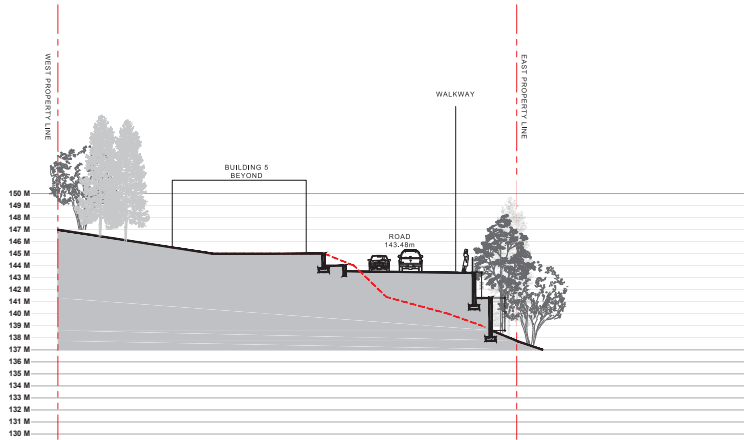
DRAWING TITLE
SITE SECTIONS

RECEIVED
DP1343
2024-APR-24
Current Planning

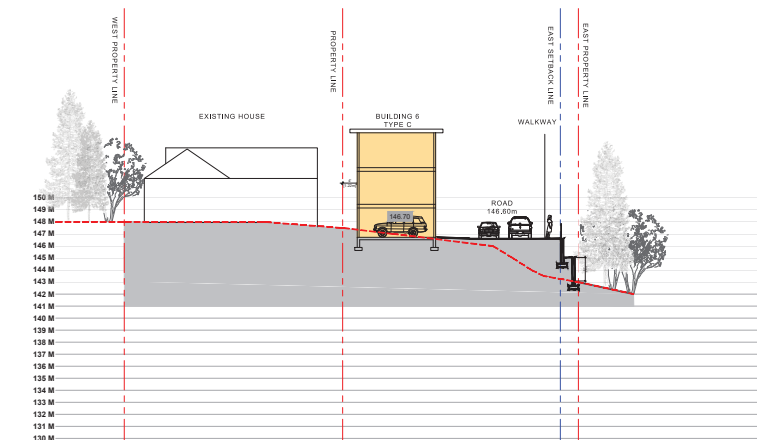
DRAWING NO.
A1.01



1 SITE SECTION 3
Scale: 1/16"= 1'-0"



2 SITE SECTION 4
Scale: 1/16"= 1'-0"



3 SITE SECTION 5
Scale: 1/16"= 1'-0"

--- EXISTING GRADE
— FINISHED GRADE



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20724-04-15

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4	
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1 ISSUED FOR DEVELOPMENT PERMIT APPLICATION	APR 15, 2024

PROJECT NUMBER	A477
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PROJECT NEW TOWNHOUSE DEVELOPMENT 3530 HILLSIDE AVE NANAIMO, BC
DRAWING TITLE SITE SECTIONS

DRAWING NO. <h1>A1.02</h1>



MATERIAL LEGEND	
1	HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: LIGHT GREY
2	HARDIE PANEL SMOOTH W/ REVIEW LINES - COLOR: DARK GREY
3	STONE VENEER- COLOR: COLORADO GREY
4	HARDIE SIDING/SOFFIT - COLOR: CEDAR
5	METAL CLADDING - COLOR: CHARCOAL
6	SEALED DOUBLE GLAZED FRENCH DOOR
7	SEALED DOUBLE GLAZED P.V.C. WINDOW
8	ALUMINUM AND GLASS RAILING, COLOUR: DARK GREY
9	ALUMINUM RAILING, COLOUR: DARK GREY
10	COMMERCIAL PARKING OVERHEAD ENTRY DOOR

1 PERSPECTIVE
Scale: N.T.S



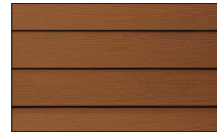
HARDIE PANEL -
COLOR: LIGHT GREY



HARDIE PANEL -
COLOR: DARK GREY



STONE VENEER-
COLOR: COLORADO GREY



HARDIE SIDING / SOFFIT-
COLOR: CEDAR



METAL CLADDING -
COLOR: CHARCOAL



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ISSUES	DATE
4	
3	
2	
1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION APR 15, 2024

PROJECT NUMBER	A417
DRAWN BY	PC
CHECKED BY	PY

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PROJECT	NEW TOWNHOUSE DEVELOPMENT 3530 HILLSIDE AVE NANAIMO, BC
DRAWING TITLE	MATERIAL BOARD RECEIVED DP1343 2024-APR-24 Current Planning

DRAWING No.	A5.01
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NEW TOWNHOUSE DEVELOPMENT 3530 HILLSIDED AVE, NANAIMO, BC

