



AGENDA
DESIGN ADVISORY PANEL MEETING

December 9, 2021, 5:00 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. **CALL THE MEETING TO ORDER:**

[Note: This meeting will be live streamed and video recorded for the public.]

2. **INTRODUCTION OF LATE ITEMS:**

3. **ADOPTION OF AGENDA:**

4. **ADOPTION OF MINUTES:**

5. **PRESENTATIONS:**

a. **Development Permit Application No. DP001247 - 6040 Hammond Bay Road**

2 - 26

To be introduced by Lisa Brinkman, Planner, Current Planning Section

A development permit application was received from Family Tree Developments on behalf of 1307088 BC Ltd., for the development of a multi-family (28 unit) residential development. The subject property is legally described as Lot 5, District Lot 25G, Wellington District, Plan 11632.

b. **Development Permit Application No. DP001248 - 6985 Island Highway North**

27 - 70

To be introduced by Lainy Stevenson, Planner, Current Planning Section

A development permit application was received from District Developments Corp., on behalf of North Grove (2) Nominee Ltd., for the development of two, five-storey apartment buildings (149 units). The subject property is legally described as Lot 2, District Lot 26, Wellington District, Plan EPP80768.

6. **OTHER BUSINESS:**

7. **ADJOURNMENT:**

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001247 – 6040 HAMMOND BAY ROAD

Applicant / Architect: FAMILY TREE DEVELOPMENTS

Owner: 1307088 B.C. LTD.

SUBJECT PROPERTY AND SITE CONTEXT:

<i>Zoning</i>	Residential Corridor (COR1)
<i>Location</i>	The subject property is located in North Nanaimo, 600m east of Uplands Drive.
<i>Total Area</i>	0.6ha
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan - Corridor Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines

The subject property contains a single family dwelling and detached garage that would be removed for the proposed development. The property is sited between Hammond Bay Road and Clayburn Place. The adjacent properties to the east and west are also zoned Residential Corridor (COR1). The neighbourhood currently contains single family and townhouse dwellings.

PROPOSED DEVELOPMENT

The applicant is proposing 28 residential units, in 7 quadruplex buildings. The development is proposed to contain 16 three-bedroom townhouse units and 12 two-bedroom apartment style units. The subject property is zoned COR1 which permits a base FAR of 1.00 and an FAR of 0.59 is proposed.

<i>Unit Type</i>	<i>Number of Units</i>	<i>Units Sizes</i>
Two-bedroom units	12	72m ² – 88m ²
Three-bedroom units	16	149m ²
<i>Total</i>	28 units	

Site Design

The site is designed such that vehicle access is provided from Clayburn Place. The two buildings (8 units) fronting onto Clayburn Place contain a front entrance doorway and outdoor patio area for each townhouse unit facing the street. Eight townhouse units are also located in the centre of the site, each with their own outdoor patio area. Two common outdoor amenity areas, a garbage enclosure, accessible parking and visitor parking spaces are provided in the centre of the site. There are also three buildings fronting onto Hammond Bay Road.

Staff Comments:

- The site design strategically places buildings along both street frontages, with the parking located in garages and placed in the interior of the site.

Building Design

Each building is contemporary in design with a shed roof, and will be three-storeys in height. Exterior materials include vinyl siding with fiber cement trim, aluminum soffits, and picket railings for the patios and decks. Four quadruplex buildings contain a garage and bedroom on the first storey, and living areas on the upper two storeys. For the two buildings facing Clayburn Street an outdoor patio is proposed at ground level facing the street, and a small covered deck is also proposed on the second storey. The two quadruplex buildings on the interior of the site are each facing opposite directions such that the outdoor patio areas face the common outdoor amenity spaces and visitor/accessible parking; and, the garages are located on the north elevation for one building and on the south elevation for the other building. The three buildings fronting Hammond Bay Road are proposed to contain tandem parking garages on the first storey, two units on the second storey, and two units on the third storey. Each unit on the second and third storey is proposed to contain an outdoor deck facing Hammond Bay Road. A stairwell is proposed in the centre of each building to allow access from from the garages to the upper storey units.

Staff Comments:

- Consider more building projections and areas of recess, as well as additional stone and wood accents, to create more building interest and include more variety between the buildings to better differentiate them in their materiality and exterior treatments.
- Improve the relationship to both Hammond Bay Road and Clayburn Place by modifying the buildings such that the first storey elevation facing the street appears to be the front face of individual units, with attractive unit entries, roof overhangs, windows and trim detailing.
- The buildings should better relate to the pathway through the site, such as the window and entries orientation, and building projections, to create “eyes on” the path.

Landscape Design

A wood fence, and tree/shrub hedge with grass is proposed along the two side property lines. Trees are proposed at the ends of the drive aisles to provide screening. A concrete surface pedestrian route is provided from Clayburn Street through the site between the buildings to Hammond Bay Road; and, two raised crosswalks are provided to cross the interior drive aisles. Also, the landscape plan proposes a concrete pedestrian walkway, bounded by a tree/shrub hedge along the south side of the three buildings facing Hammond Bay Road. Grass is proposed between the Hammond Bay Road sidewalk and the tree/shrub hedge. Deciduous and coniferous trees are shown in the common outdoor amenity areas. The patio areas for the townhouse units are bounded by a shrub hedge, and plantings are provided at the primary entry door for each townhouse unit.

Staff Comments:

- Provide a pedestrian path from the Hammond Bay Road sidewalk directly to the entry doors for the stairwall areas.

- Provide a more robust planting of trees, shrubs and plants between the public sidewalk and the buildings along Hammond Bay Road (see Section 17.11 'Minimum Landscape Treatment Levels' of the Zoning Bylaw).
- Provide tree and shrub sizes, quantities and spacing information to demonstrate that the required landscape buffer is provided along the side property lines, and along the Clayburn Place and Hammond Bay Road front property lines.
- Provide more interest and programming in the two common outdoor amenity areas.
- Consider the use of ground cover in the surface parking space overhangs to minimize hard surfacing.
- Provide site lighting information for the pedestrian routes, outdoor amenity areas, and unit entries.
- Provide more information on the landscaping details as shown in the 3D perspectives.
- Provide a typical landscape plan for the front and rear of each unit type.

PROPOSED VARIANCES

None identified at this time.



family tree developments

111 Chelan Place, Nanaimo B.C. V9R 6S2
info@familytreedevelopments.ca
250-797-6469

September 24, 2021

Design Rationale – Clayburn Development

Project:

7 buildings with 28 residential units total

- 4 – 3 storey quadplex (Row Houses)
- 3 – 3 storey quadplex (2 Up & 2 Down)

Project Background:

- Access to public transit on two roads.
- Close proximity to Elementary & High schools
- OCP consideration.
- As per rezoning.

Site Layout:

- Consideration to adjacent properties (uses, views, privacy)
- Perimeter plantings of trees and shrubs provide privacy screening and buffering between neighbouring residence. Tree and shrub species have been selected for their aesthetic attributes, drought tolerance and ease of maintenance.
- Neighbouring properties considerations.

Pedestrian Circulation:

- Town homes are spacious open concept layouts.
- 1,900 ft² of park space with mix of deciduous & coniferous trees.
- Raised pedestrian cross walks across Road B & C, to prioritize foot traffic.
- Light standards along central public corridor through property connecting Clayburn to Hammond Bay Road.
- Two Parks with benches and visitor bike parking. Trees provide refuge from sun, and privacy to adjacent patios.
- On-site mail boxes. To be confirmed with Canada Post.

Vehicular Circulation:

- Trees along road provide buffer for lights at night.
- Fire truck access is considered, Road B & C below dead end length limit.
- Garbage Truck access is accounted for.
- 4'-0" high wood fence at end of visitor parking stalls in Park 2 for privacy at night with headlights.

Parking:

- All required parking is provided within garages and 20' driveways at front of each town home unit.
- Required Visitor Parking provided.
- Long-term Bike parking within garages.

Form:

- The site topography generally falls SW to NE at approximately 5-7%.
- Existing trees at Clayburn to be retained.
- Storm & Sanitary lines to run within road dedication at Clayburn to maximize Sidewalk/Flex zone for new trees in front of Building A, and Existing Trees in front of Building B.
- Town home patios at back have concrete stairs down to grade or path behind.
- Common 4:12 roof pitches on all buildings.
- Southern exposure.

Materials & Colour:

- Colour pallet is monochromatic, with splash of colour at front doors and entrances at rear and main.
- Varying entrance door types and colours.
- Metal unit numbers with focus lighting.
- Tones of colour that compliment surroundings, and do not compete with views.

Exterior Lighting:

- Street lights.
- Individual garage lights for unit numbers and easy scanning.
- Lights at patios.
- Directional down lights on decks, minimizing lighting onto adjacent units.
- Light coloured Soffit reflect light efficiently for bright spaces.

Utilities/ Garbage/ Recycling:

- Building water mains centrally located close to reduce service lengths.
- Common Garbage enclosure with heavy timber structure, corrugated metal walls & gate, 4:12 shingle shed roof.

Key Features:

- Close to schools.
- Great walk ability to restaurants, grocery stores, liquor stores etc.
- Access to three BC Transit bus routes.
- Family oriented outdoor spaces.

- End of Design Rationale.

CONTEXT MAP

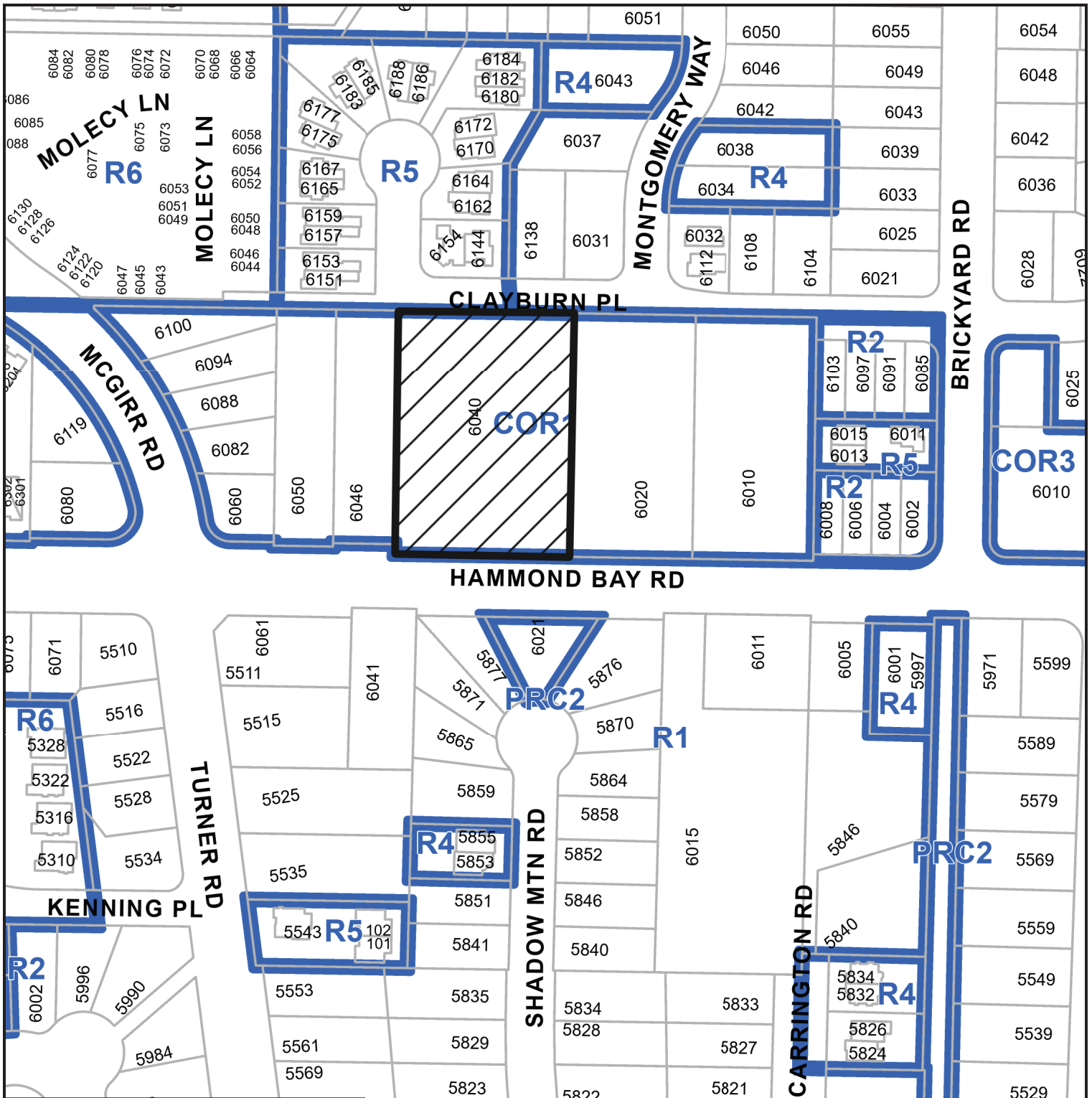


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6040 HAMMOND BAY ROAD

LOCATION PLAN



DEVELOPMENT PERMIT APPLICATION NO. DP001247



CIVIC: 6040 HAMMOND BAY ROAD

LEGAL: LOT 5, DISTRICT LOT 25G, WELLINGTON DISTRICT, PLAN 11632

 **Subject Property**



Project Data			
Project Description:	Clayburn Townhome Development		
City Address:	6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4		
Legal Address:	Lot 5, District Lot 25C, Wellington District, Plan 11632		
Zoning:	COR1 - Residential Corridor		
Property Area:	R2	R2	Notes:
6040 Hammond Bay Road	83,494	6,888.79	based on survey from Dec. 17, 2020
	0	0.00	
Total Area:	83,494	6,888.79	6,458

Building Types:	Unit Type:	Qty:	R2	R2	R2	Notes:
Type A - 4 plex row house	A1 - 3 bed, 1 car garage	16	1,808	160.30	25,728	Including 531 R2 garage per unit
Type B - 4 plex 2 up & 2 down	B1 - 2 bed, 2 car garage	6	990	88.26	5,700	Excluding 484 R2 garage per unit
	B2 - 2 bed, 2 car garage	6	770	71.54	4,620	
Total GFA:	Circulation L+L3	28	4,716	169.42	1,716	stairs, corridors, storage, main entrance including circulation
						17,764

Zoning Requirements:	Required / Allowed:	Proposed:	Notes:
Site Coverage: (Per %)	1.00	30%	Including garage areas
Rear Area Ratio: 1.00	1.00	0.59	Including garages, including circulation
Front Yard Setback	3.50 m		see site plan
Parking Side Yard Setback	4.50 m	N/A	
Side Yard 1 Setback	1.50 m		see site plan
Side Yard 2 Setback	3.00 m		see site plan
Rear Yard Setback	7.50 m		see site plan

Vehicle Parking Requirements			
Location:	Area 1		
Building Classification:	Multifamily		
Unit Description	Required	Res. Unit City	Required Proposed Notes:
Studio	1	0	0.00
1 bed	148	30	0.00
2 bed	18	12	21.60
3 bed	2	16	32.00
Parking Required:			64

1 Project Data
Last Updated: 2021 08 13



2 Visitor Parking @ Park 1
N.T.S.



3 Visitor Parking @ Park 2
N.T.S.



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No.	Date	Issue Notes
01	2021 05 11	Pre-DP Meeting
02	2021 08 13	DP Application
03	2021 10 07	Coordination 01
04	2021 11 29	DP Revised

No.	Date	Revision Notes
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Clayburn Townhome Development
Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
Lot 5, District Lot 25C, Wellington District, Plan 11632



Site Plan
Project Data
3D Site Perspectives

Drawn: RH	Checked: RH
Job No: 2102	Sheet No.:
Scale: As Noted	A1.1
Date: Nov 29, 2021	
CAD File: Clayburn townhome development 17 BP.wrx	



Material Legend

Tag	Description	Colour
V1	Vinyl Siding (light) Geniek	Peart J Trim to match Classic Colours Collection
V2	Vinyl Siding (dark) Geniek	Chesapeake Gray J Trim to match Classic Colours Collection
V3	Vinyl Deck Duradeck	Clark Graphite
S1	Soffit (light) Geniek Aluminum	Peart J Trim to match Match light vinyl siding
S2	Soffit (dark) Geniek Aluminum	Iron Ore J Trim to match Factory painted
Concrete	Formed - See Civil	-
F1	Fiber Cement Panel (light) JamesHardie HardiePanel	Peart Gray J Trim to match F2 Night Gray Statement Collection (smooth)
F2	Fiber Cement Panel (dark) & Fascia Board & Belly Band JamesHardie HardiePanel	Night Gray J Trim to match Statement Collection (smooth)
P1	Painted - Door & Fiber Cement Panel (smooth)	Irwy Blue SW 9149 223-C6 Shannon Williams
P2	Painted - Door & Fiber Cement Panel (smooth)	Raddy River SW 6216 218-C6 (smooth) Shannon Williams
P3	Painted - Door & Fiber Cement Panel (smooth)	Budley SW 6137 208-C5 (smooth) Shannon Williams
P4	Painted - Door & Fiber Cement Panel (smooth)	Manorwood SW 6020 230-C7 (smooth) Shannon Williams
Stained - T&G Soffit & Siding Vented & Rainscreened	-	-
Stained - Clad Beams & Posts Vented & Rainscreened	-	-
match soffits & siding finish	-	-

1 South Elevation
Scale: 1/4" = 1'-0"



2 East Elevation
Scale: 1/4" = 1'-0"

Front Entrance 3D Perspective



Rear Entrance 3D Perspective



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Clayburn Townhome Development
Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
Lot 5, District Lot 25G, Wellington District, Plan 11632

RECEIVED
DP 1247
2021-NOV-30

Sheet Title:
**Building A
Elevations 01**

Drawn: RH
Checked: RH

Job No.: 2102
Sheet No.:

Scale: As Noted
A6.1a

Date: Nov 29, 2021

CAD File: Clayburn townhome development 17 BP.wrx



Material Legend

Tag	Description	Colour
V1	Vinyl Siding (light) Genieck	Peart J Trim to match Classic Colours Collection
V2	Vinyl Siding (dark) Genieck	Chesapeake Gray J Trim to match Classic Colours Collection
V3	Vinyl Deck Duradeck	Cork Graphite
S1	Softie (light) Genieck Aluminum	Peart J Trim to match Match light vinyl siding
S2	Softie (dark) Genieck Aluminum	Iron Ore J Trim to match Factory painted
	Concrete Formed - See Civil	-
F1	Fiber Cement Panel (light) JamesHardie HardiePanel	Peart Gray J Trim to match F2 Night Gray Statement Collection (smooth)
F2	Fiber Cement Panel (dark) & Fascia Board & Belly Band JamesHardie HardiePanel	Night Gray J Trim to match Statement Collection (smooth)
P1	Painted - Door & Fiber Cement Panel (smooth)	Wavy Blue SW 9149 223-C6 Sherwin Williams
P2	Painted - Door & Fiber Cement Panel (smooth)	Raddy River SW 6216 218-C6 (smooth) Sherwin Williams
P3	Painted - Door & Fiber Cement Panel (smooth)	Bullseye SW 6137 208-C5 (smooth) Sherwin Williams
P4	Painted - Door & Fiber Cement Panel (smooth)	Manorwood SW 6020 230-C7 (smooth) Sherwin Williams
	Stained - T&G Softie & Siding Vented & Rainscreened	-
	Stained - Clad Beams & Posts Vented & Rainscreened	-
		match soffits & siding finish

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3 North Elevation
Scale: 1/4" = 1'-0"



4 West Elevation
Scale: 1/4" = 1'-0"

Rear Entrance & Planter Box 01
3D Perspective



Rear Entrance & Planter Box 02
3D Perspective



Clayburn Townhome Development
Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
Lot 5, District Lot 25G, Wellington District, Plan 11632

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DP 1247
2021-NOV-30

Sheet Title:
**Building A
Elevations 02**

Drawn: RH
Job No.: 2102
Scale: As Noted

Check: RH
Sheet No.:
A6.1b

Date: Nov 29, 2021
CAD File: Clayburn townhome development 17 BP.wrx

No.	Date	Issue Notes
01	2021 05 11	Pre-PP Meeting
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No.	Date	Revision Notes
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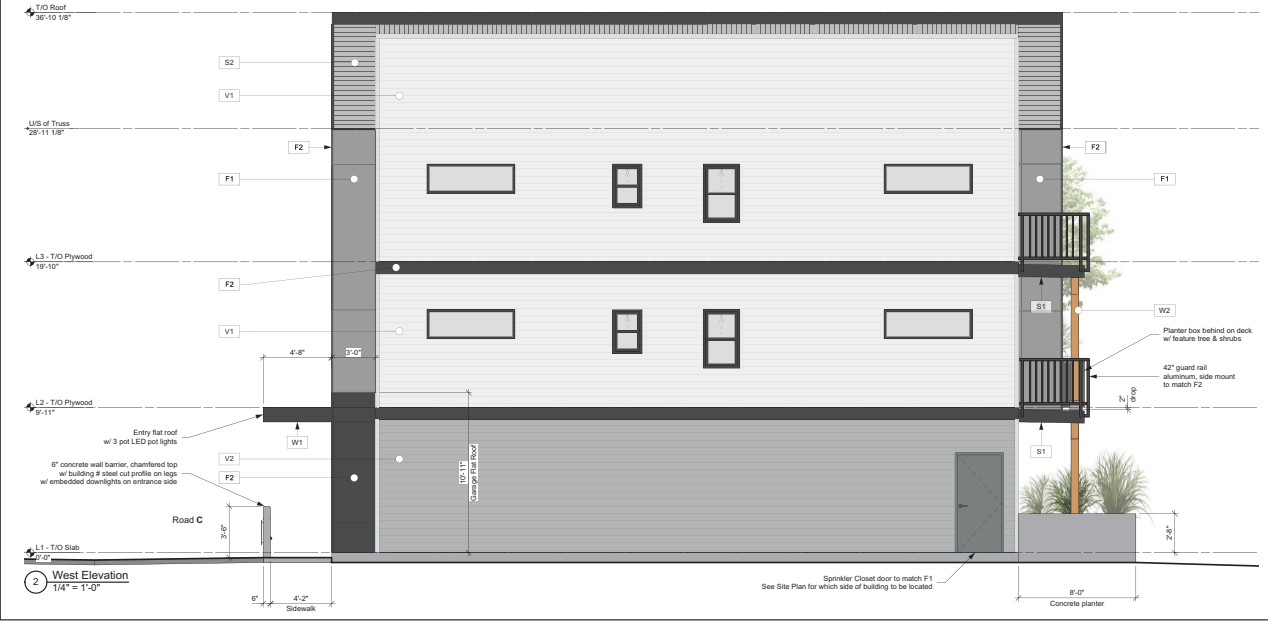


Material Legend

Tag	Description	Colour
V1	Vinyl Siding (light) GenieK	Pearl J Trim to match Classic Colours Collection
V2	Vinyl Siding (dark) GenieK	Chesapeake Gray J Trim to match Classic Colours Collection
V3	Vinyl Dark Duradek	Dark Graphite
S1	Soffit (light) GenieK Aluminum	Pearl J Trim to match Match light vinyl siding
S2	Soffit (dark) GenieK Aluminum	Iron Ore J Trim to match Factory painted
C1	Concrete Formed - See Civil	-
F1	Fiber Cement Panel (light) JamesHardie HardiePanel	Pearl Gray J Trim to match F2 Night Gray Statement Collection (smooth)
F2	Fiber Cement Panel (dark) & Facca Board & Belly Band JamesHardie HardiePanel	Night Gray J Trim to match Statement Collection (smooth)
P1	Painted - Door & Fiber Cement Panel (smooth)	Inky Blue SW 9148 223-C6 Sherwin Williams
P2	Painted - Door & Fiber Cement Panel (smooth)	Rocky River SW 6219 218-C6 (smooth) Sherwin Williams
P3	Painted - Door & Fiber Cement Panel (smooth)	Burlop SW 6137 209-C5 (smooth) Sherwin Williams
P4	Painted - Door & Fiber Cement Panel (smooth)	Manorwood SW 6020 230-C7 (smooth) Sherwin Williams
W1	Stained - TAG Soffit & Siding Vented & Rainscreened	-
W2	Stained - Clad beams & Posts Vented & Rainscreened	-

match soffits & siding finish
 match soffits & siding finish

1 North Elevation
1/4" = 1'-0"



2 West Elevation
1/4" = 1'-0"



3 Front Entrance 1



4 Front Entrance 2

Clayburn Townhome Development
Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
Lot 5, District Lot 25C, Wellington District, Plan 11632

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Sheet Title:
Building B Elevations

Drawn: RH	Checked: RH
Job No.: 2102	Sheet No.:
Scale: As Noted	A6.2a
Date: Nov 29, 2021	
CAD File: Clayburn townhome development 17 BP.vwx	

No.	Date	Issue Notes
01	2021 05 11	Pre-DP Meeting
02	2021 08 13	DP Application
03	2021 10 07	Coordination 01

