



AGENDA
DESIGN ADVISORY PANEL MEETING

June 10, 2021, 5:00 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING TO ORDER:

[Note: This meeting will be live streamed and video recorded for the public.]

2. ADOPTION OF AGENDA:

3. ADOPTION OF MINUTES:

a. Minutes

3 - 5

Minutes of the Design Advisory Panel Meeting held in the Boardroom of the Service and Resource Centre, 411 Dunsmuir Street, Nanaimo BC, on Thursday 2021-MAY-13.

4. PRESENTATIONS:

a. Development Permit Application No. DP001230 - 5768 Linley Valley Drive

6 - 83

To be introduced by Lisa Brinkman, Planner, Current Planning Section

A development permit application was received from GUD Architecture and Planning, on behalf of JXLCO Development Corporation Ltd., for a multi-family residential development (13 units) to be located at 5768 Linley Valley Drive. The subject property is legally described as Lot 43, District Lot 32, Wellington District, Plan EP17440.

b. Development Permit Application No. DP001231 - 5730 Turner Road

84 - 121

To be introduced by Lisa Brinkman, Planner, Current Planning Section

A development permit application was received from Raymond deBeeld Architecture on behalf of Insight Holdings Ltd., for a mixed-use development (49 residential units and 2 commercial buildings) to be located at 5730 Turner Road. The subject property is legally described as Lot 10, District Lots 20 and 30, Wellington District, Plan VIP65104.

5. OTHER BUSINESS:

6. ADJOURNMENT:

MINUTES
DESIGN ADVISORY PANEL MEETING
BOARD ROOM, SERVICE AND RESOURCE CENTRE
411 DUNSMUIR STREET, NANAIMO, BC
THURSDAY, 2021-MAY-13, AT 5:00 P.M.

PRESENT: Members: Charles Kierulf, AIBC, Chair (joined electronically)
 Councillor Brown (joined electronically)
 Tony James, AIBC (joined electronically)
 Kevin Krastel, At Large (joined electronically)
 Marie Leduc, At Large (joined electronically)
 Kate Stefiuk, BCSLA (joined electronically)

Absent: Gur Minhas, At Large

Staff: L. Rowett, Manager, Current Planning Section
 L. Brinkman, Planner, Current Planning Section
 K. Berke, Recording Secretary

1. CALL THE DESIGN ADVISORY PANEL MEETING TO ORDER:

The Design Advisory Panel Meeting was called to order at 5:03 p.m.

2. ADOPTION OF AGENDA:

It was moved and seconded that the Agenda, be adopted. The motion carried unanimously.

3. ADOPTION OF MINUTES:

It was moved and seconded that the Minutes of the Regular Design Advisory Panel Meeting held in the Boardroom, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC, on Thursday 2021-APR-22 at 5:01 p.m. be adopted as circulated. The motion carried unanimously.

4. PRESENTATIONS:

(a) Development Permit Application No. DP1223 340 Campbell Street

Introduced by Lisa Brinkman, Planner, Current Planning Section

Presentations:

1. Donald Yen, Architect of Urban Solutions Architecture Ltd., presented the project accompanied by Keith Ross, Landscape Architect of Urban Solutions Architecture Ltd. Mr. Yen spoke regarding the site context and

location, and provided an overview of the proposed development and design features.

- 163 market rental units are designed to encourage living and working in the downtown core
- The building style is reminiscent of vibrant urban centres around the world, with inspiration from Nanaimo's history
- The north laneway allows for vehicle access into the parkade
- Waste management bins are concealed on the north side of the site
- Level building entry along Campbell Street
- Outdoor amenity space for urban agriculture, seating areas, amenity building for outdoor barbequing, and children's play area are provided
- The courtyard is designed as an open space for tenants
- Façade openings and street canopies are evident along the street
- Solid urban materials, open metal railings, and short balconies
- Brick is the primary façade material along the street, a ceramic fibre cement board is above the brick, accented by Juliet balconies, dark colored window frames, and wood elements in the canopies
- The building height variance is consistent with the Downtown Area Plan guidelines
- The proposed variances include siting of the accessory building at zero property line, and increasing the number of parking stalls from 101 to 138

2. Keith Ross, Landscape Architect of Urban Solutions Architecture Ltd., presented the landscape plan, and spoke regarding the proposed planting plan, trees, and amenity spaces.

- The landscaping along Campbell Street in the setback area includes deciduous trees, evergreens, and a mixture of shrubs
- The landscaping along Wallace Street includes metal planter boxes with flowering evergreen shrubs and vines
- The landscaping along the north drive lane includes a pedestrian walkway, planters, landscape screening along the property line, a raingarden planting strip and a row of deciduous trees, a four foot high fence, and entry lighting
- The feature courtyard provides the main focus for outdoor amenities including an open square lawn area surrounded by flowering trees, raised planters, planter walls and shrubs separating the ground floor patio areas
- The children's area contains a colourful play apparatus, soft rubberized ground surfacing and a shade tree
- To the northwest are picnic tables, a covered seating area, a raised vegetable garden area, tool storage area, water source and compost bins
- A 6 foot tall wrought iron fence is proposed along the laneway edge

Panel discussions took place regarding the following:

- A question was raised regarding the height variance

- Staff clarified that zoning is what dictates the allowable height and when a variance is requested Staff reference the guidelines in the neighbourhood plan
- Historical context and the building looking more commercial in appearance
- The addition of horizontal features and projected balconies rather than Juliet balconies
- A question about the Juliet balconies and whether the windows can be fully opened
- Whether the live/work units will be used as retail or business units as well as living spaces
- The accessibility of live/work units for those with mobility issues
- Providing alternate fencing to replace the proposed chain link along the north property line
- The incorporation of more plants and vegetation along the laneway and screening of the garbage collection area and the amenity building
- Adding natural elements into the play area for children, rocks, logs and more plants, and replace the rubber surfacing with wood fibre
- Adding more space for the street trees along Wallace Street
- A question was raised regarding the landscape maintenance pads
- Incorporating public art at the street corner of Wallace and Campbell Street

It was moved and seconded that Development Permit Application No. DP1223 be accepted as presented with support for the proposed variances. The following recommendations were provided:

- Consider increasing the number of live/work units for accessibility;
- To increase the planting along the laneway edge and other areas where possible;
- Consider softening the amenity building;
- Consider adding public art at the Wallace/Campbell corner;
- Consider changing fence detail on the north side of the property;
- Consider increasing the planting area for trees on Wallace Street; and
- Consider natural play elements in the children's play area.

The motion carried unanimously.

5. ADJOURNMENT:

It was moved and seconded at 6:17 p.m. that the meeting terminate. The motion carried unanimously.

CHAIR

CERTIFIED CORRECT:

RECORDING SECRETARY

Development Permit Application No:
DP001230

Application Detail

**MULTI-FAMILY RESIDENTIAL
DEVELOPMENT (13 UNITS)**

Civic Address:

5768 LINLEY VALLEY DRIVE

Applicant:

GUD ARCHITECTURE AND PLANNING

Owner:

JXLCO DEVELOPMENT CORPORATION LTD.

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001230 – 5768 LINLEY VALLEY DRIVE

Applicant / Architect: **GIANT UNION DESIGN & PLANNING**

Owners: **JXLCO DEVELOPMENT CORPORATION LTD.**

Landscape Architect: **FRED BROOKS LANDSCAPE ARCHITECT**

SUBJECT PROPERTY AND SITE CONTEXT:

<i>Zoning</i>	Steep Slope Residential (R10)
<i>Location</i>	The subject property is located in north Nanaimo, and is on the north side of Linley Valley Drive.
<i>Total Area</i>	8,204.05 m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Neighbourhood Map 3 – Development Permit Area No. 5 – Steep Slope Development; and Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines Steep Slope Development Permit Area Guidelines

The subject property is a vacant parcel that is separated by Garnet Place. The smaller west portion of the property has frontage on both Linley Valley Drive and Garnet Place. The larger east portion of the property is accessed by Garnet Place and a public lane. The property contains a steep rock bluff along the east side and northeastern lot line. The neighbourhood contains single family homes to the north, east and south, and a townhouse development is located to the northwest.

PROPOSED DEVELOPMENT

The applicant is proposing a 15 unit multi-family residential development, consisting of one duplex building and 13 single family dwellings. The unit composition is as follows:

<i>Unit Type</i>	<i>Number of Units</i>	<i>Unit Size</i>
Two bedroom	11	150m ² to 202m ²
Three bedroom	4	175m ² to 210m ²

In accordance with the density transfer allowance conditions in Section 7.3.3 of the Zoning Bylaw, 17 residential units are permitted on the property. A multi-family development permit (DP695) was approved for the property in 2015, however the subject application differs as it consists primarily of detached units, whereas the previous DP proposed duplex units.

Site Design

The duplex building is proposed to be sited at the corner of Linley Valley Drive and Garnet Place, with a forested area to be retained on the rear half of this portion of the property. The 12 single family dwellings are sited to front onto the lane, each with their own driveway access. A setback of more than 15m is provided from the east side property line in accordance with the required geotechnical setback from the steep rock bluff along the east side of the property. There is also a rock bluff at the rear of Units 4-9 and the dwellings will be sited approximately 3m from the face of the bluff. A base floor area ratio (FAR) of 0.45 is permitted, and an FAR of 0.32 is proposed.

Staff Comments:

- The development responds to the Steep Slope Development Permit Area Guidelines by limiting the building height to one and two storeys, and by designing the site to respect the geotechnical setback from the steep rock bluff along the east and northeastern side of the property.
- The applicant will be required to demonstrate that each unit is designed to accommodate electric vehicle charging stations, bicycle storage, and garbage/recycling bins.
- Details are to be provided to show parking space dimensions, and the location of the required three accessible parking spaces.

Building Design

The proposed dwellings are craftsman style buildings with low pitched roofs. Eleven of the single family dwellings are single storey. Two single family dwellings contain a split level storey, and the duplex building is two storeys in height. A mix of two and three bedroom units are proposed, and each unit includes a garage, as well as an outdoor patio and/or balcony area. The proposed façade materials consist of vinyl horizontal siding and vinyl shake, with wood and stone accents.

Staff Comments:

- In keeping with the Steep Slope Development Permit Area Guidelines, consider incorporating more stone and wood accents on the building facades to reflect the textures of the natural hillside setting.

Landscape Design

Each single family unit has a south facing patio in the front yard area, and a smaller balcony with landscaping at the rear of the building. A tiered retaining wall is proposed at the rear of Units 10, 11 and 12 to accommodate the natural depression in the rear corner of the property.

The duplex site contains a pedestrian path to allow for access to the rear of each unit. Trees will be retained in the side yard area where possible, and retaining walls are proposed to accommodate grade changes. The forest on the west side of the duplex site will be retained in its natural state. A wood fence with vine arbours is proposed along the northwest property line of the duplex site.

- Consider utilizing plantings, rather than board and lattice fencing, to create privacy between the driveways and patios. Similarly, consider plantings rather than artificial turf to allow for a more natural, permeable site in accordance with the Steep Slope guidelines.
- The applicant will be required to provide typical cross sections throughout the property to more clearly show the height and materials of the proposed retaining walls.
- A plant list has been provided; however, the location of each plant type is not shown on the landscape plan.
- Show the location of all proposed fencing on the landscape plan, and provide a graphic showing the design of the proposed fencing.
- Consider creating an area for a common outdoor amenity space for the residents.

PROPOSED VARIANCES

No variances are proposed.

Zoning:	R10	STEEP SLOPE RESIDENTIAL	
Lot size (min):	1,500.00 sm		
Lot Size Proposed	8,204.05 sm	89,900 sf	2.03 acre


Floor Area			
	FSR	Area (sm)	Area (sf)
Allowable:	0.45	3,691.82 sm	39,738 sf
Proposed:	0.32	2,712.03 sm	29,193 sf

Type	Area/Unit	No. Units	Total Area
A	2,201.00 sf	2	4,402.0 sf
A1	1,615.00 sf	1	1,615.0 sf
B	1,823.00 sf	7	12,761.0 sf
C	2,264.00 sf	1	2,264.0 sf
D	1,881.00 sf	1	1,881.0 sf
E	1,833.00 sf	1	1,833.0 sf
Fa	2,177.00 sf	1	2,177.0 sf
Fb	2,177.00 sf	1	2,177.0 sf
WATER METER CUPBOARD	83.00 sf	1	83.0 sf
Total		15	29,193.0 sf

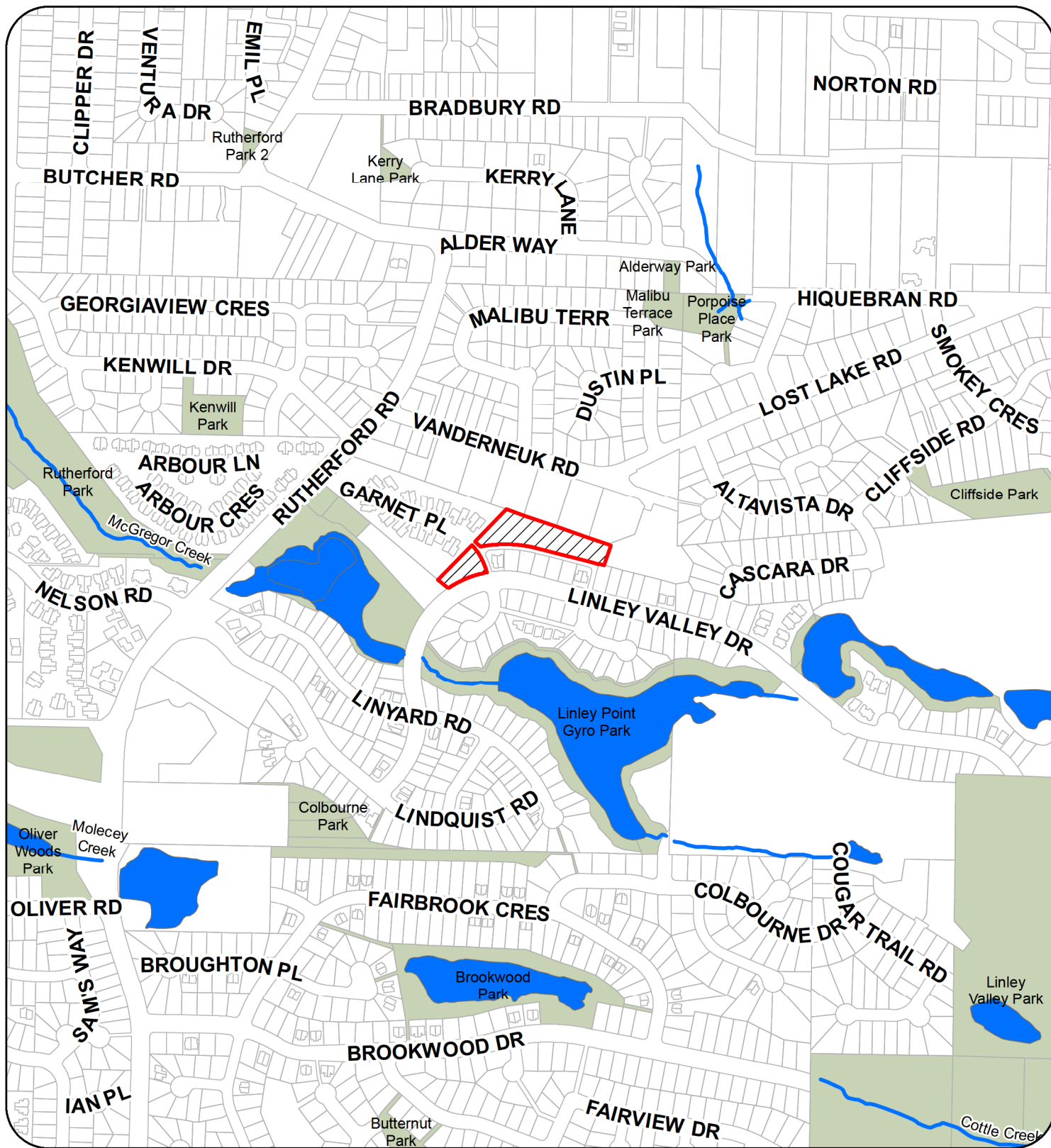
	Ratio	Area (sf)
Allowable:	0.40	35,960 sf
Proposed:	0.36	32,584 sf

Lot Coverage	Type	Area/Unit	No. Units	Total Area
	A	1,876.00 sf	2	3,752.0 sf
	A1	2,002.00 sf	1	2,002.0 sf
	B	2,211.00 sf	7	15,477.0 sf
	C	2,736.00 sf	1	2,736.0 sf
	D	2,334.00 sf	1	2,334.0 sf
	E	2,200.00 sf	1	2,200.0 sf
	Fa	2,041.64 sf	1	2,041.6 sf
	Fb	2,041.64 sf	1	2,041.6 sf
Total			15	32,584.3 sf

THE DEVELOPMENT AIMS TO CREATE AN ANIMATED NEIGHBOURHOOD BY PROVIDING A HIGH QUALITY HOUSING OPPORTUNITY AND COMPLETING AN UNDEVELOPED PORTION OF THE COMMUNITY.

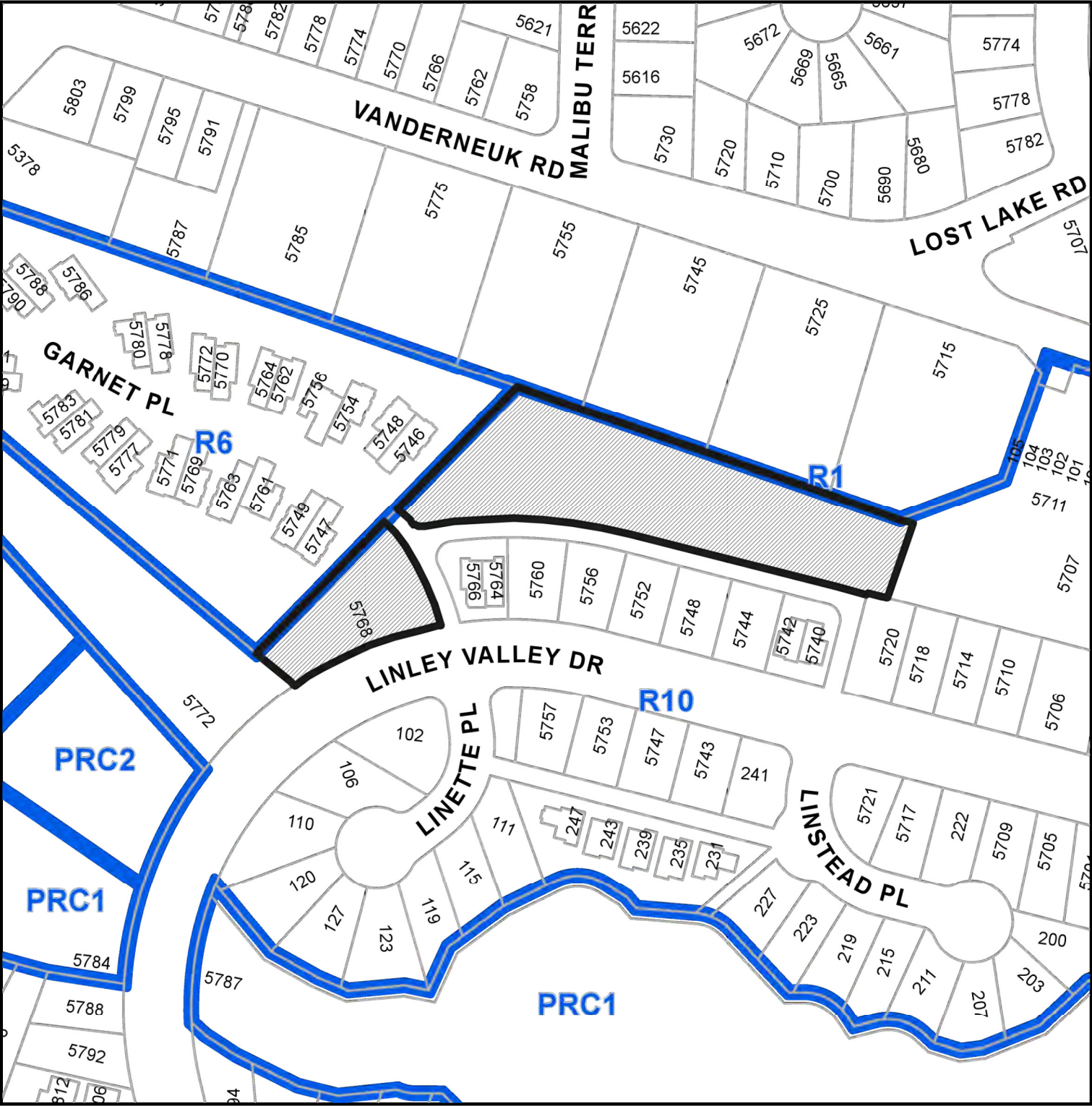
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KEY PLAN			
			
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PROJECT NO: 82000-0			
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CHK'D BY: XINMIA			
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CONTEXT MAP



5768 LINLEY VALLEY DRIVE

LOCATION PLAN



DEVELOPMENT PERMIT APPLICATION NO. DP001230




CIVIC: 5768 LINLEY VALLEY DRIVE
LEGAL: LOT 43, DISTRICT LOT 32, WELLINGTON DISTRICT, PLAN EPP17440

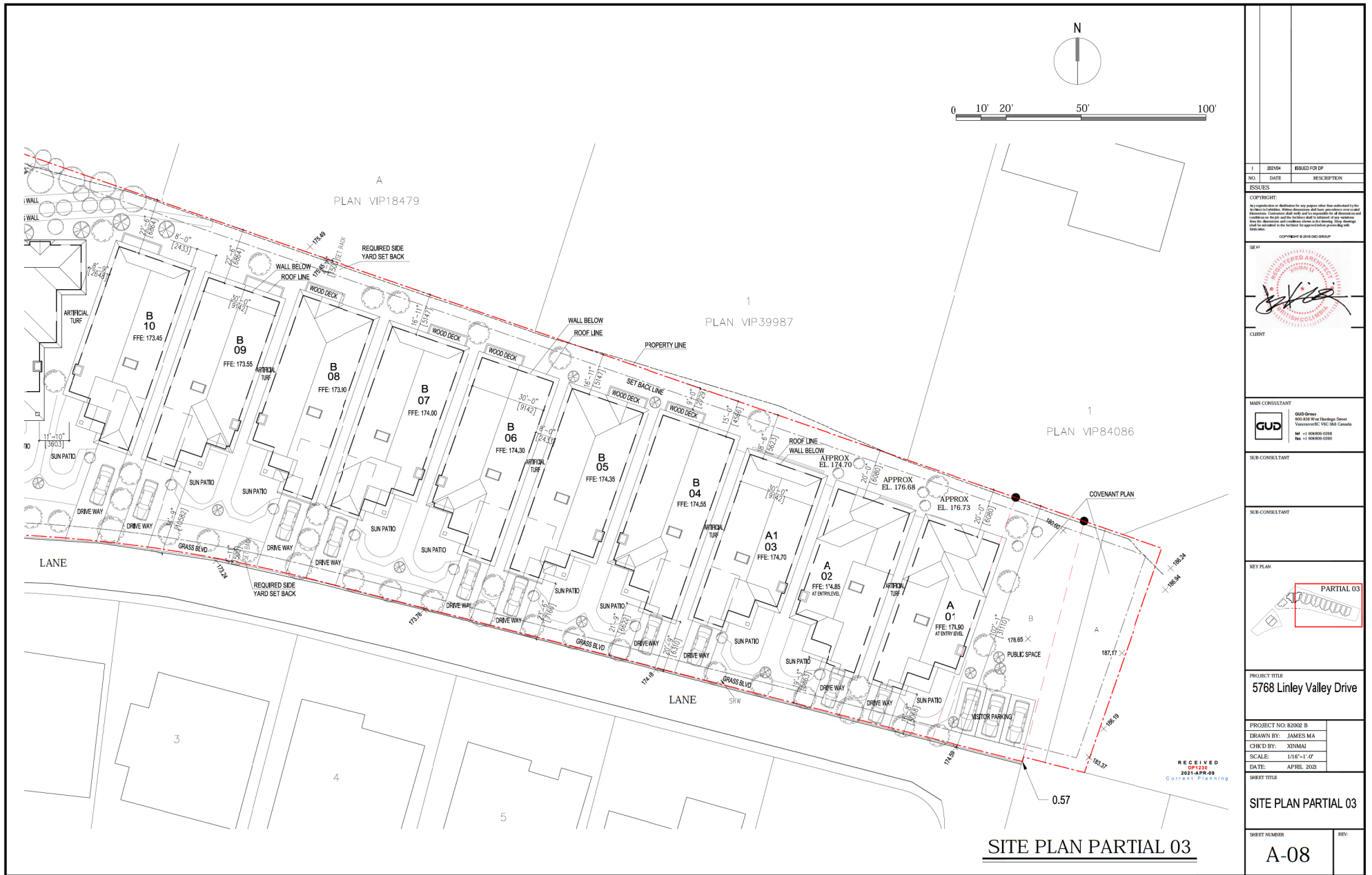
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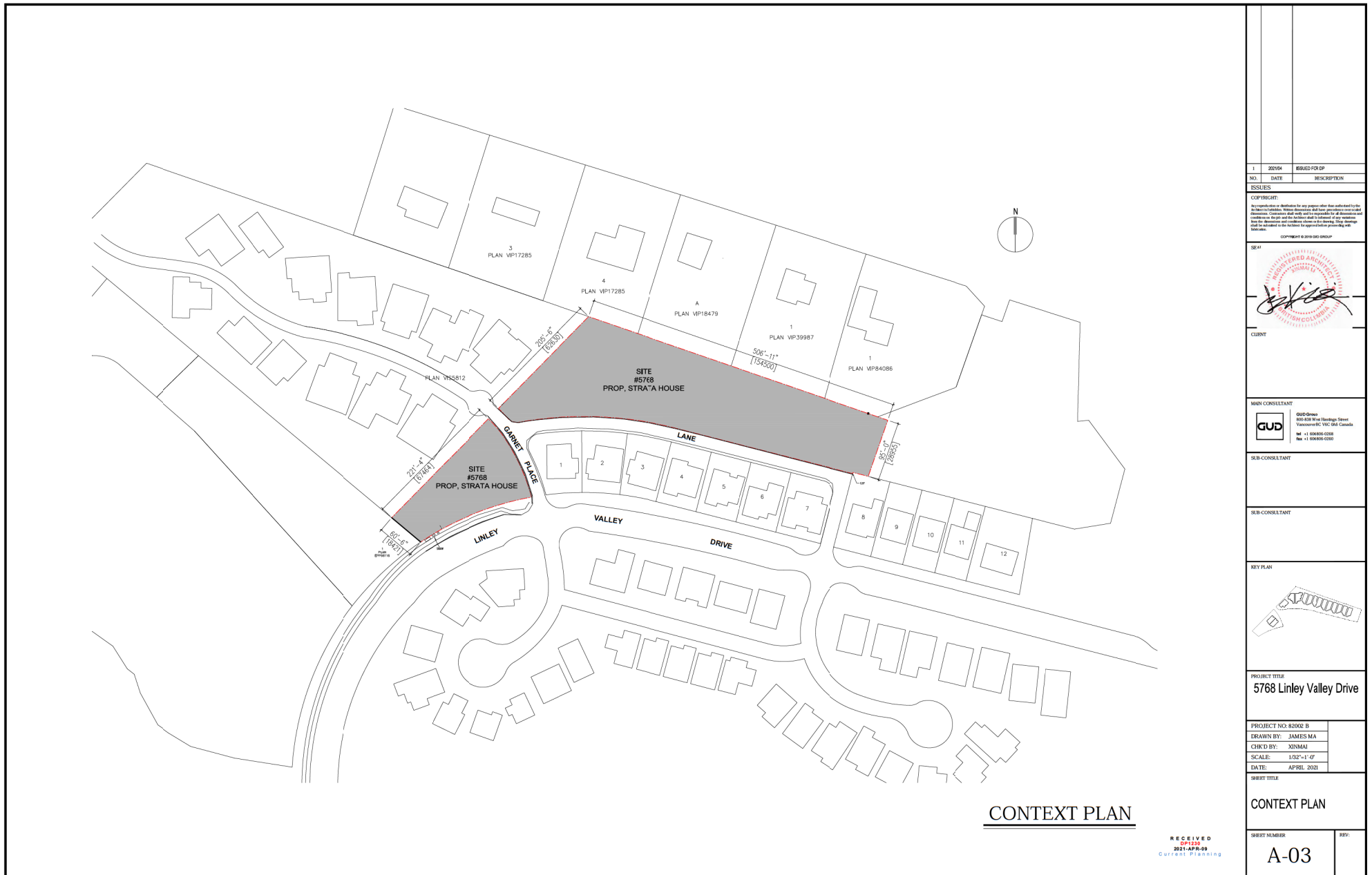
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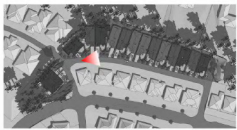
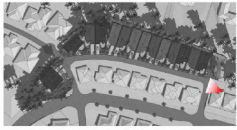
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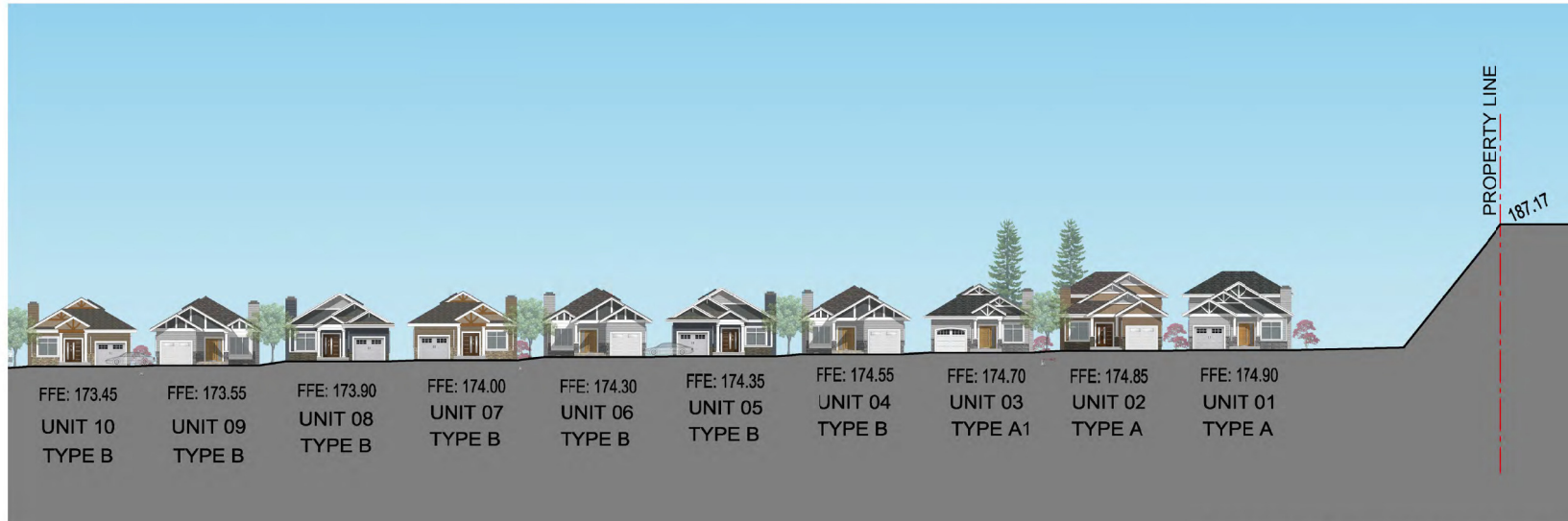