- LANDSCAPE DRAWING LIST:
 L0.0 LANDSCAPE COVER PAGE
 L1.0 LANDSCAPE SITE PLAN
 L1.1 LANDSCAPE CHARACTER IMAGE
 L1.2 LANDSCAPE PLANTING LIST
 L3.0 TYPICAL DETAILS
 L3.1 LANDSCAPE SPECIFICATIONS

SOFTSCAPE LEGEND		
GRAPHIC	DESCRIPTION	DETAIL KEY
	SOD LAWN	
	PLANTING BED	
	HEDGE	
	EXISTING PLANTING TO RETAIN	
	EXISTING TREES REFER TO ARBORIST REPORT	
	PROPOSED NEW TREES	



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 DP1343
 2024-APR-24
 Current Planning

 www.rplprojects.com lu@rplprojects.com 604-338-5035	GENERAL NOTES 1. ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARDS LATEST EDITION. 2. ALL ELEVATIONS AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT. 3. ANY DISCREPANCIES IN THE DRAWINGS OR MISSING INFORMATION TO BE BROUGHT TO THE NOTICE OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE. 4. ALL HARDY SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING UNLESS OTHERWISE IDENTIFIED.	ISSUES 11	YYYYMMDD 2024 04 12	ISSUES 10 9 8 7 6 5 4 3 2 1	YYYYMMDD 2024 04 12	PROJECT NUMBER LK2	SIGN & SEAL 	PROJECT 3530 HILLSIDE AVE, NANAIMO, BC	DRAWING No. L0.0
	DRAWN BY LK / ALZ	PROJECT 3530 HILLSIDE AVE, NANAIMO, BC	ISSUES 11	ISSUES 10 9 8 7 6 5 4 3 2 1	PROJECT NUMBER LK2	SIGN & SEAL 	PROJECT 3530 HILLSIDE AVE, NANAIMO, BC	DRAWING No. L0.0	
	CHECKED BY LK	DRAWING TITLE COVER PAGE	ISSUES 11	ISSUES 10 9 8 7 6 5 4 3 2 1	PROJECT NUMBER LK2	SIGN & SEAL 	PROJECT 3530 HILLSIDE AVE, NANAIMO, BC	DRAWING No. L0.0	
	SCALE 1/32" = 1'-0"	DRAWING TITLE COVER PAGE	ISSUES 11	ISSUES 10 9 8 7 6 5 4 3 2 1	PROJECT NUMBER LK2	SIGN & SEAL 	PROJECT 3530 HILLSIDE AVE, NANAIMO, BC	DRAWING No. L0.0	



HARDSCAPE LEGEND			
KEY	GRAPHIC	DESCRIPTION	DETAIL KEY
P1		C.I.P. CONCRETE PAVING	
P2		ASPHALT	

FURNISHING LEGEND			
KEY	GRAPHIC	DESCRIPTION	DETAIL KEY
F1		BENCH SUPPLIER: TO BE DETERMINE	
F2		36" HIGH ALUMINUM FENCE	
F3		42" HIGH ALUMINUM FENCE	
F4		6 FT HIGH WPC PRIVACY FENCE	
F5		COZY DOME MODEL SUPPLIER:	
F6		SALVAGED CEDAR LOG SIZE: 15"-20" DIA. NO SPLINTERS. ALL SMOOTH SURFACE. NO BARK	
F7		UPRIGHT SALVAGED CEDAR LOGS SIZE: MIN 15" DIA. HEIGHT ABOVE FINISHED GRADE WILL VARY ACCORDING TO AGE GROUP. ALL SMOOTH SURFACE. NO BARK.	
F8		3 BIKE RACK MODEL: 400 SERIES SUPPLIER: MAGLIN	

SOFTSCAPE LEGEND		
GRAPHIC	DESCRIPTION	DETAIL KEY
	SOD LAWN	
	PLANTING BED	
	HEDGE	
	EXISTING PLANTING TO RETAIN	
	EXISTING TREES REFER TO ARBORIST REPORT	
	PROPOSED NEW TREES	

1 LANDSCAPE SITE PLAN
SCALE 1/16" = 1'-0"

RECEIVED
DP1343
2024-APR-24
Current Planning

RPL PROJECTS
WWW.RPLPROJECTS.COM
lu@rplprojects.com 604-338-5035

GENERAL NOTES
1. ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE SPECIFICATIONS OF THE LATEST EDITION CANADIAN LANDSCAPE DESIGNATED LATEST EDITION.
2. ALL ELEVATIONS AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT.
3. ANY DISCREPANCIES IN THE DRAWINGS OR ANY CONFLICTS IN THE DRAWINGS TO BE BROUGHT TO ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE.
4. ALL HARD & SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING, UNLESS OTHERWISE IDENTIFIED.