No.	Date	Revision Notes

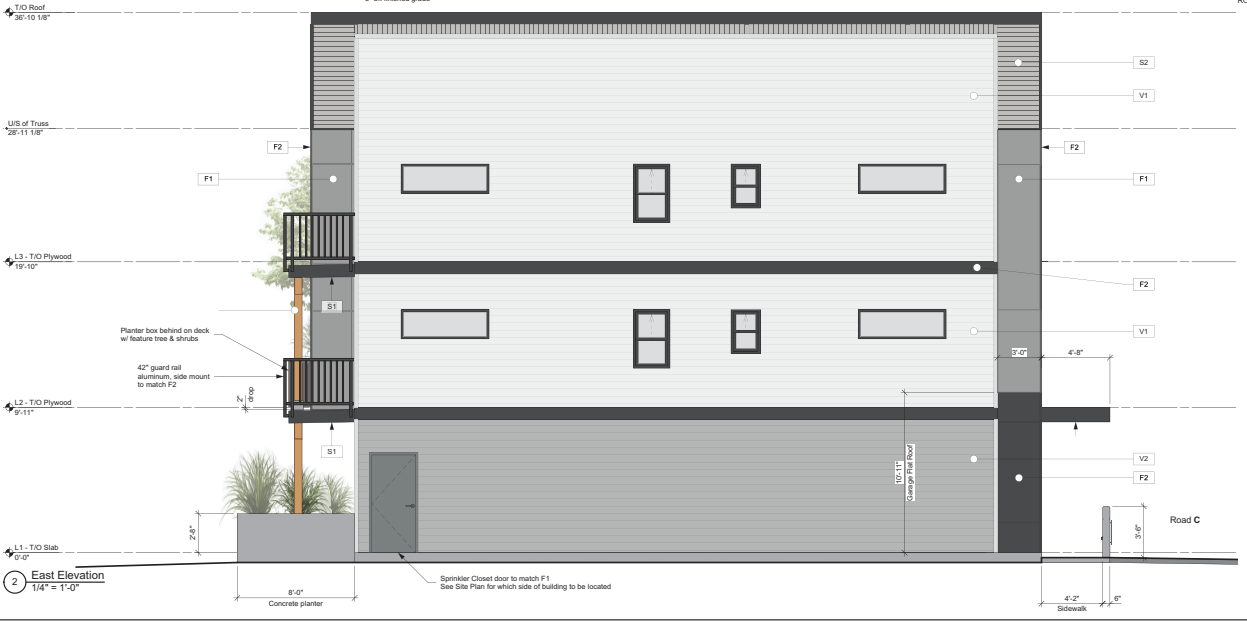
Material Legend

Tag	Description	Colour
V1	Vinyl Siding (light) Gertek	Pearl J Trim to match Classic Culture Collection
V2	Vinyl Siding (dark) Gertek	Chesapeake Gray J Trim to match Classic Culture Collection
V3	Vinyl Deck DuraDeck	Cork Graphite
S1	Soffit (light) Gertek Aluminum	Pearl J Trim to match Match light vinyl siding
S2	Soffit (dark) Gertek Aluminum	Iron Ore J Trim to match Factory painted
C1	Concrete Formed - See Civil	-
F1	Fiber Cement Panel (light) James-Hardie HardiPanel	Pearl Gray J Trim to match F2 Night Gray Statement Collection (smooth)
F2	Fiber Cement Panel (dark) & Fascia Board & Belly Band James-Hardie HardiPanel	Night Gray J Trim to match Statement Collection (smooth)
P1	Painted - Door & Fiber Cement Panel (smooth)	Inky Blue SW 9148 220-C6 Sherwin Williams
P2	Painted - Door & Fiber Cement Panel (smooth)	Rocky River SW 6215 218-C6 (smooth) Sherwin Williams
P3	Painted - Door & Fiber Cement Panel (smooth)	Burlap SW 6127 208-C5 (smooth) Sherwin Williams
P4	Painted - Door & Fiber Cement Panel (smooth)	Marooned SW 6520 230-C7 (smooth) Sherwin Williams
W1	Stained - T&G Soffit & Siding Vented & Rainscreened	-
W2	Stained - Clad beams & Posts Vented & Rainscreened	-

match soffits & siding finish



1 South Elevation
1/4" = 1'-0"



2 East Elevation
1/4" = 1'-0"



Rear Entrance & Planter Box 02
3D Perspective

Clayburn Townhome Development
Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
Lot 5, District Lot 25G, Wellington District, Plan 11632

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2021-NOV-30
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Sheet Title:

Building B Elevations

Drawn: RH	Checked: RH
Job No.: 2102	Sheet No.:
Scale: As Noted	A6.2b
Date: Nov 29, 2021	
CAD File: Clayburn townhome development 17 BP.wrx	

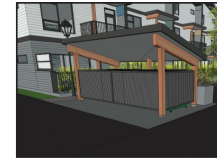


1 Building A - Front NE
N.T.S.



2 Building A - Front NW
N.T.S.

Garbage Enclosure Perspectives



3 Building A - Back SE
N.T.S.



4 Building A - Back SW
N.T.S.

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-	-	-

Project: **Clayburn Townhome Development**
Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
Lot 5, District Lot 25G, Wellington District, Plan 11632

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2021-NOV-30
CITY OF NANAIMO

Sheet Title:
Building A
3D Perspectives

Drawn: RH Checked: RH

Job No.: 2102 Sheet No.:

Scale: As Noted **A0.1**

Date: Nov 29, 2021

CAD File: clayburn townhome development 15.vwx



2 Building B - Front SW
N.T.S.



2 Building B - Front SE
N.T.S.



3 Building B - Back NW
N.T.S.



4 Building B - Back NE
N.T.S.

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Clayburn Townhome Development
Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
Lot 5, District Lot 25G, Wellington District, Plan 11632

Project:
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Sheet Title:
Building B
3D Perspectives

Drawn: RH Checked: RH

Job No.: 2102 Sheet No.:

Scale: As Noted **A0.2**

Date: Nov 29, 2021
CAD File: clayburn townhome development 15.vwx



1 Site Plan
1/32" = 1'-0"



2 Section A-A
N.T.S.



3 Section B-B
N.T.S.



4 Section C-C
N.T.S.

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Clayburn Townhome Development
Nanaimo

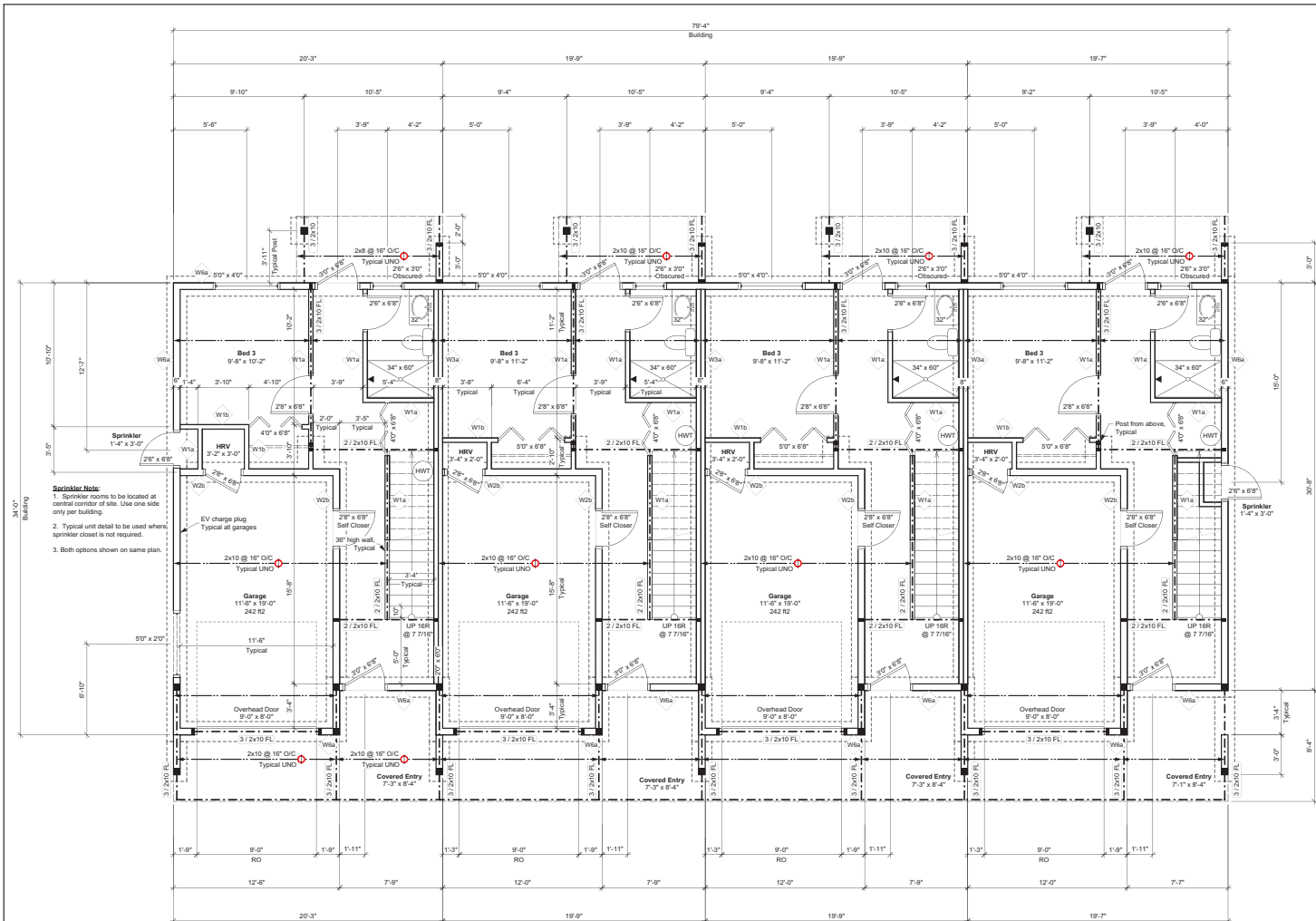
Project:
6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
Lot 5, District Lot 25G, Wellington District, Plan 11632

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DP 1247
2021-SEP-29
CORRECT STAMPING

Sheet Title:
**Floor Plan
Option 1**

Drawn: RH
Job No.: 2102
Scale: As Noted
Date: Aug 13, 2021
CAD File: clayburn townhome development 15.vwx

02



1 Foundation & L1 Floor Plan
Scale: 1/4" = 1'-0"

2 General Notes

- ALL LUMBER TO BE S.P.F. # 2 OR BETTER
- ALL UNITS TO BE 2-2 X 10 UNID.
- CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS AND LOCATION OF SERVICES PRIOR TO STARTING CONSTRUCTION
- DRAWINGS ARE NOT TO BE SCALED
- ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE SOIL OR ENGINEERED FLL AND BELOW FROST DEPTH.
- CENTRAL RECIRCULATING SYSTEM
- PROVIDE A VENT INTO EACH BEDROOM WITH CONTINUOUS FAN
- VENTED RANGE HOOD TO EXTERIOR
- EXHAUST FOR BATH FANS
- ELECTRIC BASEBOARD HEAT

3 Wall Assembly Schedule

- Updated: 2021 09 24
- TYPICAL CONCRETE WALL**
8" Concrete Wall CW-11018
18" x 6" Footing CW-2 - 10 M
 - TYPICAL CONCRETE WALL BELOW PARTY WALL**
8" Concrete Wall CW-11018
18" x 6" Footing CW-2 - 10 M
 - Typical Pad Footing**
8" Concrete Pier
24" x 24" x 4" Pad CW-2 - 10 M EW
 - W1a 4" INTERIOR WALL**
1/2" GWB
2x4 Wood Studs @ 24" o/c
* waterproof g/wall behind shower areas
 - W1b 4" INTERIOR WALL - LOAD BEARING**
5/8" Type 'X' GWB
2x4 Wood Studs @ 16" o/c
3 1/2" (R13) F.G. batt insulation
5/8" Type 'X' GWB
 - W2a N/A**
 - W2b 6" INTERIOR WALL - GARAGE (similar W1d STC 32)**
1/2" Type 'X' GWB
6 mil poly air & vapour barrier (warm side)
2x6 Wood Studs @ 16" o/c
5 1/2" (R20) F.G. batt insulation
1/2" Type 'X' GWB
 - W3a 4" INTERIOR WALL - PARTY WALL
1 HR FIRE SEPARATION, STC 57, CBC 2018 - W13a**
5/8" Type 'X' GWB
1/2" Plywood Sheathing (only at brace wall panels)
2x4 wood studs @ 24" o/c
3 1/2" (R13) F.G. batt insulation
1" air space
2x4 wood studs @ 24" o/c
3 1/2" (R13) F.G. batt insulation
6 mil poly air & vapour barrier (one side)
5/8" Type 'X' GWB
 - W3b CONTINUATION OF 1 HR FIRE SEPARATION THROUGH ATTIC SPACE TO JUS OF ROOF DECK BETWEEN ALL UNITS - SHED / GABLE ROOF (SEE DETAIL)**
5/8" Type 'X' GWB
* Nail to ends of adjacent perpendicular trusses
1" air space
* Truss end on demising wall (one side)
1" air space
5/8" Type 'X' GWB
* Nail to ends of adjacent perpendicular trusses
 - W3c CONTINUATION OF 1 HR FIRE SEPARATION THROUGH ATTIC SPACE TO JUS OF ROOF DECK BETWEEN ALL UNITS - GABLE ROOF (SEE DETAIL)**
5/8" Type 'X' GWB
Truss
1" air space
Truss
5/8" Type 'X' GWB
 - W6 N/A**
 - W6a 6" EXTERIOR WALL - VINYL SIDING**
Vinyl Siding (See elevations)
2 Layers staggered, 30 mm Building Paper
TypeX (Moisture and Air Barrier)
1/2" Ext. Plywood Sheathing
2x6 Wood studs @ 24" o/c
5 1/2" (R20) F.G. Batt insulation
6 mil poly air & vapour barrier
5/8" Type 'X' GWB (or GWB where no rating required)
 - W7a 6" EXTERIOR WALL - FIBRE CEMENT**
Fibre Cement horizontal siding
3/8" x 2" PT Plywood Vertical Strapping @ 16" o/c (rain screen)
TypeX (Moisture and Air Barrier)
1/2" Ext. Plywood Sheathing
2x6 Wood studs @ 24" o/c
5 1/2" (R20) F.G. Batt insulation
6 mil poly vapour barrier
GWB

4 Floor Plan Legend

- Updated: 2021 09 24
- Joint or Truss orientation
 - All floor joists 2x10 @ 16" o/c UNID
 - Line of Beam above
 - Line of Footings below
 - Object below
 - Object above
 - Roof above
 - Brace Wall Panel
 - See Lateral Bracing Plans for sides
 - Load bearing wall
 - Beam Tag - FL = Flush Beam



111 Chelan Place, Nanaimo, B.C. V9R 6S2
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No.	Date	Issue Notes
01	2021 05 11	Pre-DP Meeting
02	2021 08 13	DP Application
03	2021 10 07	Coordination 01
04	2021 11 20	DP Revised

No.	Date	Revision Notes

Project: **Clayburn Townhome Development**
 Nanaimo

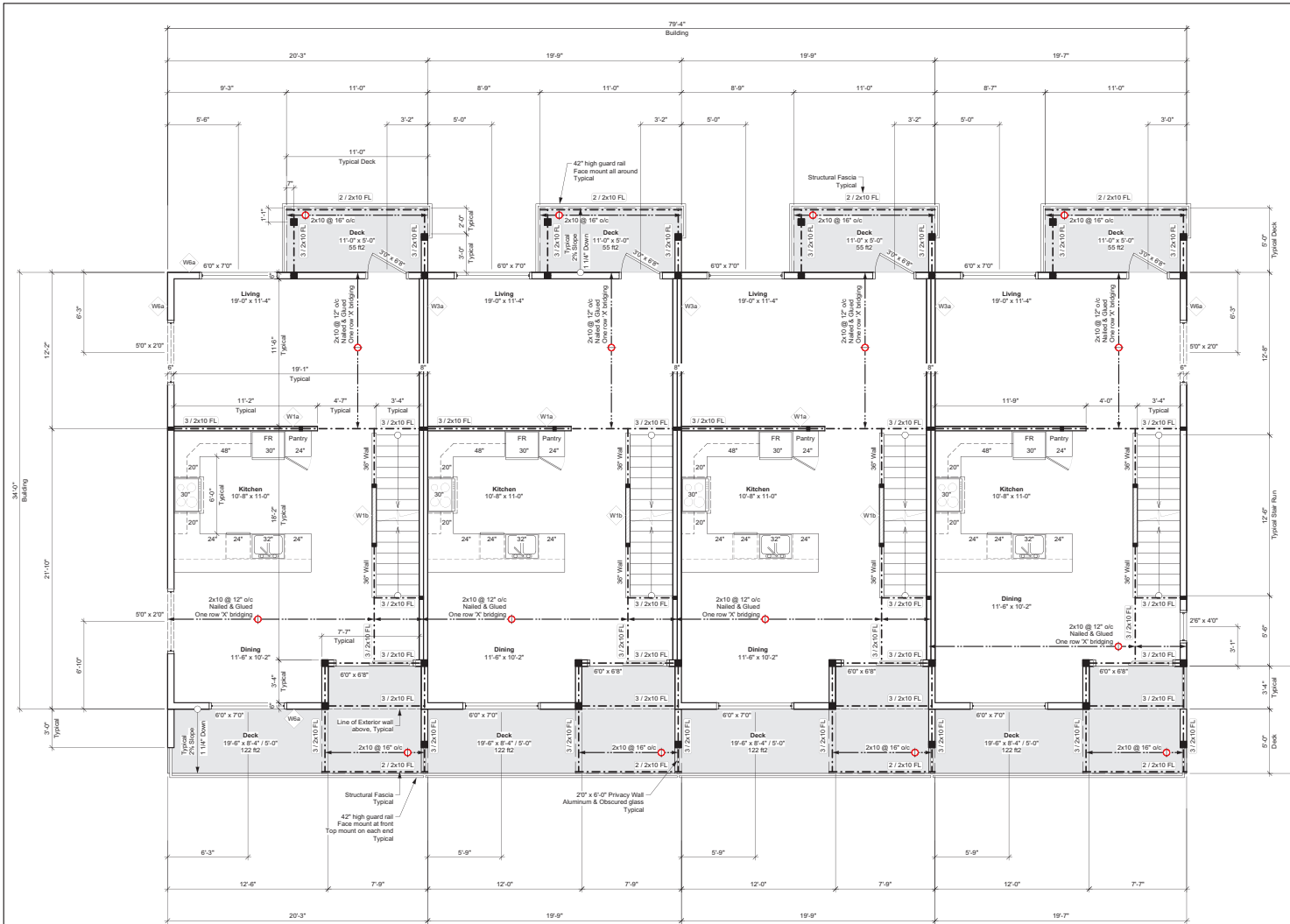
6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
 Lot 5, District Lot 25C, Wellington District, Plan 11632

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DP 1247
2021-NOV-30

Sheet Title:
**Building A
Foundation & L1
Floor Plan**

Drawn: RH
Job No.: 2102
Scale: As Noted
Date: Nov 29, 2021
CAD File: Clayburn townhome development 17 BP.wrx

Check: RH
Sheet No.:
A2.2



1 L2 Floor Plan
Scale: 1/4" = 1'-0"

2 General Notes

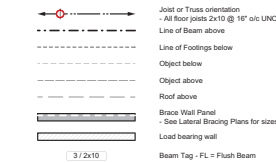
ALL LUMBER TO BE S.P.F. # 2 OR BETTER
ALL LINTELS TO BE 2-2x10 U.L.G.
CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS AND LOCATION OF SERVICES PRIOR TO STARTING CONSTRUCTION
DRAWINGS ARE NOT TO BE SCALED
ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE SOIL OR ENGINEERED FLL AND BELOW FROST DEPTH.

CENTRAL RECIRCULATING SYSTEM
PROVIDE A VENT INTO EACH BEDROOM WITH CONTINUOUS FAN
VENTED RANGE HOOD TO EXTERIOR
EXHAUST FOR BATH FANS
ELECTRIC BASEBOARD HEAT

3 Wall Assembly Schedule
Updated: 2021 09 24

- TYPICAL CONCRETE WALL**
8" Concrete Wall CW 1-10 M
18" x 6" Footing CW 2 - 10 M
- TYPICAL CONCRETE WALL BELOW PARTY WALL**
8" Concrete Wall CW 1-10 M
18" x 4" Footing CW 2 - 10 M
- Typical Pad Footing**
8" Concrete Pier CW 2 - 10 M EW
24" x 24" x 4" Pad CW 2 - 10 M EW
- W1a 4" INTERIOR WALL**
1/2" GWB
2x4 Wood Studs @ 24" o/c
waterproof drywall behind shower areas
1/2" GWB
- W1b 4" INTERIOR WALL - LOAD BEARING**
5/8" Type 'X' GWB
2x4 Wood Studs @ 16" o/c
3 1/2" (R13) F.G. Batt insulation
5/8" Type 'X' GWB
- W2a N/A**
- W2b 6" INTERIOR WALL - GARAGE (similar W1c STC 32)**
1/2" Type 'X' GWB
6 mil poly air & vapour barrier (warm side)
2x6 Wood Studs @ 16" o/c
5 1/2" (R20) F.G. Batt insulation
1/2" Type 'X' GWB
- W3a 4" INTERIOR WALL - PARTY WALL
1 HR FIRE SEPARATION, STC 57, CBC 2018 - W13a**
5/8" Type 'X' GWB
1/2" Plywood Sheathing (only at brace wall panels)
2x4 wood studs @ 24" o/c
3 1/2" (R13) F.G. Batt insulation
1" air space
2x4 wood studs @ 24" o/c
3 1/2" (R13) F.G. Batt insulation
6 mil poly air & vapour barrier (one side)
5/8" Type 'X' GWB
- W3b CONTINUATION OF 1 HR FIRE SEPARATION THROUGH THE SPACE TO JOIST OF ROOF DECK BETWEEN ALL UNITS - SHED / GABLE ROOF (SEE DETAIL)**
5/8" Type 'X' GWB
* Nail to ends of adjacent perpendicular trusses
* Truss end on demising wall (one side)
1" air space
Truss
1" air space
5/8" Type 'X' GWB
* Nail to ends of adjacent perpendicular trusses
- W3c CONTINUATION OF 1 HR FIRE SEPARATION THROUGH THE SPACE TO JOIST OF ROOF DECK BETWEEN ALL UNITS - GABLE ROOF (SEE DETAIL)**
5/8" Type 'X' GWB
Truss
1" air space
Truss
5/8" Type 'X' GWB
- W6 N/A**
- W6a 6" EXTERIOR WALL - VINYL SIDING**
Vinyl Siding (See elevations)
2 Layers staggered, 30 mm Building Paper
Typek (Moisture and Air Barrier)
1/2" Ext. Plywood Sheathing
2x6 Wood studs @ 24" o/c
5 1/2" (R20) F.G. Batt insulation
6 mil poly air & vapour barrier
5/8" Type 'X' GWB (or GWB where no rating required)
- W7a 6" EXTERIOR WALL - FIBRE CEMENT**
Fibre Cement horizontal siding
3/8" x 2" PT Plywood Vertical Strapping @ 16" o/c (rain screen)
Typek (Moisture and Air Barrier)
1/2" Ext. Plywood Sheathing
2x6 Wood studs @ 24" o/c
5 1/2" (R20) F.G. Batt insulation
6 mil poly vapour barrier
GWB

4 Floor Plan Legend
Updated: 2021 09 24



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02	2021 08 13	DP Application
03	2021 11 07	Coordination 01
04	2021 11 20	DP Revised