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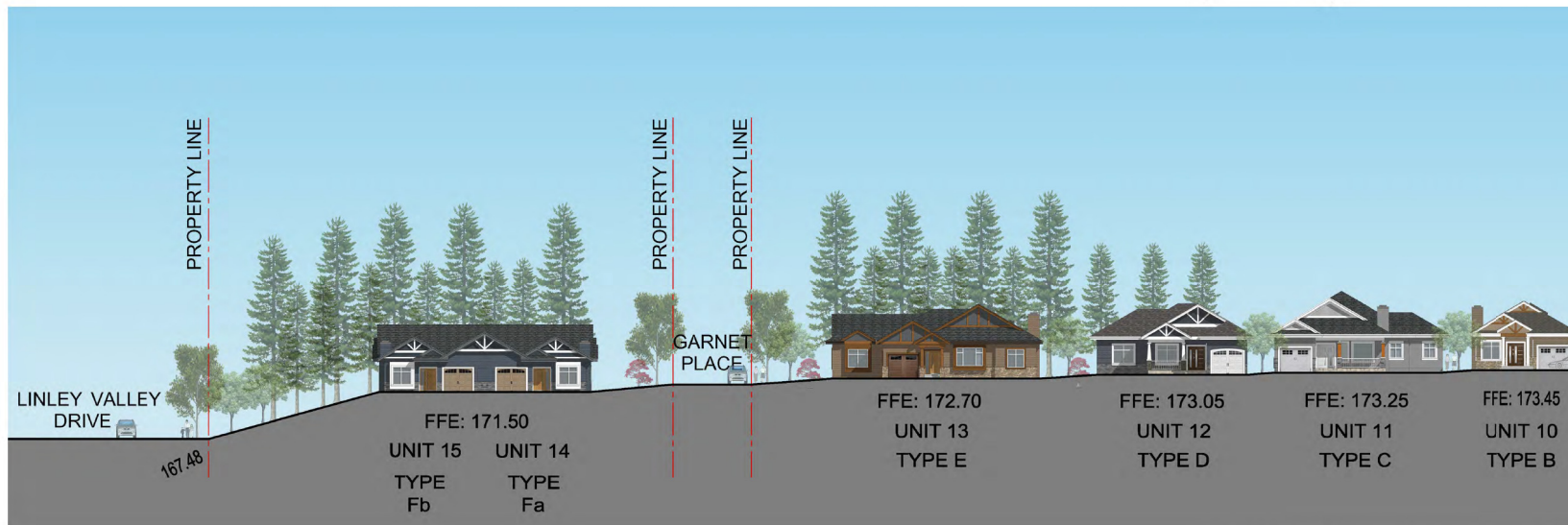


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2021-APR-09
Current Planning



STREET ELEVATION (UNIT 01-10)
(ALONG LANE)



STREET ELEVATION (UNIT 10-15)
(ALONG LANE & GARNET PLACE)

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Colour Scheme 2

1. Roof Gable:	Vinyl Siding - Royal® Yellow Birch
2. Exterior Wall:	Vinyl Siding - Celest® Shale
3. Stone:	Cultured Stone® Country-Iedgestone®/Skyline



Colour Schem 2

1. Roof Gable:	Vinyle Shake - Royal® Yellow Birch
2. Exterior Wall:	Vinyle Siding - Collect® Shale
3. Stone:	Cultured Stone® Country-Iedgestone/Skyline



RECEIVED
DP1230
2021-APR-09
Current Planning

- 2X12 FASCH BOARD
COLOUR: OFF WHITE
- PAINTED HARD PLANK
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 5' X 5' ALUM. SLUTTERS
COLOUR: WHITE
- ALUM. SOFFIT TYP.
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND
WINDOWS & DOORS
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP
COLOUR: OFF WHITE
- FIBERGLASS DOOR



UNIT 03 (TYPE A) FRONT ELEVATION

Colour Scheme

1. Roof Gutter: Vinyl Siding - Ravelli Yellow Birch
2. Exterior Wall: Vinyl Siding - Canyon Stone
3. Stone: Cultured Stone® Country-Edgestone® (Light)



WOOD BRACKET
Colour: Off White



VINYL SHAKE



VINYL SIDING

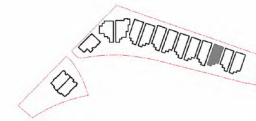


CULTURED STONE



GARAGE DOOR

STONE TILE STEPS



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07-13-2021-APR-09
Current Planning



Colour Scheme 2

1. Roof Gable:	Vynile Shale - Royal® Yellow Birch
2. Exterior Wall:	Vynile Siding - Celcote® Shale
3. Stone:	Cultured Stone® Country-Jedgestone/Skyline



WOOD BRACKET
Colour - Off White



VINYL SHAKE



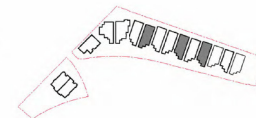
VINYL SIDING



CULTURED STONE



STONE TILE STEPS

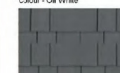


Colour Scheme 2

1. Roof Gable:	Vinyl Siding - Royal® Yellow Birch
2. Exterior Wall:	Vinyl Siding - Celest® Shale
3. Stone:	Cultured Stone® Country-Ildgestone/Skyline



WOOD BRACKET
Colour - Off White



VINYL SHAKE



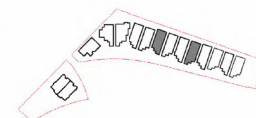
VINYL SIDING



CULTURED STONE



GARAGE DOOR



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- 2X12 FASCIA BOARD
COLOUR: OFF WHITE
- PAINTED HARD PLANK
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 6" X 6" ALUM. BUTTERS
COLOUR: WHITE
- ALUM. SOFFIT TYP.
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND
WINDOWS & DOORS
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP
COLOUR: OFF WHITE
- FIBREGLASS DOOR



UNIT 07&10 (TYPE B) FRONT ELEVATION

Colour Scheme 2

1. Roof Gable: Vinyl Shake - Royal Yellow Birch
2. Exterior Wall: Vinyl Siding - Colonial Stone
3. Stone: Cultured Stone® Country-Edgestone/Skyline



VINYL SHAKE



VINYL SIDING



CULTURED STONE



GARAGE DOOR

STONE TILE STEPS



- 2X12 FASCIA BOARD
COLOUR: OFF WHITE
- PAINTED HARD PLANK
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 6" X 6" ALUM. BUTTERS
COLOUR: WHITE
- ALUM. SOFFIT TYP.
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND
WINDOWS & DOORS
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP
COLOUR: OFF WHITE
- FIBREGLASS DOOR



UNIT 11 (TYPE C) FRONT ELEVATION

Colour Scheme 2

1. Roof Gable: Vinyl Shake - Royal Yellow Birch
2. Exterior Wall: Vinyl Siding - Colonial Stone
3. Stone: Cultured Stone® Country-Edgestone/Skyline



VINYL SHAKE



VINYL SIDING

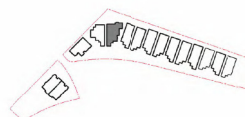


CULTURED STONE



GARAGE DOOR

STONE TILE STEPS



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UNIT 12 (TYPE D) FRONT ELEVATION



UNIT 13 (TYPE E) FRONT ELEVATION

- 2X12 FASCIA BOARD
COLOUR: OFF WHITE
- PAINTED HARD PLANK
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 6" X 8" ALUM. SUTTERS
COLOUR: WHITE
- ALUM. SOFFIT, TYP.
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND
WINDOWS & DOORS
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP
COLOUR: OFF WHITE
- FIBREGLASS DOOR

Colour Scheme 2

1. Roof Gutter: Vinyl Siding - Royal Yellow Birch
2. Exterior Wall: Vinyl Siding - Concord Shale
3. Stone: Cultured Stone Country Indulgences/Skyline



VINYL SHAKE



VINYL SIDING

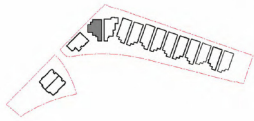


CULTURED STONE



GARAGE DOOR

STONE TILE STEPS



Colour Scheme 2

1. Roof Gutter: Vinyl Siding - Royal Yellow Birch
2. Exterior Wall: Vinyl Siding - Concord Shale
3. Stone: Cultured Stone Country Indulgences/Skyline



WOOD BRACKET



VINYL SHAKE



VINYL SIDING



CULTURED STONE

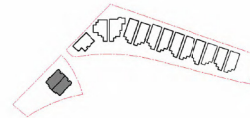


GARAGE DOOR

STONE TILE STEPS

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MATERIAL		
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2X12 FASCIA BOARD
COLOUR: OFF WHITE



PAINTED HARD PLANK
COLOUR: OFF WHITE



ASPHALT SHINGLES
COLOUR: WHITE



2X4 ALUM. GUTTERS
COLOUR: OFF WHITE



ALUM. SOFFIT TYP
COLOUR: OFF WHITE

6" HARD PLANK AROUND
WINDOWS & DOORS
COLOUR: OFF WHITE

HARD BOARD WRAPPED COLUMNS
COLOUR: OFF WHITE

HARD BOARD COLUMN CAP
COLOUR: OFF WHITE



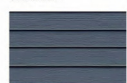
FIBREGLASS DOOR

Colour Scheme 2

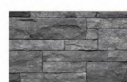
- 1. Roof Gables: Vinyl Shake - Royal Yellow Bird
- 2. Exterior Wall: Vinyl Siding - Colonial Blue
- 3. Stone: Cultured (Small Country) (SageGreen) Style



VINYL SHAKE



VINYL SIDING



CULTURED STONE



STONE TILE STEPS

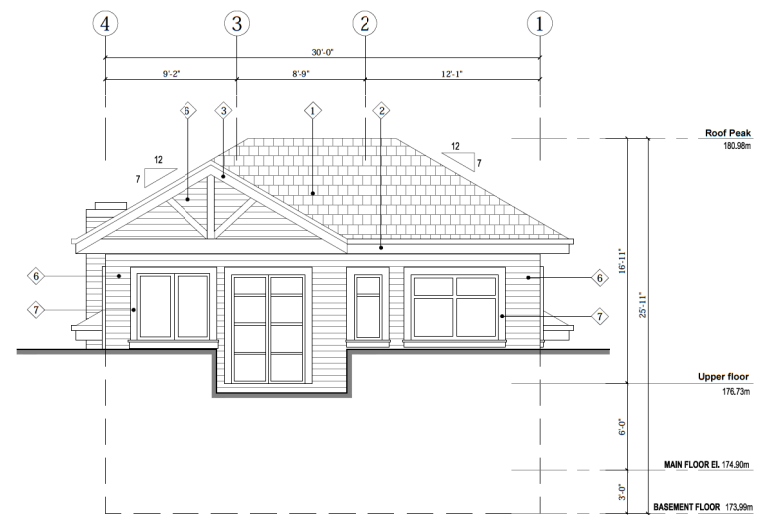
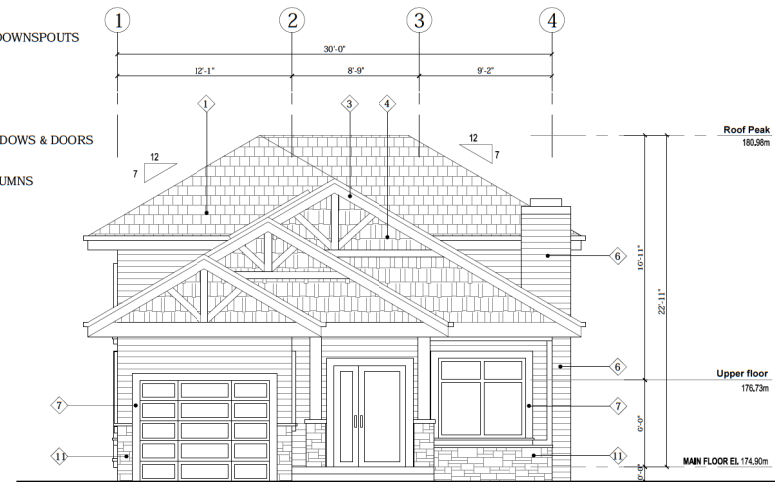
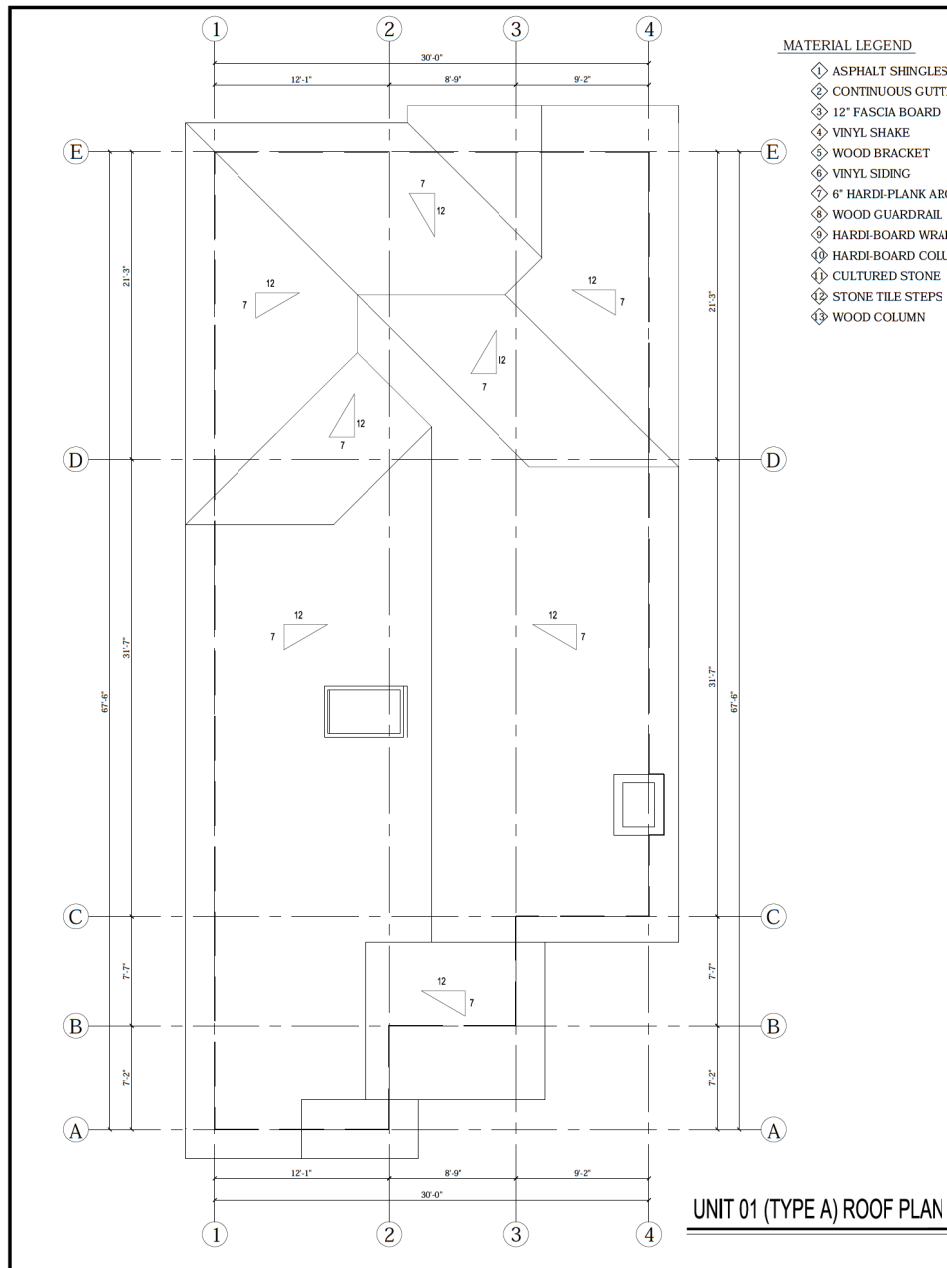


DOOR TO WATER
METER CUPBOARD

UNIT 14&15 (TYPE F) FRONT ELEVATION

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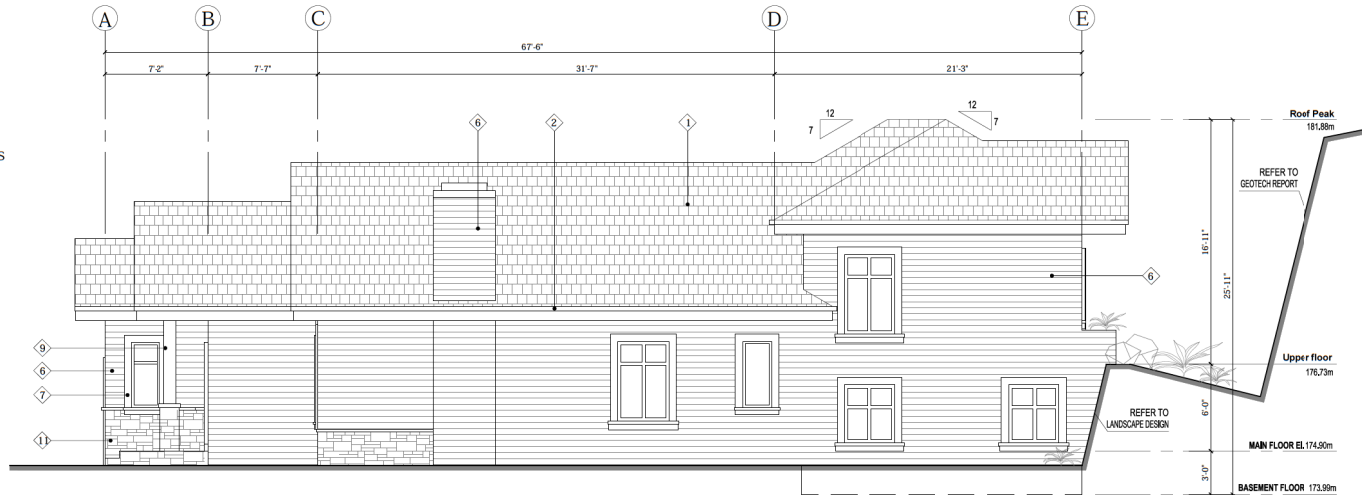
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DATE: APRIL 2021			
SHEET TITLE			
TYPE F MATERIAL RENDERING			
SHEET NUMBER			
A-R 1.6			
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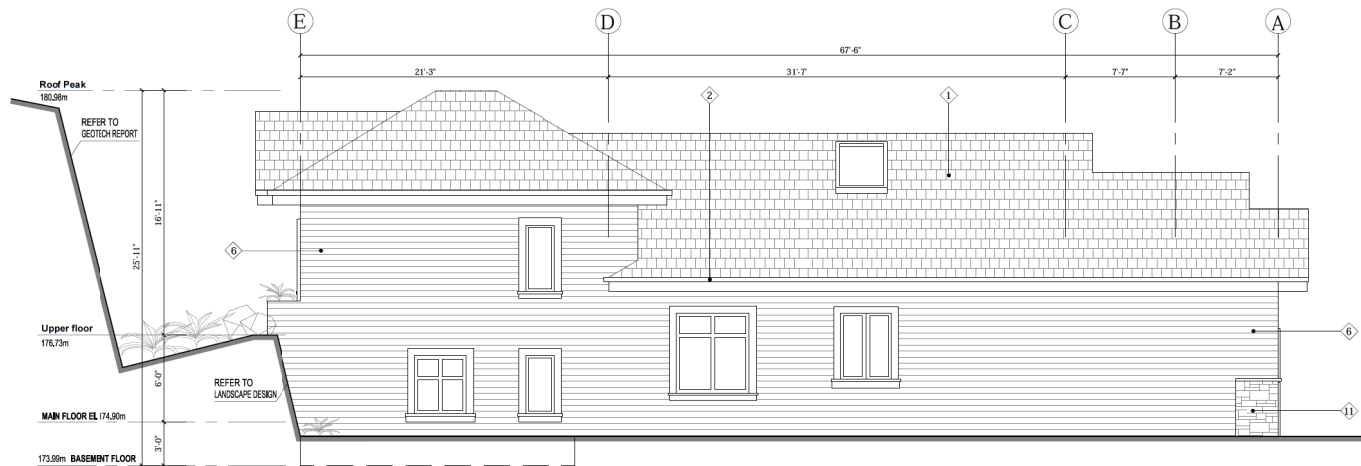
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UNIT 01 (TYPE A) ROOF PLAN FRONT ELEVATION REAR ELEVATION		
SHEET NUMBER		
A-A 1.2		

MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



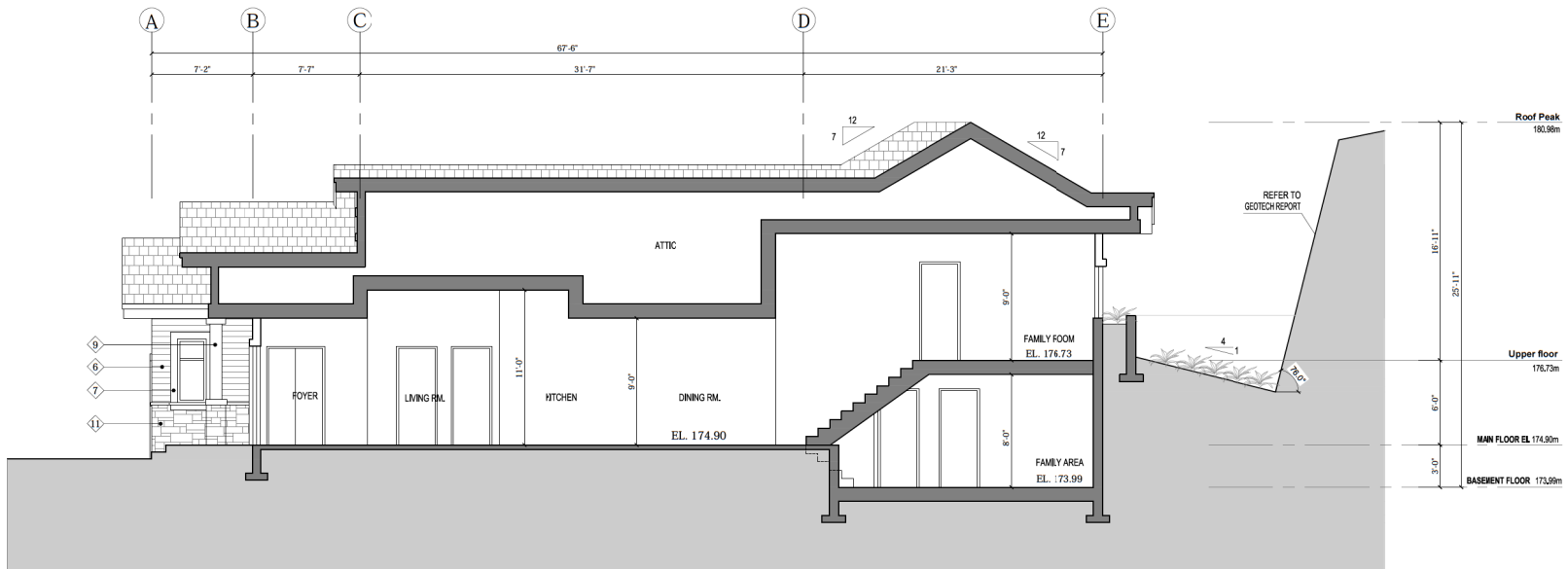
UNIT 01 (TYPE A) SIDE ELEVATION



UNIT 01 (TYPE A) SIDE ELEVATION

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DATE: APRIL 2021		
SHEET TITLE		
UNIT 01 (TYPE A) SIDE ELEVATIONS		
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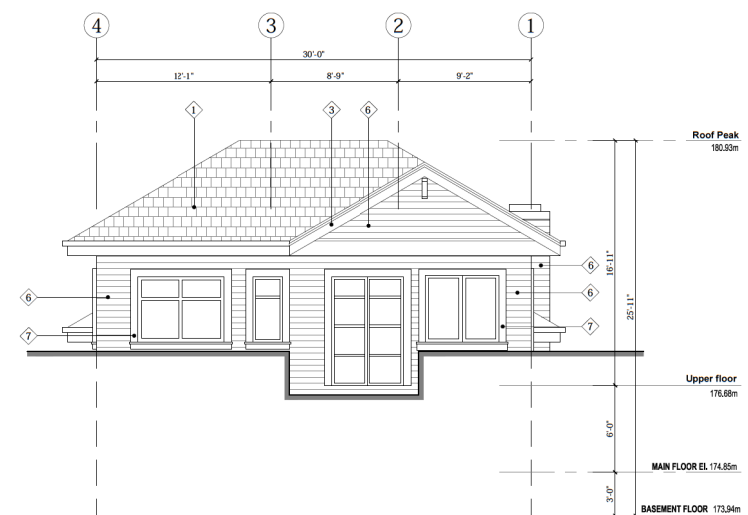
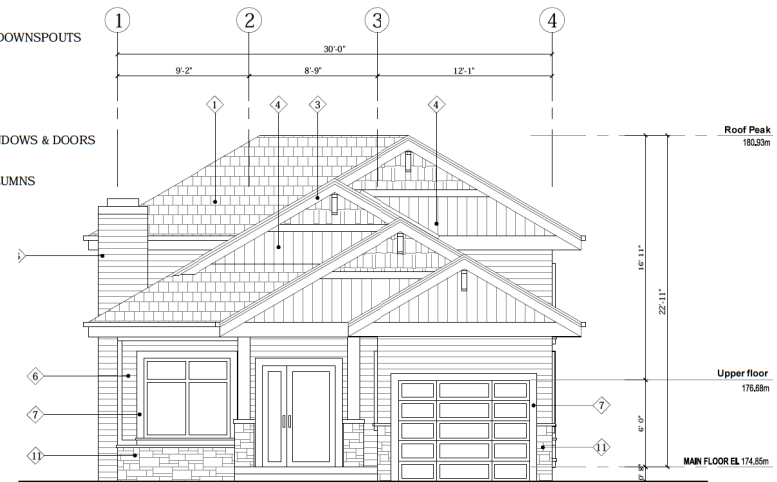
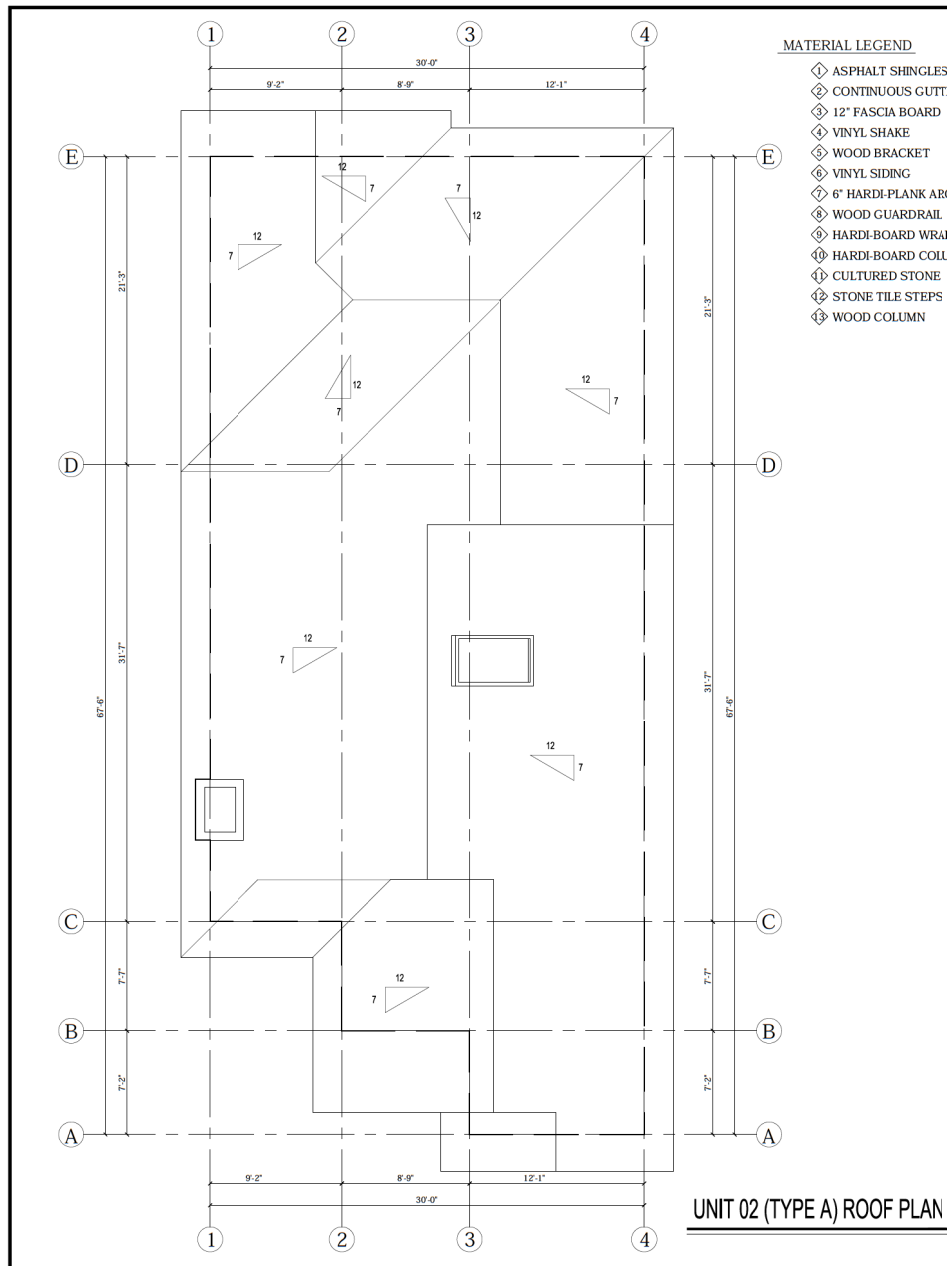
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UNIT 01 (TYPE A) SECTION

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SHEET NUMBER		REV.
A-A 1.4		

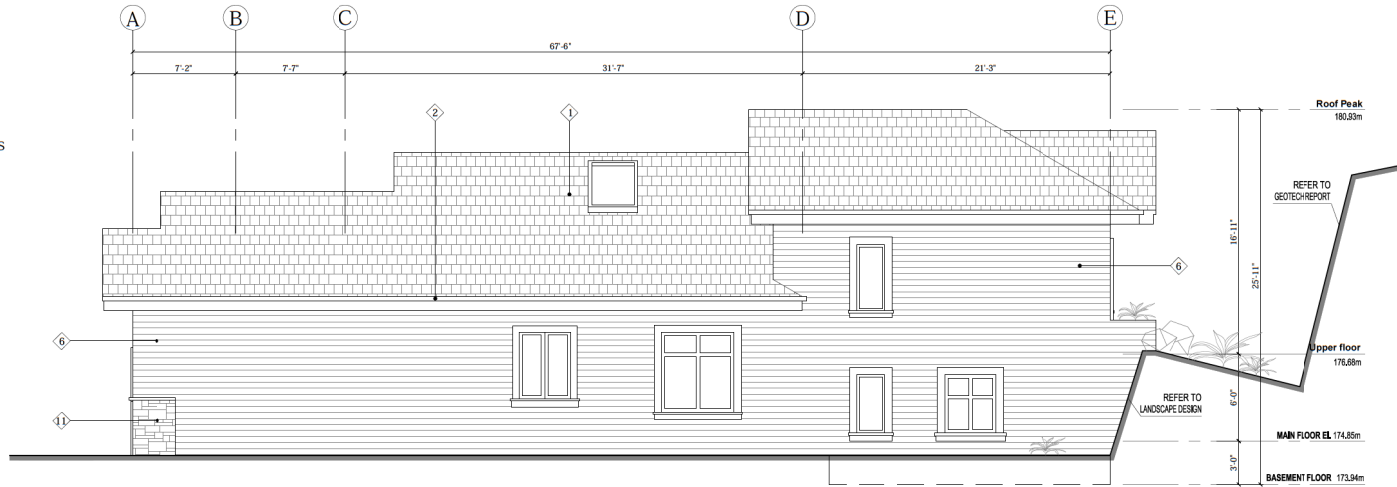
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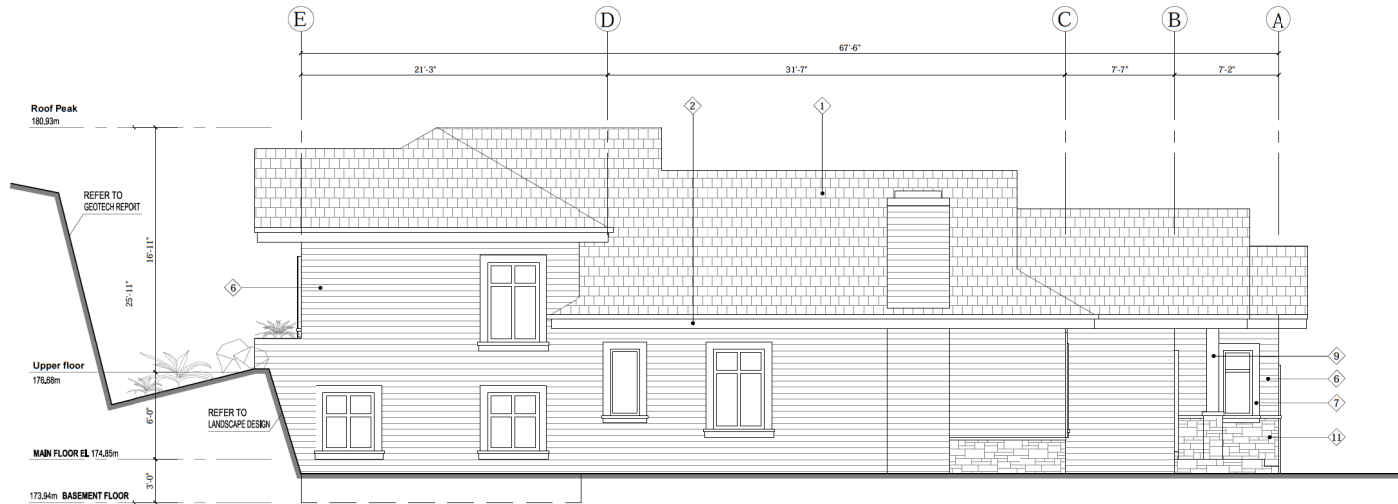
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SHEET TITLE UNIT 02 (TYPE A) ROOF PLAN FRONT ELEVATION REAR ELEVATION			
SHEET NUMBER A-A 2.2			

MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



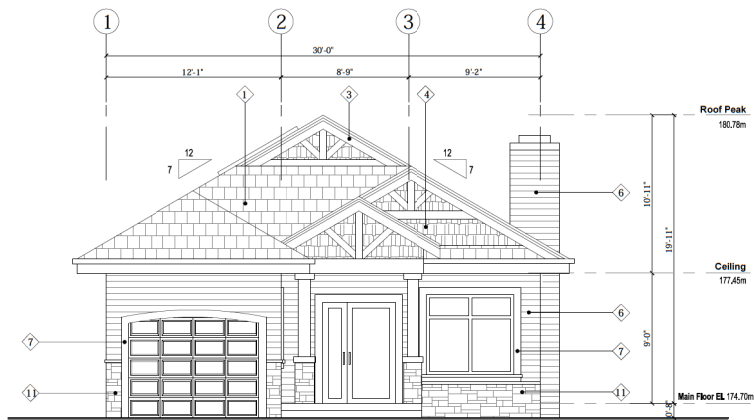
UNIT 02 (TYPE A) SIDE ELEVATION



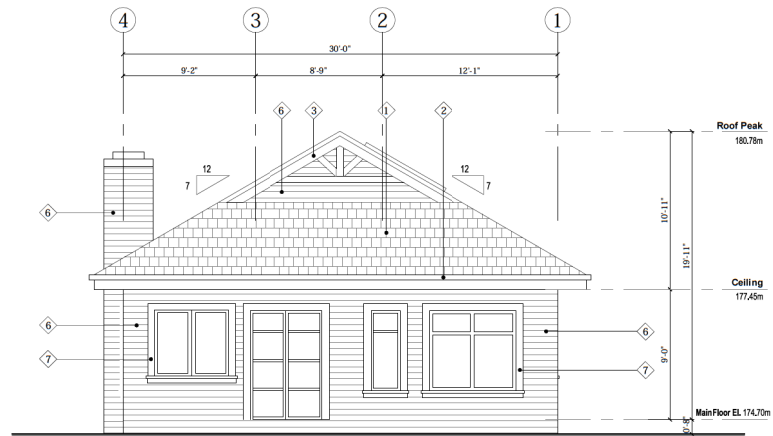
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SHEET TITLE		
UNIT 02 (TYPE A) SIDE ELEVATIONS		
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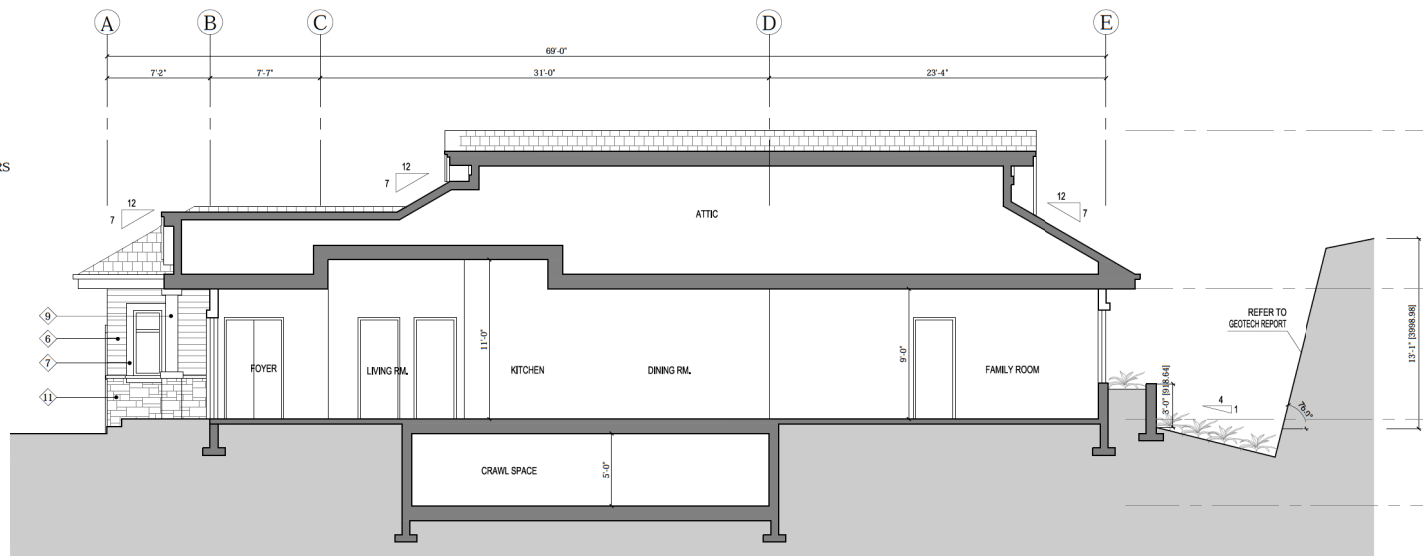
UNIT 03 (TYPE A1) FRONT ELEVATION



UNIT 03 (TYPE A1) REAR ELEVATION

MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
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- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



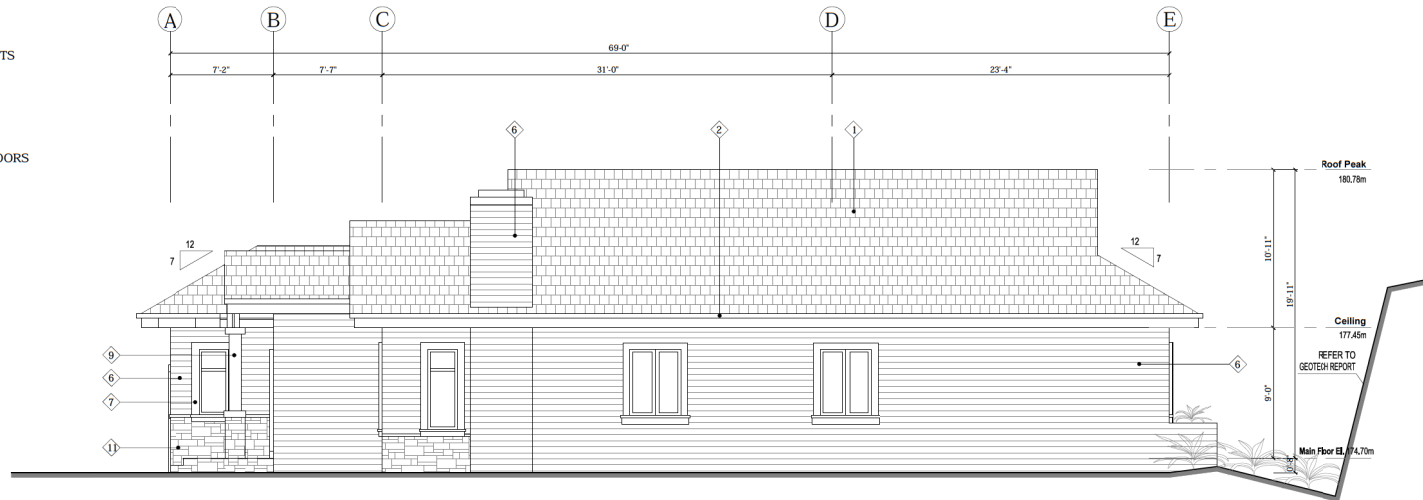
UNIT 03 (TYPE A1) SECTION

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UNIT 03 (TYPE A1) FRONT ELEVATION REAR ELEVATION SECTION		
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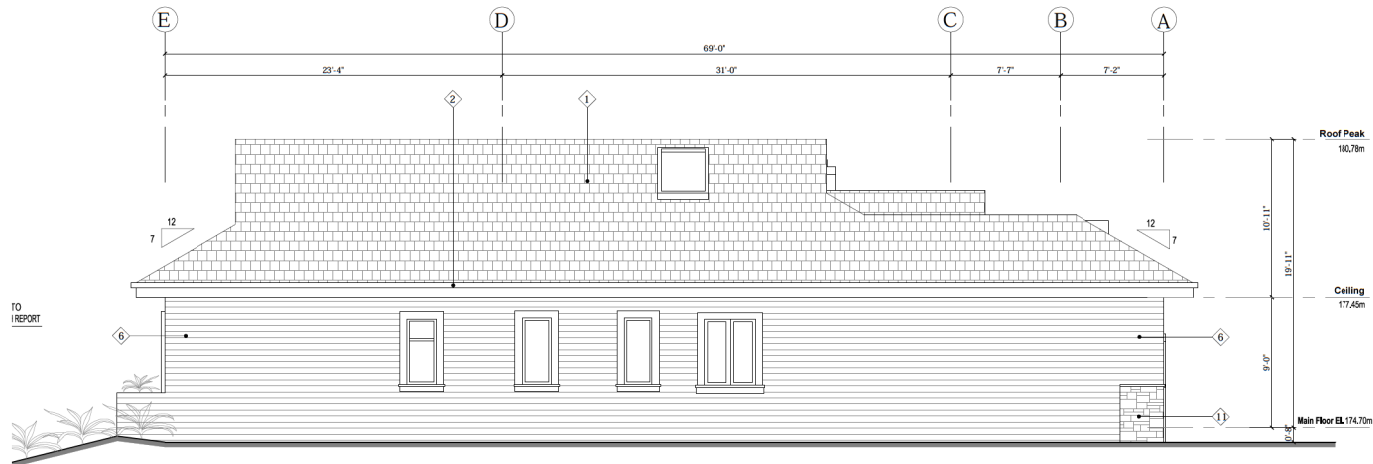
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MATERIAL LEGEND

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- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



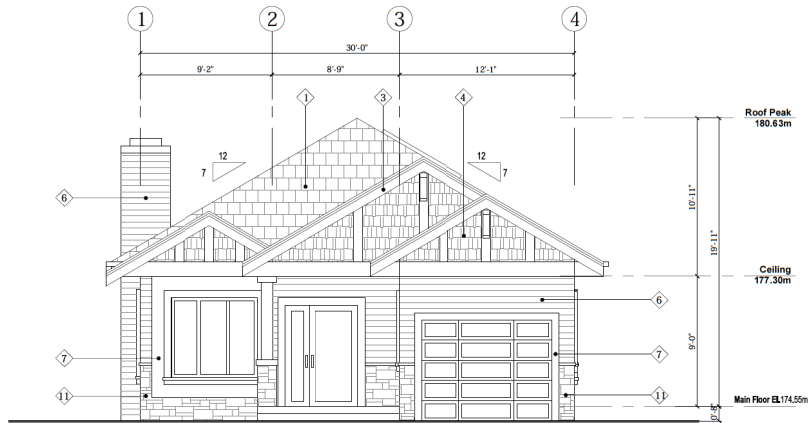
UNIT 03 (TYPE A1) SIDE ELEVATION



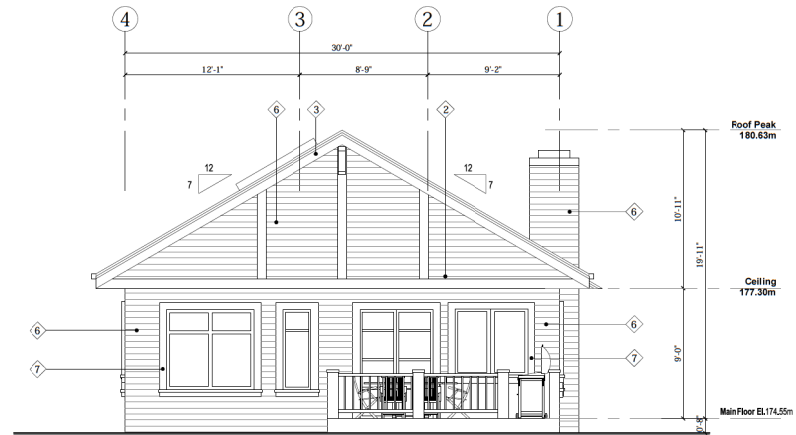
UNIT 03 (TYPE A1) SIDE ELEVATION

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PROJECT NO: 82002 B		
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SHEET TITLE	UNIT 03 (TYPE A1) SIDE ELEVATIONS	
SHEET NUMBER	A-A 3.3	

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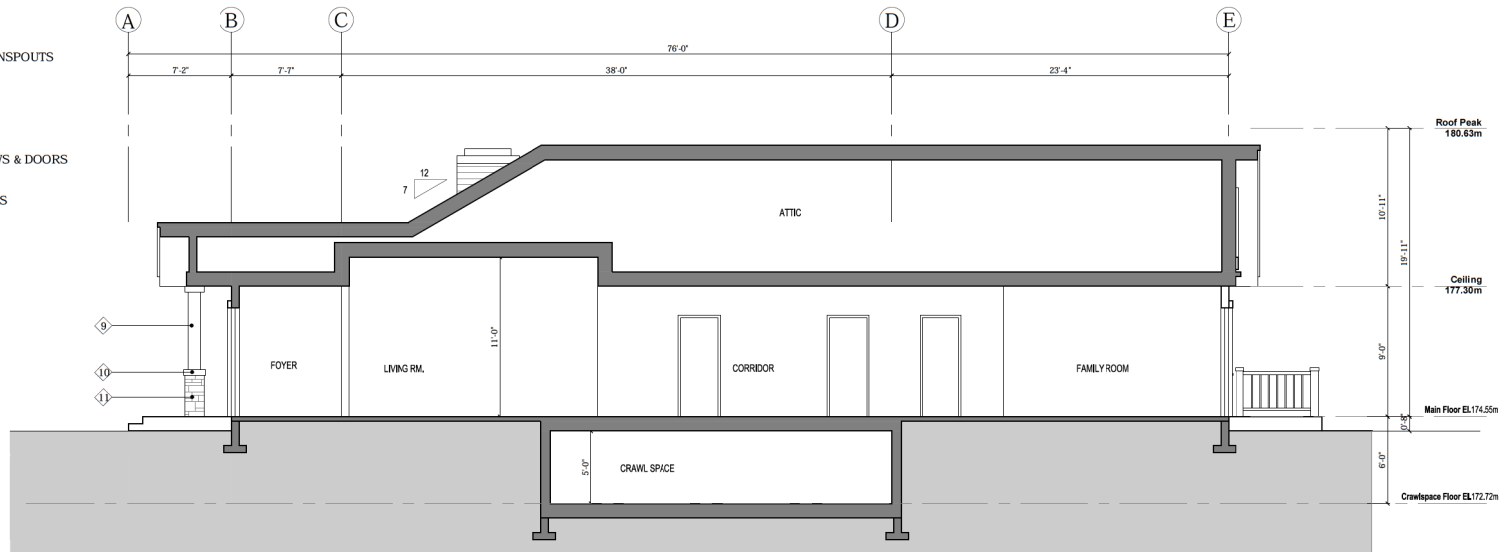
UNIT 04 (TYPE B) FRONT ELEVATION



UNIT 04 (TYPE B) REAR ELEVATION

MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



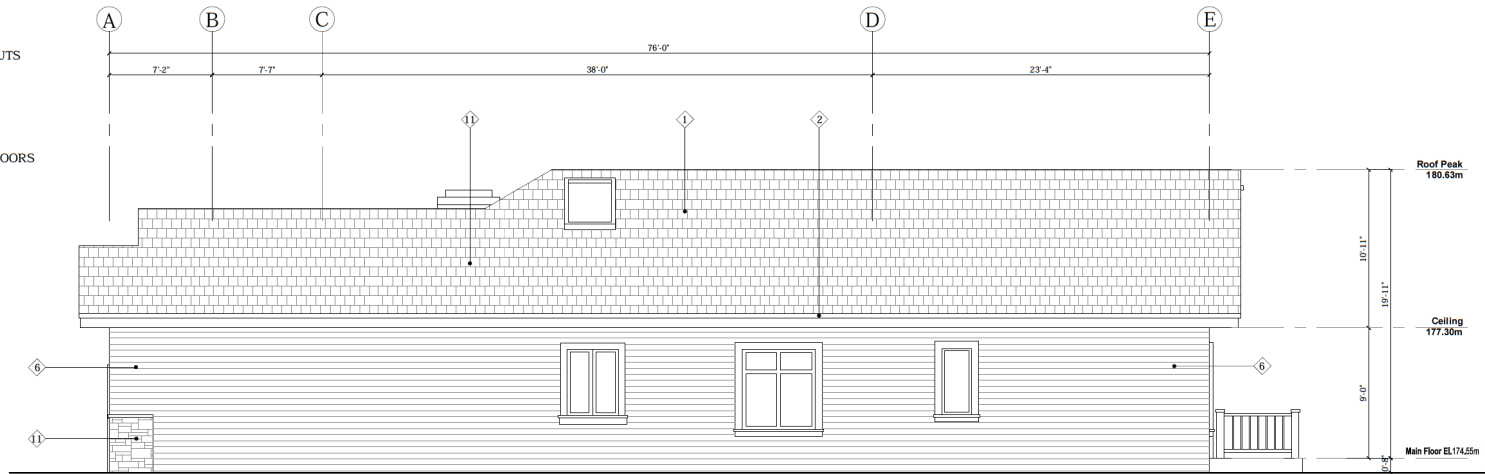
UNIT 04 (TYPE B) SECTION

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CHK'D BY: XINMAI		
SCALE: 1/4"=1'-0"		
DATE: APRIL 2021		
SHEET TITLE UNIT 04 (TYPE B) FRONT ELEVATION REAR ELEVATION SECTION		
SHEET NUMBER A-B 1.2		

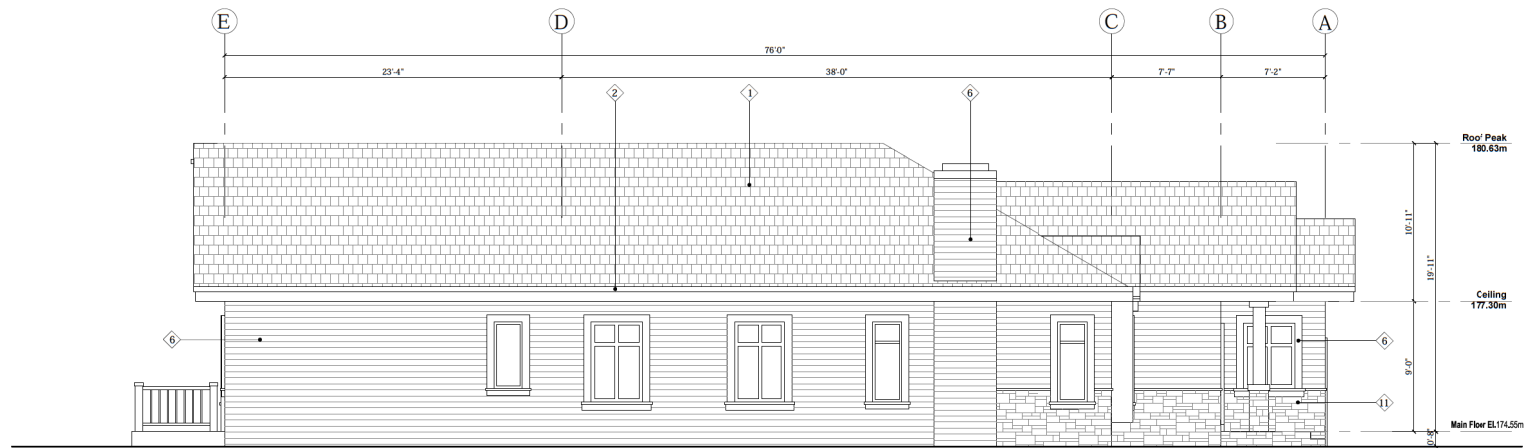
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MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



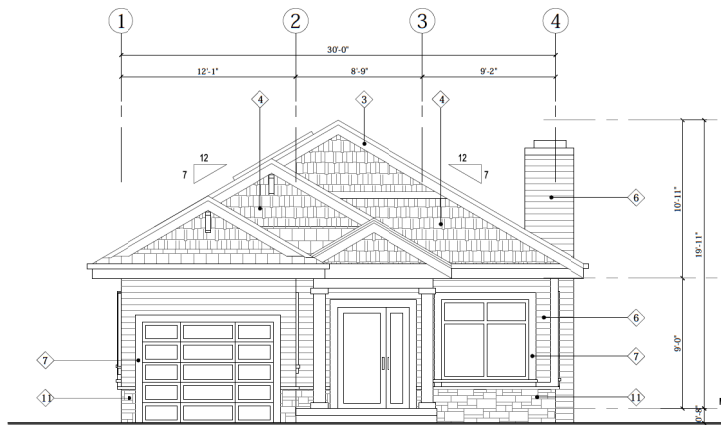
UNIT 04 (TYPE B) SIDE ELEVATION



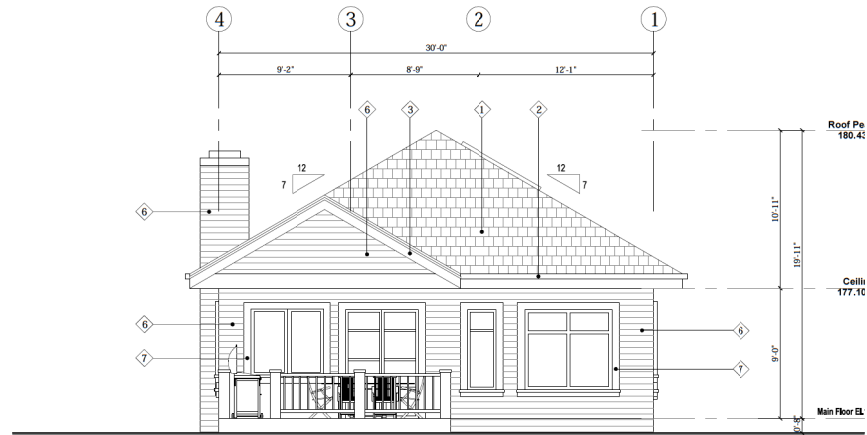
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PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHK'D BY: XINMAI			
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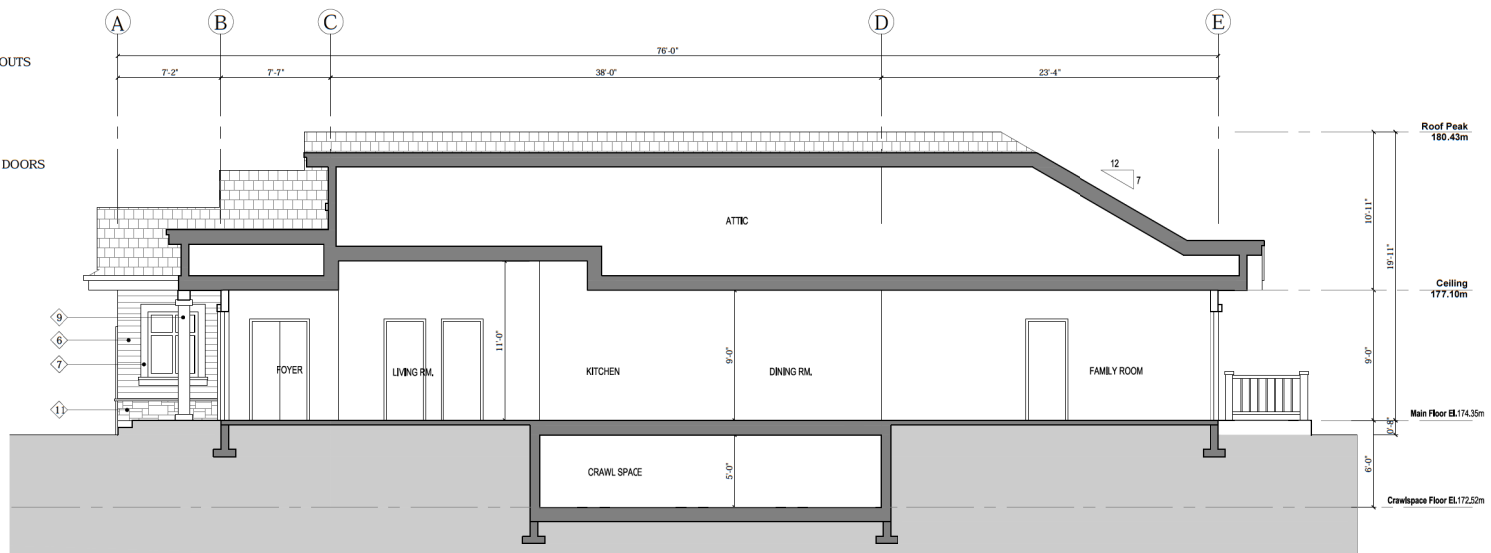
UNIT 05 (TYPE B) FRONT ELEVATION



UNIT 05 (TYPE B) REAR ELEVATION

MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

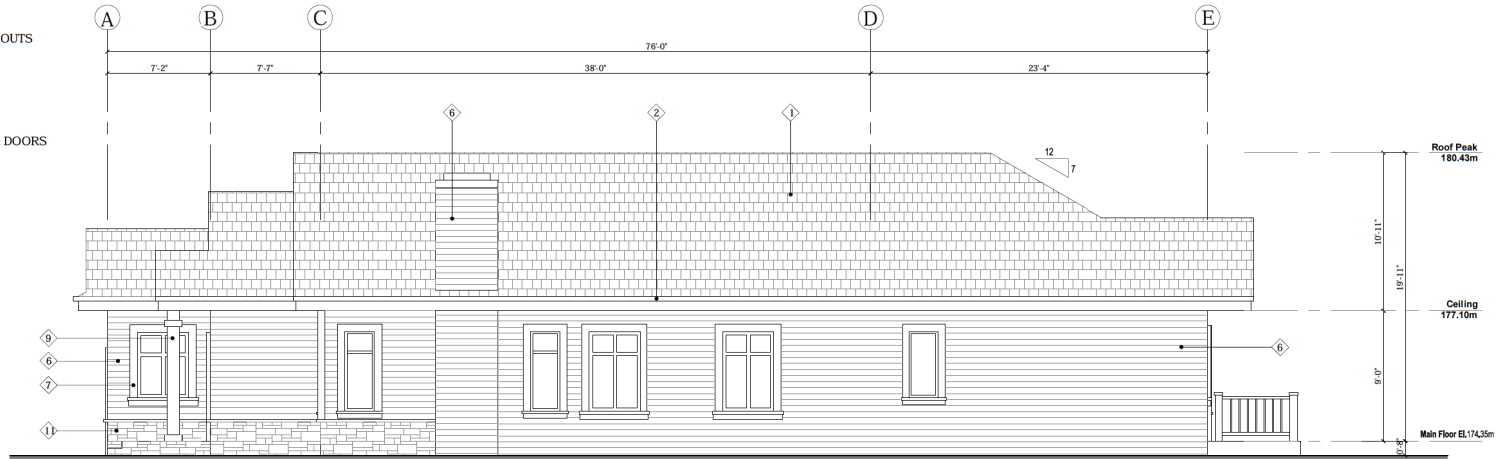


UNIT 05 (TYPE B) SECTION

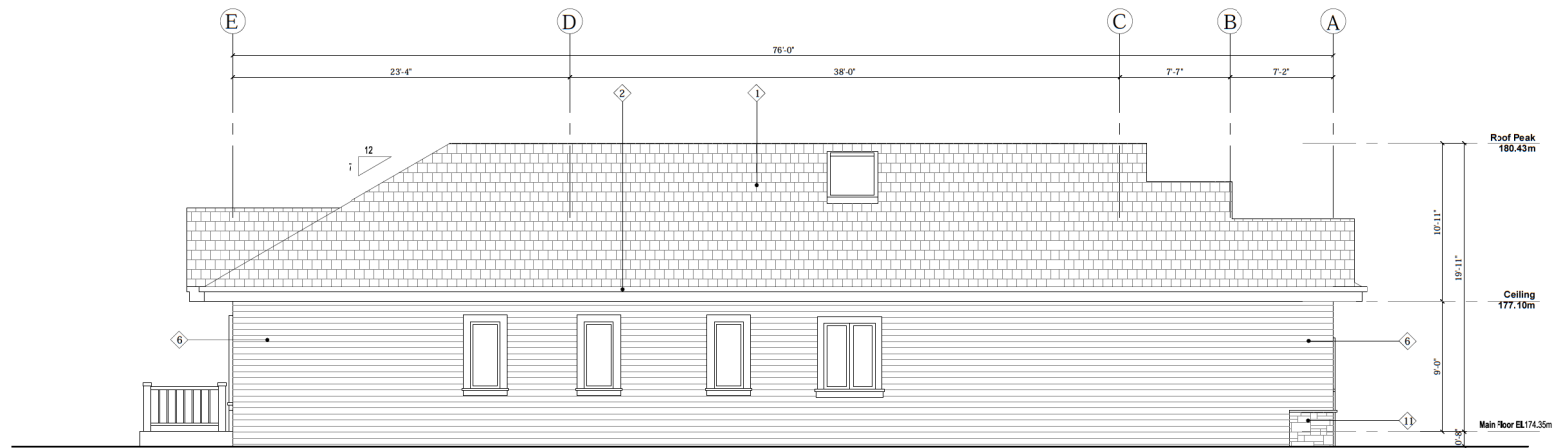
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KEY PLAN			
PROJECT TITLE 5768 Linley Valley Drive			
PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHKD BY: XINMAI			
SCALE: 1/4"=1'-0"			
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- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
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- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

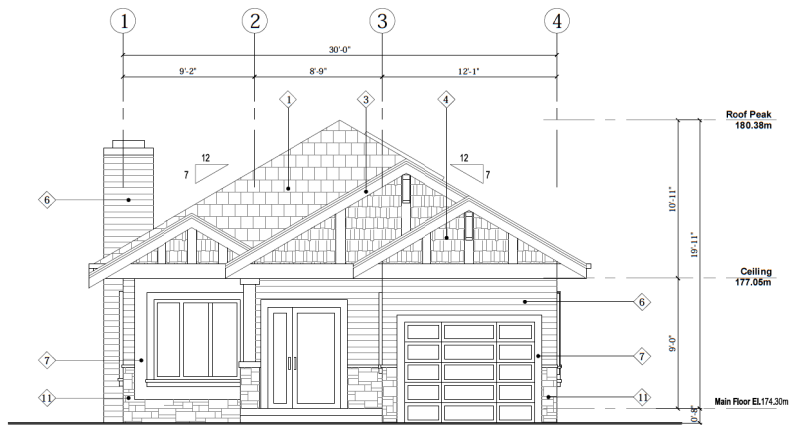


UNIT 05 (TYPE B) SIDE ELEVATION

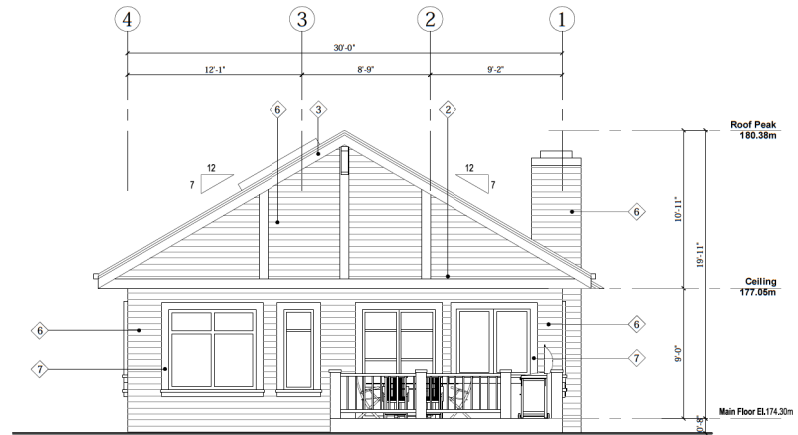


UNIT 05 (TYPE B) SIDE ELEVATION

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PROJECT TITLE					
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PROJECT NO: 8200C					
DRAWN BY:		JAMES MA			
CHKD BY:		XINMAI			
SCALE:		1/4" = 1' 0"			
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SHEET TITLE					
UNIT 05 (TYPE B)					
SIDE ELEVATION					
SHEET NUMBER		REV:			
A-B 2.3					