ISSUES	YYYYMMDD	ISSUES	YYYYMMDD
11		1	2024.04.12

PROJECT NUMBER	LJ0
DRAWN BY	LK / ALZ
CHECKED BY	LK
SCALE	1/16" = 1'-0"

SIGN & SEAL

PROJECT
TOWNHOUSE DEVELOPMENT 3530 HILL SIDE AVE, NANAIMO, BC

DRAWING TITLE
LANDSCAPE SITE PLAN

DRAWING No. **L1.0**

SLOPED NATIVE PLANTING & POCKET PARK



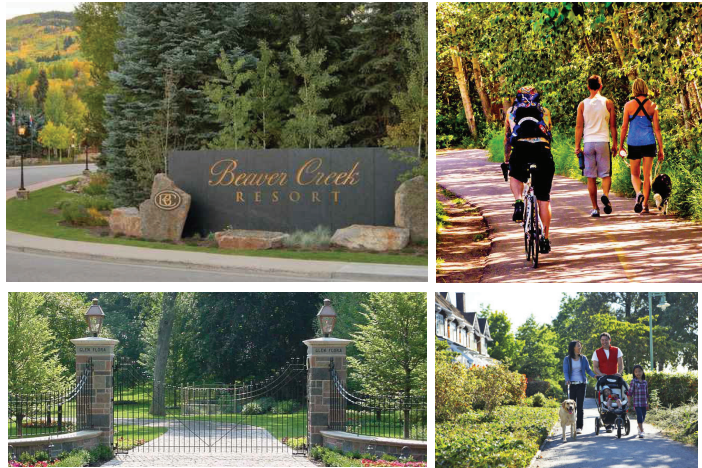
OUTDOOR AMENITY - NATURAL KIDS PLAY



NATURAL WOOD STAIRS & PLANTING





ENTRY SIGN WALL & PARKWAY

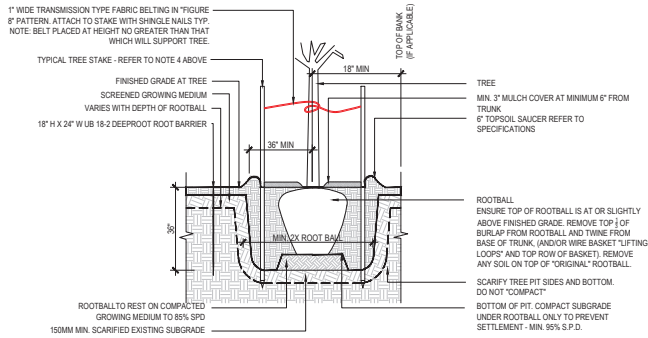


WPC / ALUMINUM FENCE

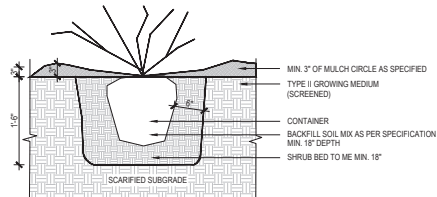


 <p>GENERAL NOTES 1. ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE CURRENT CANADIAN LANDSCAPE STANDARD SPECIFICATION. LANDSCAPE STANDARD SPECIFICATION AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT. 2. ANY DISCREPANCIES IN THE DRAWINGS OR SPECIFICATIONS TO BE BROUGHT TO ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE. 3. ALL WPC & SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING UNLESS OTHERWISE IDENTIFIED.</p>	ISSUES 11	YYYYMMDD 2024 04 12	ISSUES 10 9 8 7 6 5 4 3 2 1	YYYYMMDD 2024 04 12	PROJECT NUMBER LKJ	SIGN & SEAL 	PROJECT TOWNHOUSE DEVELOPMENT 3530 HILL SIDE AVE, NANAIMO, BC	DRAWING No. L1.1 RECEIVED DP1343 2024-APR-24 Current Planning
					DRAWN BY LK / ALZ		DRAWING TITLE LANDSCAPE CHARACTER IMAGE	
					CHECKED BY LK			
					SCALE			

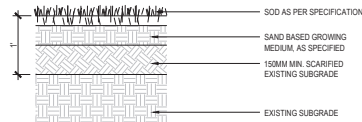
- GENERAL NOTES:
- DO NOT CUT TREE LEADER.
 - PROTECT TREE FROM DAMAGE DURING PLANTING. ENSURE ROOTBALL PROTECTED FROM SUN, FROST OR DESSICATION.
 - ENSURE TREE LOCATION DOES NOT CONFLICT WITH UNDERGROUND SERVICES. CALL BEFORE DIGGING.
 - ALL STREET TREES TO BE STAKED WITH 2-40" X 1" LONG MINIMUM DEPTH OF STAKE EMBEDED IN 3". ENSURE STAKES DO NOT PENETRATE OR DAMAGE ROOTBALL. ENSURE ALL STAKES ARE ALIGNED PARALLEL TO SIDEWALK/ROAD ON TREE PIT CENTRELINE.
 - REFER TO GROWING MEDIUM CHART BELOW FOR SURFACE AREA DEPTH OF GROWING MEDIUM.