No.	Date	Revision Notes

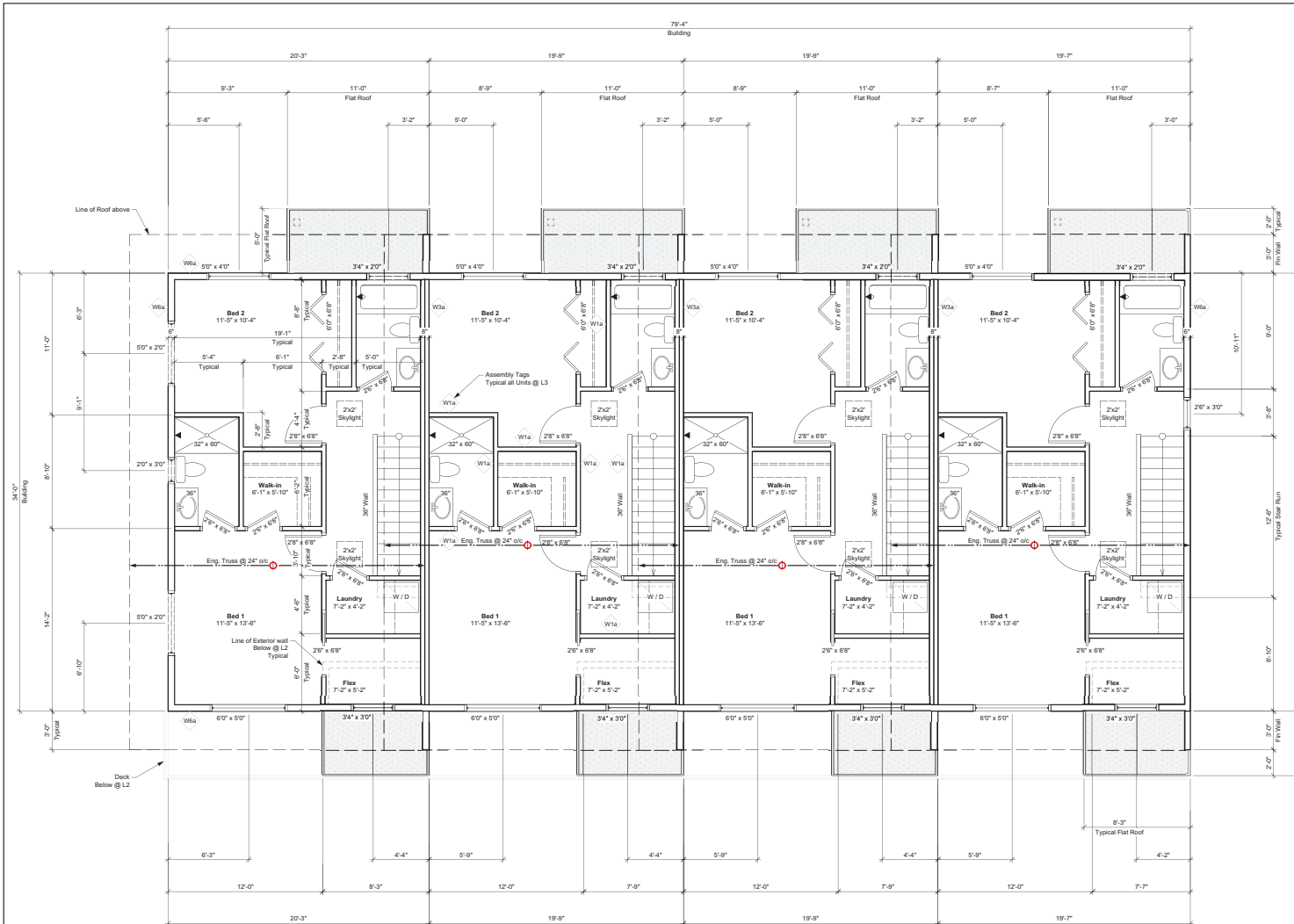
Project: **Clayburn Townhome Development**
 Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
 Lot 5, District Lot 25C, Wellington District, Plan 11632



Sheet Title:		Check:
Building A L2 Floor Plan		RH
Drawn:	RH	Sheet No.:
Job No.:	2102	Scale:
Date:	Nov 29, 2021	As Noted
CAD File:	Clayburn townhome development 17 BP.wrx	

A2.3



1 L3 Floor Plan
Scale: 1/4" = 1'-0"

2 General Notes

ALL LUMBER TO BE S.P.F. # 2 OR BETTER
ALL LINTELS TO BE 2-3 X 10 U.S.D.
CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS,
DIMENSIONS AND LOCATION OF SERVICES PRIOR TO
STARTING CONSTRUCTION
DRAWINGS ARE NOT TO BE SCALED
ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE
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CENTRAL RECIRCULATING SYSTEM
PROVIDE A VENT INTO EACH BEDROOM
WITH CONTINUOUS FAN
VENTED RANGE HOOD TO EXTERIOR
EXHAUST FOR BATH FANS
ELECTRIC BASEBOARD HEAT

3 Wall Assembly Schedule
Updated: 2021 09 24

- TYPICAL CONCRETE WALL**
8" Concrete Wall CW 1-10 M
18" x 6" Footing CW 2 - 10 M
- TYPICAL CONCRETE WALL BELOW PARTY WALL**
8" Concrete Wall CW 1-10 M
18" x 6" Footing CW 2 - 10 M
- Typical Pad Footing**
8" Concrete Pier or Pad CW 2 - 10 M EW
24" x 24" x 4" Pad CW 2 - 10 M
- W1a 4" INTERIOR WALL**
1/2" GWB
2x4 Wood Studs @ 24" o/c
* waterresist'd gylwall behind shower areas
1/2" Type 'X' GWB
- W1b 4" INTERIOR WALL - LOAD BEARING**
5/8" Type 'X' GWB
2x4 Wood Studs @ 16" o/c
3 1/2" (R13) F.G. batt insulation
5/8" Type 'X' GWB
- W2a N/A**
- W2b 6" INTERIOR WALL - GARAGE (similar W1d STC 32)**
1/2" Type 'X' GWB
6 mil poly air & vapour barrier (warm side)
2x6 Wood Studs @ 16" o/c
5 1/2" (R20) F.G. batt insulation
1/2" Type 'X' GWB
- W3a 4" INTERIOR WALL - PARTY WALL
1 HR FIRE SEPARATION, STC 57, CBC 2018 - W13a**
5/8" Type 'X' GWB
1/2" Plywood Sheathing (only at brace wall panels)
2x4 Wood Studs @ 24" o/c
3 1/2" (R12) F.G. batt insulation
1" air space
2x4 wood studs @ 24" o/c
3 1/2" (R12) F.G. batt insulation
6 mil poly air & vapour barrier (one side)
5/8" Type 'X' GWB
- W3b CONTINUATION OF 1 HR FIRE SEPARATION
THROUGH ATTIC SPACE TO TOP OF ROOF DECK
BETWEEN ALL UNITS - SHED / GABLE ROOF (SEE DETAIL)**
5/8" Type 'X' GWB
* Nail to ends of adjacent perpendicular trusses
* Truss end on demising wall (one side)
1" air space
* Truss end on demising wall (other side)
5/8" Type 'X' GWB
* Nail to ends of adjacent perpendicular trusses
- W3c CONTINUATION OF 1 HR FIRE SEPARATION
THROUGH ATTIC SPACE TO TOP OF ROOF DECK
BETWEEN ALL UNITS - GABLE ROOF (SEE DETAIL)**
5/8" Type 'X' GWB
Truss
1" air space
Truss
5/8" Type 'X' GWB
- W6 N/A**
- W6a 6" EXTERIOR WALL - VINYL SIDING**
Vinyl Siding (See elevations)
2 Layers staggered, 30 mm Building Paper
TypeX (Moisture and Air Barrier)
1/2" Ext. Plywood Sheathing
2x6 Wood studs @ 24" o/c
5 1/2" (R20) F.G. Batt insulation
6 mil poly air & vapour barrier
5/8" Type 'X' GWB (or GWB where no rating required)
- W7a 6" EXTERIOR WALL - FIBRE CEMENT**
Fibre Cement horizontal siding
3/8" x 2" PT Plywood Vertical Strapping @ 16" o/c (rain screen)
TypeX (Moisture and Air Barrier)
1/2" Ext. Plywood Sheathing
2x6 Wood studs @ 24" o/c
5 1/2" (R20) F.G. Batt insulation
6 mil poly vapour barrier
GWB

4 Floor Plan Legend
Updated: 2021 09 24

- Joint or Truss orientation
- All floor joists 2x10 @ 16" o/c U.S.D
- Line of Beam above
- Line of Footings below
- Object below
- Object above
- Roof above
- Brass Wall Panel
- See Lateral Bracing Plans for sites
- Load bearing wall
- Beam Tag - FL = Flush Beam



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No.	Date	Issue Notes
01	2021 05 11	Pre-DP Meeting
02	2021 08 13	DP Application
03	2021 10 07	Coordination 01
04	2021 11 29	DP Revised

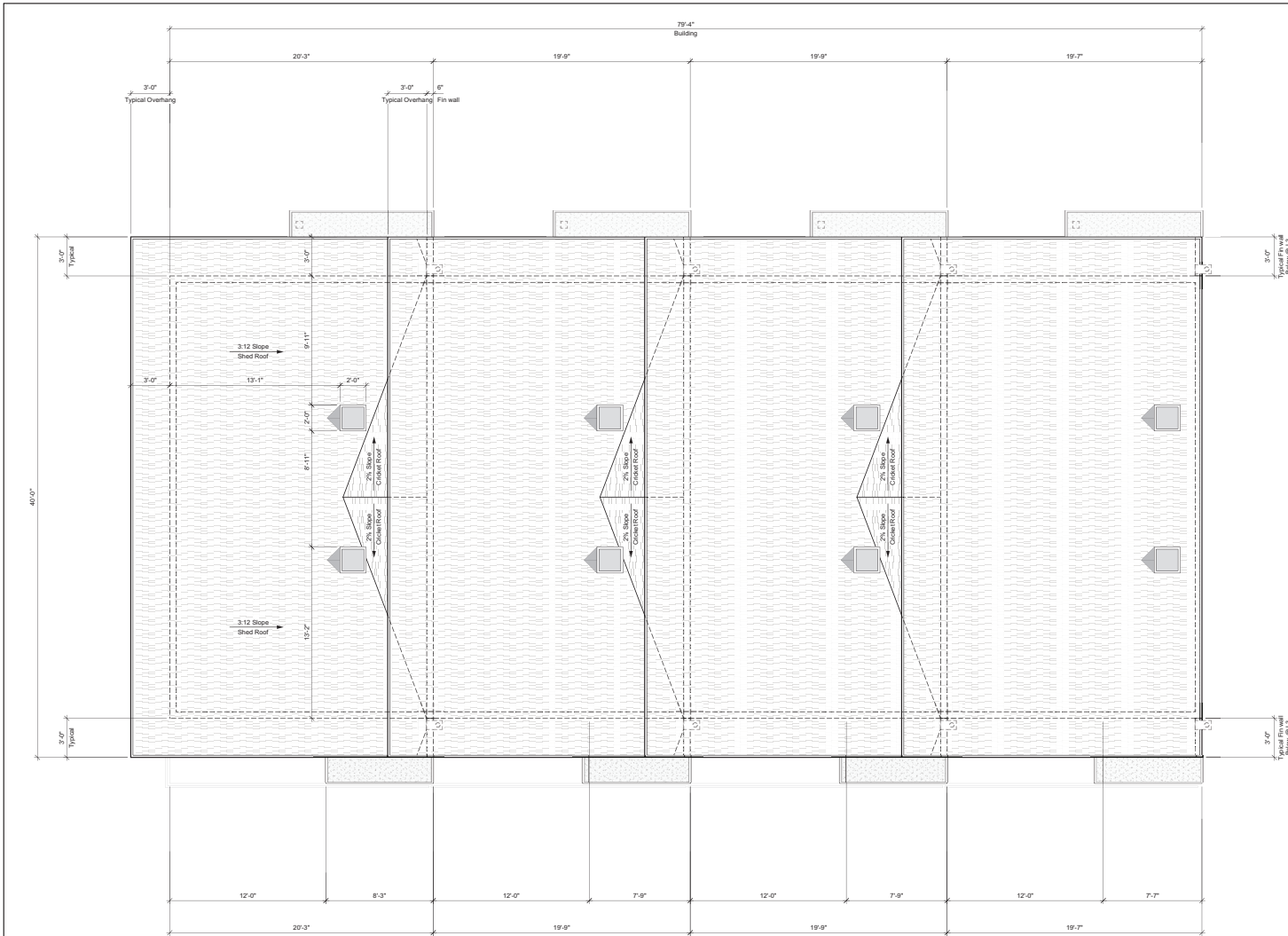
No.	Date	Revision Notes

Project: Clayburn Townhome Development
 Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
 Lot 5, District Lot 25C, Wellington District, Plan 11632

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2021-NOV-30

Sheet Title:		Check:
Building A L3 Floor Plan		RH
Drawn:	RH	Sheet No.:
Job No.:	2102	A2.4
Scale:	As Noted	
Date:	Nov 29, 2021	
CAD File: Clayburn townhome development 17 BP.wrx		



1 L4 Roof Plan
Scale: 1/4" = 1'-0"

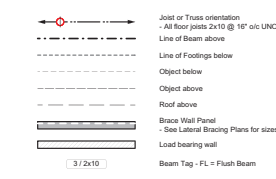
2 General Notes

ALL LUMBER TO BE S.P.F. # 2 OR BETTER
ALL LINEETS TO BE 2" X 10 U.L.D.
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DRAWINGS ARE NOT TO BE SCALED
ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE SOIL OR ENGINEERED FILL AND BELOW FROST DEPTH.
CENTRAL RECIRCULATING SYSTEM
PROVIDE #1 VENT INTO EACH BEDROOM
WITH CONTINUOUS FAN
VENTED RANGE HOOD TO EXTERIOR
#1 EXHAUST FOR BATH FANS
ELECTRIC BASEBOARD HEAT

3 Wall Assembly Schedule
Updated: 2021 09 24

- TYPICAL CONCRETE WALL**
4" Concrete Wall CW 1-10 M
18" x 6" Footing CW 2 - 10 M
- TYPICAL CONCRETE WALL BELOW PARTY WALL**
8" Concrete Wall CW 1-10 M
18" x 6" Footing CW 2 - 10 M
- Typical Pad Footing**
8" Concrete Pier or CW 2 - 10 M EW
24" x 24" x 6" Pad CW 2 - 10 M EW
- W1a 4" INTERIOR WALL**
1/2" GWB
2x4 Wood Studs @ 24" o/c
* waterproof g/wall behind shower areas
1/2" GWB
- W1b 4" INTERIOR WALL - LOAD BEARING**
5/8" Type 'X' GWB
2x4 Wood Studs @ 16" o/c
3 1/2" (R12) F.G. batt insulation
5/8" Type 'X' GWB
- W2a N/A**
- W2b 6" INTERIOR WALL - GARAGE (similar W1d STC 32)**
1/2" Type 'X' GWB
6 mil poly air & vapour barrier (warm side)
2x4 Wood Studs @ 16" o/c
5 1/2" (R20) F.G. batt insulation
1/2" Type 'X' GWB
- W3a 4" INTERIOR WALL - PARTY WALL**
1 HR FIRE SEPARATION, STC 57, CBC 2018 - W13a
5/8" Type 'X' GWB
1/2" Plywood Sheathing (only at brace wall panels)
2x4 wood studs @ 24" o/c
3 1/2" (R12) F.G. batt insulation
1" air space
2x4 wood studs @ 24" o/c
3 1/2" (R12) F.G. batt insulation
6 mil poly air & vapour barrier (one side)
5/8" Type 'X' GWB
- W3b CONTINUATION OF 1 HR FIRE SEPARATION THROUGH ATTIC SPACE TO JIG OF ROOF DECK BETWEEN ALL UNITS - SHED / GABLE ROOF (SEE DETAIL)**
5/8" Type 'X' GWB
* Nail to ends of adjacent perpendicular trusses
* Truss end on demising wall (one side)
1" air space
* Truss end on demising wall (other side)
5/8" Type 'X' GWB
* Nail to ends of adjacent perpendicular trusses
- W3c CONTINUATION OF 1 HR FIRE SEPARATION THROUGH ATTIC SPACE TO JIG OF ROOF DECK BETWEEN ALL UNITS - GABLE ROOF (SEE DETAIL)**
5/8" Type 'X' GWB
Truss
1" air space
Truss
5/8" Type 'X' GWB
- W5 N/A**
- W6a 6" EXTERIOR WALL - VINYL SIDING**
Vinyl Siding (See elevations)
2 Layers staggered, 30 mm Building Paper
Tyvek (Moisture and Air Barrier)
1/2" Ext. Plywood Sheathing
2x4 Wood studs @ 24" o/c
5 1/2" (R20) F.G. Batt insulation
6 mil poly air & vapour barrier
5/8" Type 'X' GWB (or GWB where no rating required)
- W6b N/A**
- W7a 6" EXTERIOR WALL - FIBRE CEMENT**
Fibre Cement horizontal siding
3/8" x 2" PT Plywood Vertical Sheathing at 16" o/c (rain screen)
1/2" Ext. Plywood Sheathing
Tyvek (Moisture and Air Barrier)
2x4 Wood studs @ 24" o/c
5 1/2" (R20) F.G. Batt insulation
6 mil poly vapour barrier
GWB

4 Floor Plan Legend
Updated: 2021 09 24



111 Chelan Place, Nanaimo, B.C. V9R 6S2
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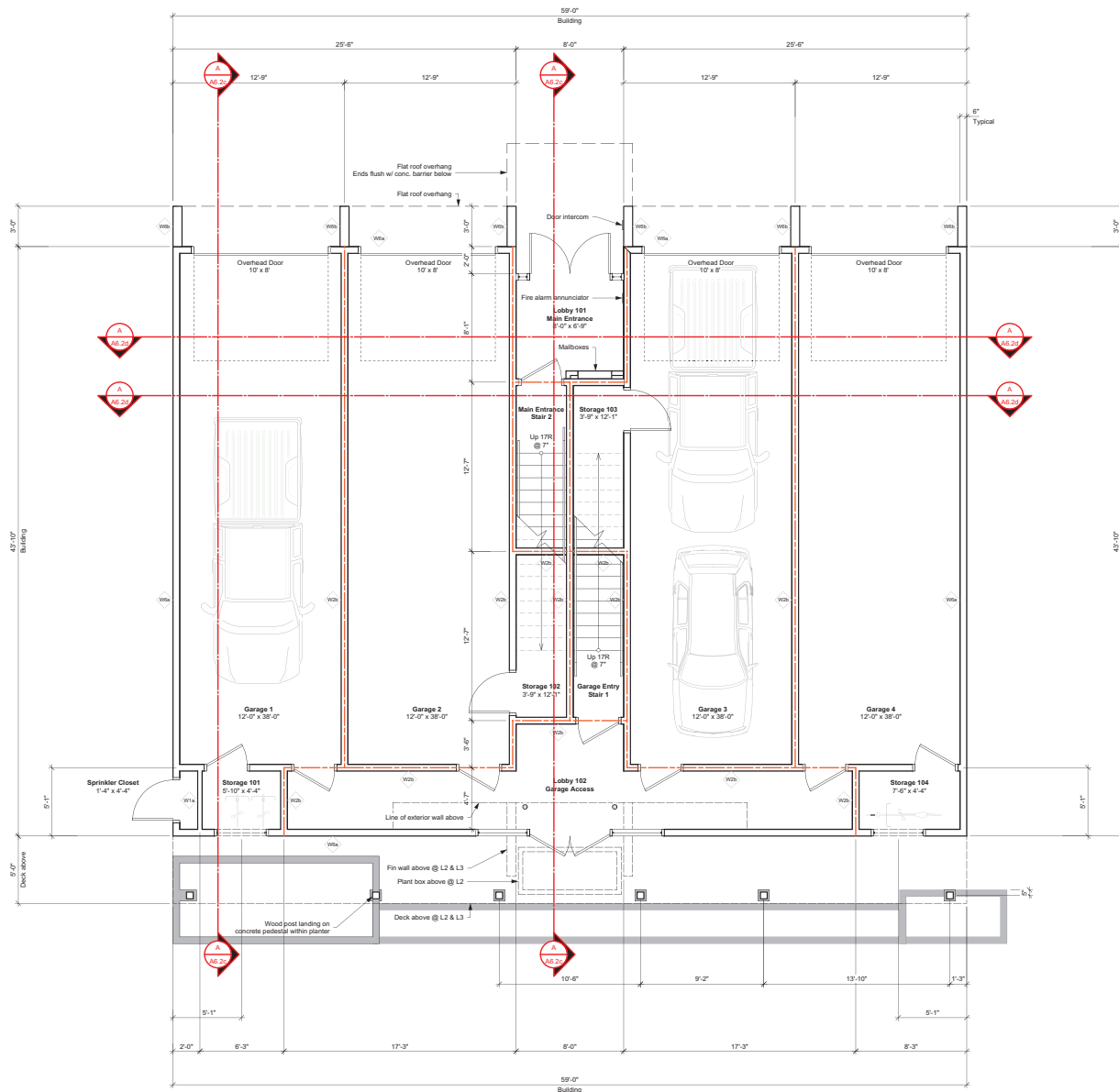
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No.	Date	Revision Notes
-	-	-

Project: **Clayburn Townhome Development**
 Nanaimo
 6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
 Lot 5, District Lot 25C, Wellington District, Plan 11632



Sheet Title:	
Building A L4 Roof Plan	
Drawn: RH	Checked: RH
Job No.: 2102	Sheet No.:
Scale: As Noted	A2.5
Date: Nov 29, 2021	
CAD File: Clayburn townhome development 17 BP.wrx	



2 General Notes

ALL LUMBER TO BE S.P.F. # 2 OR BETTER
 ALL LINTELS TO BE 2" x 10" LxW
 CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS,
 DIMENSIONS AND LOCATION OF SERVICES PRIOR TO
 STARTING CONSTRUCTION.
 DRAWINGS ARE NOT TO BE SCALED.
 ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE
 SOIL OR ENGINEERED FILL AND BELOW FROST DEPTH.

CENTRAL RECIRCULATING SYSTEM
 PROVIDE 4" VENT INTO EACH BEDROOM
 WITH CONTINUOUS FAN
 VENTED RANGE HOOD TO EXTERIOR
 5" EXHAUST FOR BATH FANS
 ELECTRIC BASEBOARD HEAT

3 Wall Assembly Schedule
 Updated: 2021 09 24

WALL ASSEMBLIES	
W1a 6" INTERIOR WALL	1/2" GWS 2x4 Wood Studs @ 24" o/c * waterproof drywall behind shower areas * add 3/4" (R12) G.I. batt insulation between bed & living rooms * add 3/4" (R12) F.G. batt insulation around W/C's 1/2" GWS
W1b 6" INTERIOR WALL - LOAD BEARING	5/8" Type 'X' GWS 2x4 Wood Studs @ 16" o/c 3/4" (R12) F.G. batt insulation 5/8" Type 'X' GWS
W2a 6" INTERIOR WALL	1/2" SWSB 1/2" Plywood Sheathing (see structural for shear walls) 2x6 Wood studs @ 16" o/c 1/2" GW
W2b 6" INTERIOR WALL - GARAGES	1. BR. FR. FIRE SEPARATION- STG. 69- BCBC 2018 - W100 2 Layers 1/2" Type 'X' GWS 1/2" Plywood Sheathing (see structural for shear walls) 2x6 Wood studs @ 16" o/c 2 Layers 1/2" Type 'X' GW
W2c 6" INTERIOR WALL - SUITE & EXIT SEPARATION	1. BR. FR. FIRE SEPARATION- STG. 69- BCBC 2018 - W100 1/2" Plywood Sheathing (see structural for shear walls) 2x4 Wood Studs staggered on 2x6 plate w/ 2 1/2" absorptive material/both sides Resilient channels @ 24" o/c horizontal (suite side) 2 Layers 1/2" Type 'X' GW
W5 N/A	
W6a 6" EXTERIOR WALL - VINYL SIDING	Vinyl Siding (see elevations) 2 Layers staggered, 30 min. Building Paper Tyvek (Moisture and Air Barrier) 1/2" Ext. Plywood Sheathing 2x6 Wood studs @ 24" o/c 6 1/2" (R20) F.G. Batt insulation 6 mil poly air & vapour barrier 5/8" Type 'X' GWS (or GWS where no rating required)
W6b EXTERIOR FIN WALLS - FIBER CEMENT	Fiber Cement panel (see Elevations) 3/8" x 2" F1 Plywood Vertical Strapping @ 16" o/c (rain screen) Tyvek (Moisture and Air Barrier) 1/2" Ext. Plywood Sheathing 2x6 Wood studs @ 16" o/c Vented cavity to rainscreen 1/2" Ext. Plywood Sheathing Tyvek (Moisture and Air Barrier) 3/8" x 2" F1 Plywood Vertical Strapping @ 16" o/c (rain screen) Fiber Cement panel (see Elevations)



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02	2021 08 13	DP Application
03	2021 10 07	Coordination 01