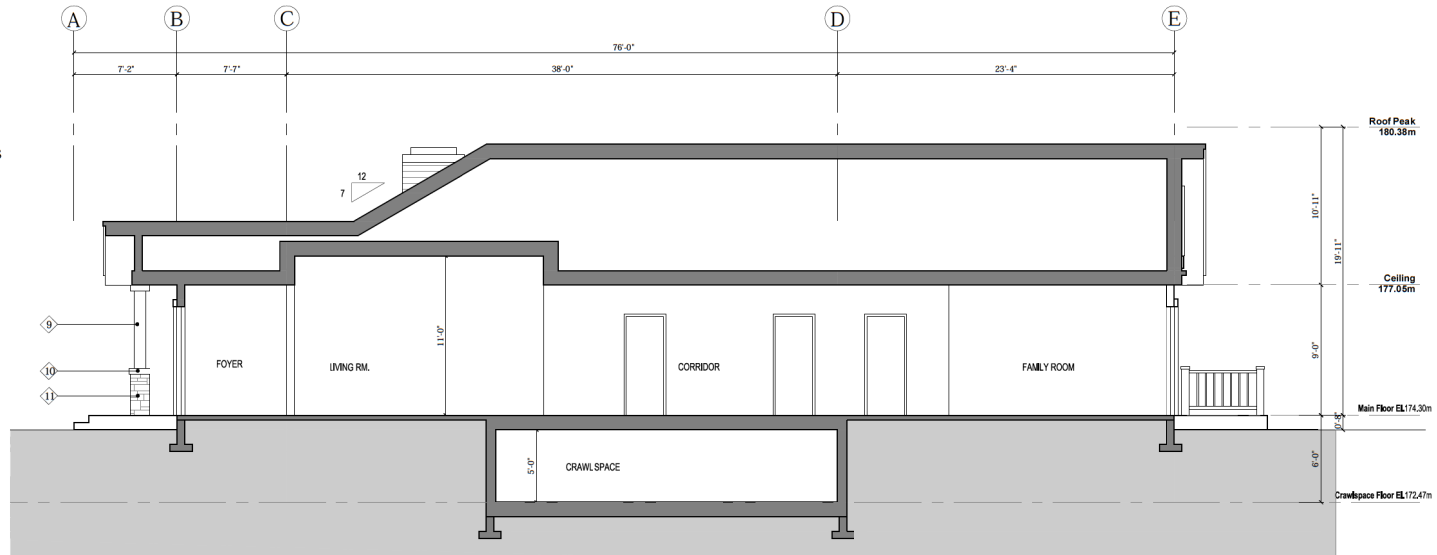
UNIT 06 (TYPE B) FRONT ELEVATION



UNIT 06 (TYPE B) REAR ELEVATION

MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS CW DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



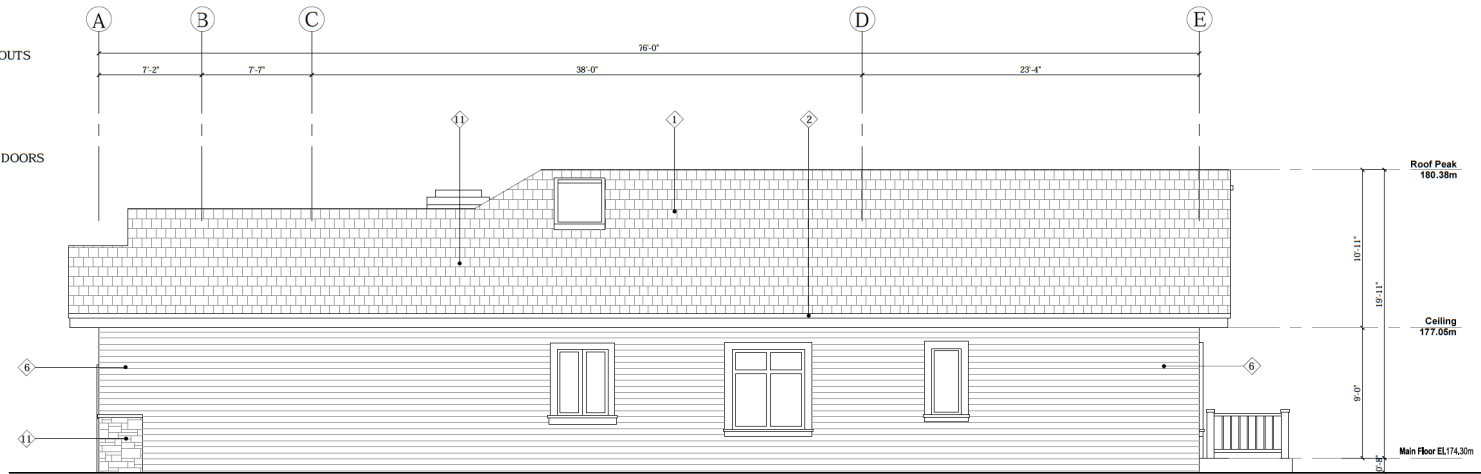
UNIT 06 (TYPE B) SECTION

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PROJECT NO: 82002 B		
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SCALE: 1/4"=1'-0"		
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SHEET TITLE		
UNIT 06 (TYPE B) FRONT ELEVATION REAR ELEVATION SECTION		
SHEET NUMBER		
A-B 3.2		

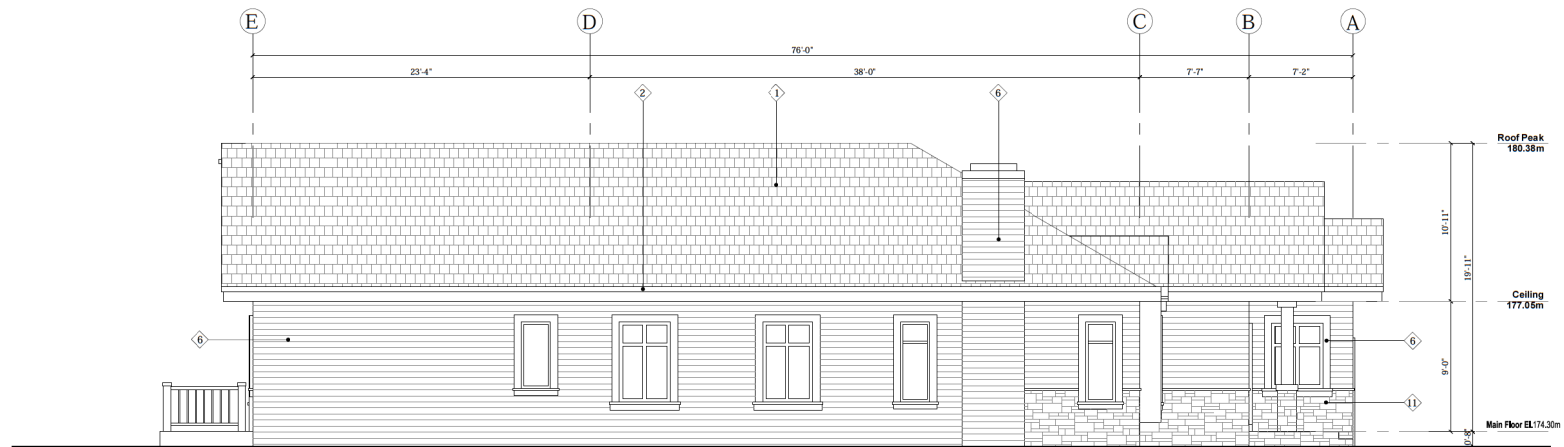
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MATERIAL LEGEND

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- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
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- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



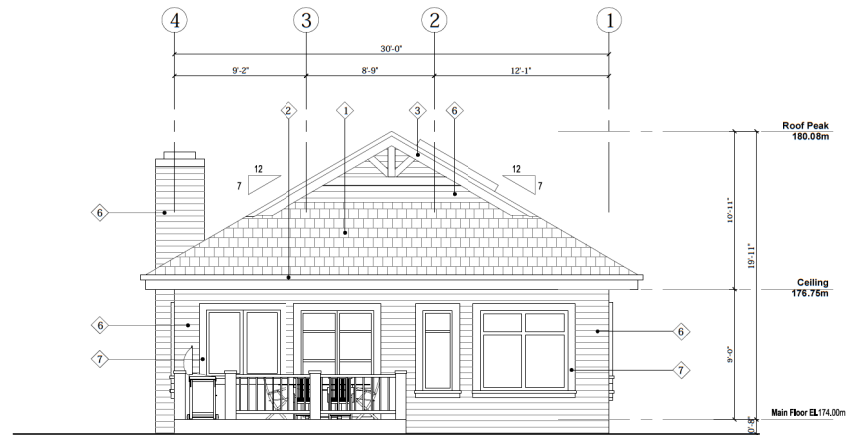
UNIT 06 (TYPE B) SIDE ELEVATION



UNIT 06 (TYPE B) SIDE ELEVATION

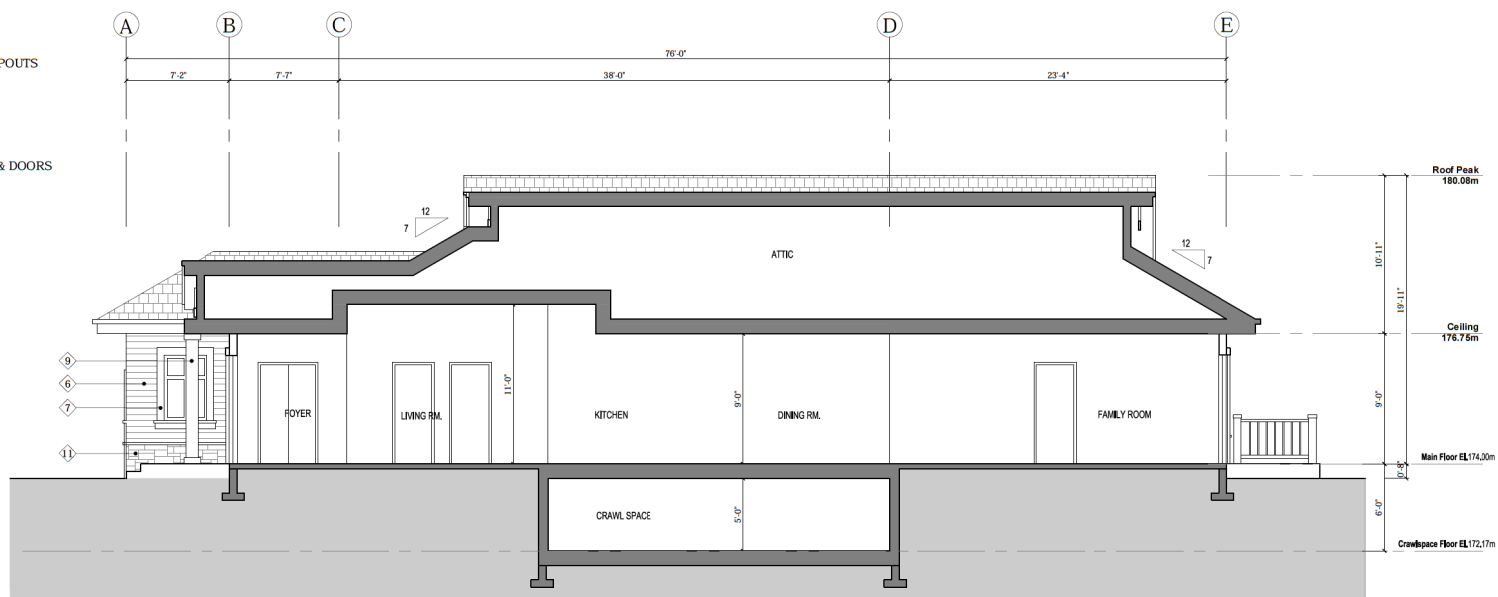
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PROJECT TITLE		
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PROJECT NO: 82002 B		
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UNIT 06 (TYPE B) SIDE ELEVATION		
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UNIT 07 (TYPE B) REAR ELEVATION

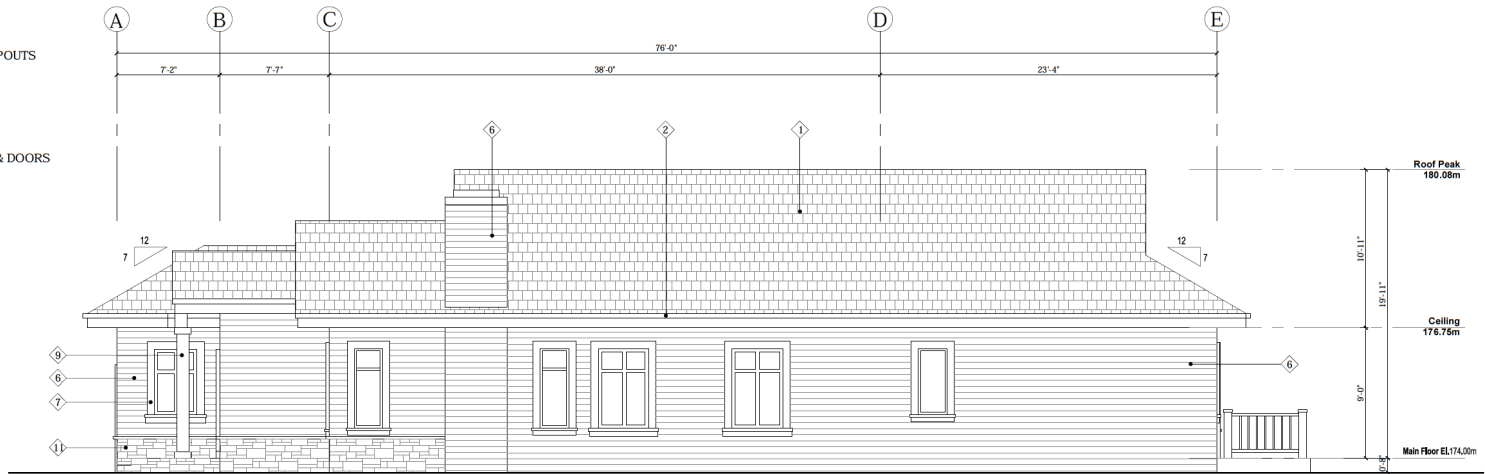
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- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
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- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
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- ⑫ STONE TILE STEPS
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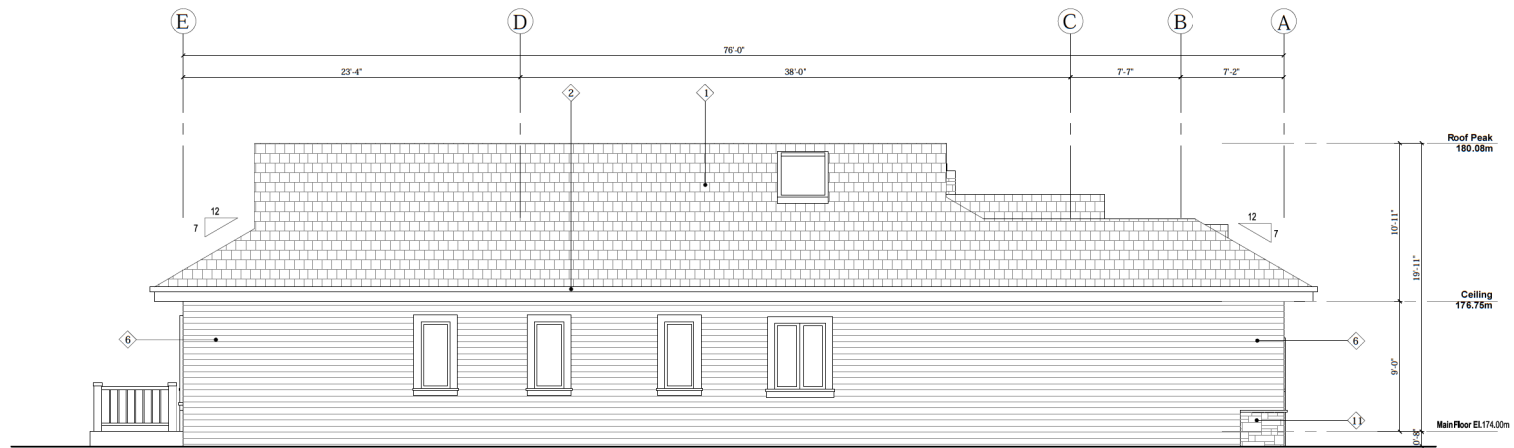
UNIT 07 (TYPE B) SECTION

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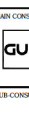
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- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
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- ⑨ HARDI-BOARD WRAPPED COLUMNS
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- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



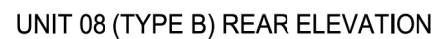
UNIT 07 (TYPE B) SIDE ELEVATION



UNIT 07 (TYPE B) SIDE ELEVATION

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SUB CONSULTANT					
SUB CONSULTANT					
KEY PLAN					
					
PROJECT TITLE					
5768 Linley Valley Drive					
PROJECT NO: 8200 B					
DRAWN BY:		JAMES MA			
CHK'D BY:		XINMAI			
SCALE:		1/4" = 1' 0"			
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UNIT 07 (TYPE B)					
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SHEET NUMBER		REV:			
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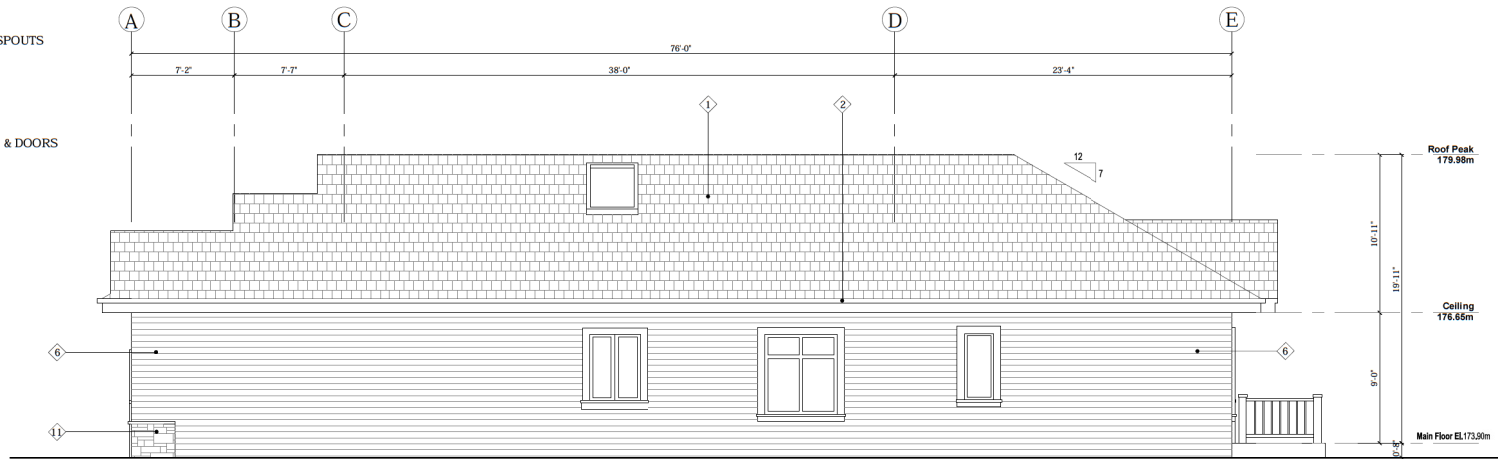


- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C'W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
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- ⑨ HARDI-BOARD WRAPPED COLUMNS
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- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

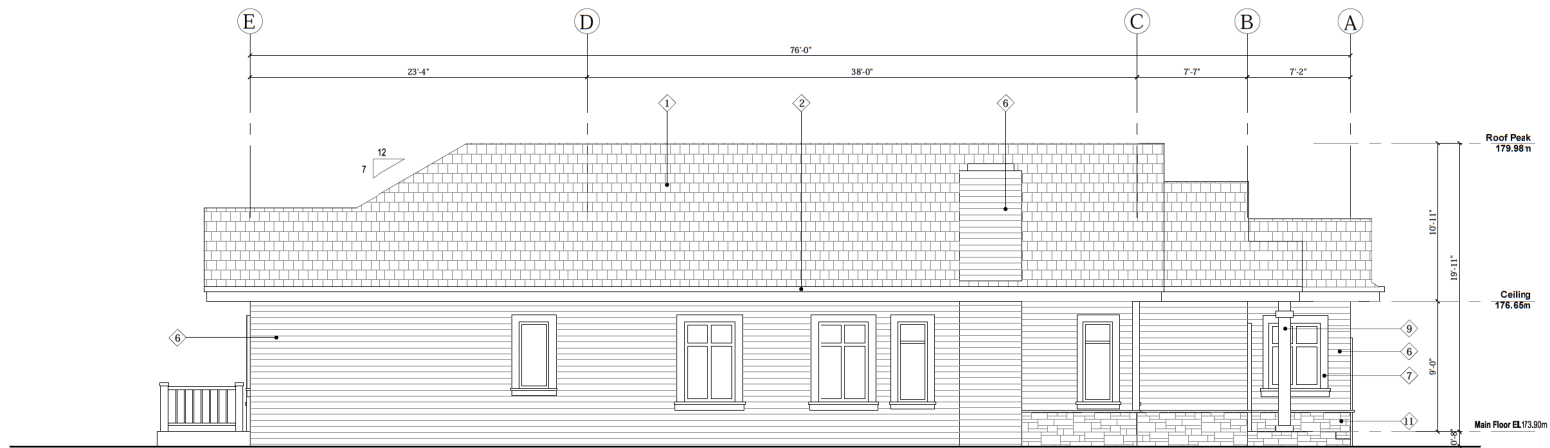


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- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
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- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
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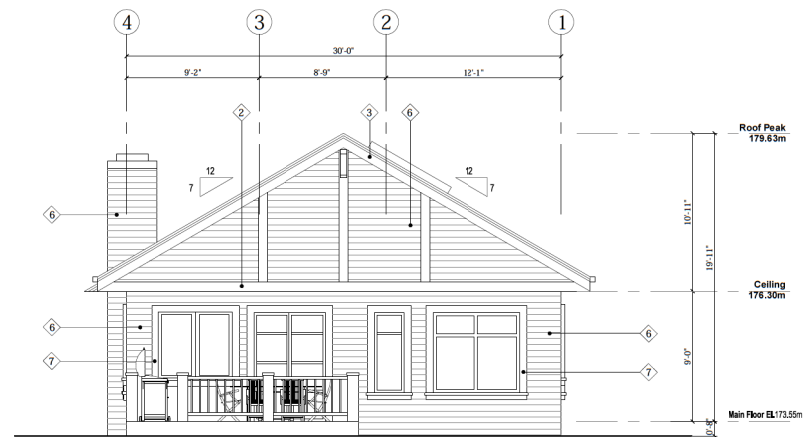


UNIT 08 (TYPE B) SIDE ELEVATION



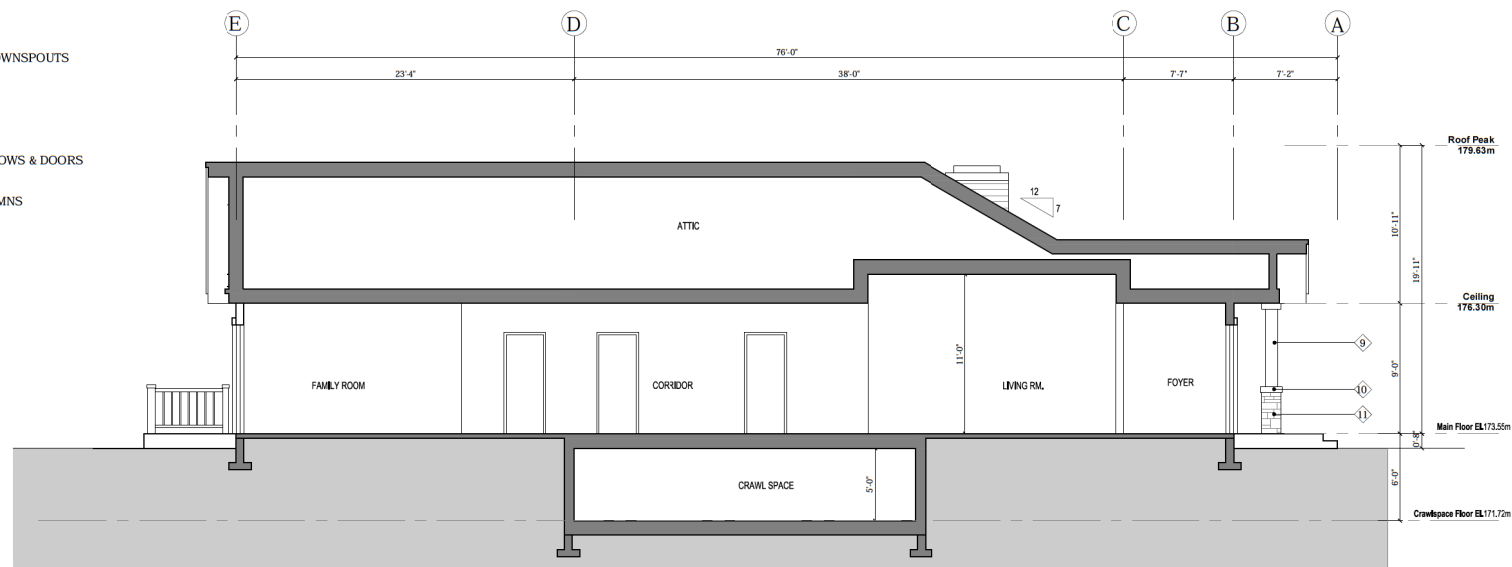
UNIT 08 (TYPE B) SIDE ELEVATION

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SUB CONSULTANT		
SUB CONSULTANT		
KEY PLAN		
		
PROJECT TITLE		
5768 Linley Valley Drive		
PROJECT NO: R2002 B		
DRAWN BY:	JAMES MA	
CHECKED BY:	XINMAI	
SCALE:	1/4"=1'-0"	
DATE:	APRIL 2024	
SHEET TITLE		
UNIT 08 (TYPE B) SIDE ELEVATION		
SHEET NUMBER		REV
A-B 5.3		



UNIT 09 (TYPE B) REAR ELEVATION

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

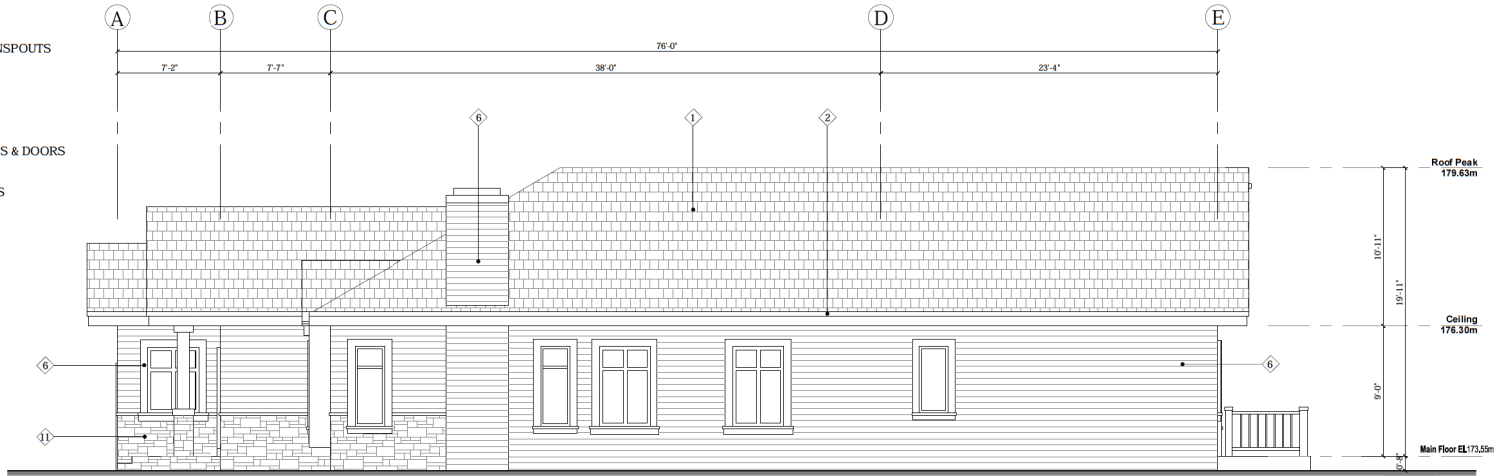


UNIT 09 (TYPE B) SECTION

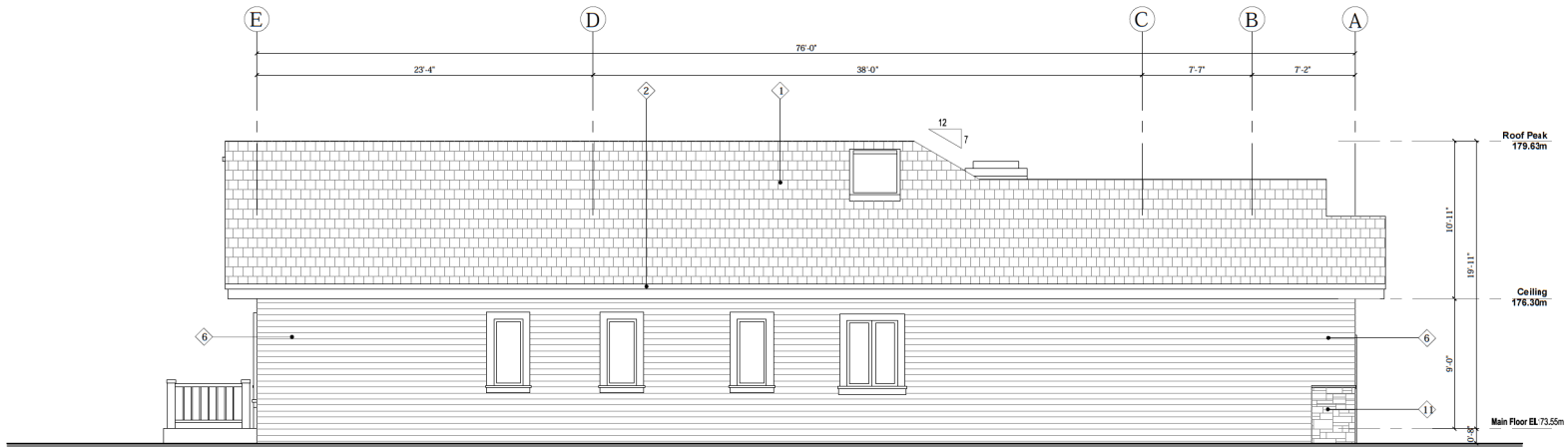
SHEET NUMBER	REV:
A-B 6.2	

MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
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- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