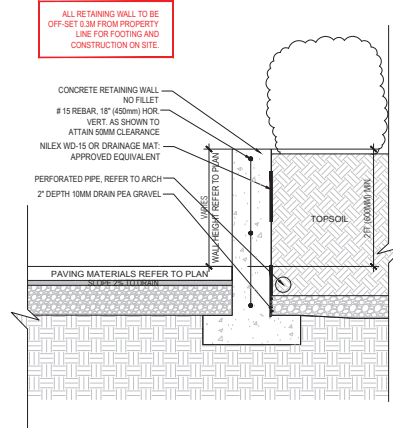
1 TREE PLANTING ON GRADE
SCALE 1" = 1'-0"



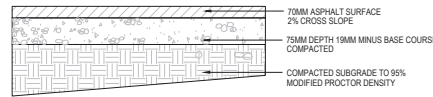
2 TYPICAL SHRUB PLANTING ON GRADE
SCALE 1" = 1'-0"



3 TYPICAL LAWN ON GRADE
SCALE 1" = 1'-0"

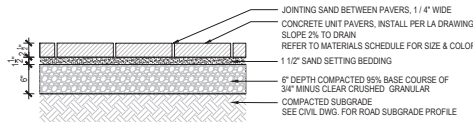


4 CONCRETE PLANTER ON GRADE
SCALE 1" = 1'-0"

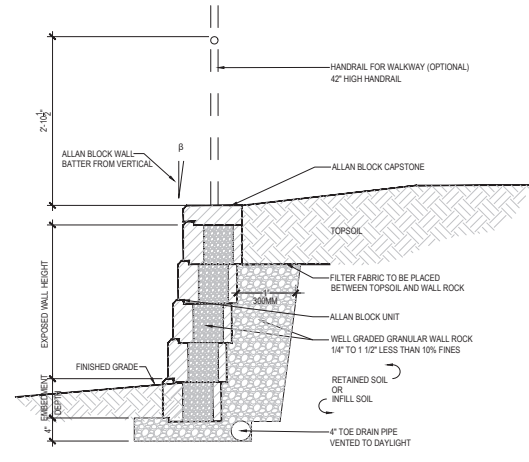


5 ASPHALT PATHWAY DETAIL
SCALE 1" = 1'-0"

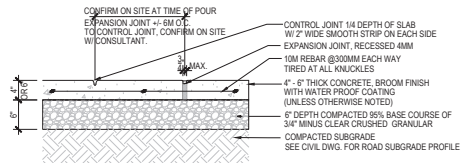
NOTES:
PROVIDE MOCKUP OF PAVER INSTALLATION AT PATHWAY. SELECT ONE AREA AS REPRESENTATIVE SAMPLE FOR REVIEW AND APPROVE BY LANDSCAPE ARCHITECT.
CUT ALL PAVERS AS REQUIRED TO MAINTAIN PATTERN LAYOUT AS SHOWN ON LAYOUT PLANS. ALL PAVERS TO BE CUT WITH CONCRETE STONE SAW. NO GULLOTTING CUTS WILL BE ALLOWED.
PAVERS LAID DIRECTLY ON RIGID INSULATION WILL BE REJECTED.



6 UNIT PAVERS ON GRADE
SCALE 1" = 1'-0"



7 ALLAN BLOCK PLANTER WALL DETAILS
SCALE 1" = 1'-0"



8 CONCRETE PAVING ON GRADE
SCALE 1" = 1'-0"

GENERAL NOTES	ISSUES	YYYYMMDD	ISSUES	YYYYMMDD
1. ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE CURRENT CANADIAN LANDSCAPE STANDARD LATEST EDITION				
2. ALL ELEVATIONS AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT				
3. ANY DISCREPANCIES IN THE DRAWINGS OR REVISIONS OR OMISSIONS TO BE BROUGHT TO THE NOTICE OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE				
4. ALL HARD & SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING UNLESS OTHERWISE IDENTIFIED				
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PROJECT NUMBER	LJ2
DRAWN BY	LK / ALZ
CHECKED BY	LK
SCALE	

SIGN & SEAL

PROJECT	DRAWING TITLE
TOWNHOUSE DEVELOPMENT 3530 HILL SIDE AVE, NANAIMO, BC	LANDSCAPE TYPICAL DETAILS

DRAWING No.
L3.0