No.	Date	Revision Notes

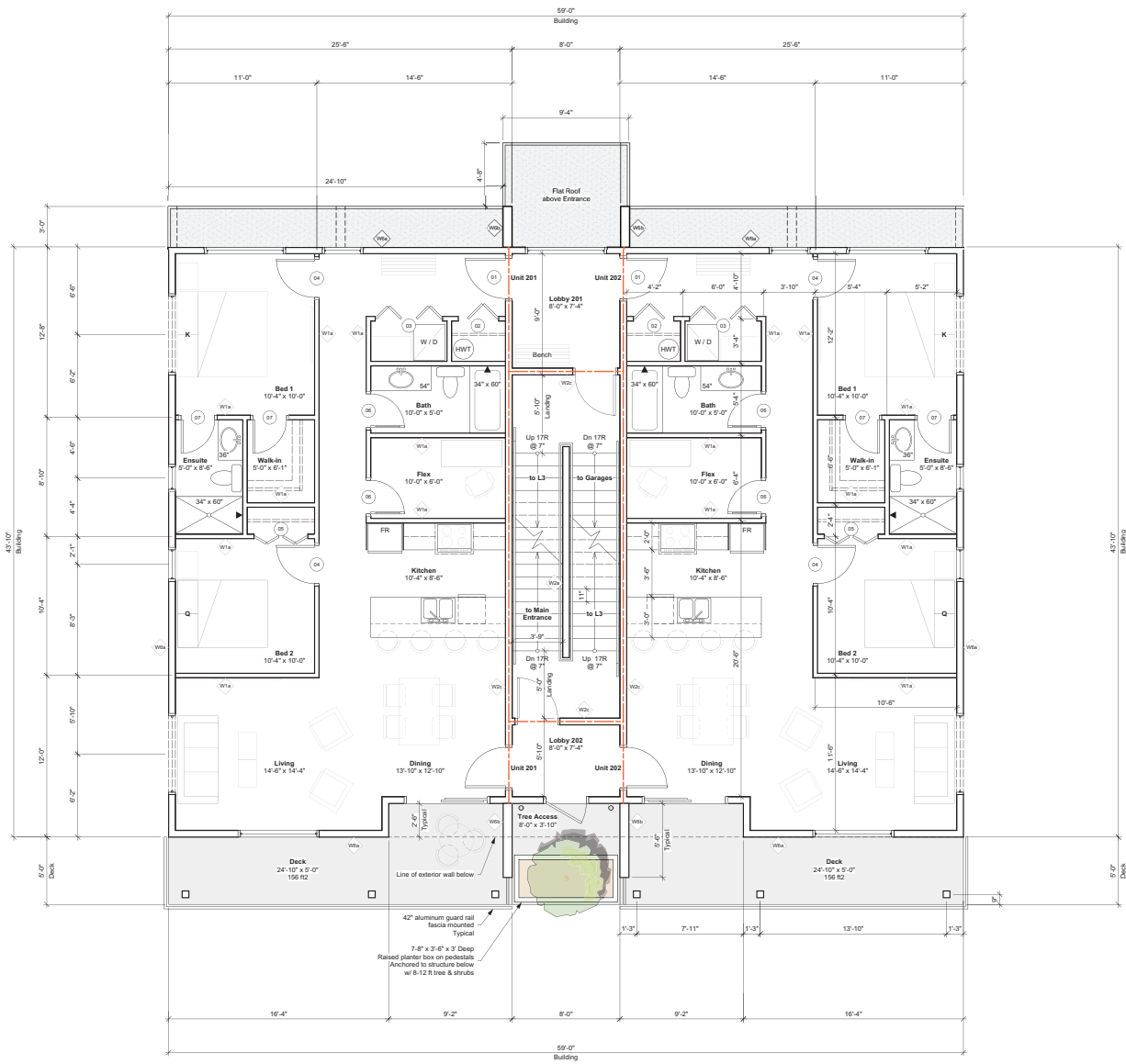
Clayburn Townhome Development
 Nanaimo

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 Lot 5, District Lot 25C, Wellington District, Plan 11632

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 2021-NOV-30

Sheet Title:
**Building B
 L1 Floor Plan**

Drawn: RH	Checkd: RH
Job No: 2102	Sheet No.:
Scale: As Noted	A2.22
Date: Nov 29, 2021	
CAD File: Clayburn townhome development 17 BP.wrx	



- 2 General Notes**
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 - ALL LINTELS TO BE 2" x 10" UNLESS NOTED
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 - DRAWINGS ARE NOT TO BE SCALED.
 - ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE SOIL OR ENGINEERED FILL AND BELOW FROST DEPTH.
 - CENTRAL RECIRCULATING SYSTEM PROVIDE 4" VENT INTO EACH BEDROOM WITH CONTINUOUS FAN
 - VENTED RANGE HOOD TO EXTERIOR
 - 5" EXHAUST FOR BATH FANS
 - ELECTRIC BASEBOARD HEAT

3 Wall Assembly Schedule
Updated: 2021 09 24

- WALL ASSEMBLIES**
- W1a 4" INTERIOR WALL**
 - 1/2" GWB
 - 2x4 Wood Studs @ 24" o/c
 - * waterproof drywall behind shower areas
 - * add 3 1/2" (R12) G.I. batt insulation between bed & living rooms
 - * add 3 1/2" (R12) F.G. batt insulation around WC's
 - 1/2" GWB
 - W1b 4" INTERIOR WALL - LOAD BEARING**
 - 5/8" Type 'X' GWB
 - 2x4 Wood Studs @ 16" o/c
 - 3 1/2" (R12) F.G. batt insulation
 - 5/8" Type 'X' GWB
 - W2a 6" INTERIOR WALL**
 - 1/2" SWOB
 - 1/2" Plywood Sheathing (see structural for shear walls)
 - 2x6 Wood studs @ 16" o/c
 - 1/2" GW
 - W2b 6" INTERIOR WALL - GARAGES**
 - 1 HR. FRP. FIRE SEPARATION- STC 60- CBC 2019 - W100**
 - 2 Layers 1/2" Type 'X' GWB
 - 1/2" Plywood Sheathing (see structural for shear walls)
 - 2x6 Wood studs @ 16" o/c
 - 2 Layers 1/2" Type 'X' GW
 - W2c 6" INTERIOR WALL - SUITE & EXIT SEPARATION**
 - 1 HR. FRP. FIRE SEPARATION- STC 60- CBC 2019 - W100**
 - 1/2" Plywood Sheathing (see structural for shear walls)
 - 2x4 Wood Studs staggered on 2x6 joist w/ 2 1/2" absorptive material/both sides
 - Resilient channels @ 24" o/c horizontal (split side)
 - 2 Layers 1/2" Type 'X' GW
 - W5 N/A**
 - W6a 6" EXTERIOR WALL - VINYL SIDING**
 - Vinyl Siding (see elevations)
 - 2 Layers staggered, 30 min. Building Paper
 - Tyvek (Moisture and Air Barrier)
 - 1/2" Ext. Plywood Sheathing
 - 2x6 Wood studs @ 24" o/c
 - 6 1/2" (R20) F.G. Batt insulation
 - 6 mil poly air & vapour barrier
 - 5/8" Type 'X' GWB (or GWB where no rating required)
 - W6b EXTERIOR FIN WALLS - FIBER CEMENT**
 - Fiber Cement panel (see Elevations)
 - 3/8" x 2" F1 Plywood Vertical Strapping at 16" o/c (rain screen)
 - Tyvek (Moisture and Air Barrier)
 - 1/2" Ext. Plywood Sheathing
 - 2x6 Wood studs @ 16" o/c
 - Vented cavity to rainscreen
 - 1/2" Ext. Plywood Sheathing
 - Tyvek (Moisture and Air Barrier)
 - 3/8" x 2" F1 Plywood Vertical Strapping at 16" o/c (rain screen)
 - Fiber Cement panel (see Elevations)



111 Chelan Place, Nanaimo, B.C. V9R 6S2
tel: 250.797.4668
email: info@familytreedevelopments.ca

No.	Date	Issue Notes
01	2021 05 11	Pre-DP Meeting
02	2021 08 13	DP Application
03	2021 10 07	Coordination 01

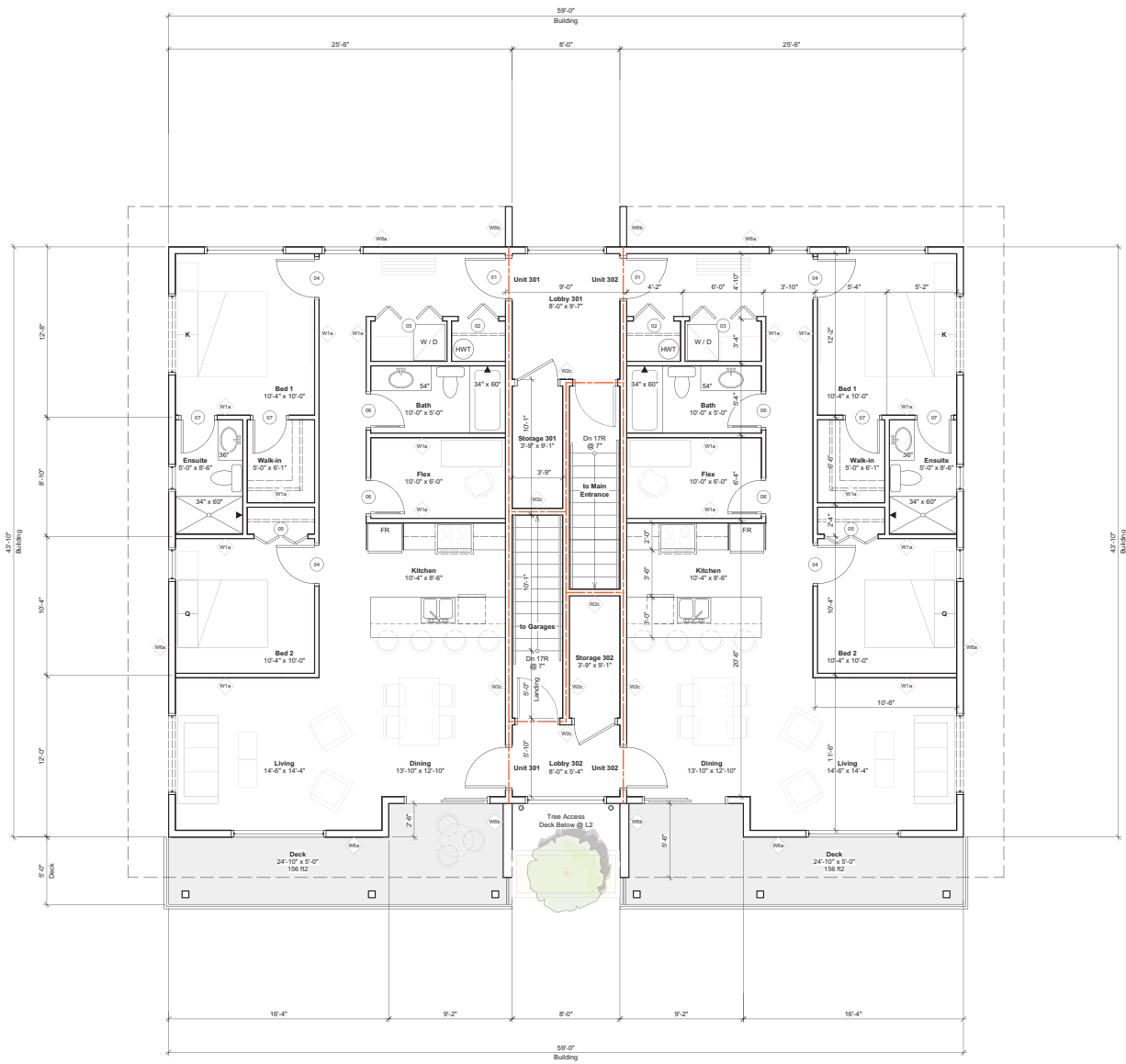
No.	Date	Revision Notes

Clayburn Townhome Development
 Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
 Lot 5, District Lot 25C, Wellington District, Plan 11632



Sheet Title:	
Building B L2 Floor Plan	
Drawn: RH	Checked: RH
Job No.: 2102	Sheet No.:
Scale: As Noted	A2.23
Date: Nov 29, 2021	
CAD File: Clayburn townhome development 17 BP.wrx	



2 General Notes

ALL LUMBER TO BE S.P.F. # 2 OR BETTER
 ALL UNITS TO BE 2 + 2 X 10 UNITS
 CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS,
 DIMENSIONS AND LOCATION OF SERVICES PRIOR TO
 STARTING CONSTRUCTION.
 DRAWINGS ARE NOT TO BE SCALED.
 ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE
 SOIL OR ENGINEERED FILL AND BELOW FROST DEPTH.

CENTRAL RECIRCULATING SYSTEM
 PROVIDE 4" VENT INTO EACH BEDROOM
 WITH CONTINUOUS FAN
 VENTED RANGE HOOD TO EXTERIOR
 5" EXHAUST FOR BATH FANS
 ELECTRIC BASEBOARD HEAT

3 Wall Assembly Schedule
 Updated: 2021 09 24

- WALL ASSEMBLIES**
- W1a 4" INTERIOR WALL**
 1/2" GWS
 2x4 Wood Studs @ 24" o/c
 * waterproof drywall behind shower areas
 * add 3/4" (R12) G.I. batt insulation between bed & living rooms
 * add 3/4" (R12) F.G. batt insulation around W/C's
 1/2" GWS
- W1b 4" INTERIOR WALL - LOAD BEARING**
 5/8" Type 'X' GWS
 2x4 Wood Studs @ 16" o/c
 3/4" (R12) F.G. batt insulation
 5/8" Type 'X' GWS
- W2a 5" INTERIOR WALL**
 1/2" SWSB
 1/2" Plywood Sheathing (see structural for shear walls)
 2x6 Wood studs @ 16" o/c
 1/2" GW
- W2b 6" INTERIOR WALL - GARAGES**
1. FR. FIRE SEPARATION - STC 60 - CBC 2019 - W100
 2 Layers 1/2" Type 'X' GWS
 1/2" Plywood Sheathing (see structural for shear walls)
 2x6 Wood studs @ 16" o/c
 2 Layers 1/2" Type 'X' GW
- W2c 6" INTERIOR WALL - SUITE & EXIT SEPARATION**
1. FR. FIRE SEPARATION - STC 60 - CBC 2019 - W100
 1/2" Plywood Sheathing (see structural for shear walls)
 2x4 Wood Studs staggered on 2x6 joist w/
 2 1/2" (absorptive material) both sides
 Resilient channels @ 24" o/c horizontal (both side)
 2 Layers 1/2" Type 'X' GW
- W5 N/A**
- W5a 6" EXTERIOR WALL - VINYL SIDING**
 Vinyl Siding (see elevations)
 2 Layers staggered, 30 min. Building Paper
 Tyvek (Moisture and Air barrier)
 1/2" Ext. Plywood Sheathing
 2x6 Wood studs @ 24" o/c
 6 1/2" (R20) F.G. Batt insulation
 6 mil poly air & vapour barrier
 5/8" Type 'X' GWS (or GWS where no rating required)
- W5b EXTERIOR FIN WALLS - FIBER CEMENT**
 Fiber Cement panel (see Elevations)
 3/8" x 2" F1 Plywood Vertical Strapping @ 16" o/c (rain screen)
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 1/2" Ext. Plywood Sheathing
 2x6 Wood studs @ 16" o/c
 Vented cavity to rainscreen
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 Tyvek (Moisture and Air Barrier)
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 Fiber Cement panel (see Elevations)



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No.	Date	Revision Notes

Clayburn Townhome Development
 Nanaimo

6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
 Lot 5, District Lot 25G, Wellington District, Plan 11632



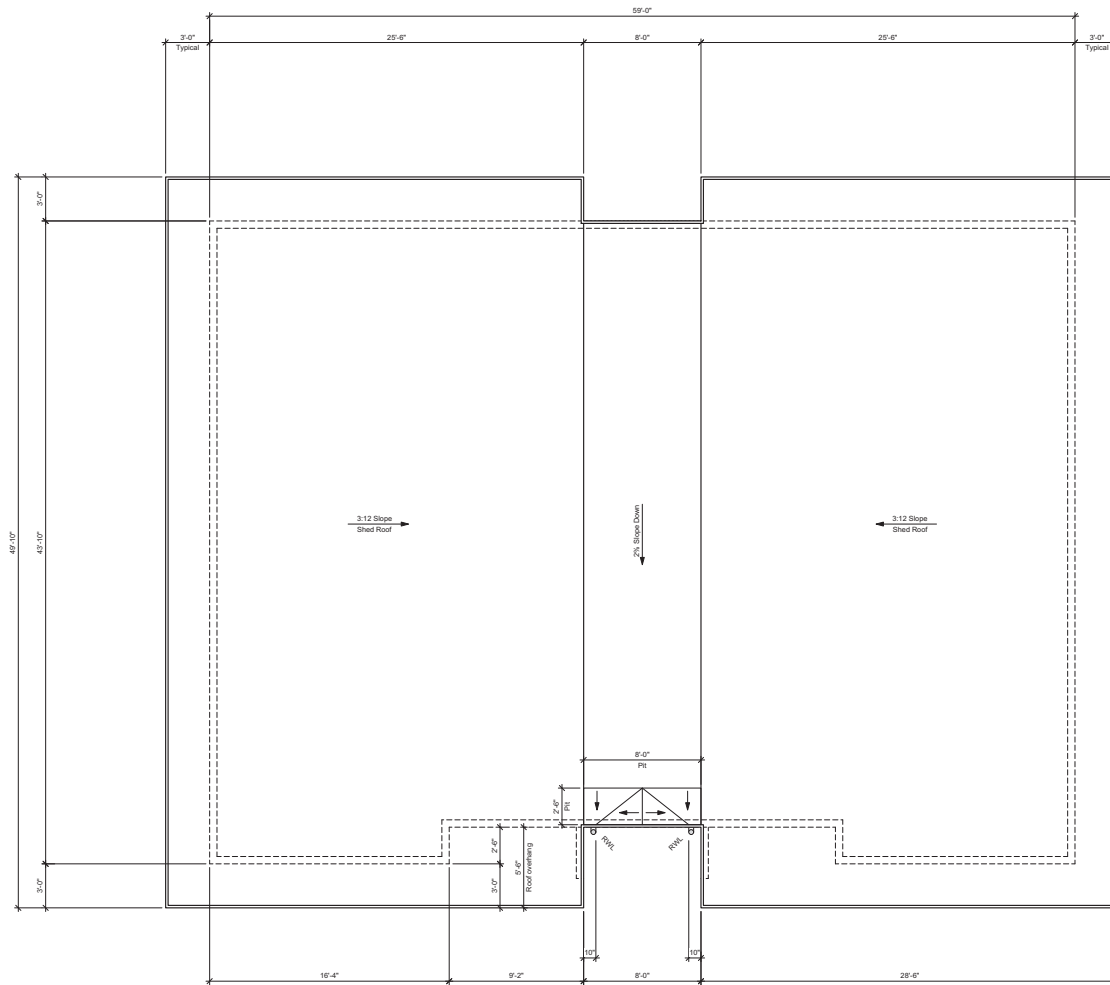
Sheet Title:
**Building B
 L3 Floor Plan**

Drawn: RH
 Check: RH

Job No.: 2102
 Sheet No.: **A2.24**

Scale: As Noted
 Date: Nov 29, 2021

CAD File: Clayburn townhome development 17 BP.wrx



2 General Notes
 ALL LUMBER TO BE S.P.F. # 2 OR BETTER
 ALL LINTELS TO BE 2-2 X 10 UN.G.
 CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS,
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 PROVIDE 4" VENT INTO EACH BEDROOM
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No.	Date	Issue Notes
01	2021 05 11	Pre-DP Meeting
02	2021 08 13	DP Application
03	2021 10 07	Coordination 01

No.	Date	Revision Notes
-	-	-

Clayburn Townhome Development
 Nanaimo
 6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
 Lot 5, District Lot 25C, Wellington District, Plan 11632



Sheet Title:
**Building B
 L4 Floor Plan**

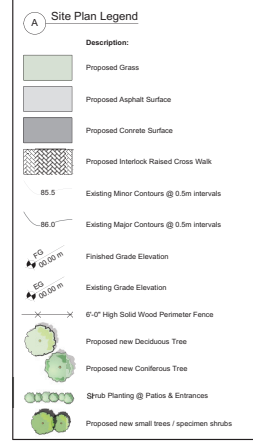
Drawn: RH Check: RH

Job No: 2102 Sheet No.:

Scale: As Noted **A2.25**

Date: Nov 29, 2021

CAD File: Clayburn townhome development 17 BP.wx



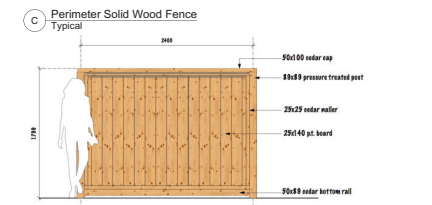
Existing Tree Legend

#	Species	Diameter (m)
01	Douglas Fir	± 0.70
02	Douglas Fir	± 0.60
03	Willow	0.55
04	Cherry	0.28
05	Cherry	0.30
06	Cherry	0.30

Note:
 1. Information shown above is referenced from survey provided by Turner & Associates on July 28, 2021.
 2. Some trees will need to be trimmed to full space.
 3. Red tree tags not surveyed.

B Plant Schedule

Botanical Name	Common Name	Caliper / Height	Quantity
Site Trees - Deciduous			
Betula Papyrifera	Paperbark Birch	5cm cal.	
Crataegus X Lavallei	Lavalle Hawthorn	5cm cal.	
Magnolia X Vulcan	Vulcan Magnolia	4cm cal.	
Nyssa Sylvatica	Black Tupelo Tree	4cm cal.	
Fernoxia Persica Venessa	Vanessa Persian Ironwood	4cm cal.	
Site Trees - Deciduous			
Picea Omorika "Bruna"	Serbian Spruce	#20 Pot, 2.0 m	
Small Trees / Specimen Shrubs			
Arbutus Unedo "Comata"	Strawberry Tree	#15 Pot	
Malus "Adirondack"	Crab Apple Varieties	#10 Pot	
"Royal Raindrops"	"Royal Raindrops"	#10 Pot	
Syringa Charles Joly	Lilac	#10 Pot	
Shrub Planting @ Patios & Entrances			
Planting @ 1 per 1.2 m ²			
Miscanthus Sinensis "Gracillimus"	Japanese Silver Grass	#1 Pot	
Calamagrostis "Karl Foerster"	Feathered Reed Grass	#1 Pot	
Hydrangea Quercifolia	Oak Leaf Hydrangea	#3 Pot	
Nandina Domestica "Moon Bay"	Moon Bay Heavenly Bamboo	#2 Pot	
Viburnum Carlesii	Korean Spice Bush (Fragrant)	#5 Pot	
Rosa Rugosa	Shrub Rose, Red Scented Pear	#3 Pot	
Rosa Nutkana	Nootka Rose	#1 Pot	
Symphoricarpos Albus	Snowberry	#1 Pot	
Ribes Sanguineum	Flowering Redcurrant	#1 Pot	
Physocarpus Opulifolius	Pacific Nine-Bark	#2 Pot	
Galearia Shalton	Salt	#1 Pot	



No.	Date	Issue Notes
01	2021 05 11	Pre-PP Meeting
02	2021 08 13	DP Application
03	2021 08 25	Coordination 01

No.	Date	Revision Notes
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Clayburn Townhome Development
 Nanaimo
 6040 Hammond Bay Road, Nanaimo, B.C. V9T 5M4
 Lot 5, District Lot 25G, Wellington District, Plan 11632

RECEIVED
 DP 1247
 2021-SEP-29

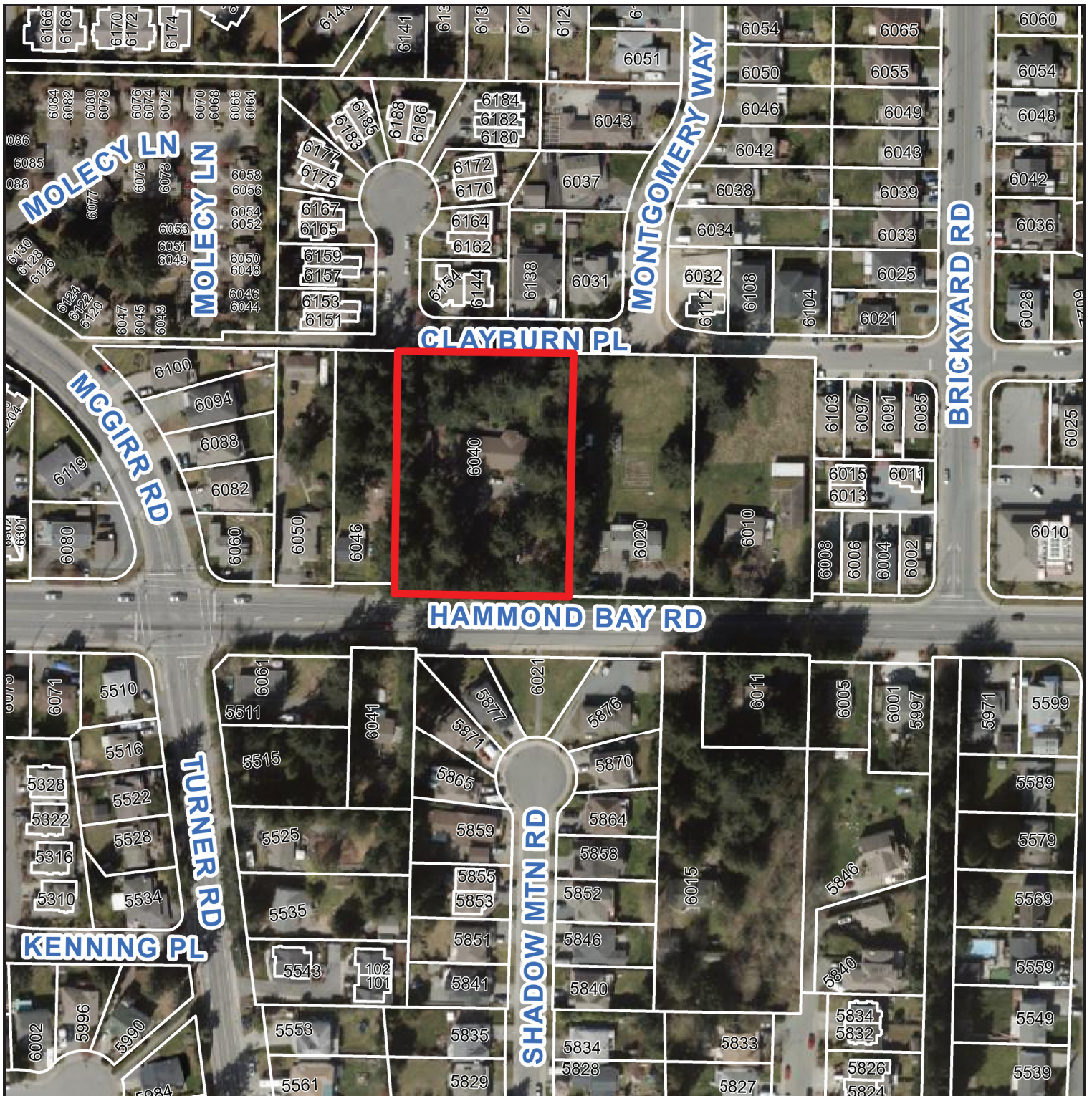
Sheet Title:
**Landscape Plan
 Plant Schedule**

Drawn: RH
 Job No.: 2102
 Scale: As Noted
 Date: Sep 29, 2021
 CAD File: clayburn townhome development 16 BP.vwx

Sheet No.:
A1.3

Checked: RH

AERIAL PHOTO



DEVELOPMENT PERMIT APPLICATION NO. DP001247

 6040 HAMMOND BAY ROAD

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001248 – 6985 ISLAND HIGHWAY N

Applicant: DISTRICT DEVELOPMENTS CORP.