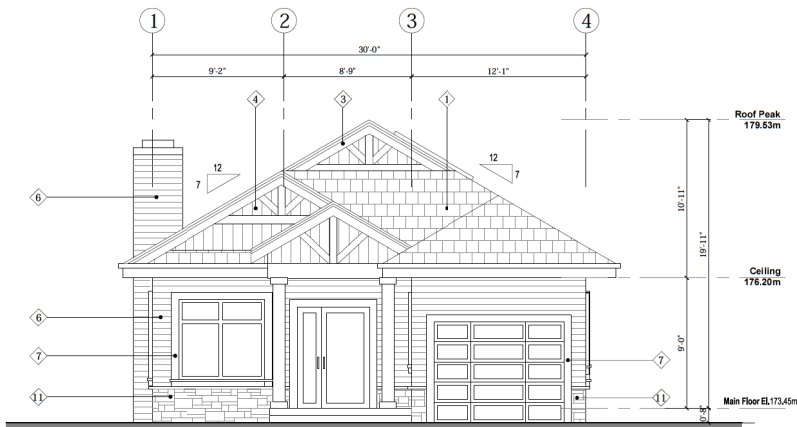
UNIT 09 (TYPE B) SIDE ELEVATION



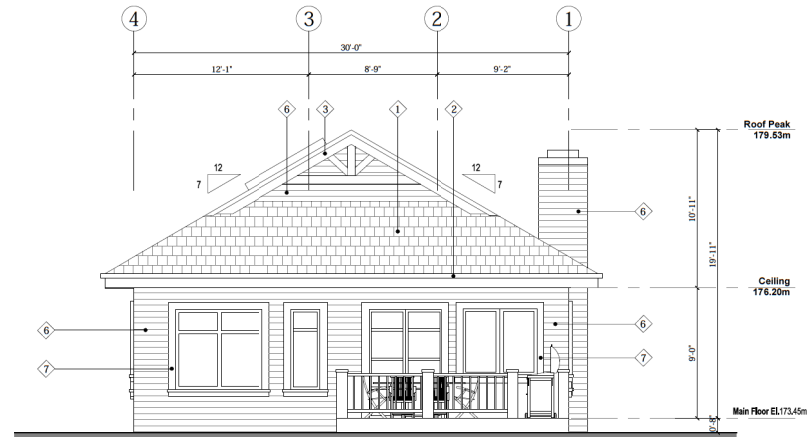
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SUB-CONSULTANT			
KEY PLAN			
PROJECT TITLE			
5768 Linley Valley Drive			
PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHK'D BY: XINMAI			
SCALE: 1/4"=1'-0"			
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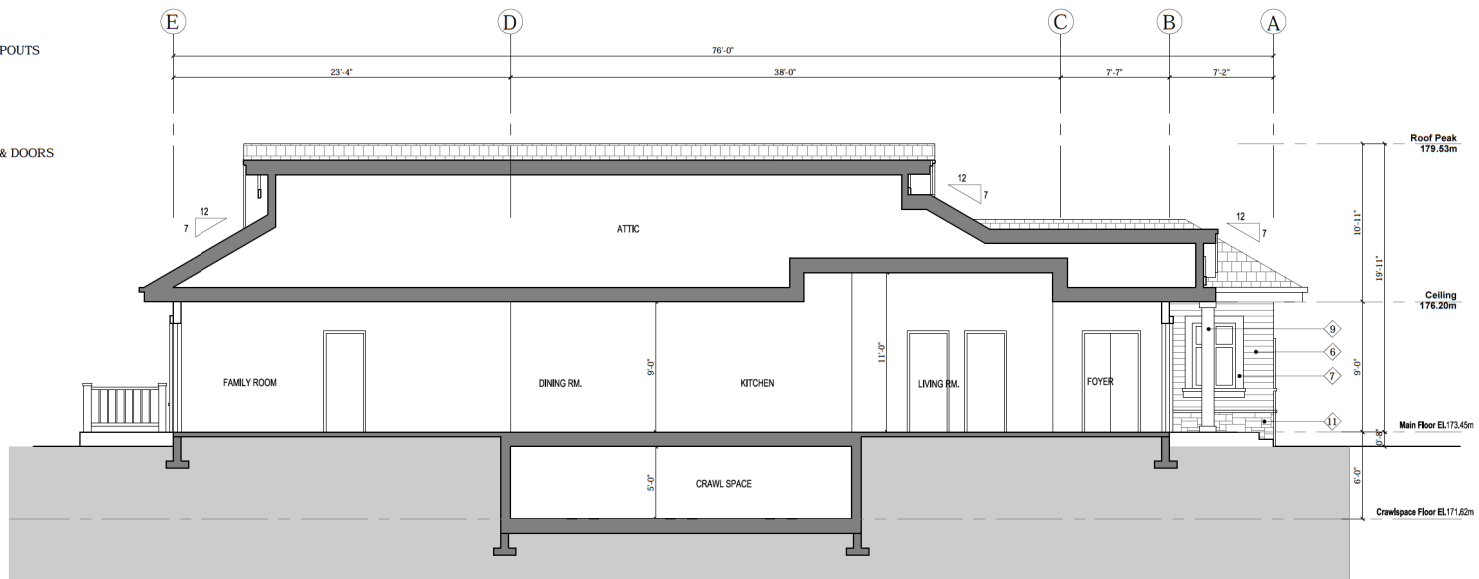
UNIT 10 (TYPE B) FRONT ELEVATION



UNIT 10 (TYPE B) REAR ELEVATION

MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS CW DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
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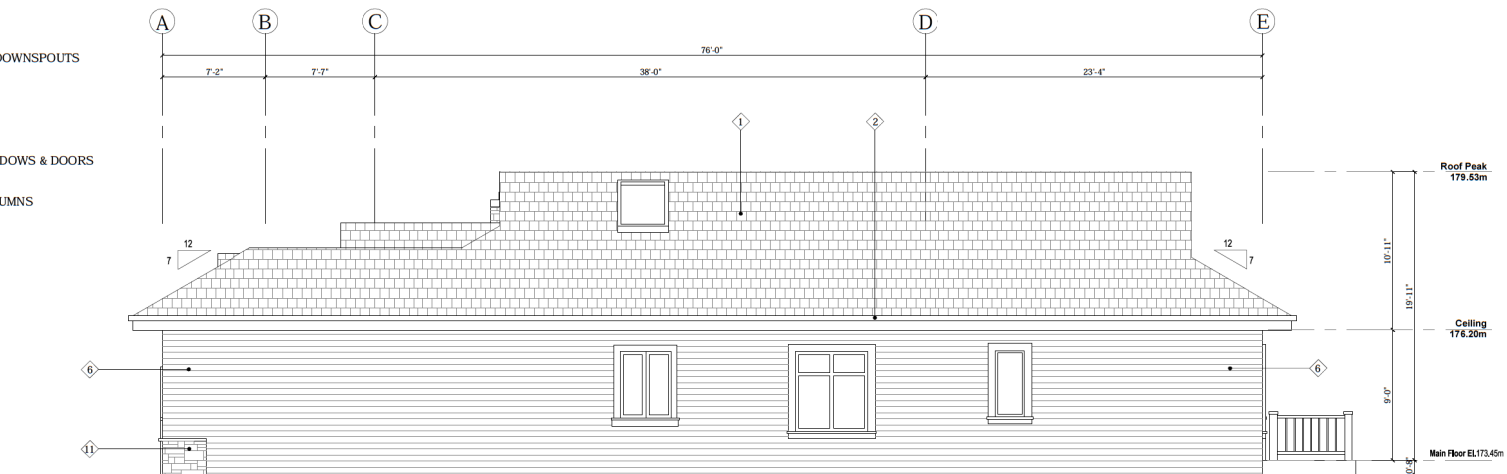


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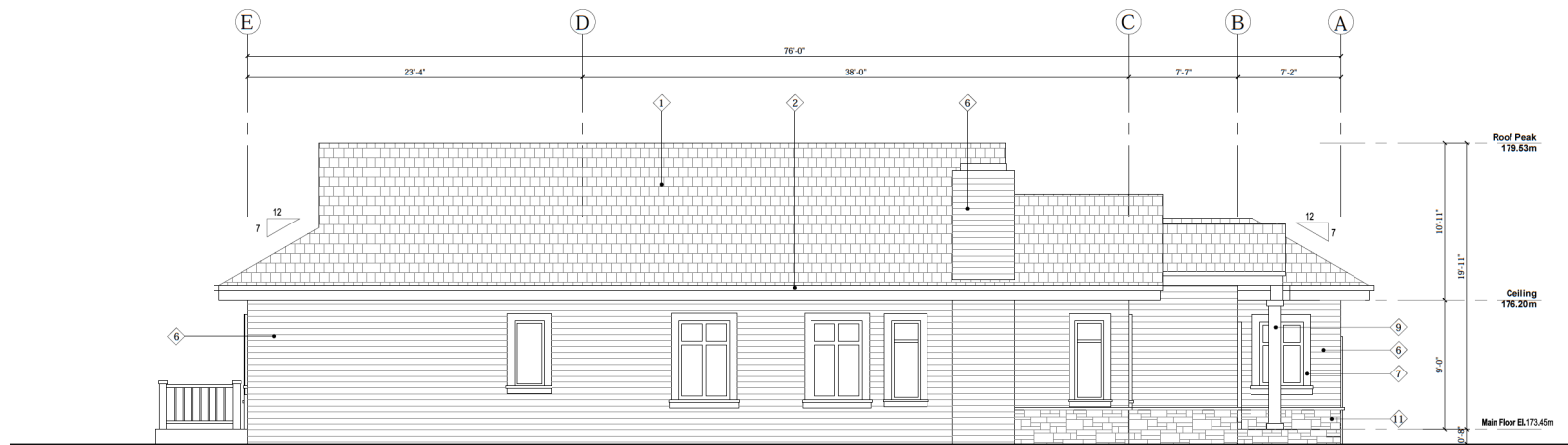
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KEY PLAN			
PROJECT TITLE			
5768 Linley Valley Drive			
PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHKD BY: XINMAI			
SCALE: 1/4"=1'-0"			
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SHEET TITLE			
UNIT 10 (TYPE B) FRONT ELEVATION REAR ELEVATION SECTION			
SHEET NUMBER			
A-B 7.2			

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- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

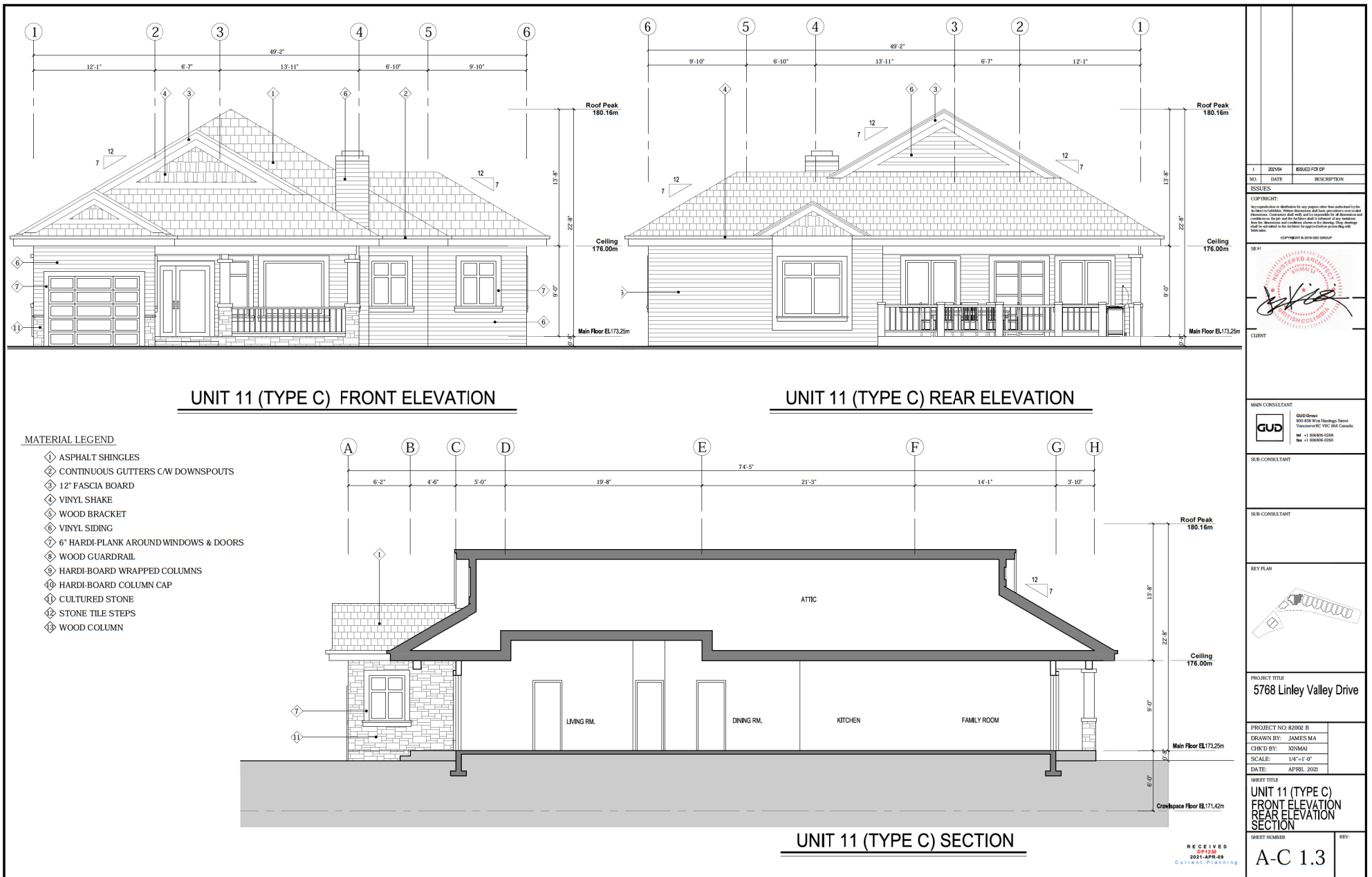


UNIT 10 (TYPE B) SIDE ELEVATION



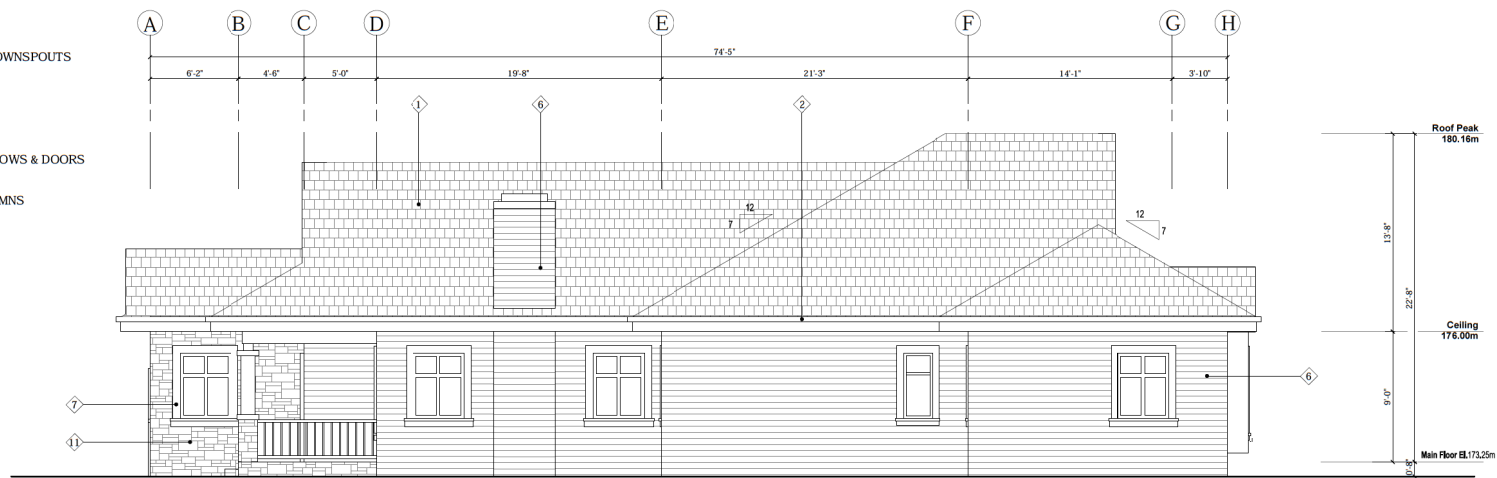
UNIT 10 (TYPE B) SIDE ELEVATION

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KEY PLAN			
			
PROJECT TITLE			
5768 Linley Valley Drive			
PROJECT NO: 8200C B			
DRAWN BY: JAMES MA			
CHKD BY: XINNAM			
SCALE: 1/4"=1'-0"			
DATE: APRIL 2020			
SHEET TITLE			
UNIT 10 (TYPE B) SIDE ELEVATION			
SHEET NUMBER			
REV:			
A-B 7.3			

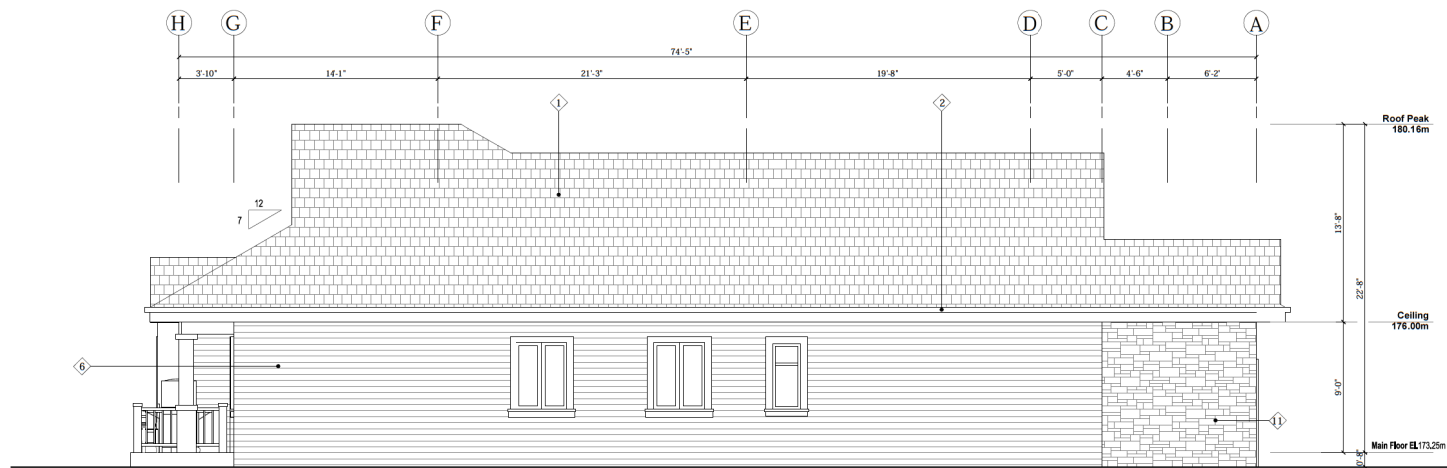


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KEY PLAN		
PROJECT TITLE	5768 Linley Valley Drive	
PROJECT NO: 82002 B		
DRAWN BY: JAMES MA		
CHK'D BY: XINMAI		
SCALE: 1/4"=1'-0"		
DATE: APRIL 2021		
SHEET TITLE	UNIT 11 (TYPE C) FRONT ELEVATION REAR ELEVATION SECTION	
SHEET NUMBER	A-C 1.3	REV:

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

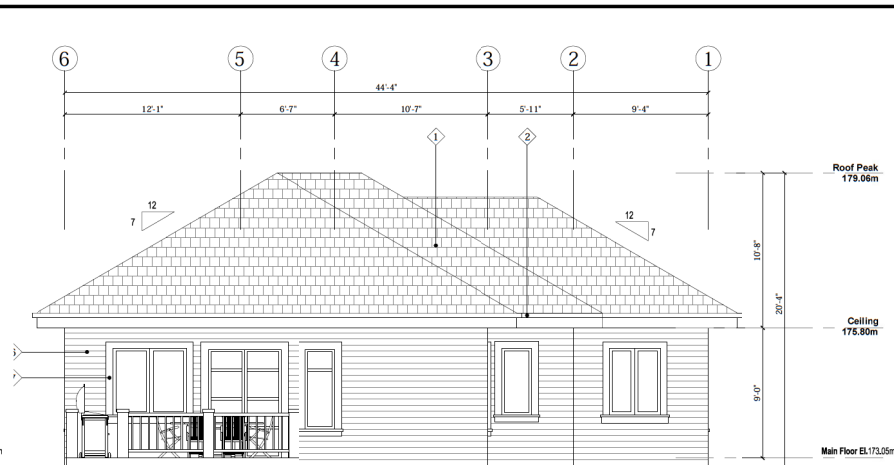


UNIT 11 (TYPE C) SIDE ELEVATION



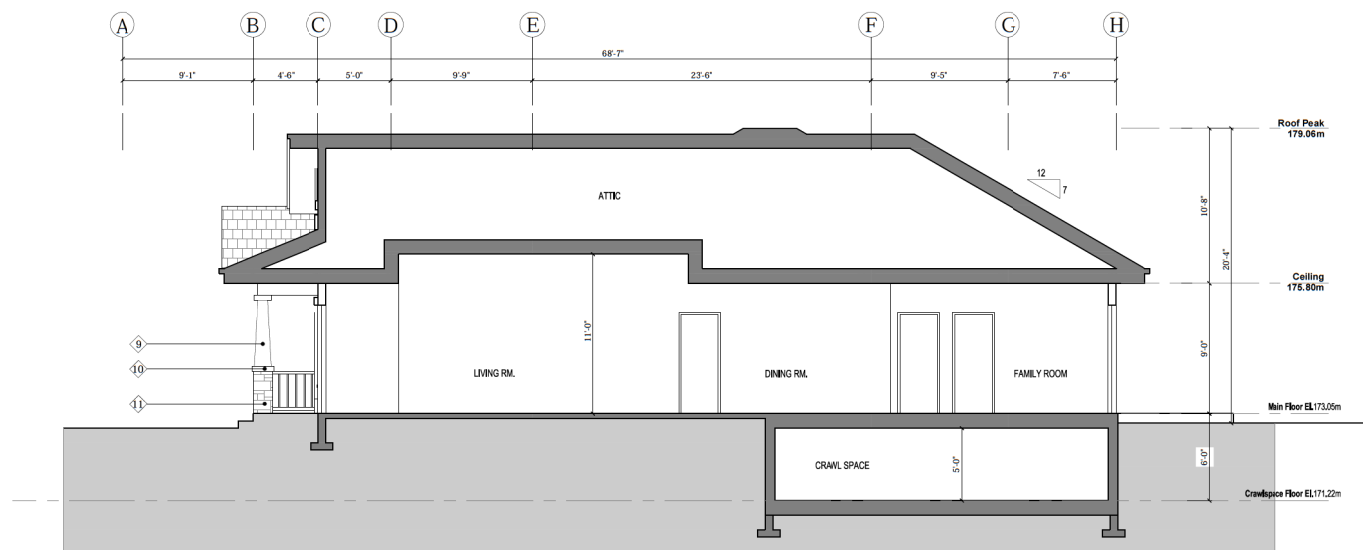
UNIT 11 (TYPE C) SIDE ELEVATION

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SUB CONSULTANT		
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KEY PLAN		
		
PROJECT TITLE		
5768 Linley Valley Drive		
PROJECT NO: K2002 B		
DRAWN BY: JAMES MA		
CHECKED BY: XINMAI		
SCALE: 1/4"=1'-0"		
DATE: APRIL 2020		
SHEET TITLE		
UNIT 11 (TYPE C) SIDE ELEVATION		
SHEET NUMBER		SYS-
A-C 1.4		





UNIT 12 (TYPE D) REAR ELEVATION

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

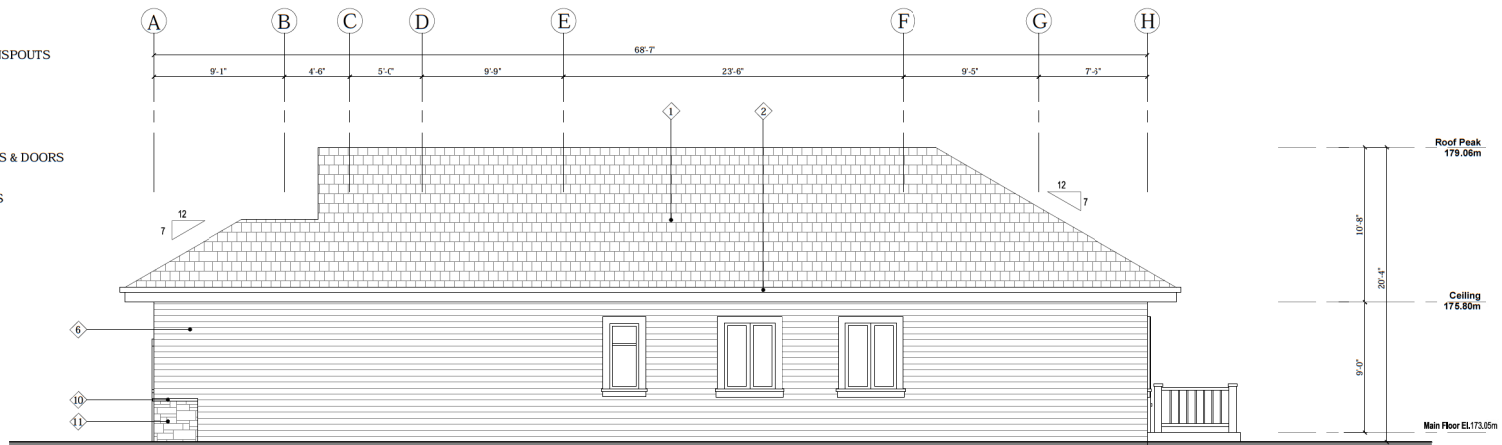


UNIT 12 (TYPE D) SECTION

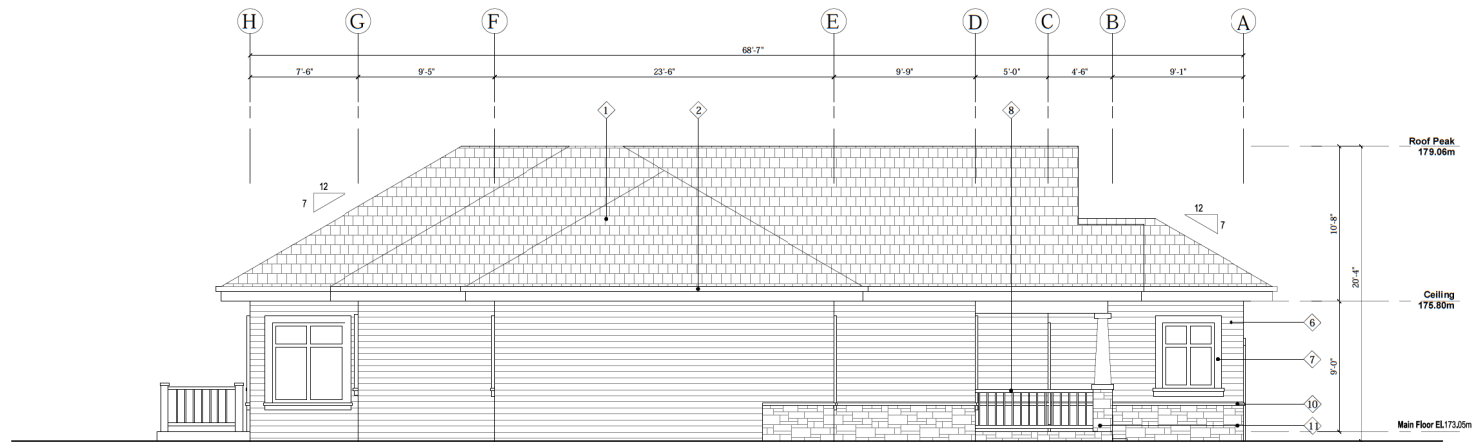
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PROJECT TITLE			
5768 Linley Valley Drive			
PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHKD BY: XINMAI			
SCALE: 1/4" = 1'-0"			
DATE: APRIL 2025			
SHEET TITLE			
UNIT 12 FRONT ELEVATION REAR ELEVATION SECTION			
SHEET NUMBER			
REV			
A-D 1.3			

MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



UNIT 12 (TYPE D) SIDE ELEVATION

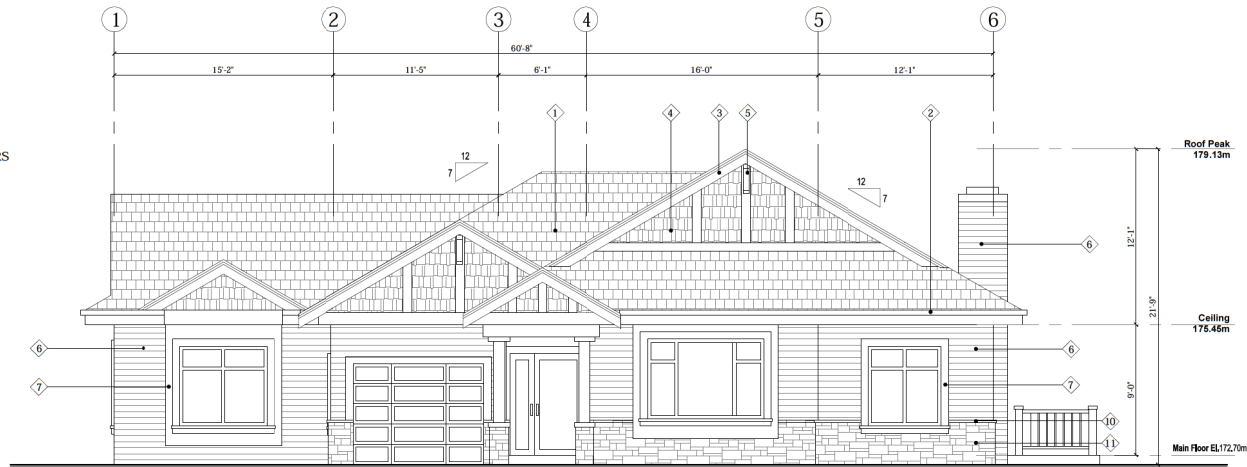


UNIT 12 (TYPE D) SIDE ELEVATION

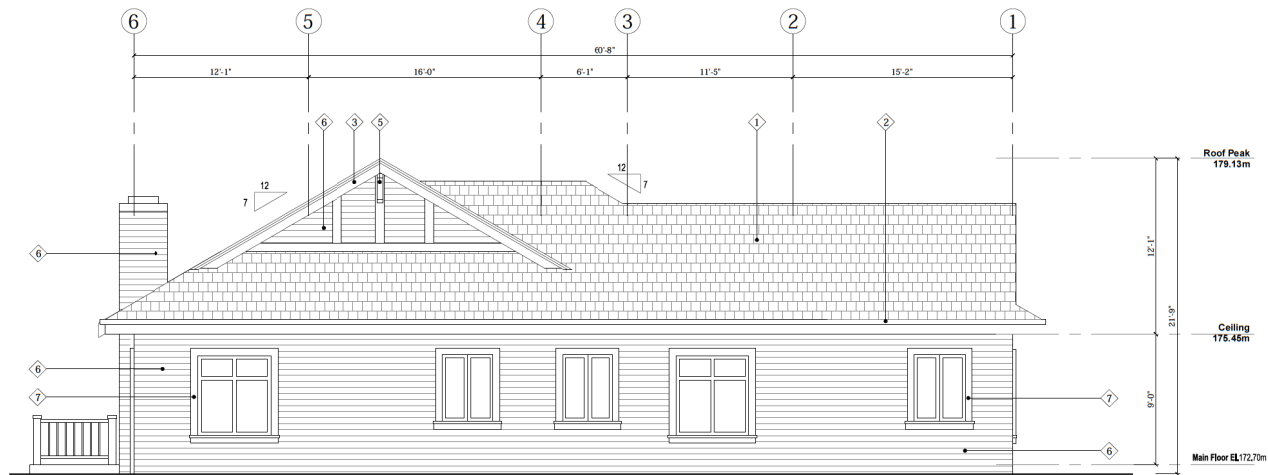
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KEY PLAN			
PROJECT TITLE			
5768 Linley Valley Drive			
PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHKD BY: XINMAI			
SCALE: 1/4"=1'-0"			
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SHEET TITLE			
UNIT 12 SIDE ELEVATION			
SHEET NUMBER			
A-D 1.4			

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- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
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- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



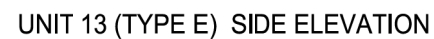
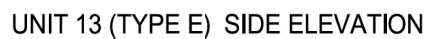
UNIT 13 (TYPE E) FRONT ELEVATION



UNIT 13 (TYPE E) REAR ELEVATION

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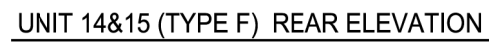
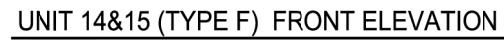


- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
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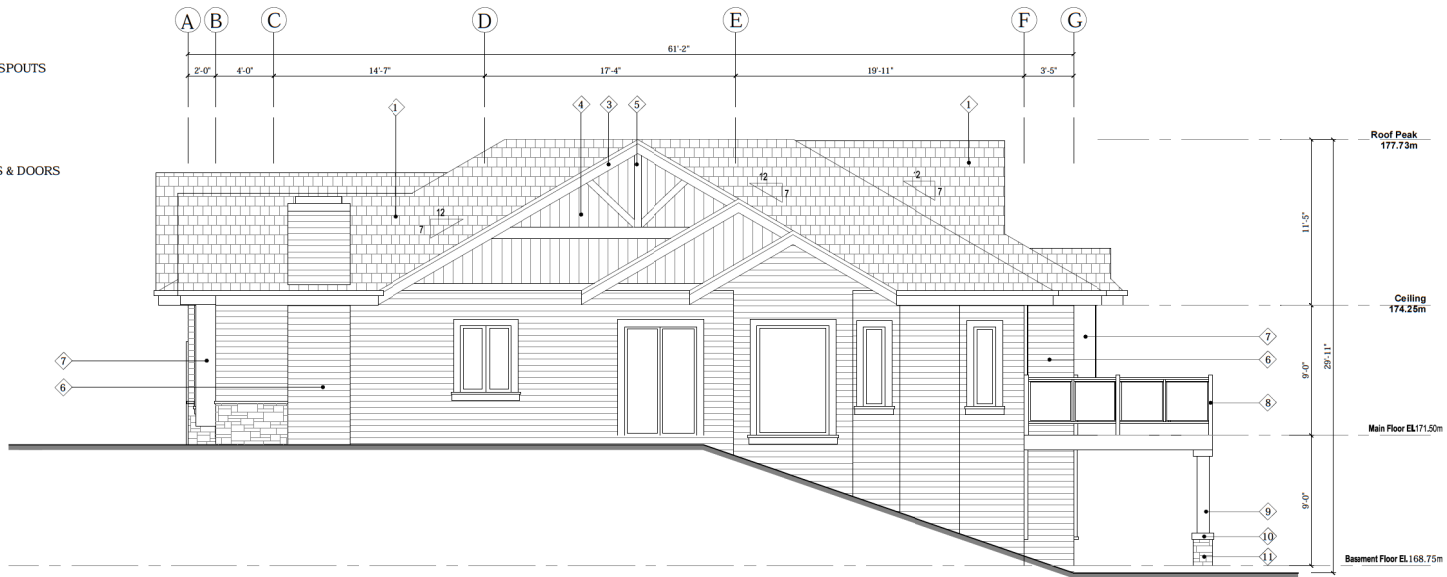
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- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



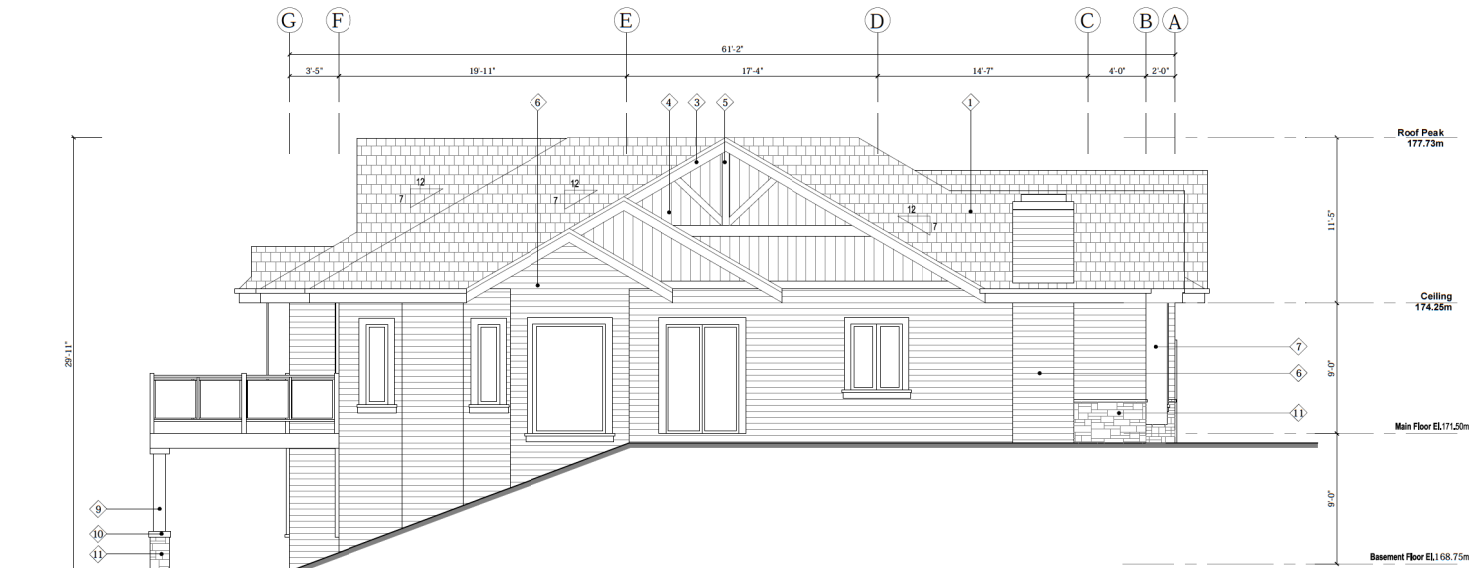
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PROJECT TITLE					
5768 Linley Valley Drive					
PROJECT NO: 8200 B					
DRAWN BY:		JAMES MA			
CHKD BY:		XINMAI			
SCALE:		1/4" = 1' 0"			
DATE:		APRIL 2024			
SHEET TITLE					
UNIT 14&15 (TYPE F) FRONT ELEVATION REAR ELEVATION					
SHEET NUMBER		REV:			
A-F 1.4					

MATERIAL LEGEND

- 1 ASPHALT SHINGLES
- 2 CONTINUOUS GUTTERS C/W DOWNSPOUTS
- 3 12" FASCIA BOARD
- 4 VINYL SHAKE
- 5 WOOD BRACKET
- 6 VINYL SIDING
- 7 6" HARDI-PLANK AROUND WINDOWS & DOORS
- 8 WOOD GUARDRAIL
- 9 HARDI-BOARD WRAPPED COLUMNS
- 10 HARDI-BOARD COLUMN CAP
- 11 CULTURED STONE
- 12 STONE TILE STEPS
- 13 WOOD COLUMN



UNIT 14&15 (TYPE F) SIDE ELEVATION



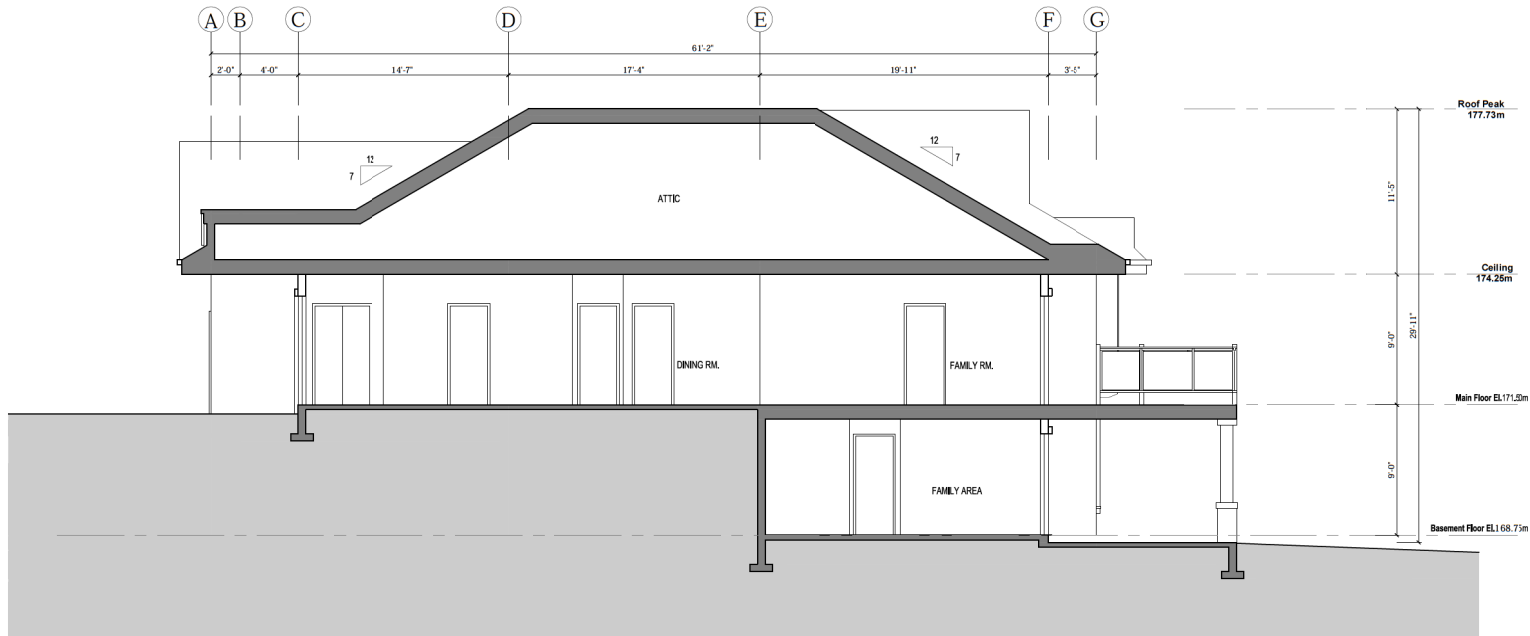
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KEY PLAN			
PROJECT TITLE 5768 Linley Valley Drive			
PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHK'D BY: XINMAI			
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MATERIAL LEGEND

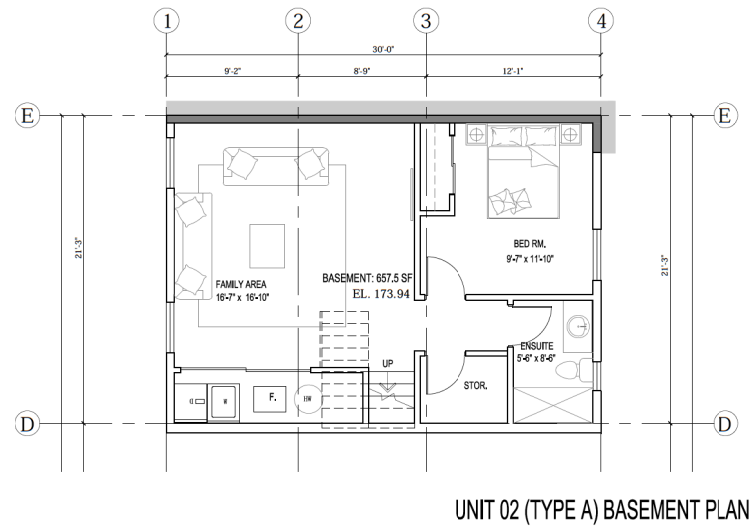
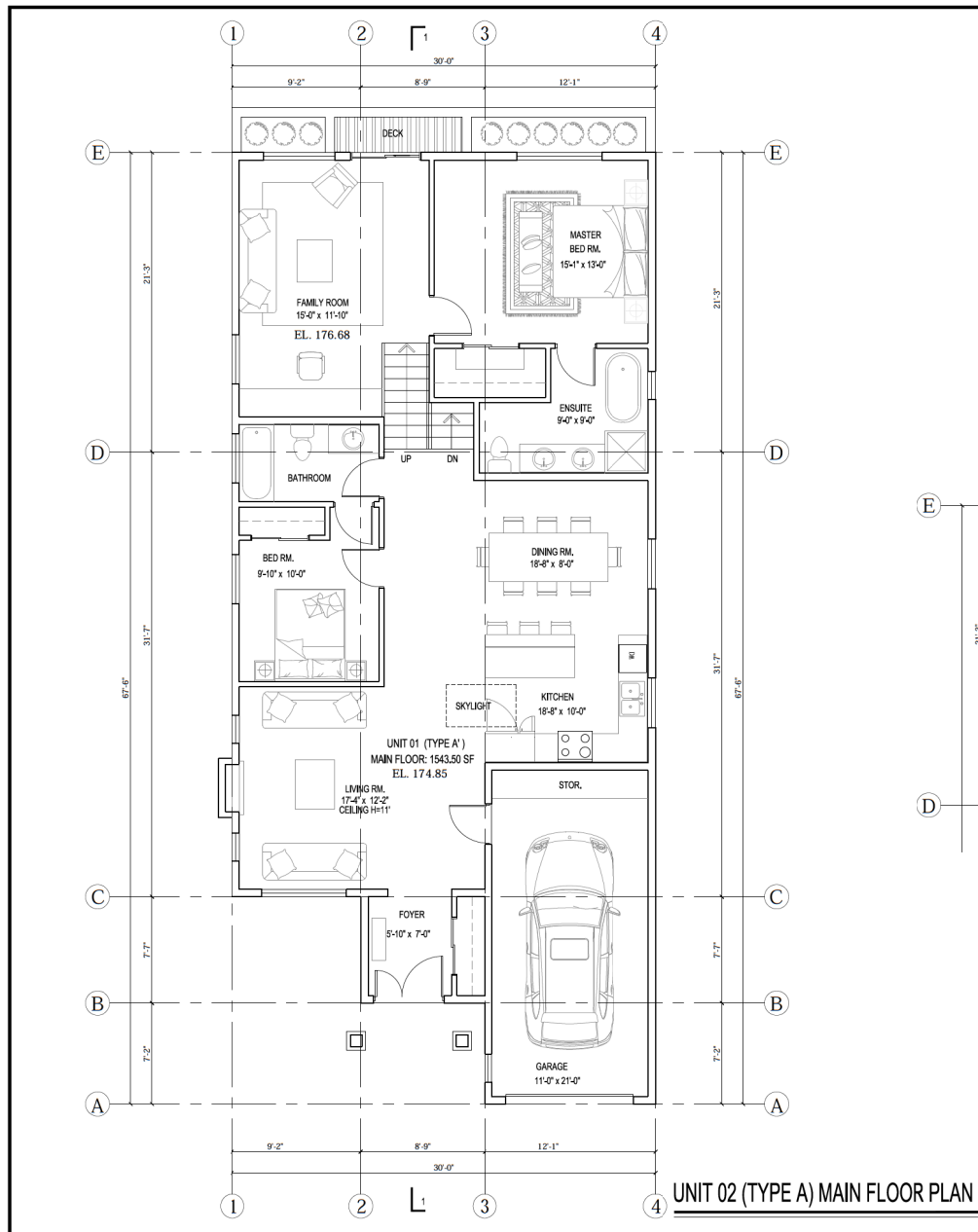
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- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
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UNIT 14&15 (TYPE F) SECTION

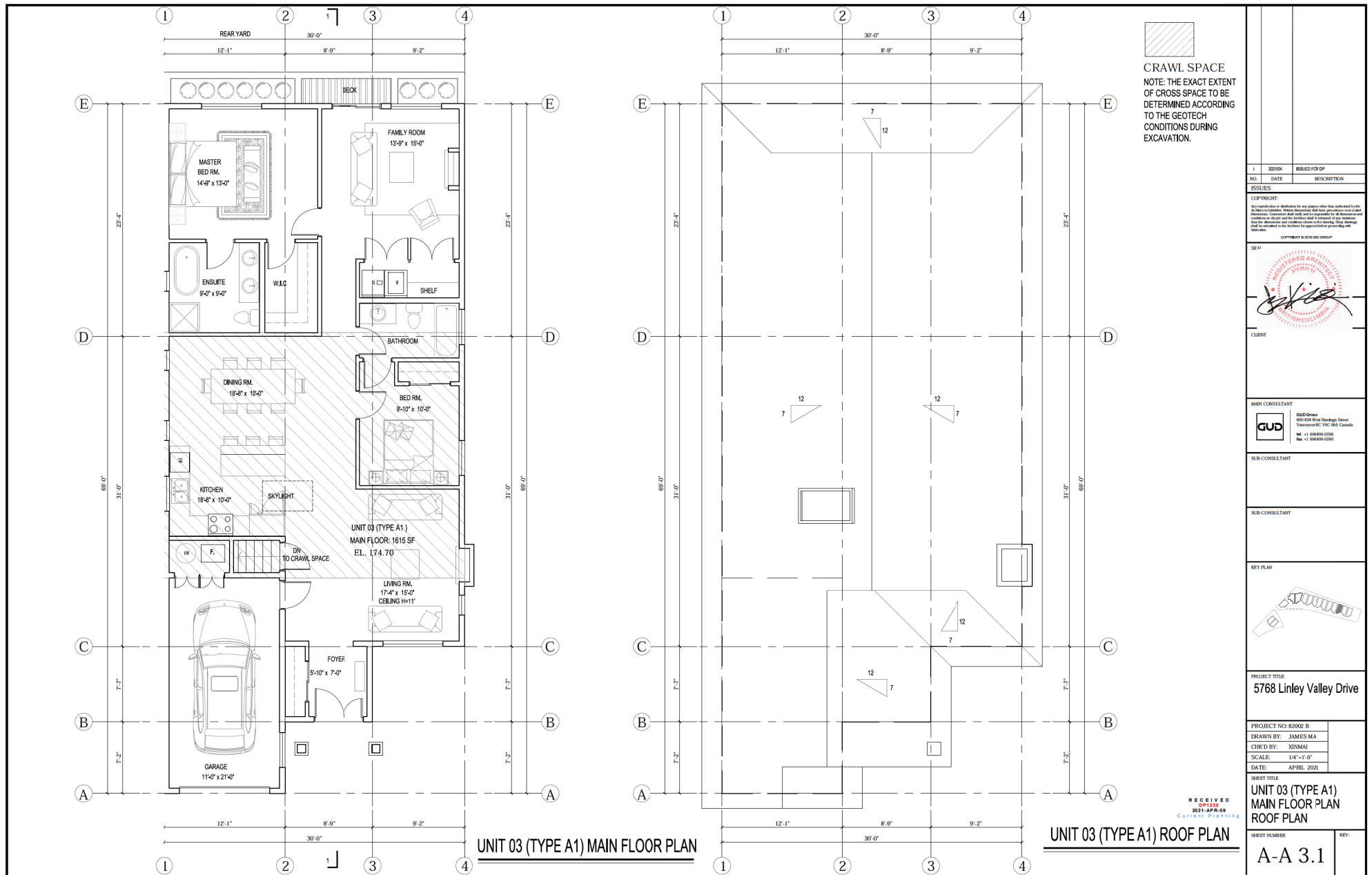
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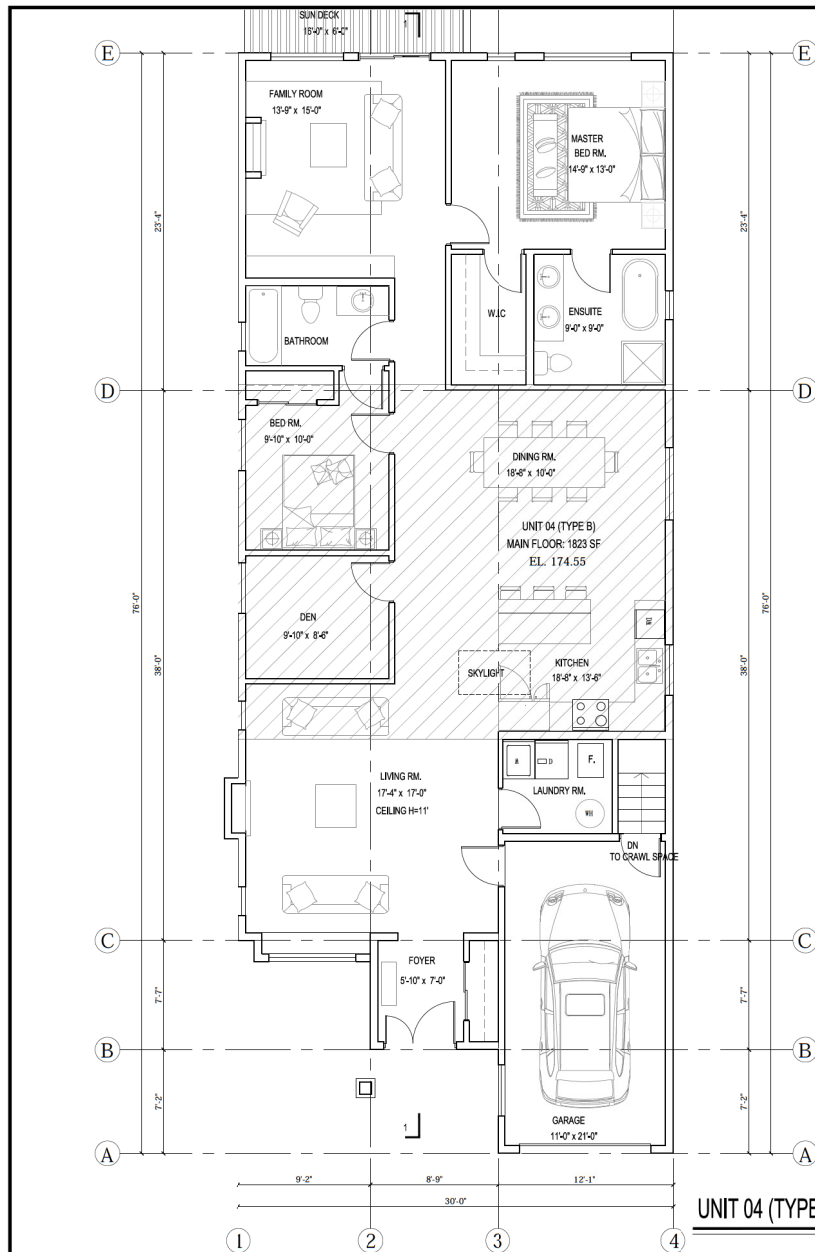
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PROJECT TITLE			
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PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHK'D BY: XINMAI			
SCALE: 1/4"=1'-0"			
DATE: APRIL 2021			
SHEET TITLE			
UNIT 14&15 SECTION			
SHEET NUMBER		REV.	
A-F 1.6			



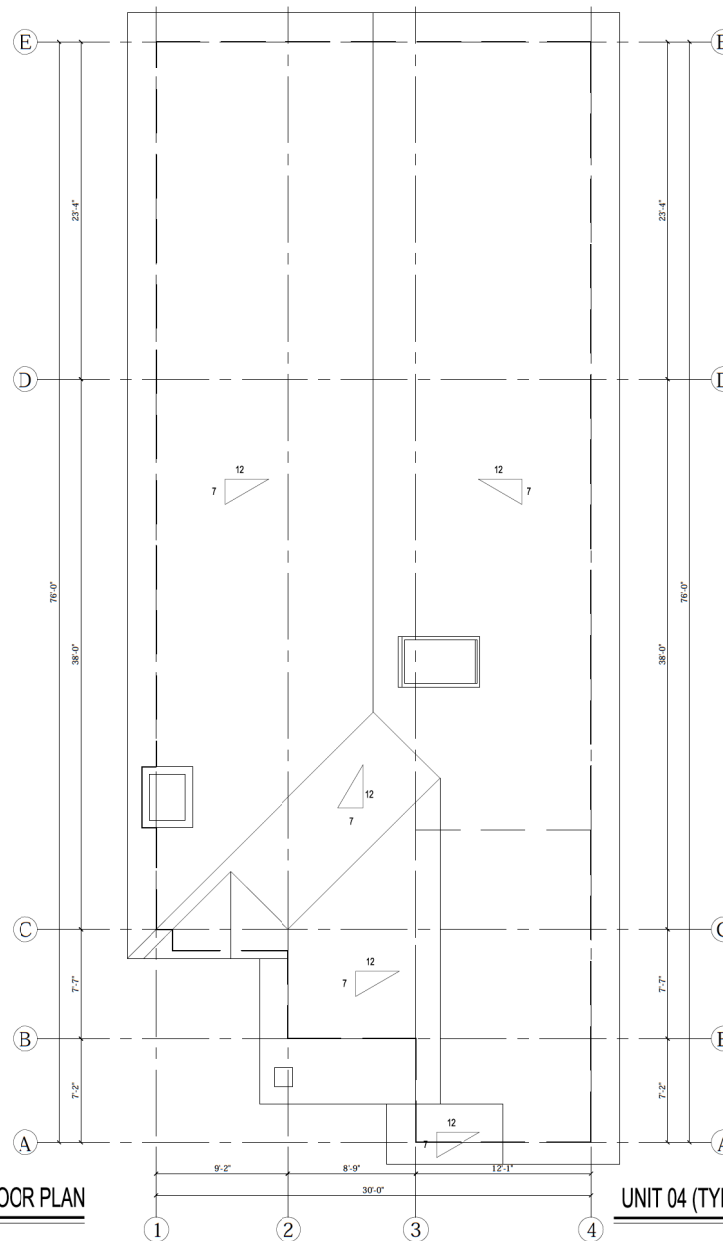
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SUB-CONSULTANT		
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KEY PLAN 		
PROJECT TITLE 5768 Linley Valley Drive		
PROJECT NO: 82002 B DRAWN BY: JAMES MA CHK'D BY: XINMAI SCALE: 1/4"=1'-0" DATE: APRIL 2021		
SHEET TITLE UNIT 02 (TYPE A) MAIN FLOOR PLAN BASEMENT PLAN		
SHEET NUMBER		REV.
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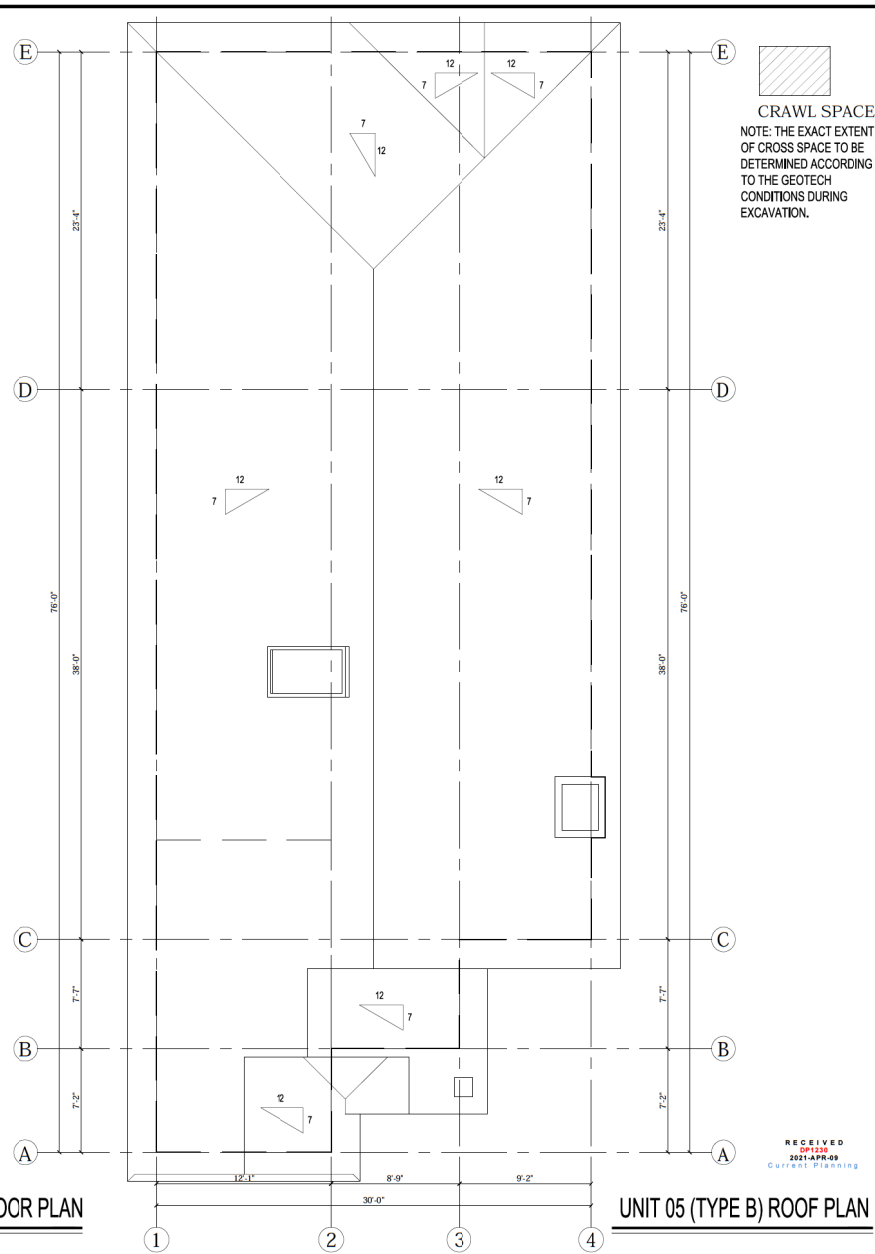
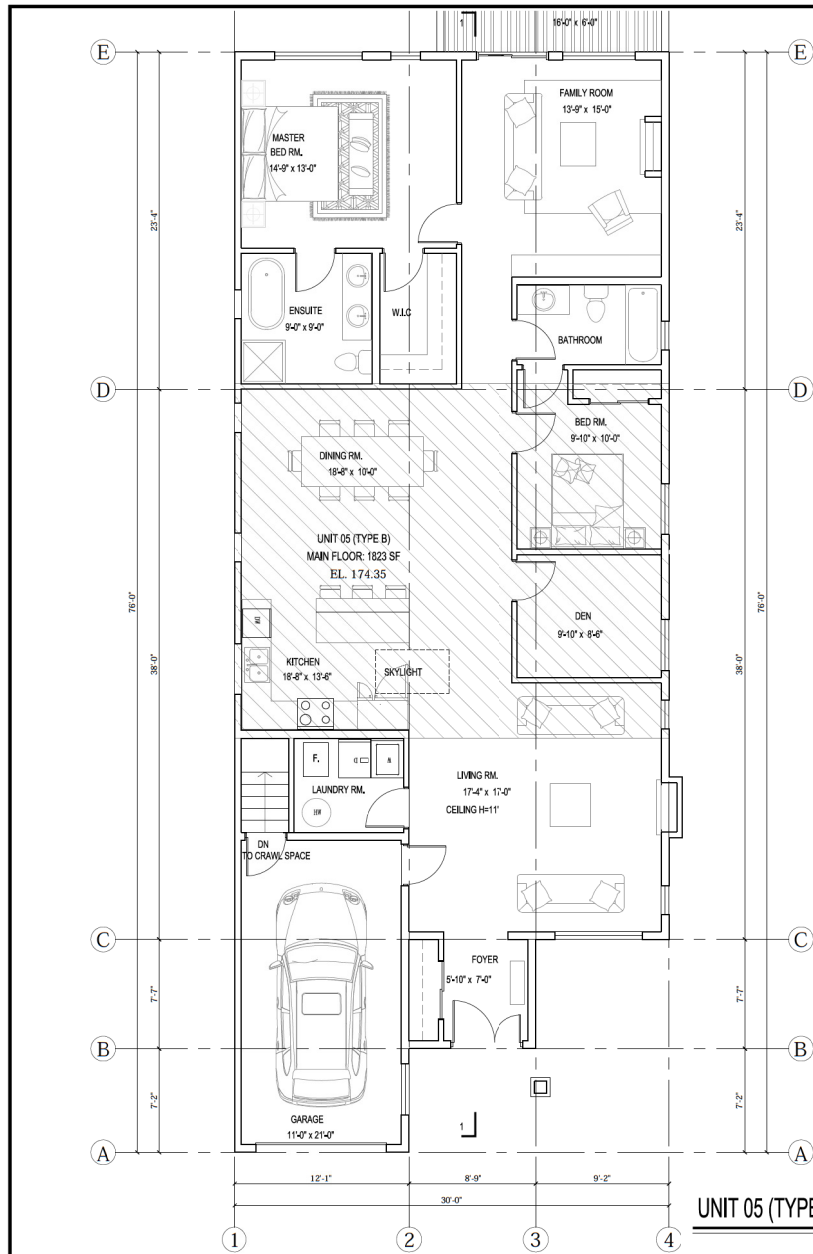
UNIT 04 (TYPE B) MAIN FLOOR PLAN