Architect: DARYOUSH FIROUZLI ARCHITECTURE INC.

Owners: NORTH GROVE (2) NOMINEE LTD.

Landscape Architect: DURANTE KREUK LTD.

SUBJECT PROPERTY AND SITE CONTEXT:

<i>Zoning</i>	Woodgrove Urban Centre (CC4)
<i>Location</i>	The subject property is located at the north boundary of the City and is bounded by the Nanaimo Parkway on the southwest property line and Island Highway N on the northeast property line.
<i>Total Area</i>	1.17ha
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plans – Woodgrove Urban Node; Map 3 – Development Permit Area No. 4 – Nanaimo Parkway Design; Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential development.
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines Nanaimo Parkway Design Guidelines.

The subject property is located at the north boundary of the City and is in close proximity to multiple shopping centers. The property is bounded by the Nanaimo Parkway along the southwest property line, and the Island Highway N along the northeast property line. The proposed development is Phase 2 of a two-phase multi-family residential development. Phase 1 (6975 Island Highway N) consisted of 146 rental units within three buildings, and shares its western property line with the proposed development site.

PROPOSED DEVELOPMENT

The subject property is approximately 1.17ha in size. The CC4 zone allows a floor area ratio (FAR) of 1.25, and the proposed FAR for Phase 2 is 0.99 with a gross floor area (GFA) of 11,665m² within two five-storey buildings. Phase 2 includes 149 rental units divided between two buildings (5,811m² in Building A and 5,854m² in Building B) with underground parking and a mix of the following unit types:

Unit Type	Number of Units	Approximate Unit Sizes
Two bedroom and den	3	90m ²
Two bedroom	44	80m ²
One bedroom and den	44	70m ²
One bedroom	45	60m ²
Studio	13	44m ²
Total	149 units	

Site Design

The site design consists of two five-storey buildings sited parallel to the northeast and southwest property lines, fronting both highways. Site access is from an internal drive aisle that is shared between Phases 1 and 2, and is accessed by a right-in/right-out egress from the Island Highway. Surface parking areas are located between Buildings A and B, and on the north and south side of Building B. Underground parking is provided beneath both buildings, with access from the northwest corner of the site. A total of 176 parking stalls are provided as part of Phase 2, with 98 of the stalls above ground.

The primary building entrances face the internal parking area. A central, shared park is located at the southeast corner of Building B, which was designed as part of Phase 1 and connects pedestrian walkways between each building and the two phases. Long-term bicycle storage will be provided within the buildings. An outdoor refuse receptacle enclosure is proposed in the northwest corner of the site.

Staff Comments:

- The internal drive aisle, park, and pedestrian connections create a sense of neighbourhood identity between Phases 1 and 2.
- Consider raising the pedestrian connections on-site to provide emphasis from the drive aisles and create a safer experience for pedestrians on-site.
- Identify the visitor parking stalls on-site.
- Add a direct pedestrian connection between the northeast corner of Building B and southwest corner of Building A, as well as from the parking area on the north side of Building B to either building.
- The refuse receptacle enclosure is not easily accessible or linked by a direct pedestrian connection from each building. Consider moving the receptacles inside the underground parking structures, or to a more central location.
- The proposed development requires a total of 147 parking stalls. Remove all surface parking spaces in excess of this number, in favour of providing more open space or amenity areas.

Building Design

Each building is contemporary in design with a flat roof and small overhang, and a maximum height of 18.28m. Exterior materials include Hardie plank, faux wood cladding, cement composite, veneer brick, black vinyl windows, and aluminum railings for the patios and decks. The proposed materials and colour palette are consistent with Phase 1 of the development; however, the building design is varied for Phase 2.

The main building entrances are emphasized by projecting canopies with wood accents. Each upper unit has its own deck, which are recessed into the façade with the railings projecting out from the building faces to provide articulation to all sides of the buildings. A vertical detail is added in between the fourth and fifth floors to breakup the massing. The upper floor corners of the buildings are emphasized by a material change and decks that wrap around the building. The Hardie plank and cement composite cladding are differing sizes, providing further interest to the design.

Staff Comments:

- Provide differentiation in exterior materials between the two buildings to ensure a unique identity.
- Explore ways to better connect the east elevation of Building A to the street in order to create a presence at the site entrance (i.e. further extend the balconies around the corners, or consider a material change/emphasis).
- Consider adding an entrance to the south side of Building B to provide access to the parking area, and consider providing a more direct pedestrian connection between the parking area and the main entrance of Building B.
- Ensure adequate screening of any rooftop mechanical equipment.

Landscape Design

The north, west, and south sides of the site are buffered by a generous landscape buffer, and the edge of the internal drive aisle will be planted with street trees. The edge treatment consists of a mix of coniferous and deciduous trees. The site ground cover will consist of a hydroseeded pollinator mix and natural lawn with low plantings around the base of each building to provide separation for the private patio areas. Trees are interspersed among the central parking area of the site, providing shade to the parking areas.

Pedestrian walkways within the site will be surfaced with stamped, coloured asphalt and many parking stalls will be paved with a permeable surface. All private patios will be finished with pavers, and the entrances of each building have concrete “venetian cobble” pavers to emphasize the area. Low boulder and concrete retaining walls are used throughout the site. Short term bicycle storage is provided in front of both buildings. An amenity space is provided in front of Building B, adjacent to the shared park space, complete with benches, café seating, pavers, and a wooden trellis. Bollard lighting is provided throughout the site.

Staff Comments:

- A walking trail around the site perimeter was developed as part of Phase 1. Consider extending a perimeter walking trail through Phase 2, and integrate it with the proposed landscaping, to create a complete walking loop for the on-site residents.
- Provide a more robust planting of trees, shrubs and plants between the parking areas and pedestrian walkways and buildings to reduce glare from headlights and provide more separation between the public and private spaces.
- Explore ways to further expand the common green area (part of Phase 1) into Phase 2 to increase the landscaped areas and provide more outdoor amenity space. In addition, provide an outdoor amenity area within close proximity to Building A.
- Curb stops will be required for the parking stalls in front of landscaped areas.
- Consider surfacing the loading area with a permeable material.
- Consider placing the short-term bicycle storage areas under cover to provide weather protection.
- In accordance with the Urban Parkway Guidelines, the plant palette on the Nanaimo Parkway Edge should utilize deciduous street trees planted in formal rows and patterns, utilize ornamental and coniferous plant material for screening and to visually block unsightly uses such as parking and the refuse receptacle. The landscape plan should include more evergreen species among the Kwanzen cherry trees buffering the south parking area to ensure it will be screened from the highway throughout the year, and provide a landscape buffer around the outdoor refuse receptacle enclosure to ensure adequate screening as required by Part 17 of the Zoning Bylaw.

- Consider reconfiguring the parking areas or removing some of the excess parking stalls to provide more open space that could benefit from additional on-site outdoor amenity areas such as a community garden, or a fenced-in dog area.
- Provide plantings around the pad-mounted transformer at the south corner of Building A to screen it from view.

PROPOSED VARIANCES

Front Yard Setback

The minimum required front yard setback is 7.0m within the CC4 zone where there is no parking between the front property line and the front face of the building and where the property abuts a major road. A variance is requested to reduce the minimum front yard setback from 7.0m to 6.3m for the property line adjacent to the Island Highway. This represents a proposed variance of 0.7m.

Building Height

The maximum permitted building height in the CC4 zone is 14m. The applicant is proposing a building height of 18.28m in order to accommodate a reduced building footprint. This represents a proposed variance of 4.28m

October 5, 2021

City of Nanaimo
Planning Department
455 Wallace Street
Nanaimo, BC V9R 5J6

Attn: Ms. Lainya Rowett, MCIP, RPP, Manager of Current Planning

RE: Development Permit Rationale – 6985 Island Hwy N, PID 030-901-952

PROPERTY INFORMATION

- Civic Address: 6985 Island Hwy N
- PID: 030-901-952
- Site Area: 2.90 acres
- Existing OCP Designation: Urban Node
- Proposed OCP Designation: No change
- Existing Zoning: North Nanaimo Urban Centre, CC4
- Proposed Zoning: No change

The project site is located within the area designated as the Woodgrove Urban Node of the Nanaimo Official Community Plan. The property abuts 6795 Island Highway N to the east, and is located between Island Highway N to the north and Nanaimo Parkway to the south. There are no servicing or infrastructure challenges to be expected with the development of this property. Specifically, our proposal as presented is for the development of the second phase of a purpose-built rental apartment located at 6975 Island Highway N.

CURRENT PLANNING POLICY

Official Community Plan

The property is within the Woodgrove Urban Node designation of the OCP. The Woodgrove area is a key economic generator that provide a range of goods and services to residents from Nanaimo and the surrounding area.

Current Zoning Information

The property is currently zoned CC4 Woodgrove Urban Centre. The current zoning designation provides for a regional commercial centre with a focus on intensive retail and service uses and medium to high density residential.

DEVELOPMENT PROPOSAL

District Developments is pleased to present the second phase of a best in class rental apartment project in Nanaimo, BC. The property is located near the City of Nanaimo city limits and is abutted by Island Highway to the north and Nanaimo Parkway to the south. To the east of the property is the completed first phase of the North Grove development, approved by the City of Nanaimo on May 3, 2018, which is comprised of three (3) four-storey buildings with 150 rental apartment units (DP 001083).

PROPOSED PLAN

This particular site has presented both challenges and opportunities with respect to design. Several factors have been considered in determining the layout and of the site including:

- The site as a gateway entry to the municipality;
- Architecture;
- Landscaping;
- Connectivity; and
- Consideration of Phase 1.

The site has been contextually planned so as to appropriately incorporate with the adjacent land uses and maintains consistency with the first phase of development, which introduced residential uses into a predominantly commercial area. We believe the second phase of the North Grove development will carry on with the success of phase one which injected residential uses in an area predominantly comprised of commercial services. Adding additional residential density at the proposed location is supportable as the site is proximal to a major transit hub in the City and is in close proximity to a major employment base.

The proposed Development Permit package illustrates our intention to develop two (2) five-storey purpose built rental residential apartment buildings constructed atop one discrete level of underground parking located within each building footprint; the remaining balance of parking is to be provided at the surface. A total of approximately 150 units will be constructed between the two rental residential apartment buildings. The proposed development will provide the area with a much-needed housing typology in an area that has proximal access to essential services including retail, commercial, and a new park which was dedicated as part of the first phase of the development located at 6875 Island Highway N. The development takes into consideration the Parkway Design Guidelines and respects the design guidelines as presented in the Official Community Plan.

As the site is located on the western most boundary of the City, a significant amount of attention was paid to the presentation of the property from the perspective of vehicular traffic approaching the city from the west. As part of the pre-application process, the applicant worked extensively with City staff throughout the site planning stage which

began in November 2020 through March 2021. The proposed buildings are set back from Island Highway N creating a landscape buffer that allows the buildings to be visually in and amongst the proposed new landscaping. As is indicated in the development guidelines parking has been strategically placed in areas that can be shrouded by screening along both the Parkway and the North Island Highway.

In order to decrease the amount of site coverage, we are proposing two 5 storey buildings. As the site is uniquely shaped and bound between the Parkway and Island Highway, increasing the height of the buildings from four to five storeys allows for a reduction in the building footprint, which in turn increases permeability and soft scaping. To further reduce the amount of site coverage the project contemplates one level of discrete underground parking situated within the building footprints.

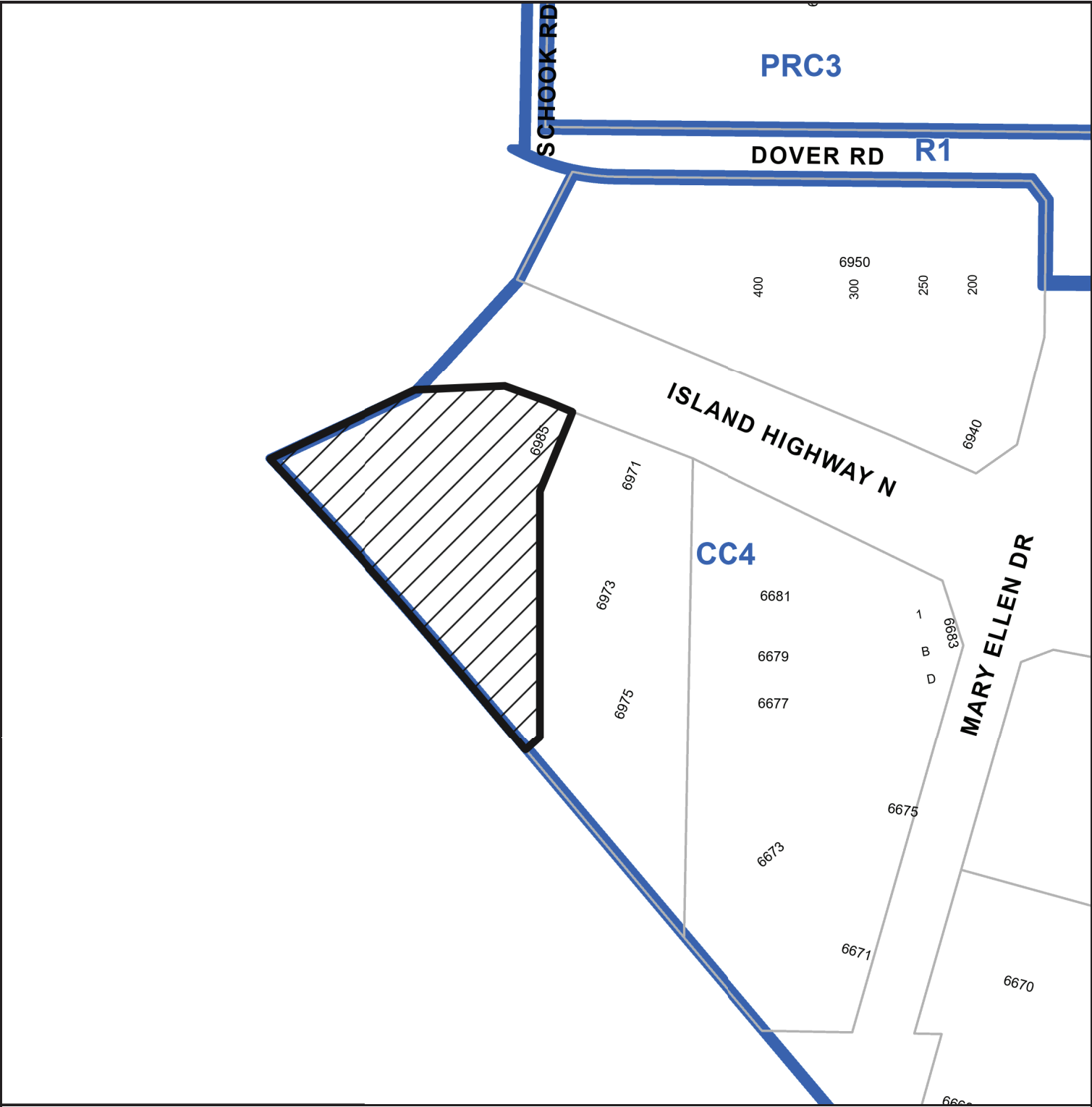
The proposed materials and colour palette are consistent with the first phase of the development (6975 Island Highway N) however, the building design varies from phase one to phase two in order to create a unique sense of place. A higher degree of detail will occur around the entries and the ground floor where there is an opportunity for people to touch and feel the materials. It is our belief that a simple approach to the architecture create timeless buildings and will allow the landscape treatments to stand out.

We trust this information and level of detail provided in our submission package reflects the tremendous amount of thought and effort we have put into the proposal. We look forward to working with you and other City of Nanaimo staff throughout the course of our Development Permit application.

**DI
STRICT**

T 604.377.3382 200-8809 Heather Street
Vancouver BC V6P 3T1
districtgroup.ca

LOCATION PLAN



DEVELOPMENT PERMIT APPLICATION NO. DP001248



Subject Property

CIVIC: 6985 ISLAND HIGHWAY NORTH
LEGAL: LOT 2, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN EPP80768



ISLAND HWY

Building A

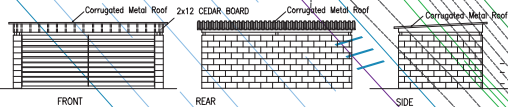
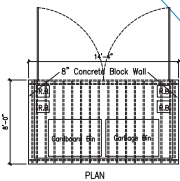
Building B

PHASE 1

PLAN VIP63639

REM A
PLAN 1278

NANAIMO PARKWAY



ALL CONCRETE BLOCK PAINTED
ALL CEDAR WOOD STAINED
GATES W/ 22 METAL FRAME

NOTES
1. See drawing for an explanation of notes in this project.
2. All work shall be in accordance with the applicable codes and regulations of the City of Nanaimo, British Columbia.
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
4. The contractor shall be responsible for the safety of all workers and the public during the construction process.
5. The contractor shall be responsible for the protection of all existing structures and utilities on the site.
6. The contractor shall be responsible for the removal and disposal of all construction waste in accordance with applicable regulations.
7. The contractor shall be responsible for the maintenance of all access roads and utilities during the construction process.
8. The contractor shall be responsible for the protection of all trees and vegetation on the site.
9. The contractor shall be responsible for the installation of all safety barriers and signage during the construction process.
10. The contractor shall be responsible for the completion of all work in accordance with the approved drawings and specifications.

D-ARCHITECTURE
5377 CARUS DRIVE, NANAIMO, BC V1Y 1M4
T: 250-933-1991, E: PRODUZ@D-ARCH.COM
D-ARCHITECTURE/PROZDUZ ARCHITECTURE

SCALE
DRAWN
DESIGNED
DATE
25 SEP 21

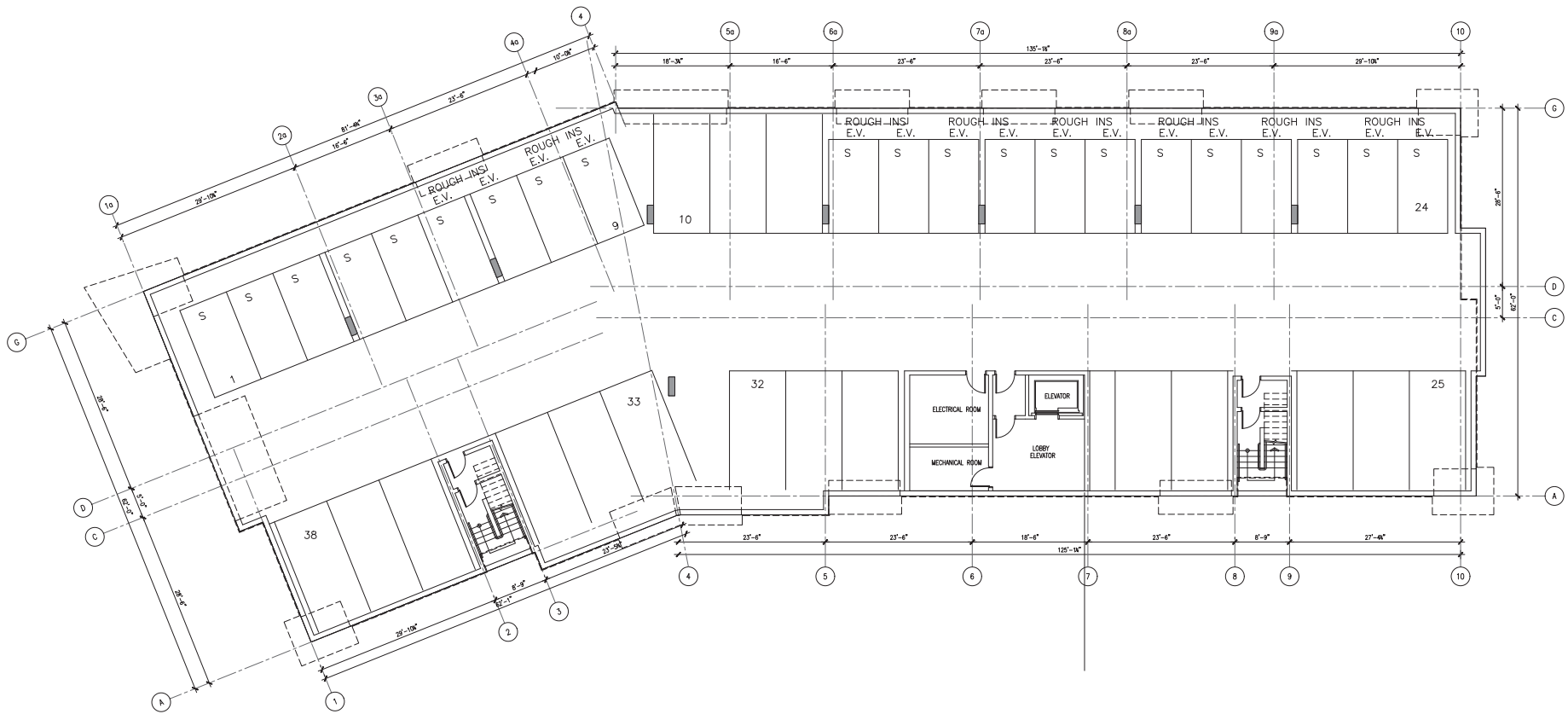
PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO.
2176

SHEET TITLE
SITE PLAN
PRELIMINARY
ROOM/C

RECEIVED
DP1248
2021-OCT-07

SHEET NO.
A1.0
REVISION



UNDERGROUND PARKING FLOOR PLAN

RECEIVED
 DP 1248
 2021-OCT-07
CLIMATE SERVICES

NOTES

1. This drawing is an approved set of plans for the project and shall not be used for any other purpose without the written consent of the architect.
2. All dimensions shall be in feet and inches unless otherwise noted.
3. All work shall be in accordance with the current edition of the British Columbia Building Code and the current edition of the National Building Code of Canada.
4. All work shall be in accordance with the current edition of the International Building Code.
5. All work shall be in accordance with the current edition of the International Mechanical Code.
6. All work shall be in accordance with the current edition of the International Fire Code.
7. All work shall be in accordance with the current edition of the International Electrical Code.
8. All work shall be in accordance with the current edition of the International Plumbing Code.
9. All work shall be in accordance with the current edition of the International Fuel Gas Code.
10. All work shall be in accordance with the current edition of the International Energy Conservation Code.



D-ARCHITECTURE
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ARCHITECT SEAL

CONSULTANT LOGO

CONSULTANT SEAL

SCALE
 1/8" = 1'-0"
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 DATE
 25 SEP 21

PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO. 2176

SHEET TITLE
 UNDERGROUND PARKING
 PRELIMINARY
 BUILDING A

SHEET NO.
A3.0
 REVISION

**6985 ISLAND HIGHWAY N.
NANAIMO, BC**

NORTH GROVE #2

ISSUED FOR DEVELOPMENT PERMIT
SEPTEMBER 25, 2021



SITE PARTICULARS

CIVIC ADDRESS:	6985 Island Highway North, Nanaimo, BC
LEGAL ADDRESS:	Lot 2, District Lot 26, Wellington District, Plan EPP80768
SITE AREA:	2.90 Acres 126,497 sq.ft. (11,752 m ²)
ZONING:	CC4 Woodgrove Urban Centre

PROJECT DATA

DESCRIPTION	ALLOWED / REQUIRED	PROPOSED (Building A & B)
USE	Multiple Family Dwelling	Multiple Family Dwelling
LOT AREA	126,497 sq.ft. (11,752 m ²)	126,497 sq.ft. (11,752 m ²)
LOT COVERAGE	50%	25% = 25,591 sq.ft. (2,377 m ²)
BUILDING GROSS FLOOR AREA		Building A & B: Main Floor Plan: 24,767 sq.ft. Second Floor Plan: 25,199 sq.ft. Third Floor Plan: 25,199 sq.ft. Fourth Floor Plan: 25,199 sq.ft. Fifth Floor Plan: 25,199 sq.ft. Total: 125,563 sq.ft.
DENSITY	1.25 = 158,121 sq.ft. (14,690 m ²)	0.99 = 125,563 sq.ft. (11,665 m ²) Overall
SETBACKS	FRONT: 24.60' (7.5 m) Min. REAR: 24.60' (7.5 m) Min. SIDE: 9.84' (3.0 m) Min. SIDE (flanking street): 19.69' (6.0 m) Min.	FRONT: 20.67' (6.3 m) Min. SIDE: 24.60' (7.5 m) Min. REAR: 9.84' (3.0 m) Min. SIDE (flanking street): 19.69' (6.0 m) Min.
HEIGHT OF BUILDINGS	45.93' (14 m) Max.	65' (18.28 m) Max.
AMENITY AREAS		999 S.F. AMENITY ROOM & BIKE S.
OFF-STREET PARKING	- 1.52 Stall per 3 bedroom units x 0 = 0.00 - 1.26 Stall per 2 bedroom units x 39 = 49.14 - 0.88 Stall per 1 bedroom units x 94 = 82.72 - 0.75 Stall per Studio units x 16 = 12.00	Large stalls: 86 Small stalls: 93 H/C stalls: 4 Total: 183 Loading Bay: 2

BUILDING CODE ANALYSIS

B.C. BUILDING CODE 2018

3.1 GENERAL

WORK EQUIVALENCES CLASSIFICATION

GROUP C - RESIDENTIAL

GROUP F1 - PARKING

OCCUPANCY LOAD

3 PERSONS PER SLEEPING ROOM IN A DWELLING UNIT

BUILDING A

PARKING FLOOR

LEVEL 1 (RAW FLOOR)

LEVEL 2

LEVEL 3

LEVEL 4

LEVEL 5

TOTAL OCCUPANT LOAD = 196

3.2 BUILDING FIRE SAFETY

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

BUILDING FACES 1 STREET

GROUP C, UP TO 6 STORIES, SPRINKLERED

BUILDING MEANS TO BE MAINTAINED THROUGHOUT

BUILDING MEANS TO BE MAINTAINED THROUGHOUT

FLOOR ASSEMBLIES TO BE FIRE SEPARATIONS W/ 1 HR. FIRE

PROVISIONS FOR FIRE FIGHTING

AUTOMATIC SPRINKLER SYSTEM IN CONFORMANCE WITH NFPA 13

3.3 TO 3.6 SAFETY WITHIN FLOOR AREAS

FIRE SEPARATION

RESIDENTIAL SUITES / PARKING

EXIT ENCLOSURES / RESIDENTIAL SUITES

EXIT ENCLOSURES / PARKING

STAIRWAY ENCLOSURE / STAIRWAY

STAIRWAY ENCLOSURE / STAIRWAY

STAIRWAY ENCLOSURE / STAIRWAY

STAIRWAY ENCLOSURE / STAIRWAY

STAIRWAY ENCLOSURE / STAIRWAY

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STAIRWAY ENCLOSURE / STAIRWAY

ARCHITECTURAL

A0.0 COVER SHEET

A1.1 SITE PLAN

BUILDING B

A2.0 PARKADE FLOOR PLAN

A2.1 MAIN FLOOR PLAN

A2.2 SECOND FLOOR PLAN

A2.3 THIRD FLOOR PLAN

A2.4 FOURTH FLOOR PLAN

A2.5 FIFTH FLOOR PLAN

A2.6 ROOF PLAN

BUILDING A

A3.0 PARKADE FLOOR PLAN

A3.1 MAIN FLOOR PLAN

A3.2 SECOND FLOOR PLAN

A3.3 THIRD FLOOR PLAN

A3.4 FOURTH FLOOR PLAN

A3.5 FIFTH FLOOR PLAN

A3.6 ROOF PLAN

A4.1 BUILDING ELEVATIONS (BLDG. A)

A4.2 BUILDING ELEVATIONS (BLDG. A)

A5.1 BUILDING ELEVATIONS (BLDG. B)

A5.2 BUILDING ELEVATIONS (BLDG. B)

DRAWING LIST

CIVIL

C00 COVER SHEET

C01 KEY PLAN

C02 GRADING PLAN

C03 SERVICING PLAN

C04 DETAILS

C05 STORMWATER MANAGEMENT PLAN

LANDSCAPE

L1 GRAPHIC LANDSCAPE PLAN

L2 GRADING & MATERIAL PLAN

L3 GRADING & MATERIAL PLAN

L4 PLANTING PLAN

L5 PLANTING PLAN

L6 DETAILS

CONSULTANTS

ARCHITECTURAL

DAIRYDOUSH FROUZLU ARCHITECTURE INC.

STRUCTURAL

SORENSEN TRILOGY ENGINEERING LTD.

MECHANICAL

AVALON MECHANICAL CONSULTANTS LTD.

ELECTRICAL

RB ENGINEERING LTD.

CIVIL

APLIN & MARTIN CONSULTANTS LTD.

LANDSCAPE ARCHITECT

DURANTE KREUL LTD.

BUILDING ENVELOPE

SITE DATA

LEGAL DESCRIPTION

LOT 2, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN EPP80768

CIVIC ADDRESS

6985 ISLAND HIGHWAY NORTH NANAIMO, BC

LOT AREA

126,497 S.F. (11,752 M²)

FLOOR GROSS AREA BLDG. A

PARKADE (NET IN TOTAL GROSS AREA)

MAIN FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FOURTH FLOOR PLAN

FIFTH FLOOR PLAN

TOTAL

FLOOR GROSS AREA BLDG. B

PARKADE (NET IN TOTAL GROSS AREA)

MAIN FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FOURTH FLOOR PLAN

FIFTH FLOOR PLAN

TOTAL

NOTES

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2. The architect is not responsible for the accuracy of the information provided by the client or for the results of any tests or investigations conducted by others.

3. The architect is not responsible for the accuracy of the information provided by the client or for the results of any tests or investigations conducted by others.

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PROJECT

CLIENT

SHEET TITLE

SHEET NO.



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

EXTERIOR MATERIALS & COLORS		
CODE	COLOR	MATERIAL
1	[Grey swatch]	CEMENT COMPOSITE SIDING SLATE GRAY
2	[Dark grey swatch]	CEMENT COMPOSITE SIDING IRON GREY
3	[White swatch]	CEMENT COMPOSITE SIDING ARCTIC WHITE
4	[Light grey swatch]	8" HARDIE PLANK SIDING LIGHT MIST
5	[Brown swatch]	FALUX WOOD CLADDING
6	[Dark brown swatch]	VENEER BRICK DARK BROWN BRICK
7	[Blue swatch]	BLACK ALUMINUM RAILING
8	[Blue swatch]	BLACK VINYL WINDOWS/DOORS

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CONSULTANT LOGO

CONSULTANT SEAL

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CHECKED:
DATE: 02 DEC 21

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO. 2176

SHEET TITLE
BUILDING ELEVATIONS
BUILDING A
PRELIMINARY

SHEET NO.
A4.1
REVISION

EXTERIOR MATERIALS & COLORS		
CODE	COLOR	MATERIAL
①		CEMENT COMPOSITE SIDING SLATE GRAY
②		CEMENT COMPOSITE SIDING IRON GREY
③		CEMENT COMPOSITE SIDING ARCTIC WHITE
④		8" HARDIE PLANK SIDING LIGHT MIST
⑤		FAUX WOOD CLADDING
⑥		VENEER BRICK GRAY / BROWN BRICK
⑦		BLACK ALUMINUM RAILING
⑧		BLACK VINYL WINDOWS/DOORS



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PROJECT: NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT: DISTRICT
 PROJECT NO.: 2176

SHEET TITLE: BUILDING ELEVATIONS
 BUILDING A
 PRELIMINARY

SHEET NO.: **A4.2**
 REVISION:



EXTERIOR MATERIALS & COLORS

CODE	COLOR	MATERIAL
1	[Color swatch]	CEMENT COMPOSITE SIDING EVENING BLUE
2	[Color swatch]	CEMENT COMPOSITE SIDING CHARCOAL / RICH ESPRESSO
3	[Color swatch]	CEMENT COMPOSITE SIDING ARCTIC WHITE
4	[Color swatch]	8" HARDIE PLANK SIDING SLATE GRAY
5	[Color swatch]	FAUX WOOD SIDING
6	[Color swatch]	VENEER BRICK DARK BROWN BRICK
7	[Color swatch]	BLACK ALUMINUM RAILING
8	[Color swatch]	BLACK VINYL WINDOWS/DOORS

NORTHWEST ELEVATION

SOUTHEAST ELEVATION

SOUTHWEST ELEVATION

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PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO. 2176

SHEET TITLE
 BUILDING ELEVATIONS
 BUILDING B
 PRELIMINARY

SHEET NO.
A5.1
 REVISION



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2. All dimensions shall be in millimeters unless otherwise specified. All dimensions shall be to the face of the work unless otherwise specified.

3. All work shall be in accordance with the applicable building codes and standards of the jurisdiction.

4. All work shall be in accordance with the applicable building codes and standards of the jurisdiction.

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 DATE 25 SEP 21

PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO. 2176

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3. The client is responsible for obtaining all necessary permits and approvals for the proposed project. The architect is not responsible for any delays or costs associated with the permitting process.

4. The client is responsible for providing all necessary information and documents for the proposed project. The architect is not responsible for any delays or costs associated with the information provided.

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PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
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PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
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 DARYOUSH FIRGOUZI ARCHITECTURE INC.

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CONSULTANT LOGO

CONSULTANT SEAL

SCALE
 DRAWN
 CHECKED
 DATE 25 SEP 21

PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO. 2176

SHEET TITLE
 RENDERING
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 Central Planning

SHEET NO.
A6.5
 REGION



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3. The architect is not responsible for any construction or other matters that may arise during the project. The client is responsible for the construction and other matters that may arise during the project.

4. The architect is not responsible for any other matters that may arise during the project. The client is responsible for the other matters that may arise during the project.



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PROJECT
NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
PHASE #2

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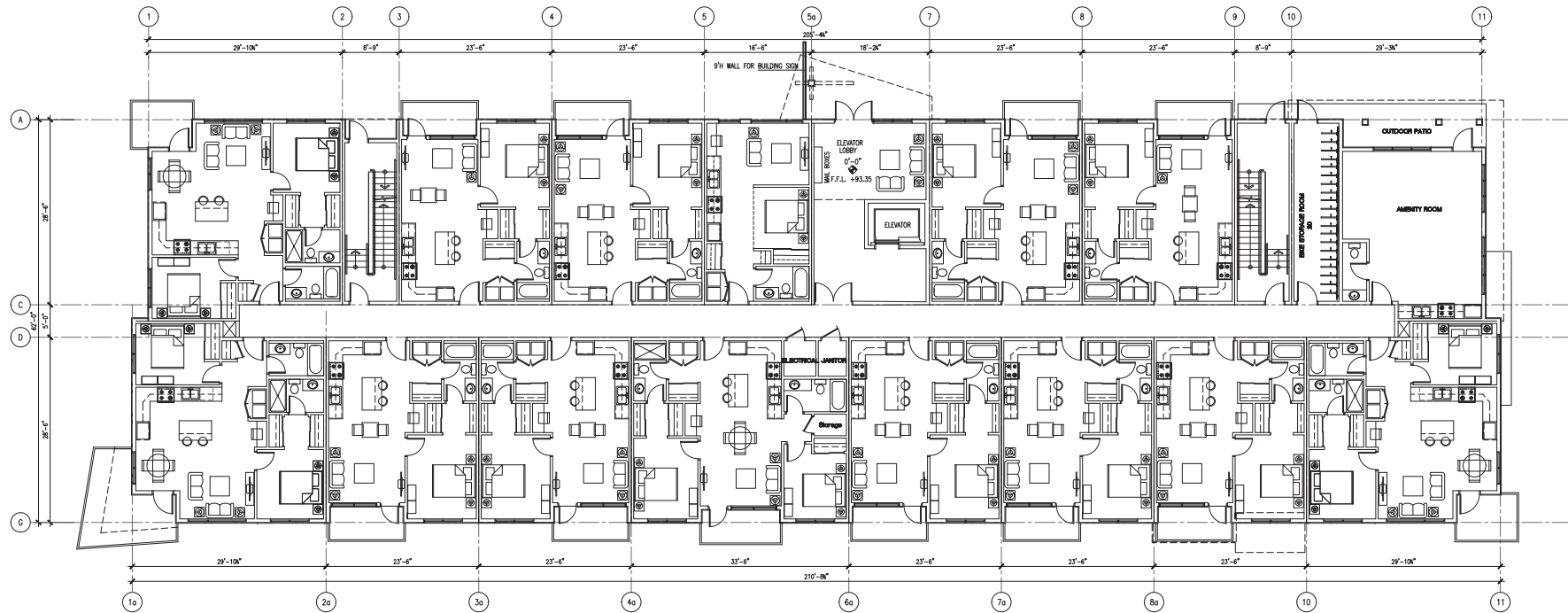
PROJECT
 NORTH GROVE #2
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 NANAIMO, BC
 PHASE #2

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DISTRICT
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MAIN FLOOR PLAN

UNIT INFORMATION FOR BUILDING B

- 24 TWO BEDROOM UNITS
- 20 ONE BEDROOM & DEN UNITS
- 28 ONE BEDROOM UNITS
- 2 STUDIO UNITS

Total unit 74
FOOTPRINT 12,292 S.F.

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NOTES

1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
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ARCHITECT SEAL

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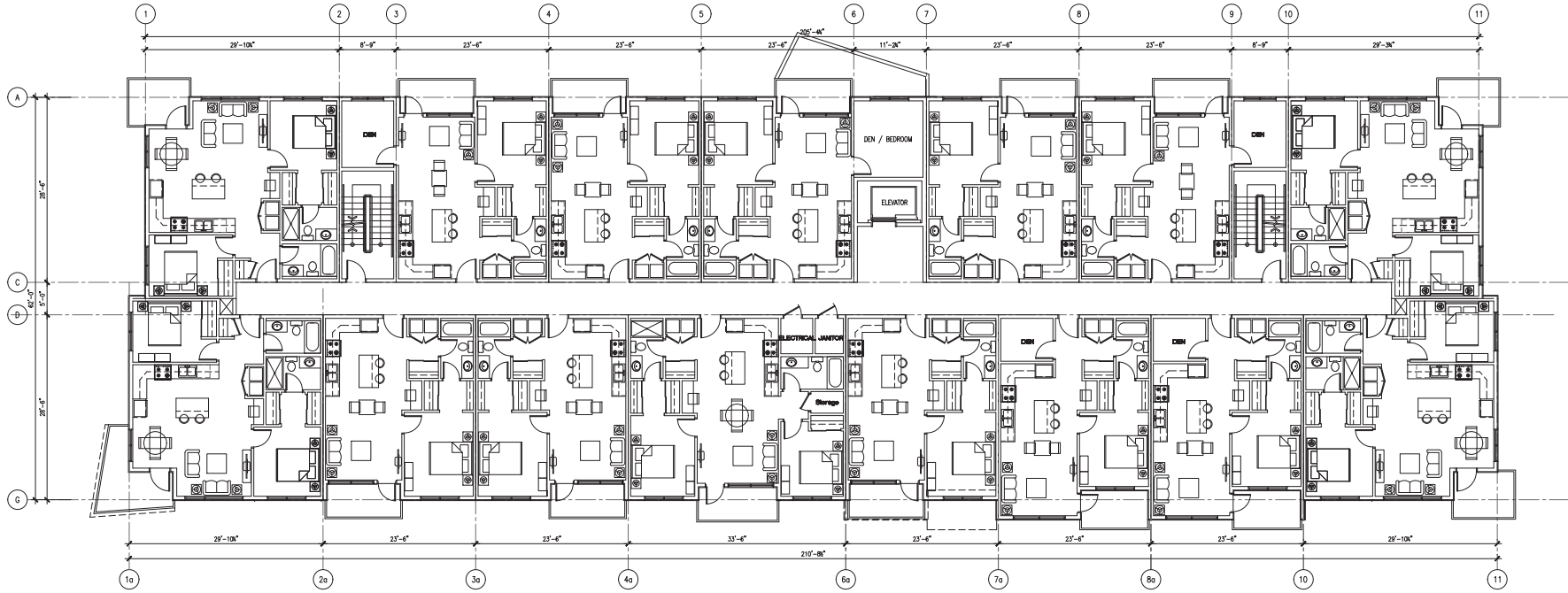
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DATE
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PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO.
2176

SHEET TITLE
MAIN FLOOR PLAN
PRELIMINARY
BUILDING B

SHEET NO.
A2.1
REVISION



THIRD FLOOR PLAN

RECEIVED
DP1248
2021-OCT-07
CITY OF NANAIMO

NOTES

This drawing is an instrument of service in the province of British Columbia and is subject to the provisions of the Professional and Amateur Regulation Act, R.S.B.C. 1996, Chapter 246. The Architect's seal is required for this drawing to be used for any purpose. The Architect's seal is required for this drawing to be used for any purpose. The Architect's seal is required for this drawing to be used for any purpose.



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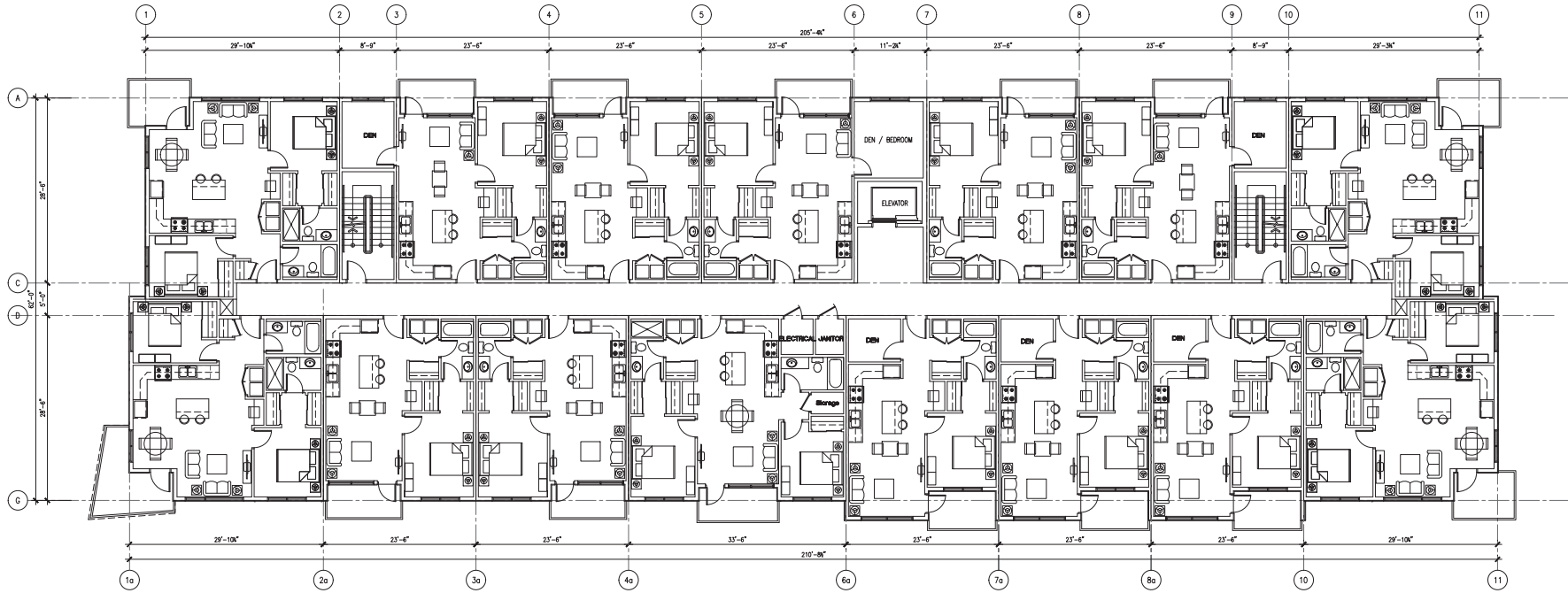
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PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO.
2176

SHEET TITLE
THIRD FLOOR PLAN
PRELIMINARY
BUILDING B

SHEET NO.
A2.3
REVISION



FOURTH FLOOR PLAN

RECEIVED
DP1248
2021-OCT-07

NOTES

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2. All dimensions shall be in metric unless otherwise noted.

3. All dimensions shall be in feet and inches unless otherwise noted.

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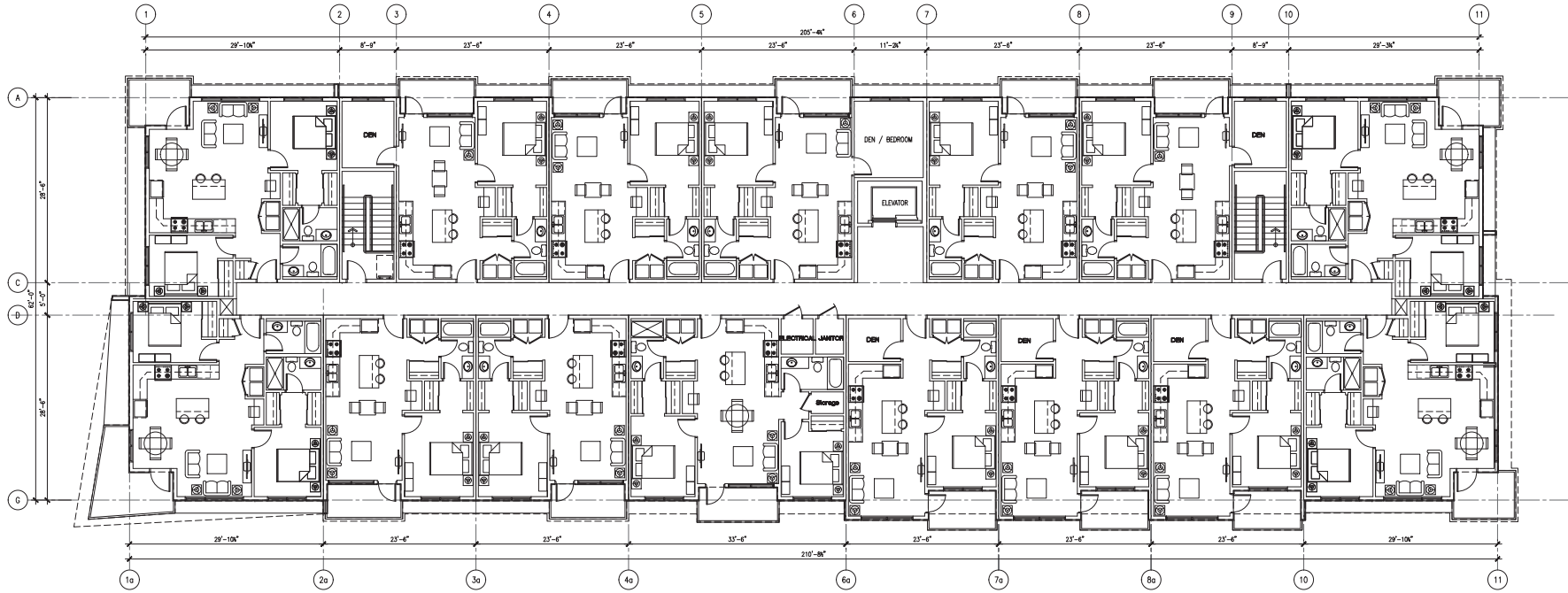
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PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO. 2176

SHEET TITLE
 FOURTH FLOOR PLAN
 PRELIMINARY
 BUILDING B

SHEET NO.
A2.4
 REGION



FIFTH FLOOR PLAN

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NOTES

The owner is to be responsible for the accuracy of all data and information provided. The architect is not responsible for the accuracy of the data and information provided. The architect is not responsible for the accuracy of the data and information provided. The architect is not responsible for the accuracy of the data and information provided.