UNIT 04 (TYPE B) ROOF PLAN

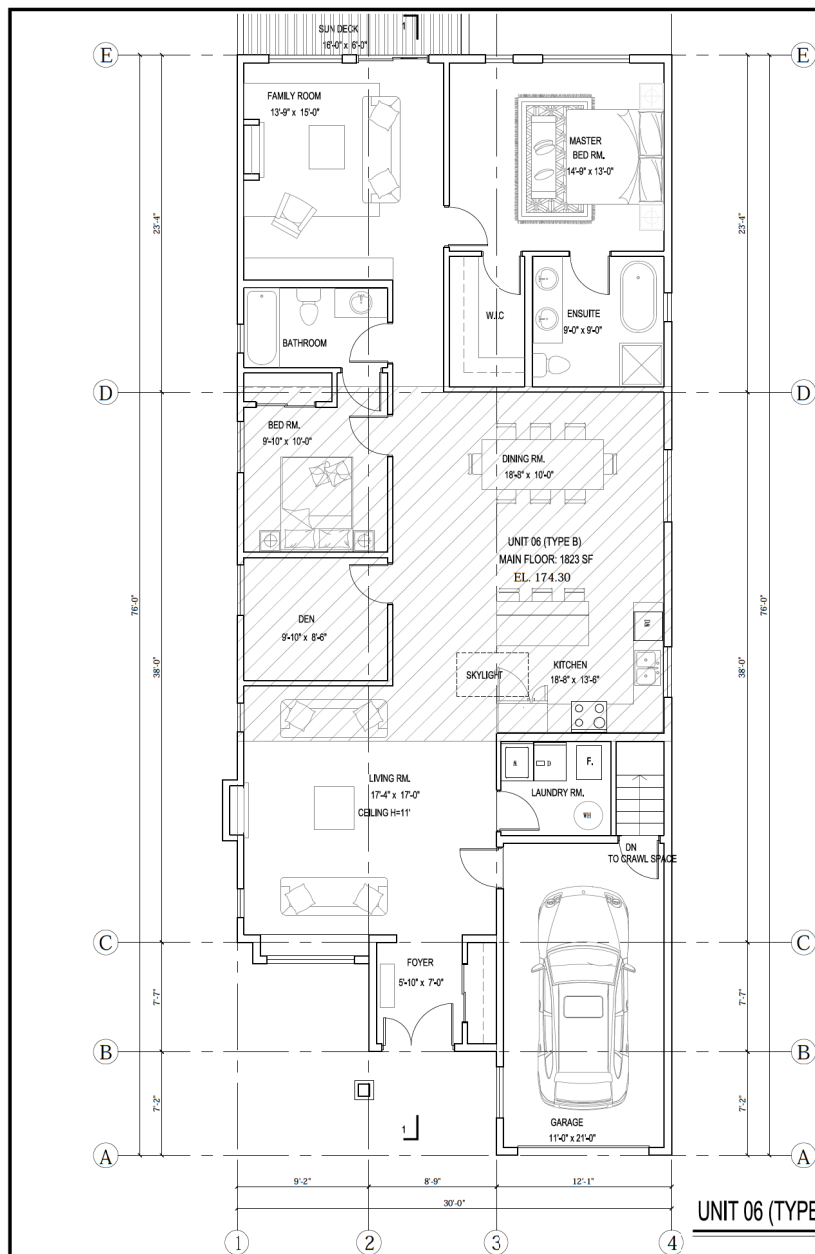
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SUB-CONSULTANT			
KEY PLAN			
PROJECT TITLE			
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PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHK'D BY: XINMAI			
SCALE: 1/4"=1'-0"			
DATE: APRIL 2021			
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UNIT 04 (TYPE B) MAIN FLOOR PLAN ROOF PLAN			
SHEET NUMBER		REV.	
A-B 1.1			

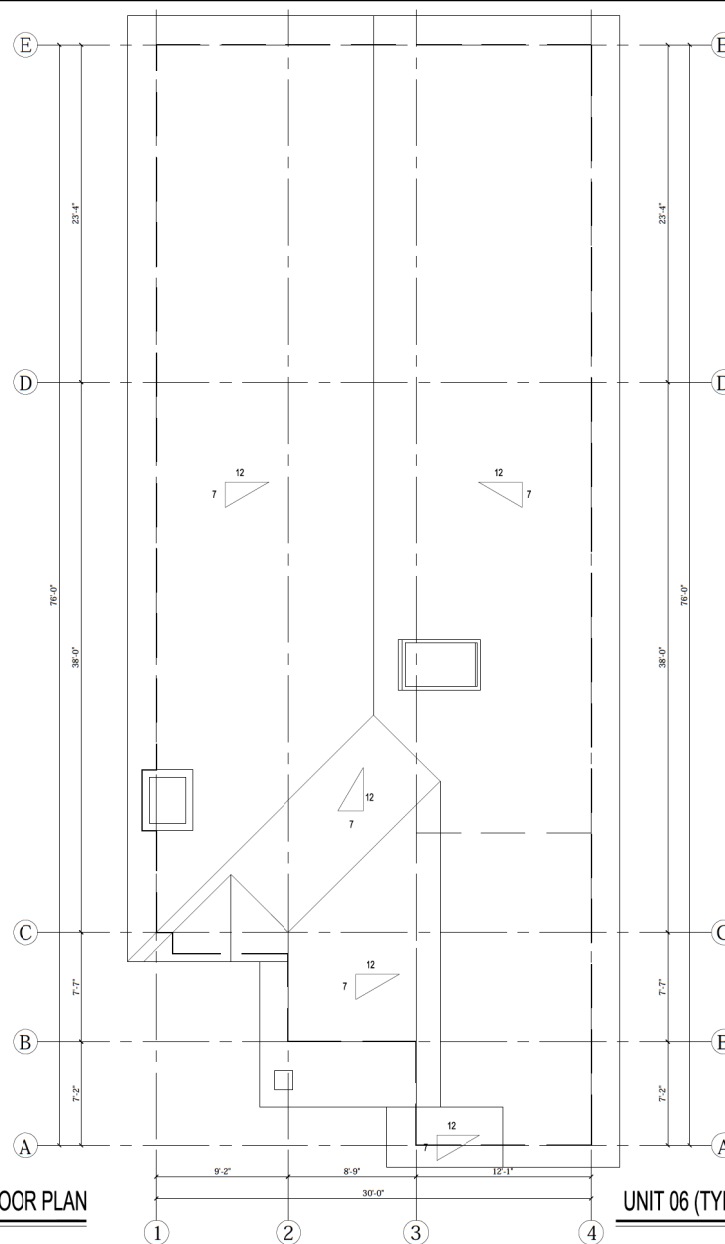


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SUB-CONSULTANT			
SUB-CONSULTANT			
KEY PLAN			
PROJECT TITLE			
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PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHKD BY: XINMAI			
SCALE: 1/4"=1'-0"			
DATE: APRIL 2021			
SHEET TITLE			
UNIT 05 (TYPE B) MAIN FLOOR PLAN ROOF PLAN			
SHEET NUMBER		REV.	
A-B 2.1			



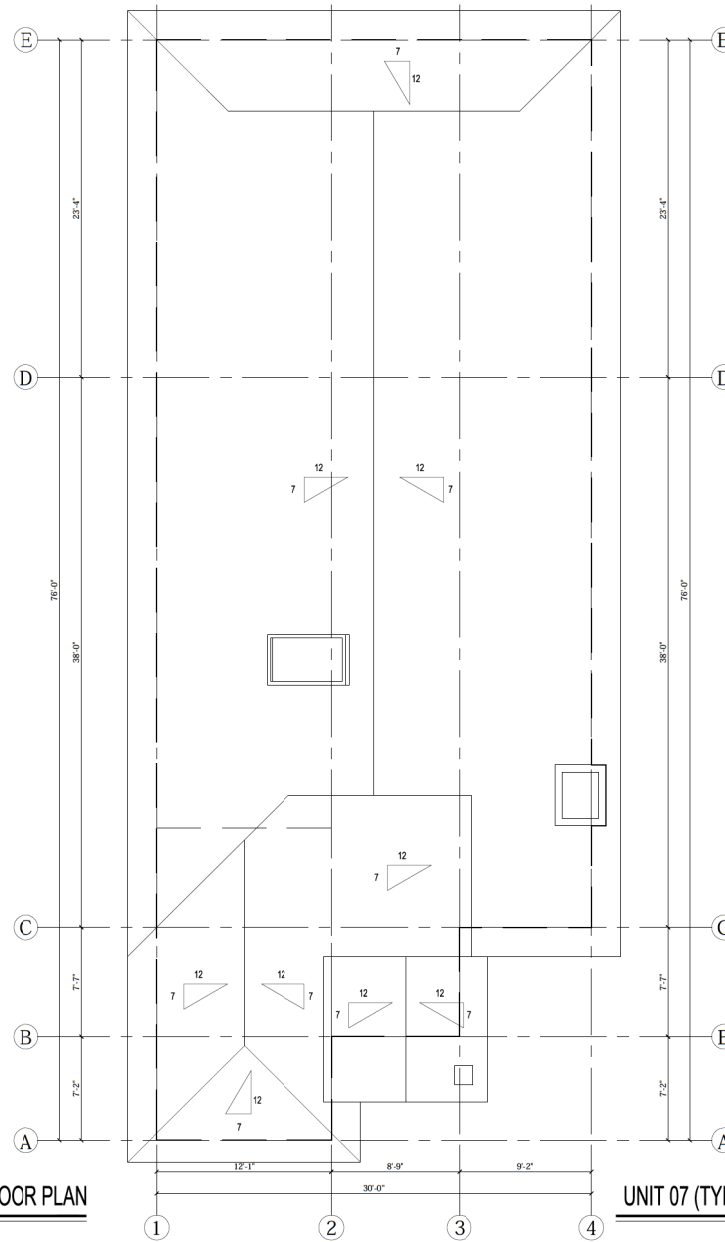
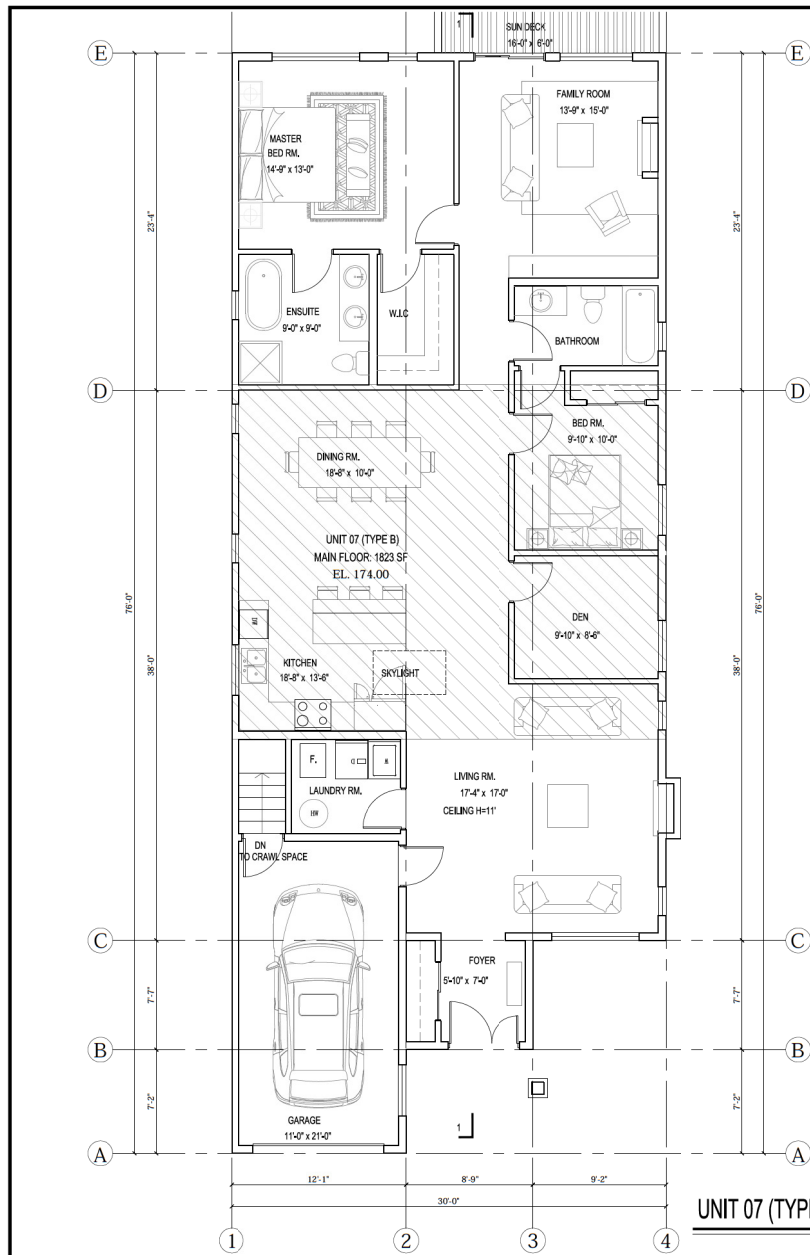
UNIT 06 (TYPE B) MAIN FLOOR PLAN



UNIT 06 (TYPE B) ROOF PLAN

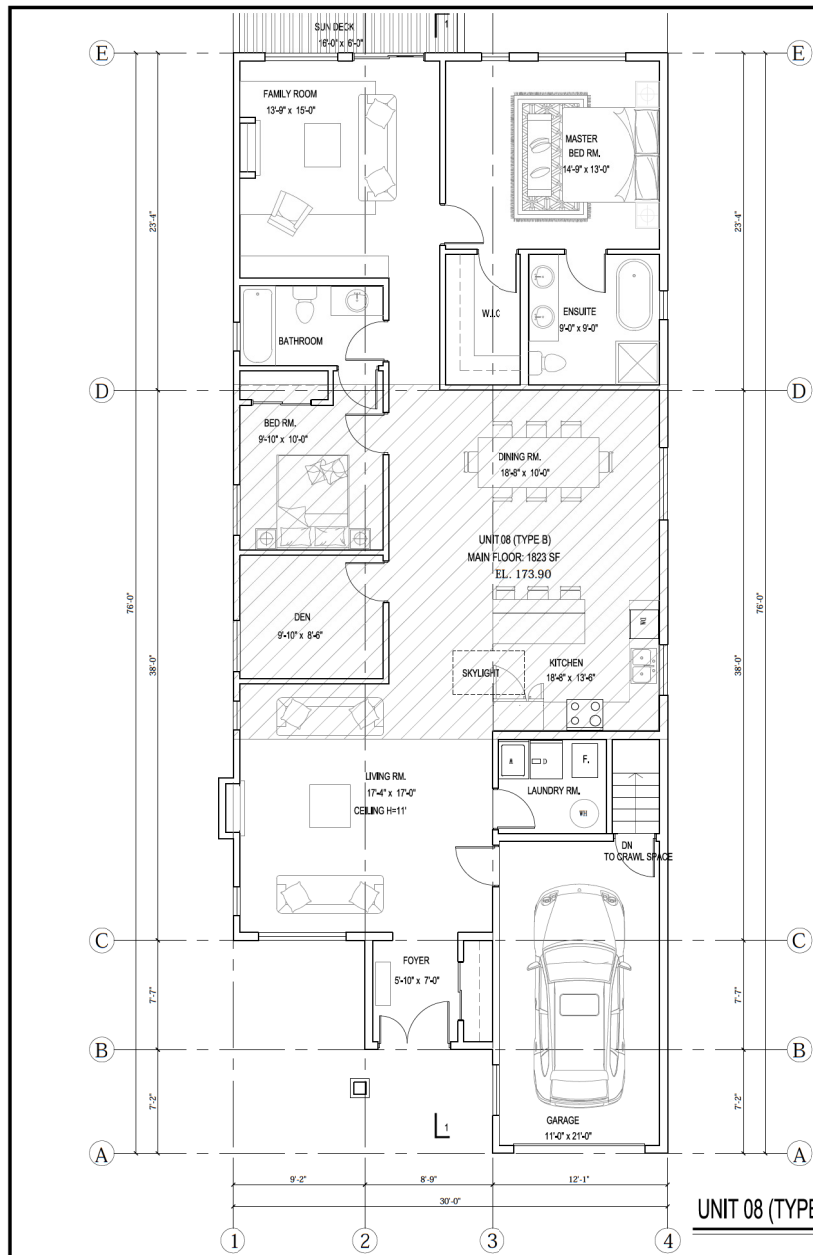
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CHKD BY: XINMAI			
SCALE: 1/4"=1'-0"			
DATE: APRIL 2021			
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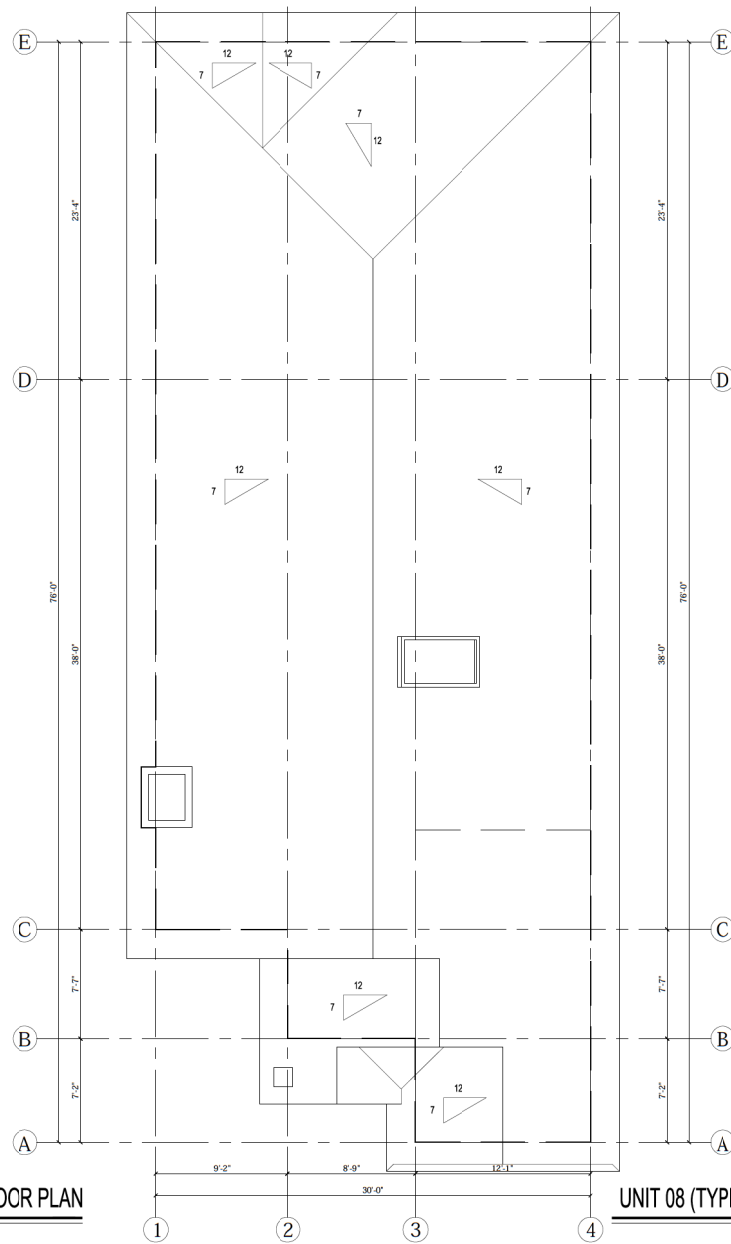


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UNIT 07 (TYPE B) MAIN FLOOR PLAN ROOF PLAN			
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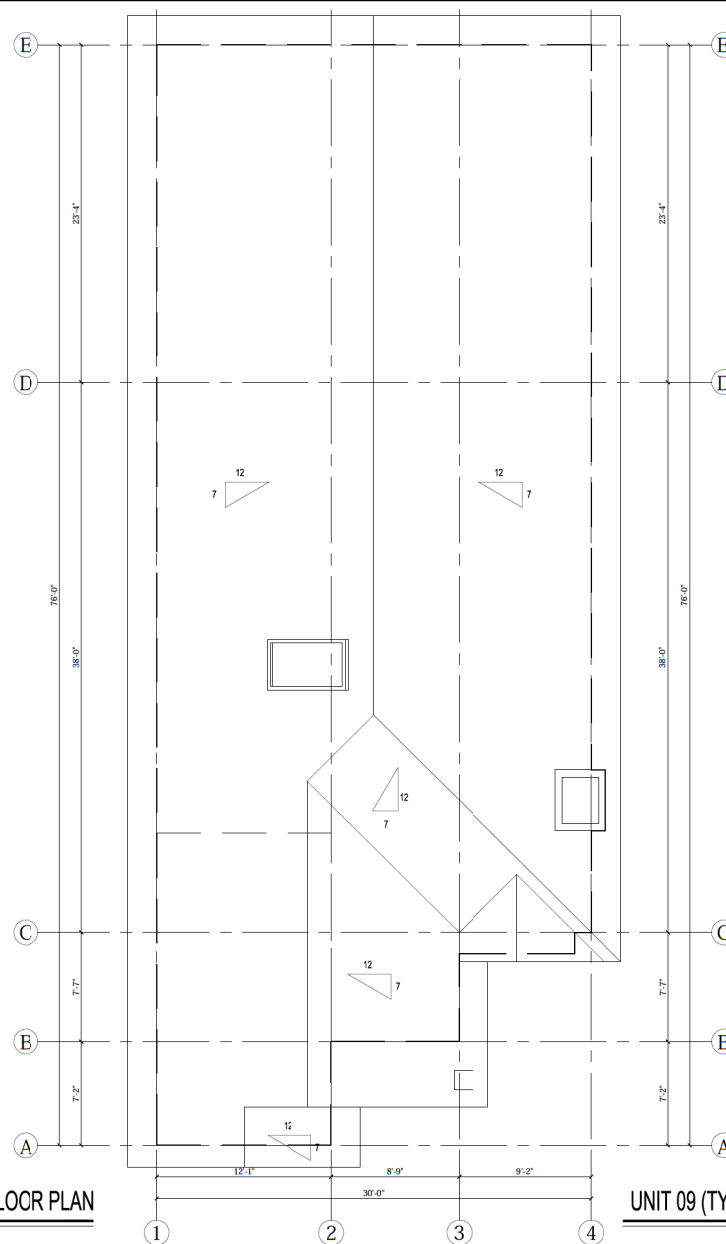
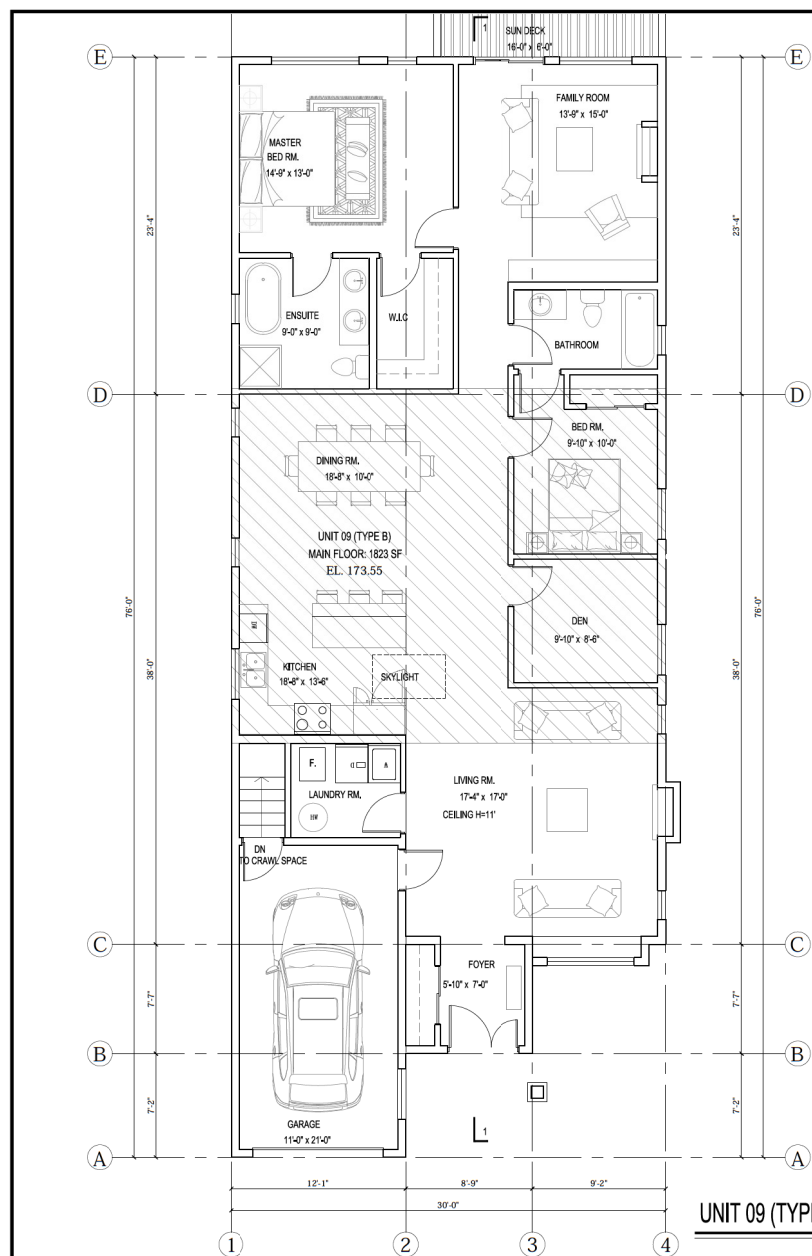
UNIT 08 (TYPE B) MAIN FLOOR PLAN



UNIT 08 (TYPE B) ROOF PLAN

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UNIT 08 (TYPE B) MAIN FLOOR PLAN ROOF PLAN		
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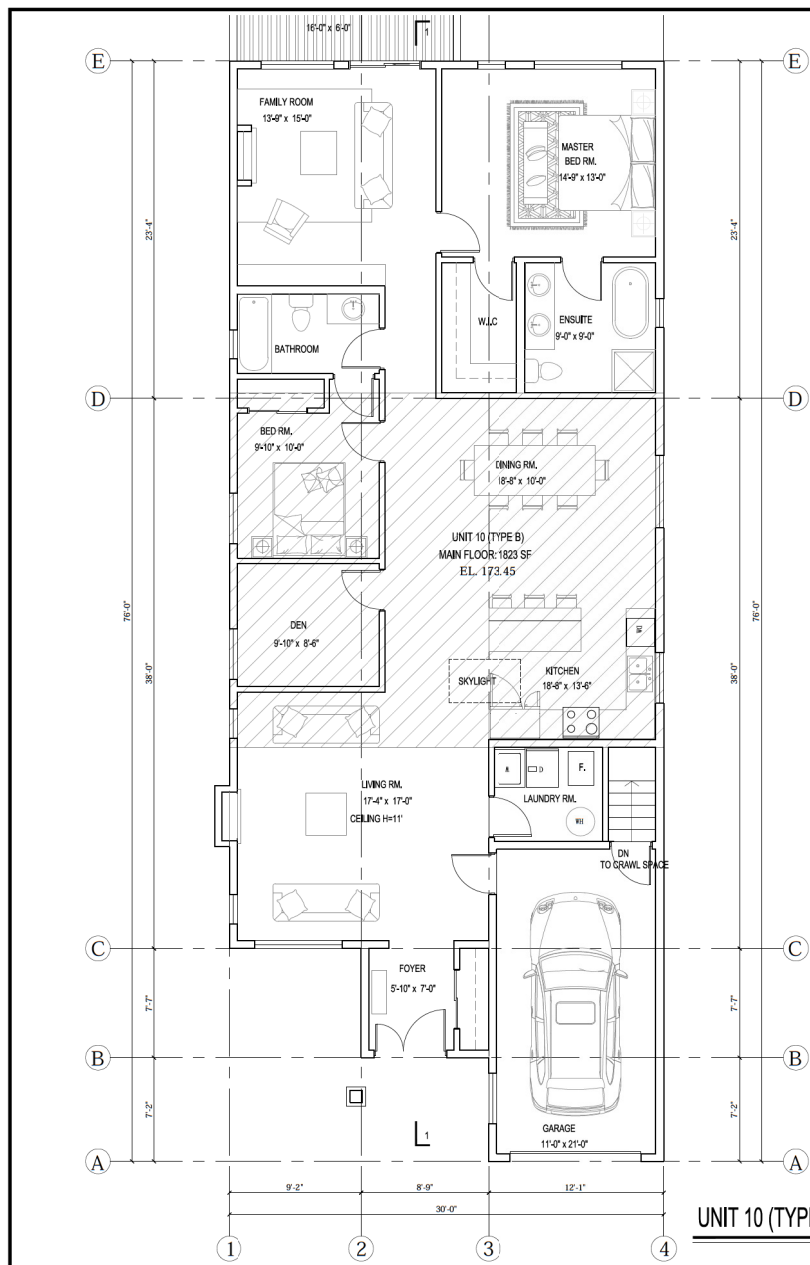
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fax +1 604-806-0260

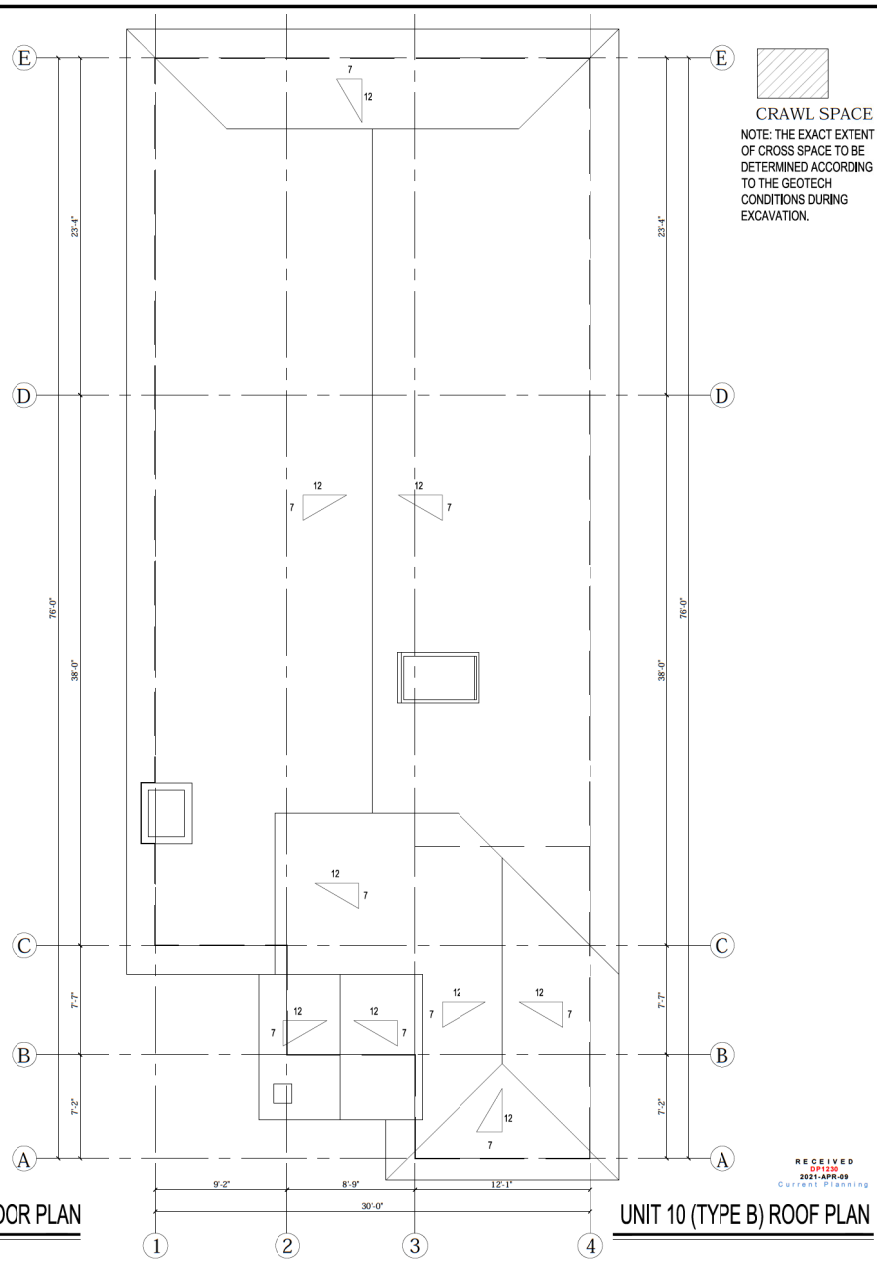
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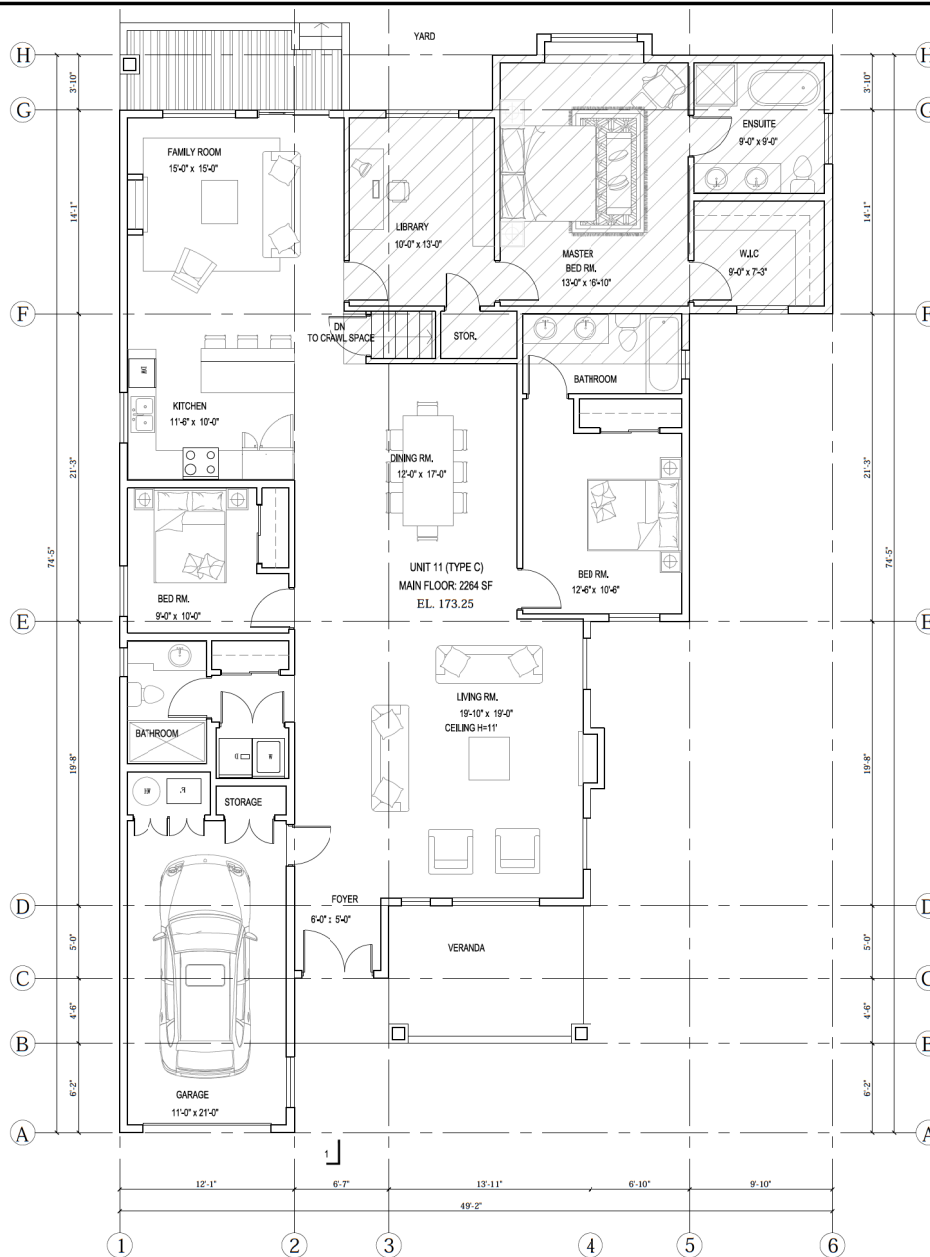