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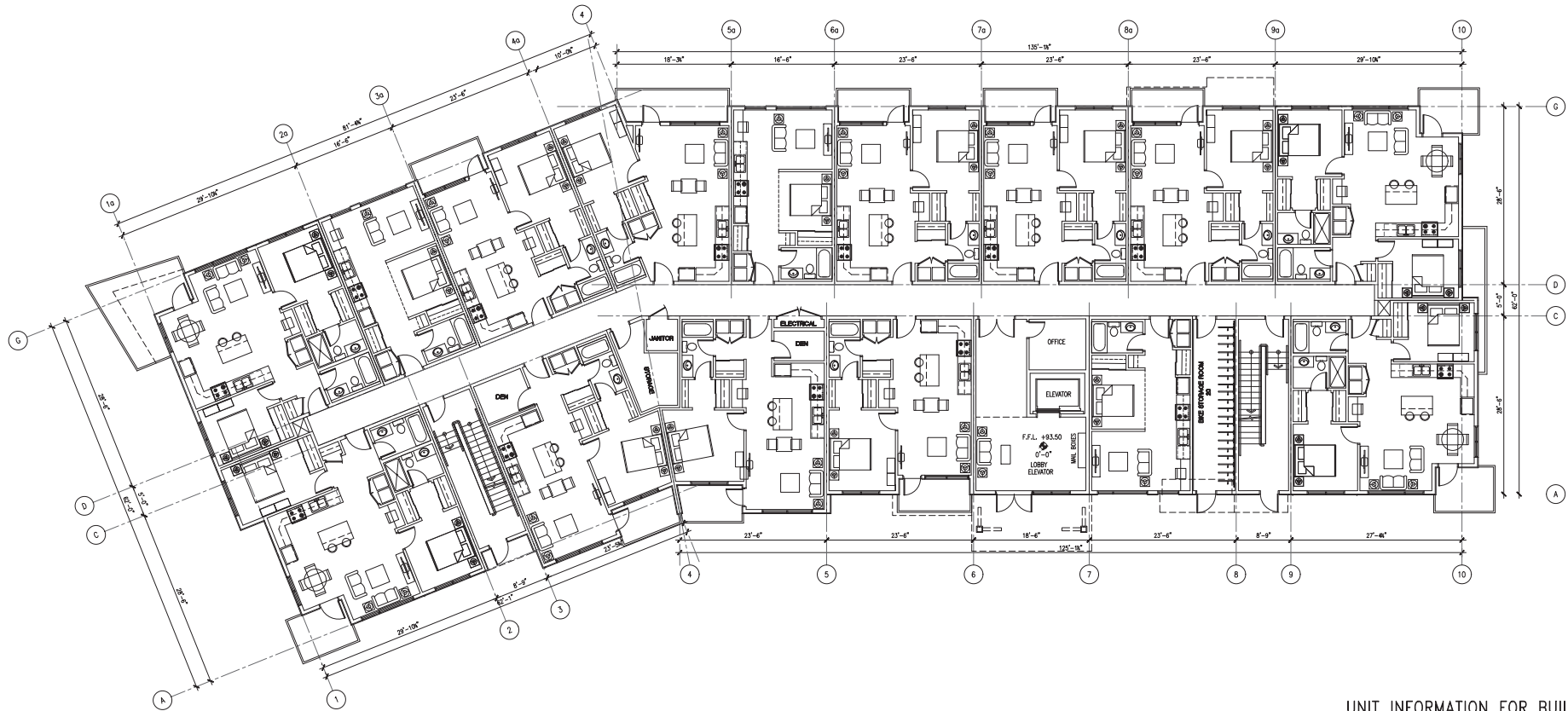
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PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO. 2176

SHEET TITLE
FIFTH FLOOR PLAN
PRELIMINARY
BUILDING B

SHEET NO.
A2.5
REVISION



MAIN FLOOR PLAN

UNIT INFORMATION FOR BUILDING A
 23 TWO BEDROOM UNITS
 24 ONE BEDROOM & DEN UNITS
 17 ONE BEDROOM UNITS
 11 STUDIO UNITS

Total unit 75
 FOOTPRINT 12,340 S.F.

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NOTES
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 2. All dimensions shall be in metric unless otherwise noted.
 3. All dimensions shall be in feet and inches unless otherwise noted.
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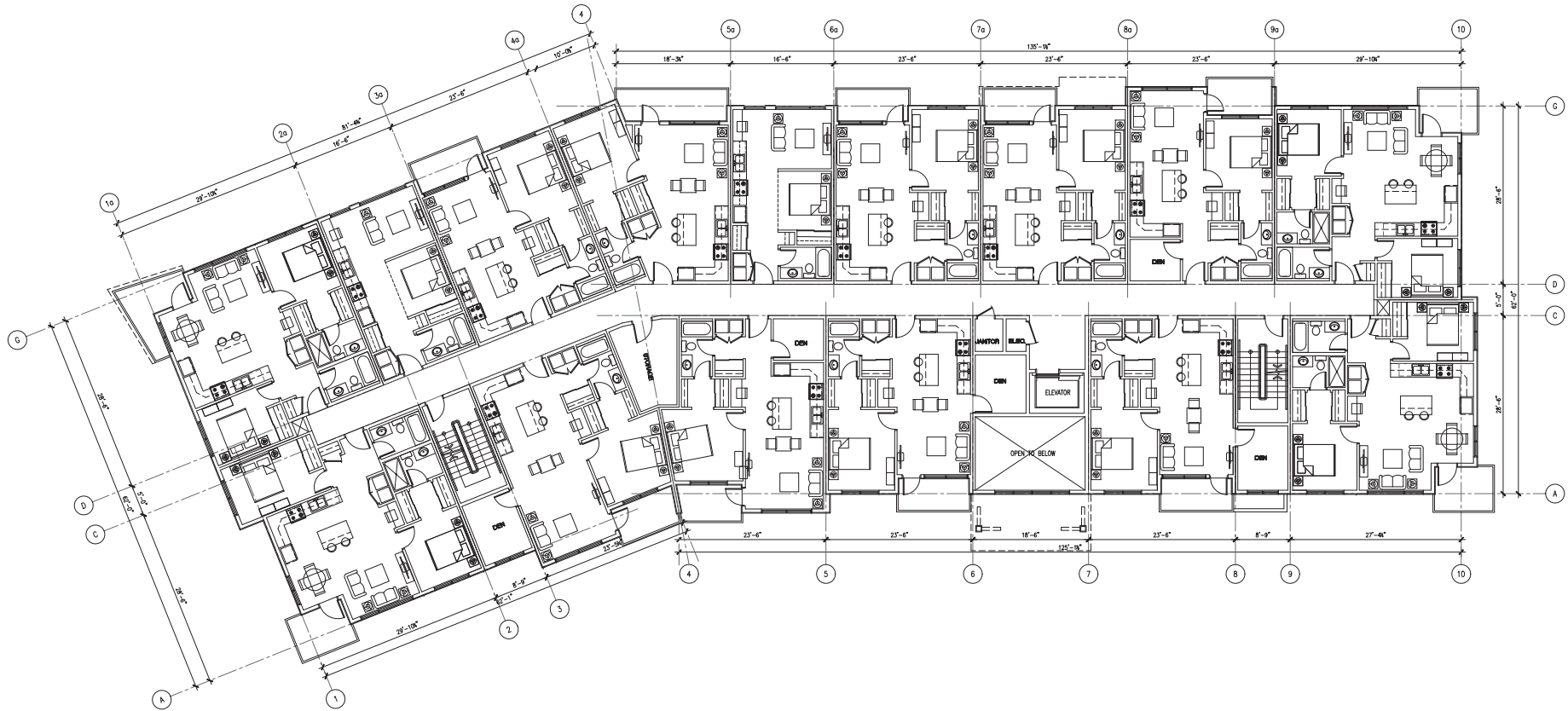
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PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO. 2176

SHEET TITLE
 MAIN FLOOR PLAN
 PRELIMINARY
 BUILDING A

SHEET NO.
A3.1
 REGION



SECOND FLOOR PLAN

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2021-OCT-07
CITY OF NANAIMO

NOTES
1. This drawing is an architectural drawing and does not constitute a contract. The contract documents, including but not limited to the contract agreement, specifications, and addendums, shall govern over this drawing.
2. All dimensions are in feet and inches, unless otherwise noted.
3. All areas are to be finished as shown, unless otherwise noted.
4. All areas are to be finished as shown, unless otherwise noted.
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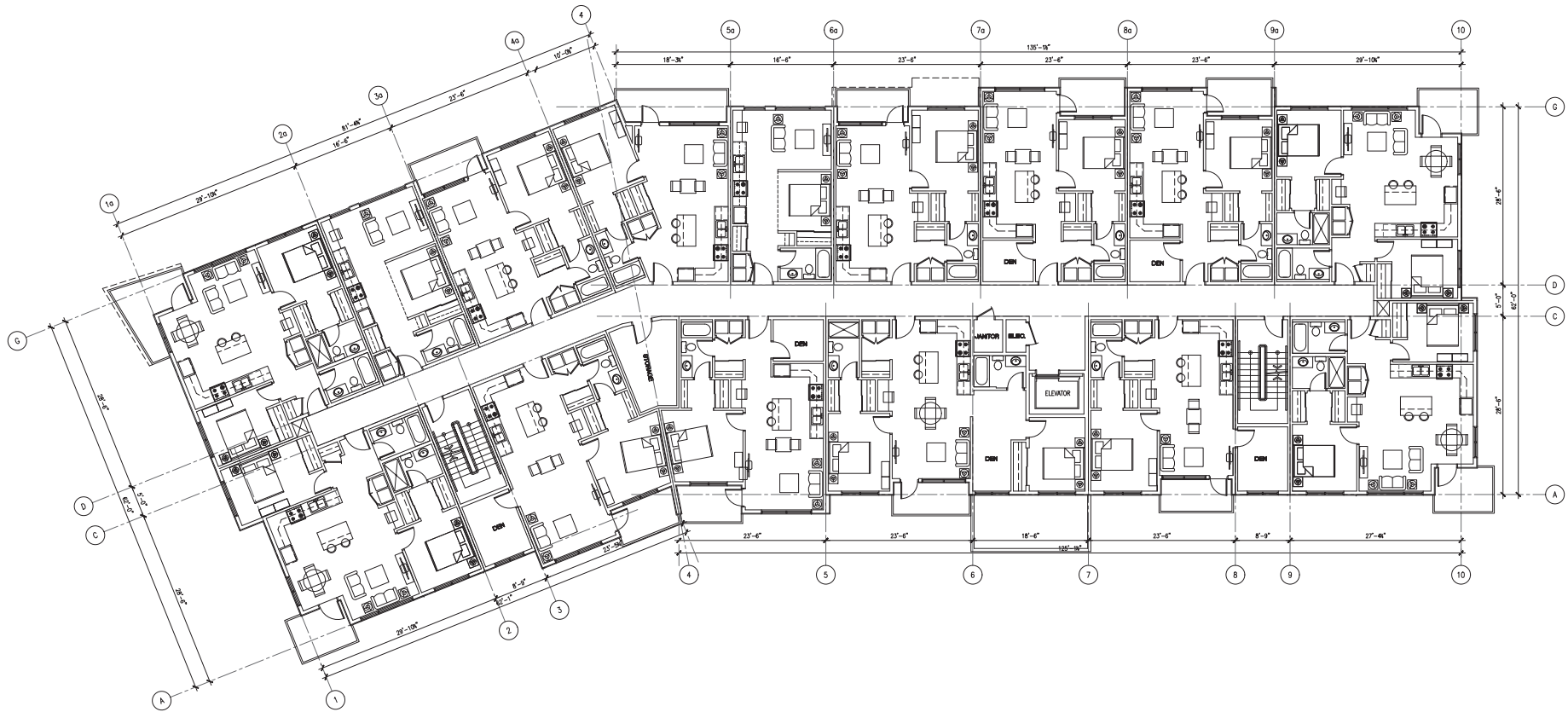
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DATE: 25 SEP 21

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO. 2176

SHEET TITLE
SECOND FLOOR PLAN
PRELIMINARY
BUILDING A

SHEET NO.
A3.2
REVISION



THIRD FLOOR PLAN

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2021-OCT-07
DARYOUSH FIRDOUZ ARCHITECTURE INC.

NOTES

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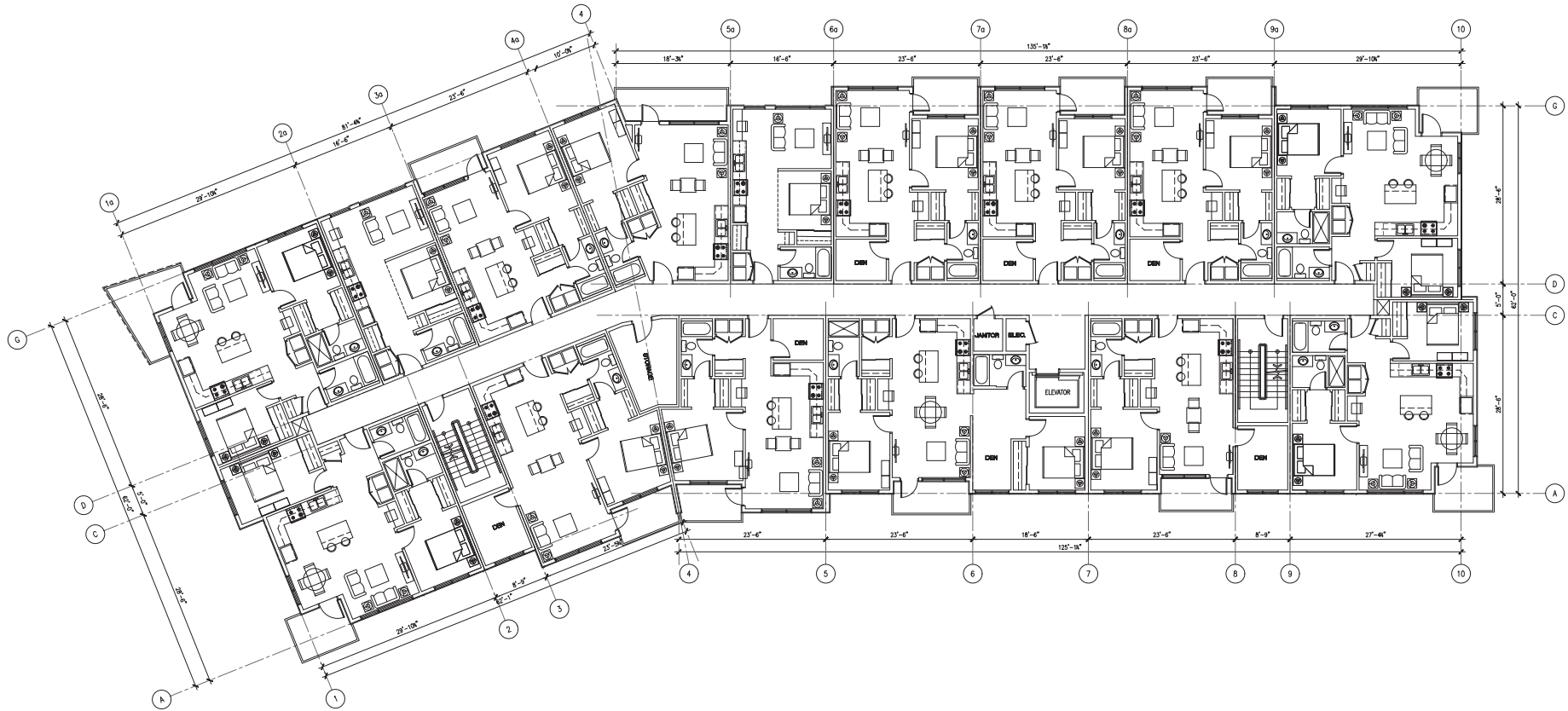
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PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO.
2176

SHEET TITLE
THIRD FLOOR PLAN
PRELIMINARY
BUILDING A

SHEET NO.
A3.3
REVISION



FOURTH FLOOR PLAN

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2021-OCT-07

NOTES
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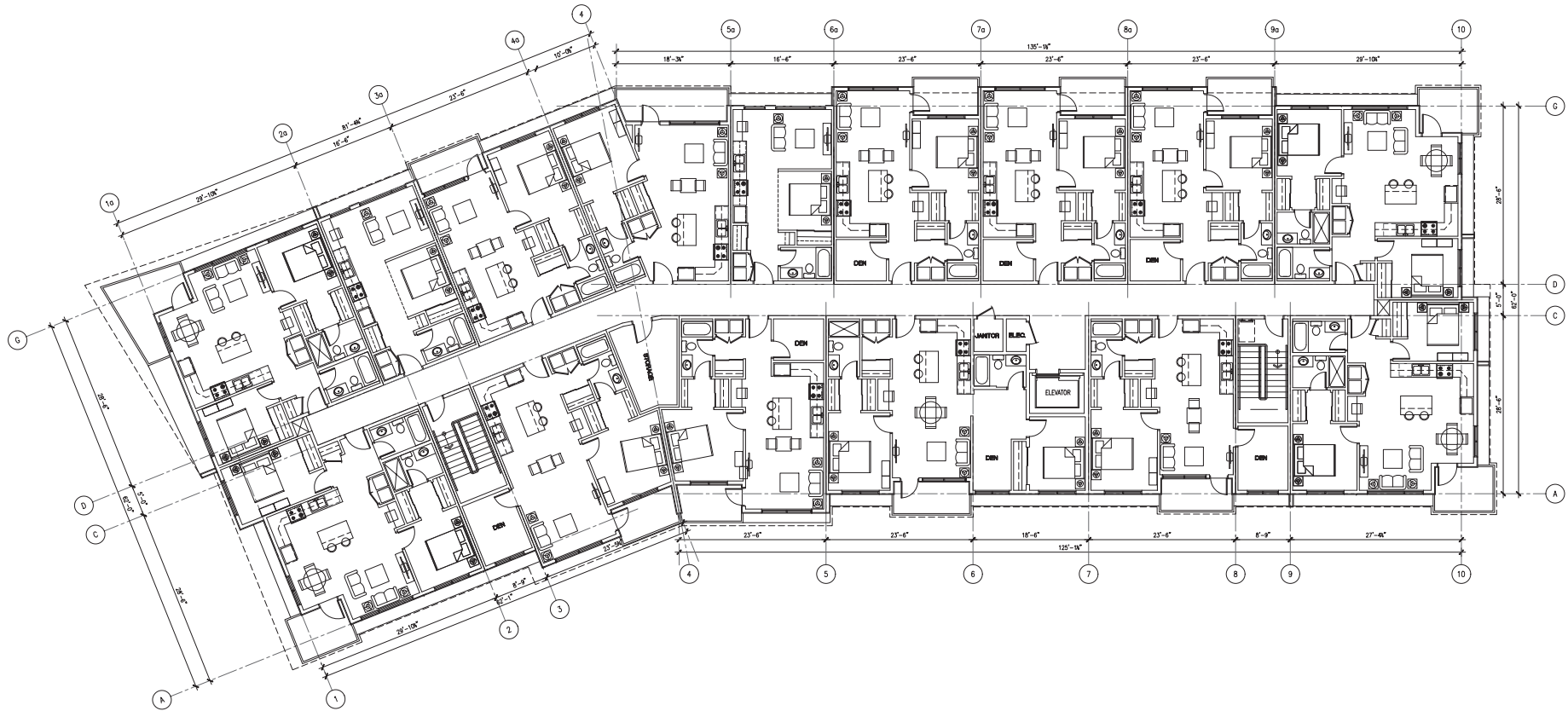
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PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO. 2176

SHEET TITLE
FOURTH FLOOR PLAN
PRELIMINARY
BUILDING A

SHEET NO.
A3.4
REVISION



FIFTH FLOOR PLAN

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DP 1248
2021-OCT-07

NOTES

This drawing is an approved set of plans for the project and shall not be altered without the written consent of the architect. Any changes to the drawings shall be indicated on the drawings by the architect. The contractor shall be responsible for verifying the accuracy of the information shown on the drawings. The architect shall not be responsible for the accuracy of the information shown on the drawings. The contractor shall be responsible for verifying the accuracy of the information shown on the drawings. The architect shall not be responsible for the accuracy of the information shown on the drawings. The contractor shall be responsible for verifying the accuracy of the information shown on the drawings.



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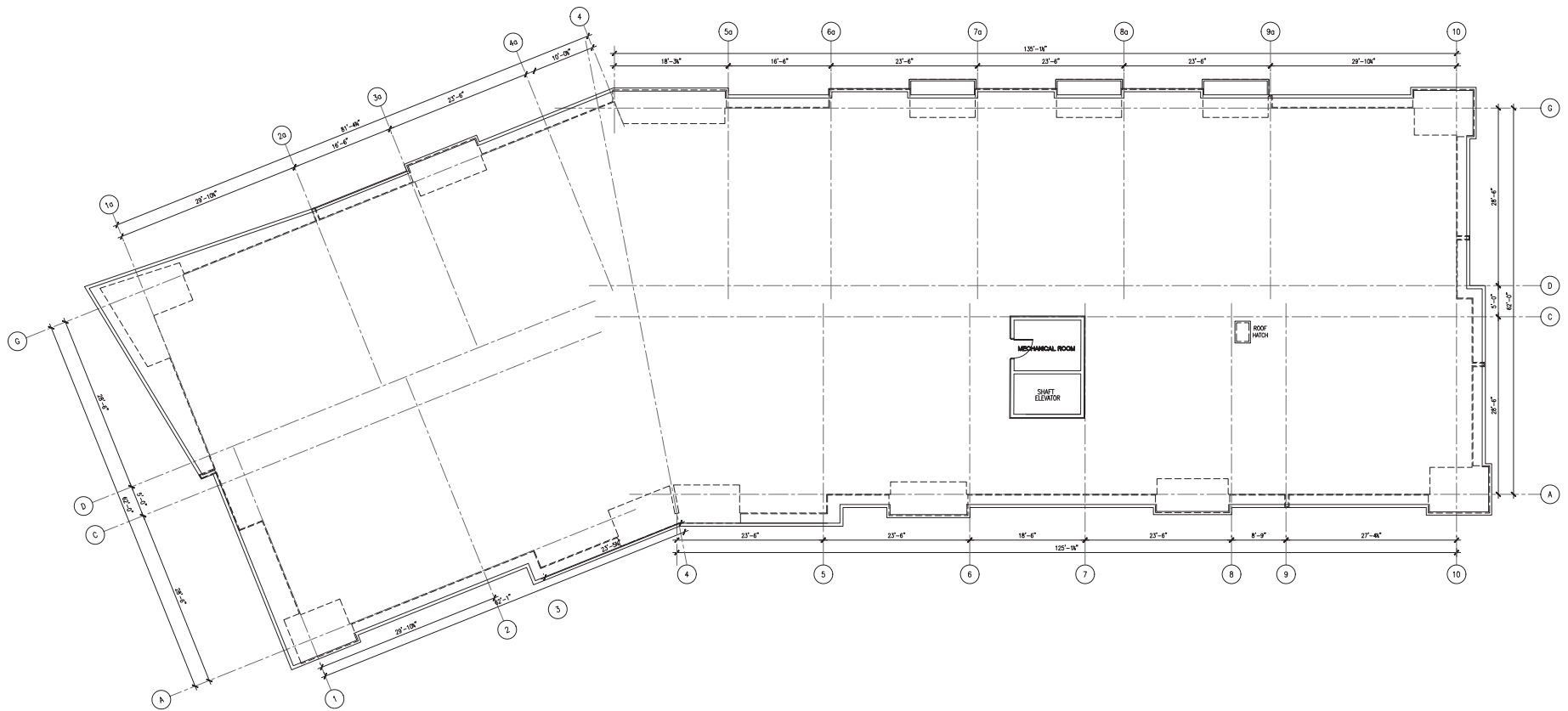
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PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO.
2176

SHEET TITLE
FIFTH FLOOR PLAN
PRELIMINARY
BUILDING A

SHEET NO.
A3.5
REVISION



ROOF PLAN

RECEIVED
 DP 1248
 2021-OCT-07
COURT REPORTING

NOTES

1. This drawing is an architectural drawing and is not to be used for construction purposes. It is intended for informational purposes only. The client is responsible for obtaining all necessary permits and approvals for the project. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any construction or other work that may be required for the project. The architect is not responsible for any construction or other work that may be required for the project.



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ARCHITECT SEAL

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 DATE 25 SEP 21

PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO. 2176

SHEET TITLE
 ROOF PLAN
 PRELIMINARY
 BUILDING A

SHEET NO.
A3.6
 REVISION



GENERAL NOTES

General Notes

1. Refer to electrical drawings for all site and slab floor and elevations, unless otherwise noted.
2. Refer to architectural and mechanical drawings for all slab locations and air elevations.
3. All materials to be as specified or as approved equivalent.
4. All material and products to be installed per manufacturer's specifications.

Planting Notes

1. All plants to be per BCMA and Canadian Landscape Standards.
2. Plant selection subject to availability at the time of planting.
3. Containers for root balls to be specified material and size and any other uses of search has been exhausted will substitutions be considered.
4. All trees to be planted in accordance with BCMA Standards.
5. All plants to be sourced from nurseries certified as a source of containers.
6. Plant size and container container sizes are specified according to the BC Landscape Standards (unless noted). For container classes #3 and smaller plant sizes shall be as shown in the plant list and the standard for all other plants, both plant size and container size shall be as shown in the plant list. Specifically, when the plant list calls for #3 size containers, these shall be as defined in the BCMA (ANSI) Standards.
7. All other trees to have minimum 15 cubic metres of growing medium unless otherwise specified.

SOIL NOTES

Soil Preparation and Placement Notes

1. All growing medium placed on project to meet or exceed BCMA and Canadian landscape Standards latest edition.
2. Submit site analysis for an approved independent soil testing laboratory for each type of growing medium being used on the project. RPTs to be placed on site - review and approve. Clearly identify source and type for each. Retained on record until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. Minimum 1 lit per physical sample.
3. Substrata shall be made of soil when (1) done prior placement.
4. Contractor shall ensure or work growing medium or substrate when they are excessively wet, extremely dry, frozen or in any condition which will adversely affect growing medium structure. Growing medium which has not been thoroughly aerated by hand, under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions.
5. Soil drainage shall be from 20% diameter drain gravel free from any fill and clay or shown in details.
6. Place growing medium, except structural to required from grades and minimum depths as detailed, unless shown otherwise.

IRRIGATION NOTES

Vegetation Notes

1. Irrigation to be provided for all Soft Landscape Areas shown on the drawing.
2. Irrigation system design and installation shall be in accordance with the irrigation industry of BC Standards, c/w rain sensor.
3. All irrigation system boxes equipped with anti-cavitation.
4. Layout of the system and condition shall be to provide standards for projects of this scale and type, to provide for uniform complete "head to head" coverage of all lawn and planted areas within the area as designated on the drawing.
5. Record drawings, submit with the operating and maintenance manuals, a recordable copy of the actual condition of the system.
6. Initial or designated representative of the Owner in the complete operating and maintenance procedures for that system, providing operating the system for the first time with the designated representative operating.

NOTE: Seawing @ roadways to use schedule 80 PVC or cast iron sewer.

Quality Assurance

The irrigation system design and installation shall be in accordance with the irrigation industry of BC Standards and Guidelines. All irrigation work shall be done by a qualified irrigation contractor having the facilities and personnel available for the work specified. Minimum standard to BAAI.

DRAWING LIST

- L1- Graphic Site Plan, Legend
- L2- Grading Plan, East
- L3- Grading Plan, West
- L4- Planting Plan, West
- L5- Planting Plan, West
- L6- Details
- L7- Detail

DETAIL	KEY	TAG	MATERIAL
			CIP Concrete (On site)
			Stamped & Coloured Asphalt
			Concrete Pavers: "Venetian Cobble" Supplier: <i>Interlock Concrete Supply</i> Size: 10cm x 10cm x 2cm Colour: 80% Charcoal, 10% Canyon 10% Sand Finish: <i>Interlock Concrete Supply</i> Sanded Form: Sanded Bond
			Vehicular Permeable Paving Site to Council's drawing
			Round River Rock
			Hydrapressed Patio Pavers
			Hydroseeded Pollinator Mix
			Sod Lawn
			Planting
			Hedge
FURNISHING			
			Bike Stalls Supplier: <i>Interlock Form Mould</i> Size: 60cm x 60cm Colour: <i>Interlock Form Mould</i> Red Finish: <i>Interlock Form Mould</i> Red
			Wood Bench Supplier: <i>Interlock Form Mould</i> Finish: 50' Redwood Colour: <i>Interlock Form Mould</i> Red Finish: <i>Interlock Form Mould</i> Red
			Boulder Wall 18" - 20" Height
			Retaining Wall
			Bollard Lighting To be confirmed with client.
			Wooden Fence To be confirmed with client.
GRADING KEY		MECHANICAL KEY	
	Top of Wall		Hosebib
	Bottom of Wall		Irrigation Stub
	Spot Elevation		
	Direction of Flow		

Trees

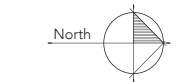
QTY	BOTANICAL NAME	COMMON NAME	SIZE
5	<i>Acer rubrum</i> 'Sun Valley'	Sun Valley Red Maple	6cm cal. WB
19	<i>Acer circinatum</i>	Vine Maple	5cm cal. WB
4	<i>Cornus kousa</i>	Chinese Dogwood	5cm cal. WB
35	<i>Picea omorika</i> 'Bruni'	Serbian Spruce	2.5m ht B+B
8	<i>Populus tremuloides</i>	Trembling Aspen	4cm cal. WB
6	<i>Pinus semulata</i> 'Keweenaw'	Keweenaw Flower Cherry	7cm cal. WB
1	<i>Matsuglia glyptostroboides</i>	Dawn Redwood	2.5m ht WB
11	<i>Quercus garryana</i>	Garry Oak	2m ht WB
12	<i>Pseudotsuga men. var. Gaussea</i>	Rocky Mtn. Doug Fir	2.5m ht WB

Shrubs

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
(A)	18	<i>Arbutus unedo</i> 'compacta'	Dwarf Strawberry Tree	#3	pot 48" o.c.
(C)	74	<i>Cornus sericea</i> 'Kelsey'	Dwarf Red-Osier Dogwood	#2	pot 30" o.c.
(L)	144	Lavender 'Hidcote'	Lavender	#2	pot 60" o.c.
(P)	6	<i>Pinus mugo</i> 'pumilo'	Dwarf Pine	#2	pot 24" o.c.
(A)	50	<i>Rhododendron Cunningham's White</i>		#2	pot 30" o.c.
(S)	17	<i>Salix purpurea</i> 'Nana'	Dwarf Arctic Willow	#2	pot 30" o.c.
(S)	19	<i>Spiraea betulifolia</i>	Birch Leaf Spirea	#2	pot 18" o.c.
(C)	560	<i>Thuja 'smaragd'</i>	Cedar 'Hedge'	1.2m ht B+B	
(R)	58	<i>Ribes sanguinum</i>	Red Currant	#2	pot 24" o.c.
(R)	22	<i>Rosa rugosa</i>	Beach Rose	#2	pot 24" o.c.

Perennials / Ferns / Grasses / Groundcovers

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
(I)	12	<i>Juncus acuminatus</i>	Taper-Tipped Rush	#2	pot 30" o.c.
(M)	112	<i>Mahonia repens</i>	GC Mahonia	#2	pot 24" o.c.
(J)	126	<i>Pachyandra terminalis</i>	Japanese Spurge	4"	pot 12" o.c.
(P)	48	<i>Polystichum munum</i>	Western Sword Fern	#2	pot 24" o.c.
(F)	119	<i>Polystichum acrostichoides</i>	Christmas Fern	#2	pot 18" o.c.
(E)	26	<i>Rudbeckia hirta</i>	Black Eyed Susan	#2	pot 24" o.c.



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Revisions:



Project:
North Grove Phase 2

Drawn by: TB
Checked by: SV
Date: July 29 2021
Scale: 1:300

Drawing Title:
Graphic Landscape Plan

Project No.:
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L-1 of 7



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Project:
North Grove

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 Scale: 1/16" = 1'

Drawing Title:
Grading & Materials Plan

Project No.:
21034

Sheet No.:

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Building B:
FFE: 93.30m

Park Not
Included In
Contract



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Revisions:		

dk Durante Kreuk Ltd.
102 - 1637 West 5th
Avenue Vancouver BC V6J
R8N4 6E4 611
T: 604 684 0577
www.dk.bc.ca

Project:
North Grove

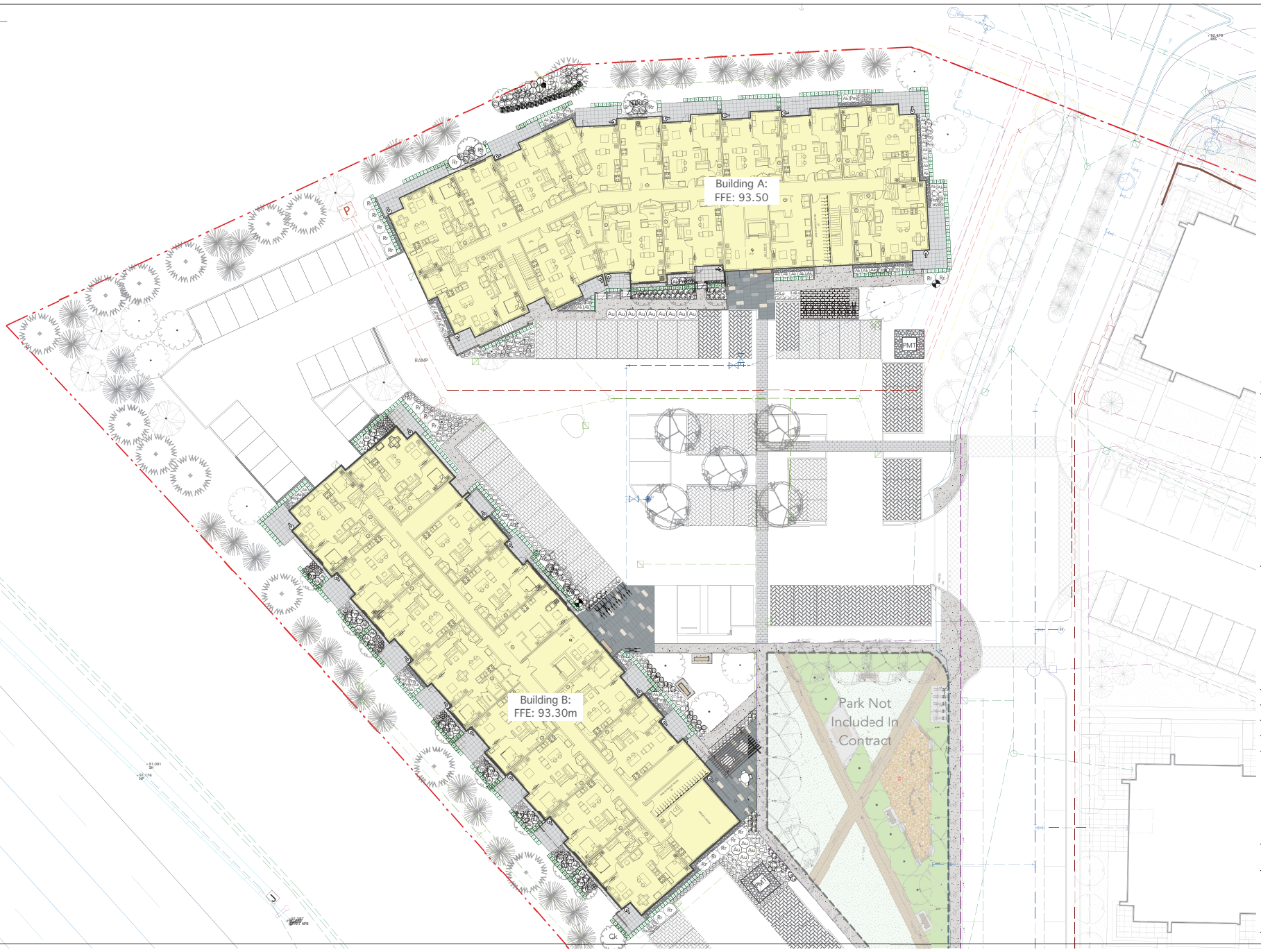
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Drawing Title:
Grading & Materials Plan

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Sheet No.:

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Project:
North Grove

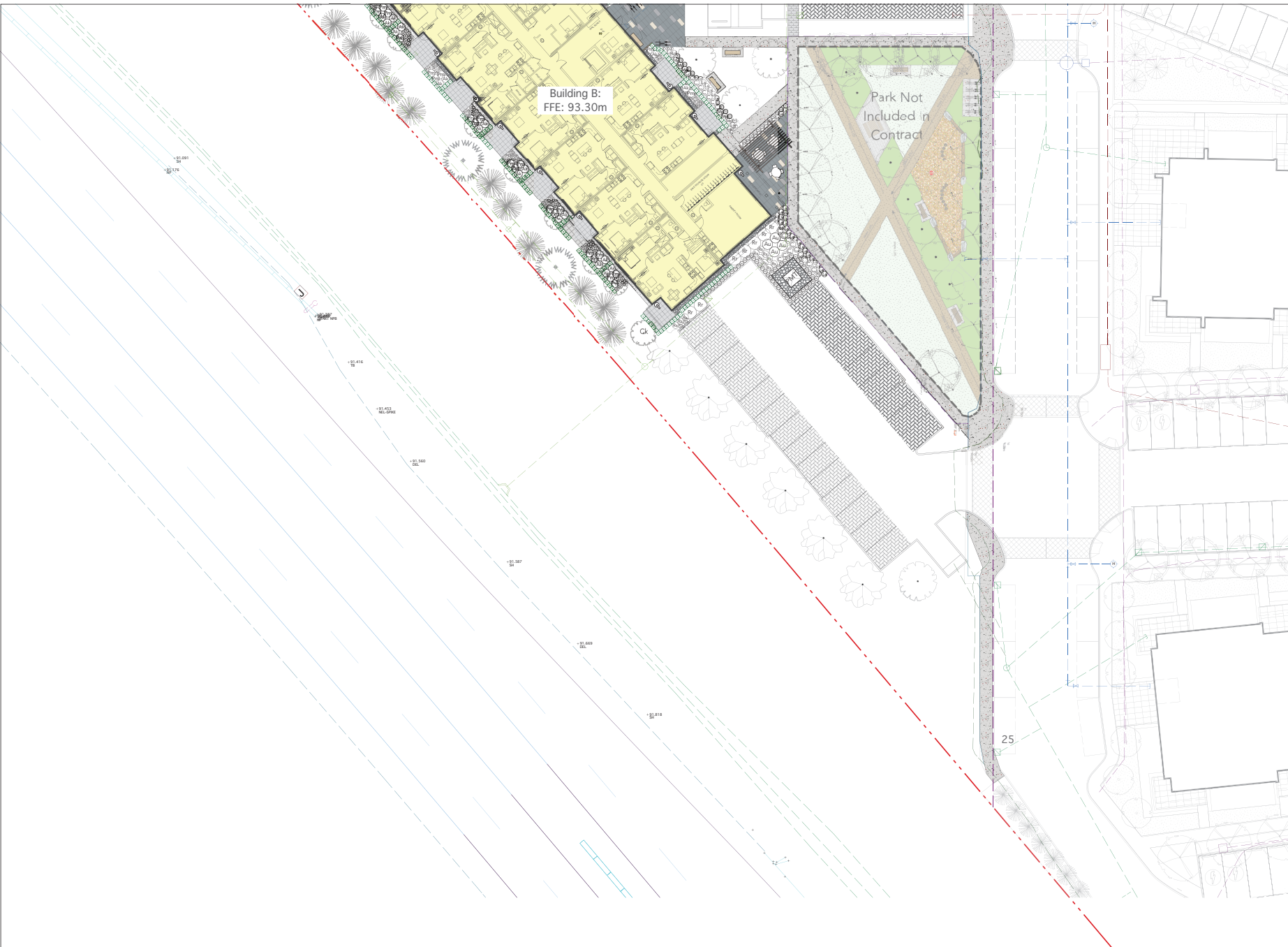
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 Checked by: SV
 Date: July 29 2021
 Scale: 1/16" = 1'

Drawing Title:
Planting Plan



Project No.:
 21034
 Sheet No.:

L4 of 7



Building B:
FFE: 93.30m

Park Not
Included in
Contract

+11.091
+11.124

+11.416

+11.411
+11.594

+11.560

+11.587

+11.659

+11.819

25



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Project:
North Grove

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Checked by:	SV
Date:	July 29 2021
Scale:	1/16" = 1'

Drawing Title:
Planting Plan

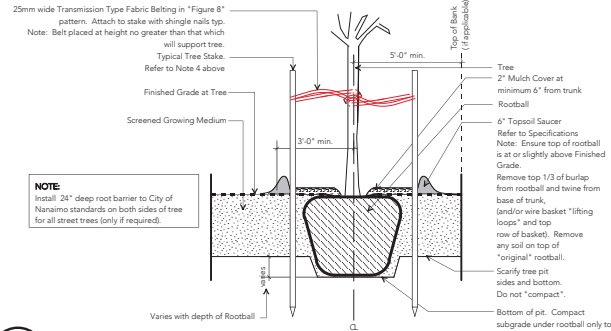
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Project No.:	21034
Sheet No.:	

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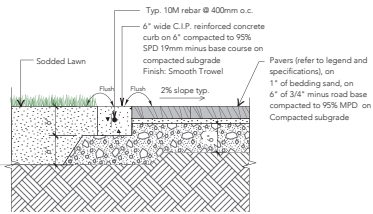
Depth of Growing Medium Total (mm)	Area (M2)	Variation 1		Variation 2	
		Size of Surface Square	Size of Surface Circle	Size of Surface Square	Size of Surface Circle
18"	120	11 x 11 FT	12.5 FT Ø		
24"	90	9.5 x 9.5 FT	10.6 FT Ø		
30"	72	8.5 x 8.5 FT	9.5 FT Ø		

- NOTES:**
- Do not cut tree leader.
 - Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
 - Ensure tree location does not conflict with Underground Services. "Call before digging".
 - All street trees to be staked with 2" x 4" @ 8'-0" long. Minimum depth of stake embedment is 3'-0". Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centerline.
 - Provide min. 5 cubic meters of growing medium per tree.
 - Refer to Growing Medium Chart below for surface area depth of Growing Medium.



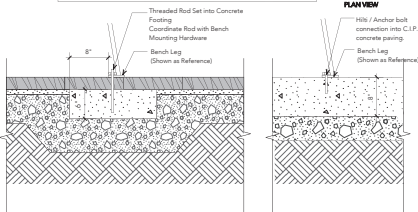
Ld-01
L-1.6 Typical Tree Planting on Grade
Scale: NTS

Note:
Provide Mock up of paver installation for review and approval by Landscape Architect
Cut all Pavers as required to maintain continuous surface as shown on Layout Plans. All pavers to be cut with Concrete Stone Saw. No gutters or curbs will be allowed.



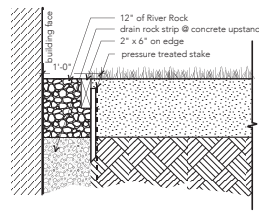
Ld-05
L-1.2 Pedestrian pavers on Grade
Scale: 1" = 1'-0"

- GENERAL NOTES:**
- Refer to Materials Legend for Specified Site Furnishings
 - Refer to and Prefer Manufacturer's Installation Specifications where applicable

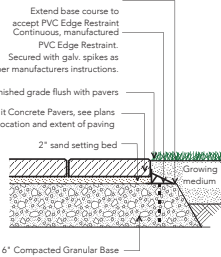


Ld-08
L-1.2 Site Furnishing
Scale: 1" = 1'-0"

Note:
Beds to be 4'-8" Charcoal (BRES) from Northwest Landscape. Supply or approved alternative.



Ld-09
L-1.2 River Rock Drip Strip
Scale: 1" = 1'-0"



Ld-10
L-1.1 Hydrapressed Slab Pavers on Grade
1/2" = 1'-0"

Palisade
Product Data Sheet



- Bench**
- Bench ships fully assembled.
 - This bench is only available in black.
 - Available in two lengths, the 72" and 96" bench.
 - Freestanding or surface mounting available.
- Finishes**
- Exterior woods are unfinished and will weather to a soft powder gray, requiring no future maintenance.
 - Interior woods are finished with Landscape Forms' exclusive L2-BB wood finish, a clear, catalyzed acrylic lacquer.
 - Metal is finished with Landscape Forms' proprietary Pregel BB powder paint, a hard yet flexible finish that resists rusting, chipping, peeling and fading.

	72" x 30"	96" x 30"	96" x 48"	96" x 60"
	18.0	27.0	48.0	66.0
	18.0	36.0	48.0	66.0

Ld-06
L-1.2 Bench
NTS

landscape bricks

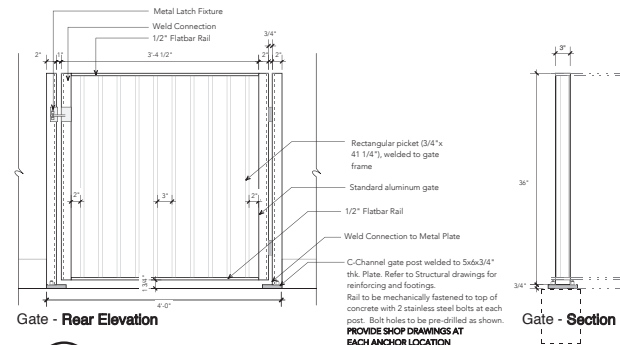
Metro40 Collection
Product Data Sheet



- Ride™ Bike Rack**
- Capacity: 2 bikes
 - Surface mount or embedded to concrete surface.
 - Requires only two bolts to mount, with extra surface mount anchor bolts provided.
 - 4 stainless steel leveling glides within the base are provided for fine adjustment from top side of base.
 - Cover plate over bike rack base provides seamless appearance.

	Base	Frame	Glides	Leveler	Anchor	Mount	Cover
	18.0	3.0	3.0	3.0	3.0	3.0	3.0

Ld-07
L-1.2 Bike Rack
NTS



Ld-11
L-1.2 36" Height Metal Fence (Wall Mounted)
Scale: 1" = 1'-0"

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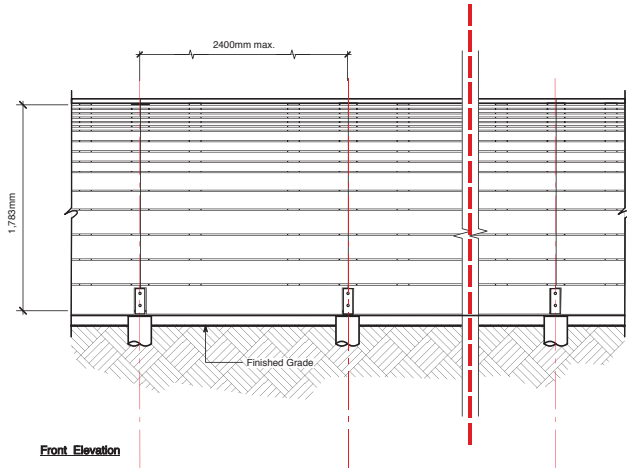
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Drawing Title:
Details

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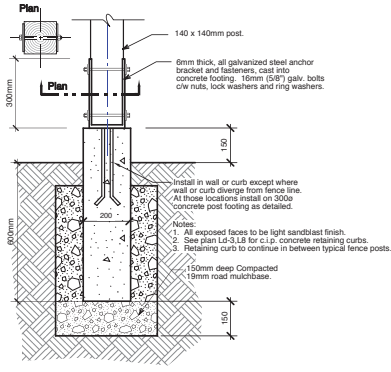
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Current Planning



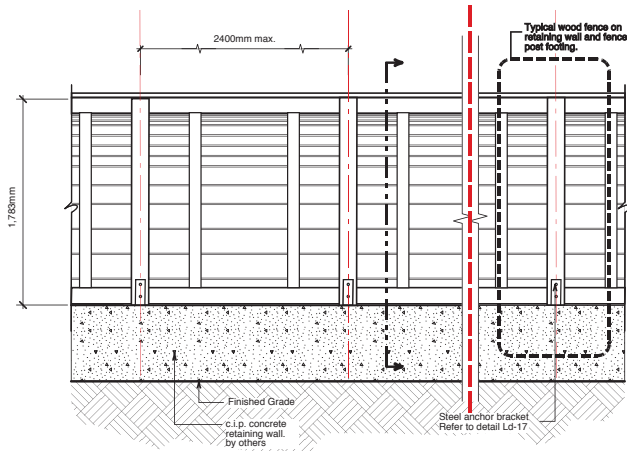
Front Elevation

Ld-01 Wooden Fence
L-1.0 Scale: 1/2" = 1'-0"



Detail

Fence post footing detail on c.i.p. concrete retaining curb
 Scale: 1:10

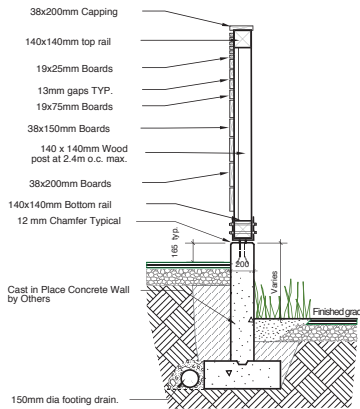


Back Elevation

Ld-02 Wooden Fence on Retaining Wall
L-1.0 Scale: 1/2" = 1'-0"

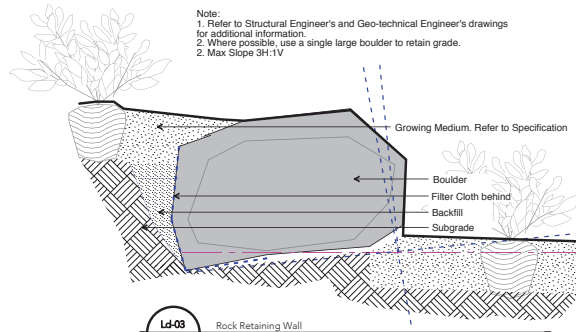
NOTE: All fence material to be select western red cedar resawn, pressure treated (P.T.) Hem/fir where noted. All spikes and fasteners to be hot-dipped galvanized.

Notes:
 1. Refer to Structural / Civil Drawings for Reinforcing / Wall Detail.

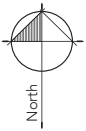


Section

Wooden Fence on Retaining Wall, Section
 Scale: 1/2" = 1'-0"



Ld-03 Rock Retaining Wall
L-1.0 Scale: 1" = 1'-0"



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