UNIT 10 (TYPE B) MAIN FLOOR PLAN



UNIT 10 (TYPE B) ROOF PLAN

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SCALE: 1/4"=1'-0"	
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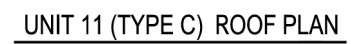


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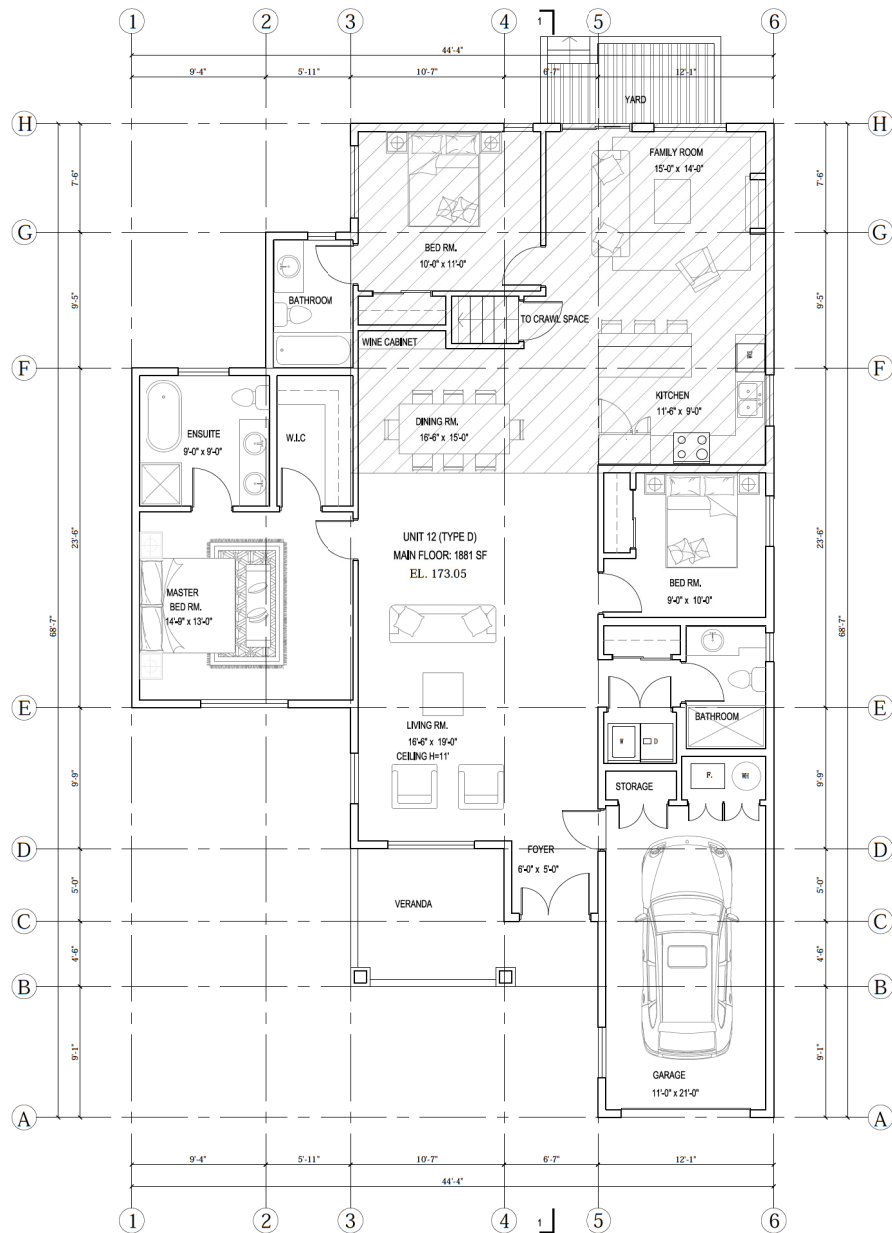
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UNIT 11 (TYPE C) MAIN FLOOR PLAN		
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UNIT 11 (TYPE C) MAIN FLOOR PLAN



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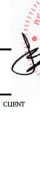


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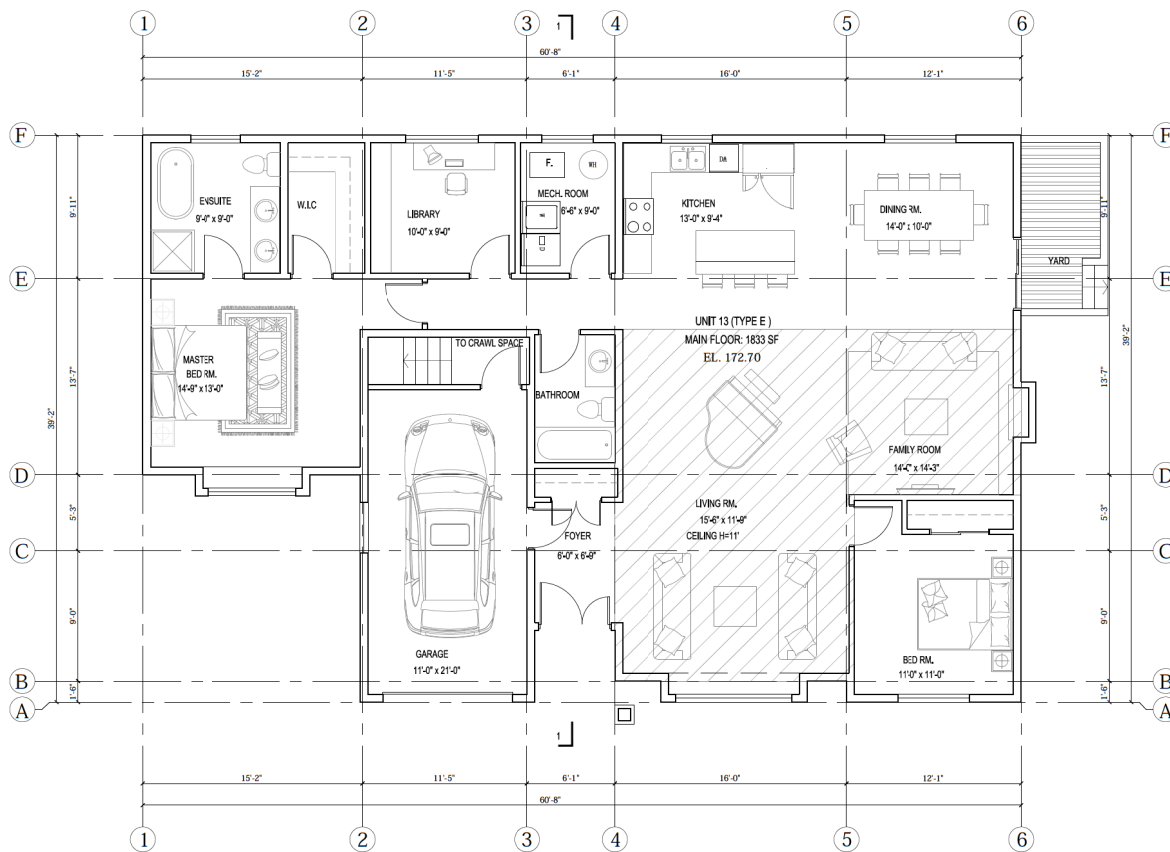
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SCALE:		1/4"=1'-0"	
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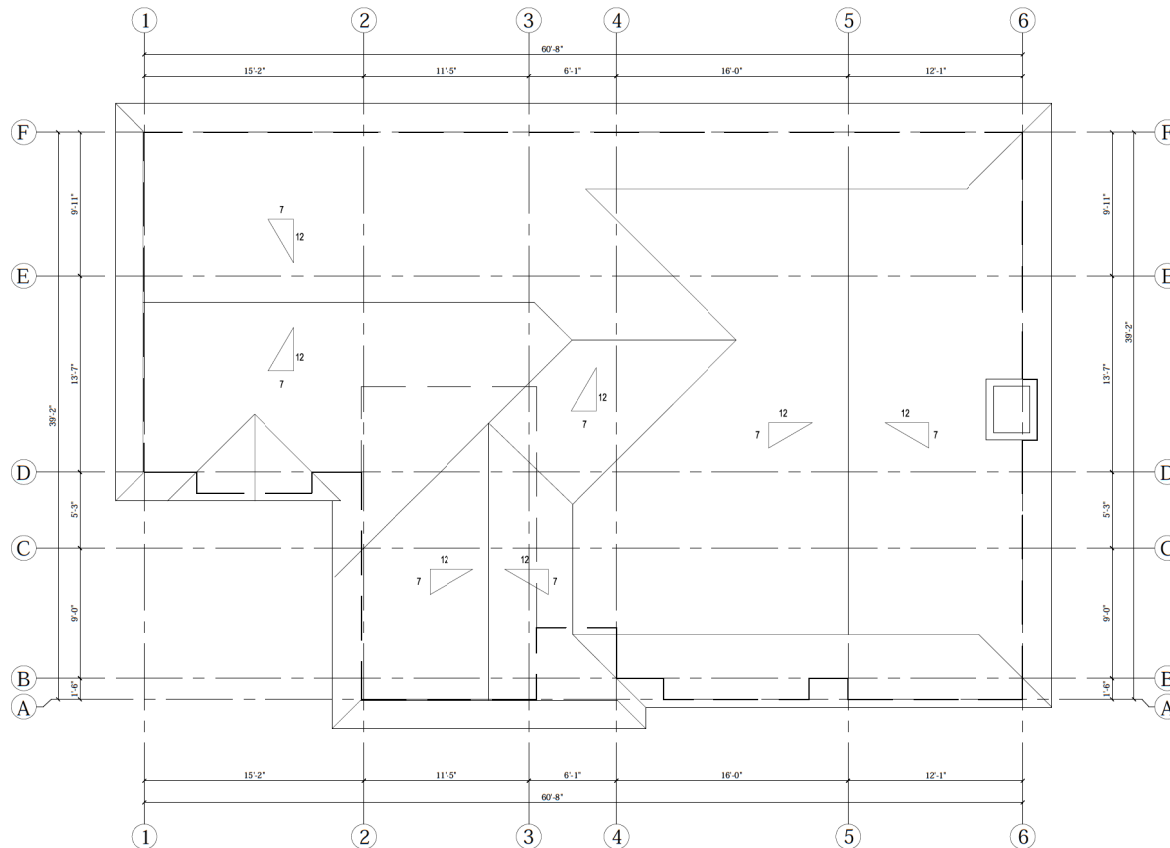


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UNIT 13 (TYPE E) MAIN FLOOR PLAN

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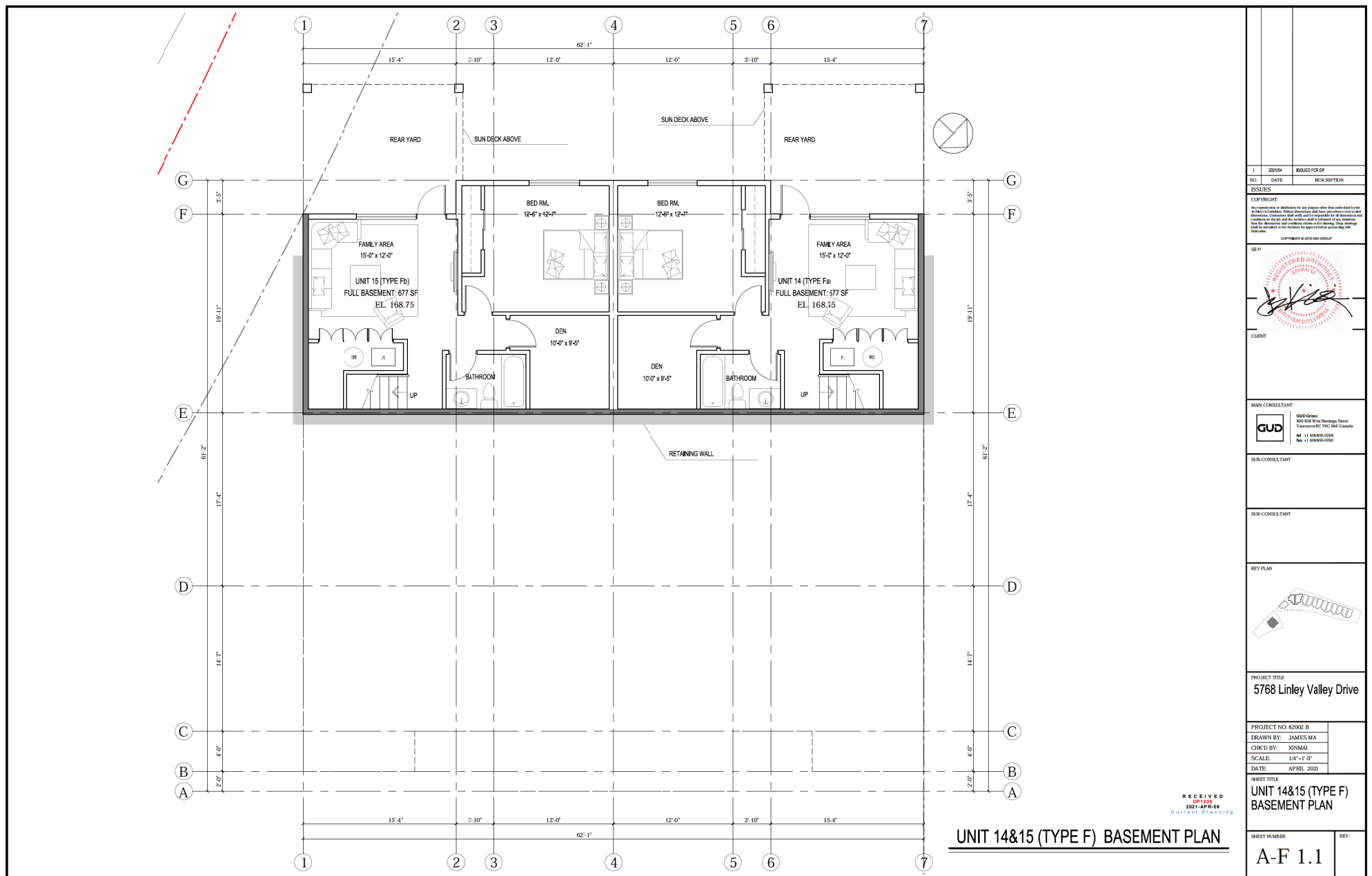
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SHEET NUMBER		REV.
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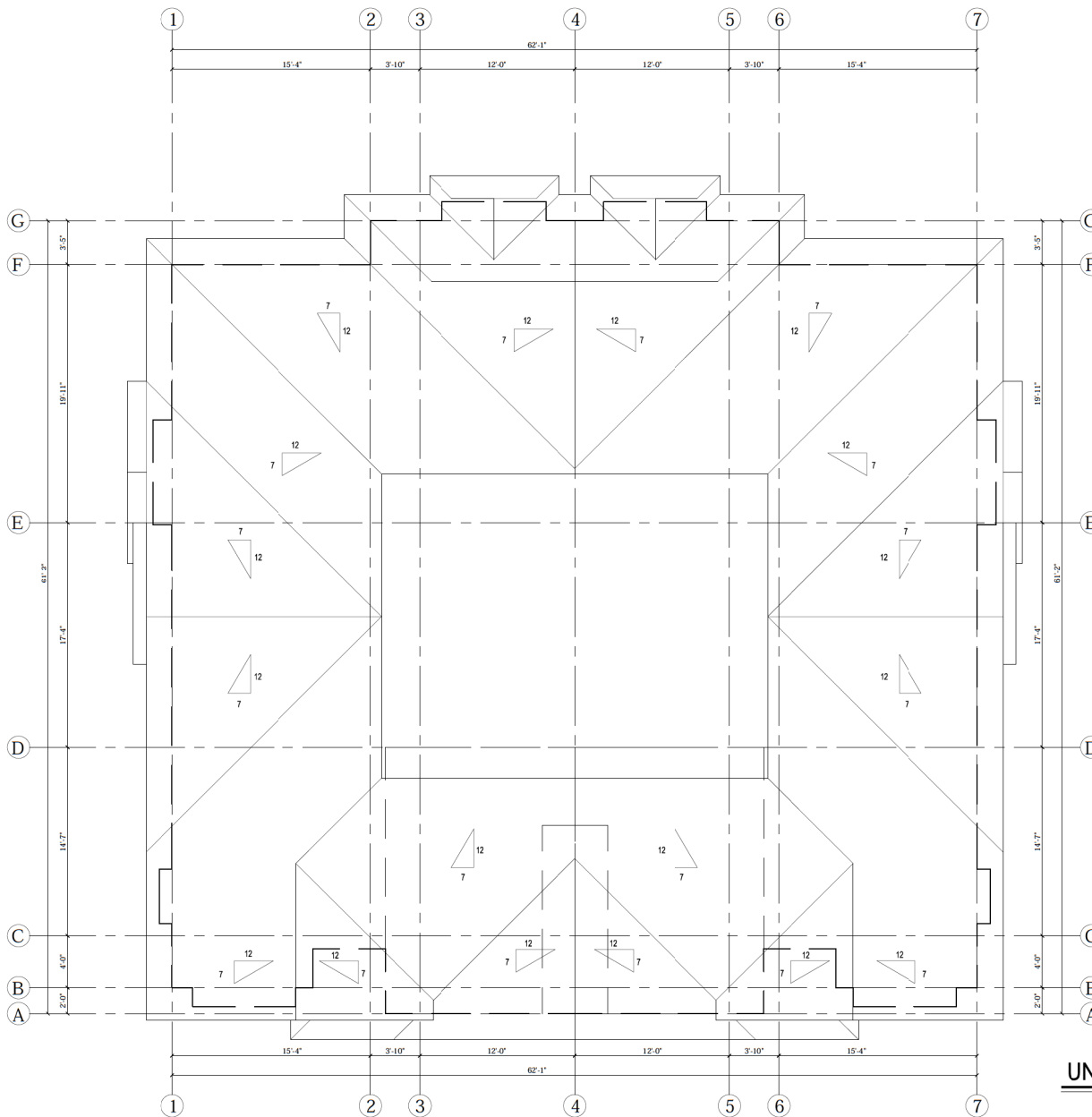
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PROJECT NO: 82002 B		
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SHEET NUMBER		REV.
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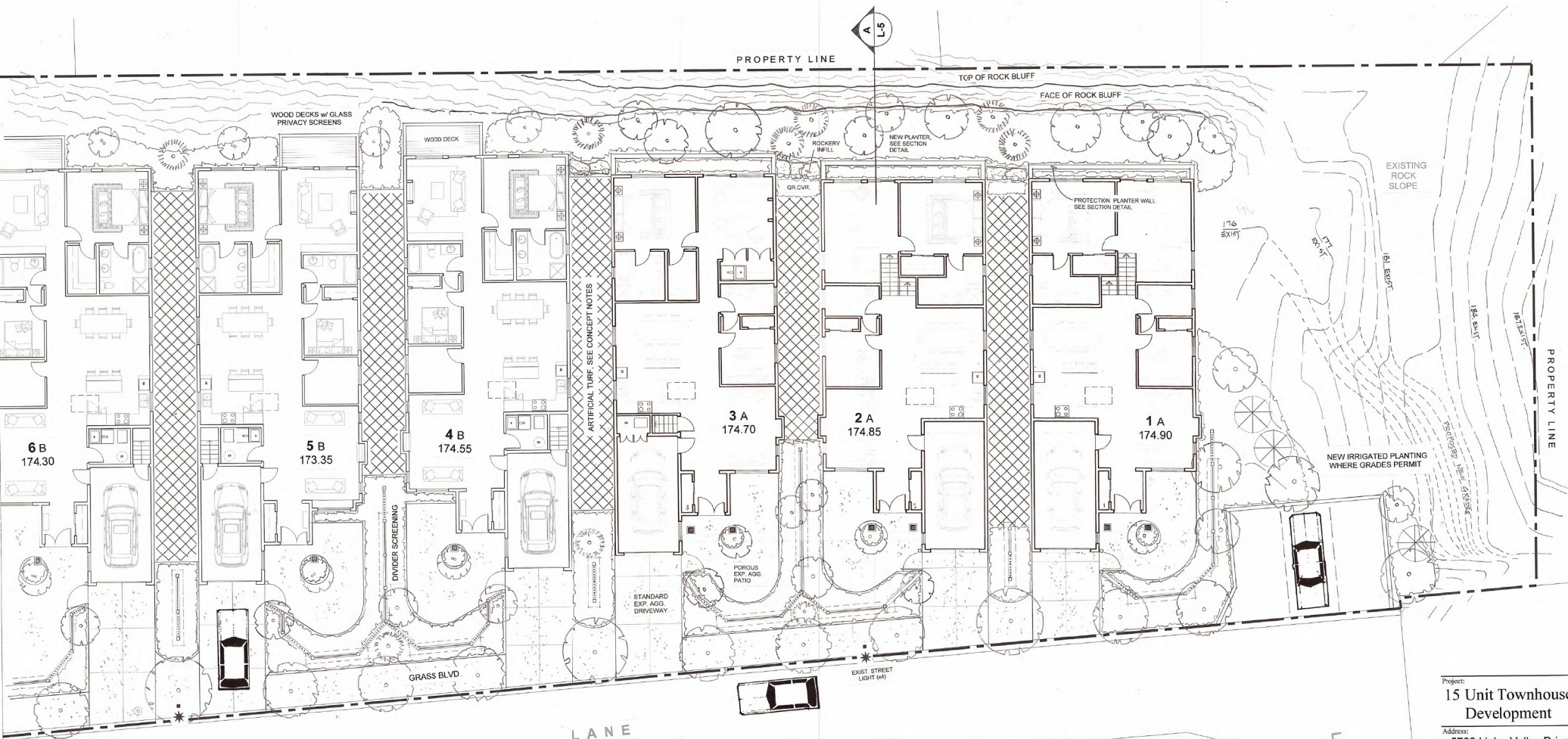


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PROJECT NO: 82002 B DRAWN BY: JAMES MA CHKD BY: XINMAI SCALE: 1/4"=1'-0" DATE: APRIL 2021		
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SHEET NUMBER		REV.
A-F 1.1		

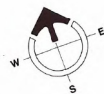


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SHEET NUMBER A-F 1.3					



BAR SCALE ORIGINAL DRAWING SCALE: 1" = 8 Feet
0' 5.0' 10.0' 20.0' 30.0' 40.0'



LANDSCAPE CONCEPT PLAN

A ~ The guiding landscape objective for this wide south-facing site is to create the best opportunity for each residence to enjoy the natural benefit of a large private sunny ground level patio while creating a harmonious garden frontage along this semi-private lane. Each front patio is screened from one another and the front lane with a mixture of lattice and solid fence panels of mixed heights topped with varying runs of over-head vine arbours for added privacy and seasonal colour. Wood structures to be stained with colourful pastel shades rather than traditional natural or brown.

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Project:
15 Unit Townhouse Development

Address:
5768 Linley Valley Drive
NANAIMO, BRITISH COLUMBIA

Architects
GUD Group (Canada) Inc.
800-838 West Hastings St.
Vancouver, B.C.

SCALE: 1/8" = 1' (Orig.)

DWG DATE:
11 January 2021

ISSUE DATE:
5 April 2021

Drawing title:
LANDSCAPE CONCEPT SITE PLAN UNITS 1 - 5

Sheet number:

L - 1 OF 5

PROPERTY LINE

WOOD DECKS w/ GLASS
PRIVACY SCREENS

EXISTING ROCK FACE

D ~ Planning-wise, the lane homes are set with an eight-foot horizontal separation between exterior walls creating a very long narrow corridor between neighbouring walls and windows with much of the ground plane overshadowed with the roof overhangs resulting in a not so ideal landscaping condition. As there is no need to have regular access from front to rear, it is proposed to treat these spaces in a practical manner with porous artificial turf on drainrock base which provides the following benefits:

- 1) ~ Supports site water absorption rate engineering calculations
- 2) ~ Saves unnecessary soil, irrigation and maintenance costs
- 3) ~ Contributes to personal window privacy by eliminating unnecessary worker access
- 4) ~ In the event of proposing using real grass, eliminates weekly mowing & leaf blower noise and fumes, raking and other bothersome maintenance activities.

BAR SCALE ORIGINAL DRAWING SCALE: 1" = 8 Feet
0' 5' 10' 20' 30' 40'

ARTIFICIAL TURF SEE CONCEPT NOTES

9 B
173.55

8 B
173.90

7 B
174.00

6 B
174.30

5 B
173.35

SUN PATIO

GRASS BLVD

B ~ Matching flowering street trees are set in groups of three which front the units separated by a larger growing accent tree between driveways to create an alternating pattern. Massed low broadleaf evergreen shrubs buffer the wood patio screens behind a continuous grass boulevard. Smaller garden-scale trees are located at strategic sight lines for colour or textured accents. Electrical garden outlets on interior switches may be done for each home.

C ~ For instant patio or rear deck privacy, black metal-framed 4'x 7' tall frosted glass panels disrupt sight lines while allowing light penetration and mutually shared plant effects (see plan). Due to bedrock conditions along the rear of the site these glass panels will be encircled by sufficiently deep soil for garden-scale trees and shrubs within built up onsite irrigated rocky planters. For added planting effect Boston ivy and Virginia creeper will be trained toward and upward onto the near vertical rock face of the long north property line.



FRED BROOKS BCMA CMA
landscape Architect

4845 Laguna Way
Nanaimo, B.C. V9T 5C2
Tel./fax: 250 751 0950
email: f.brooks@shaw.ca

Project:
**15 Unit Townhouse
Development**

Address:
5768 Linley Valley Drive
NANAIMO, BRITISH COLUMBIA

Architects:
GUD Group (Canada) Inc.
800-818 West Hastings St.
Vancouver, B.C.

SCALE: 1/8" = 1' (Orig.)

DWG DATE:

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ISSUE DATE:
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Drawing title:
**LANDSCAPE
CONCEPT
SITE PLAN
UNITS 5 - 9**

Sheet number:
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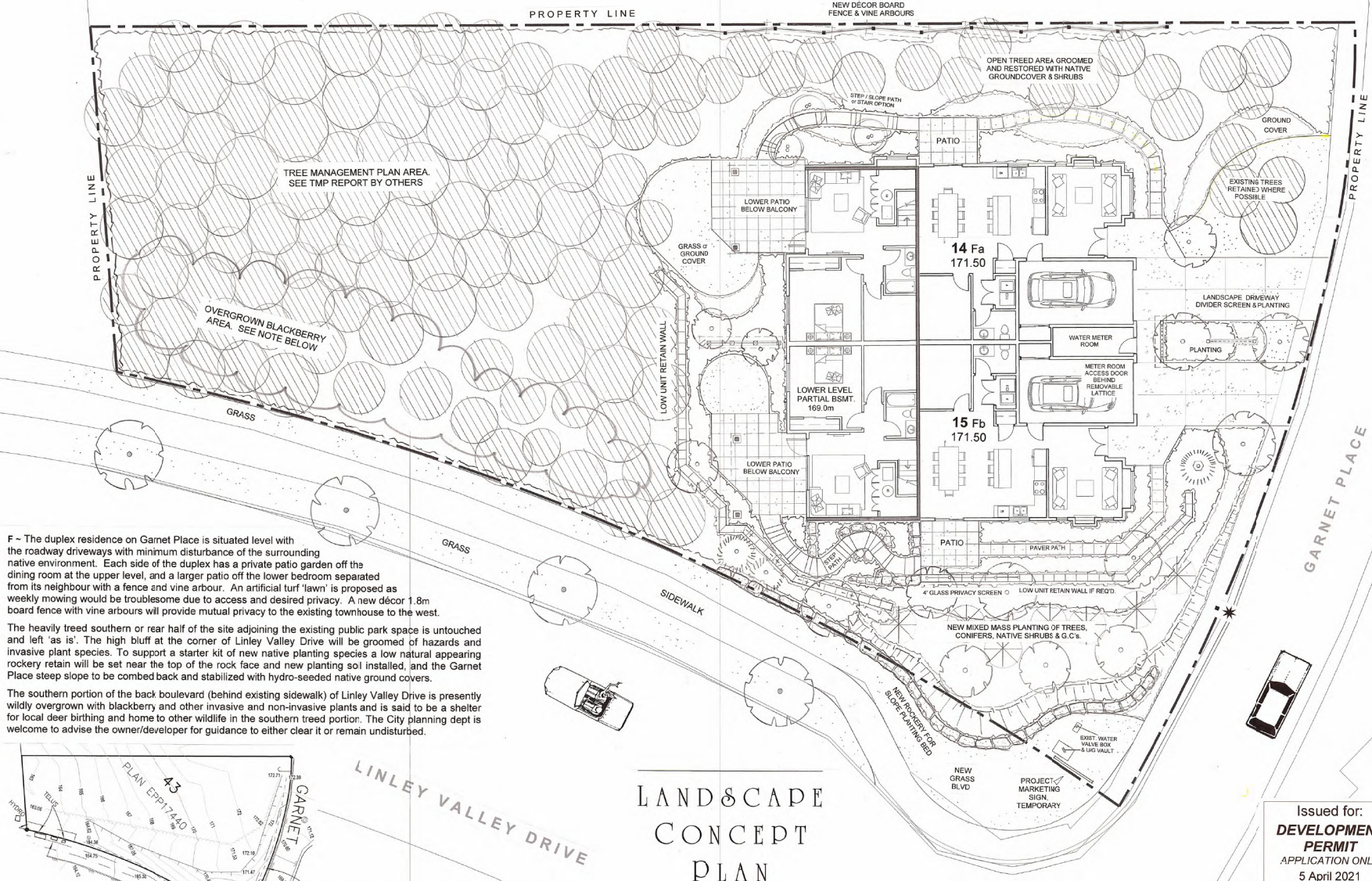
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LANDSCAPE CONCEPT PLAN



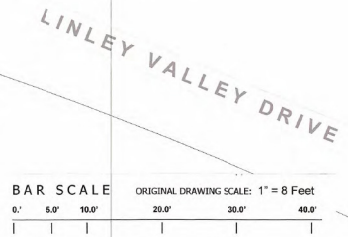
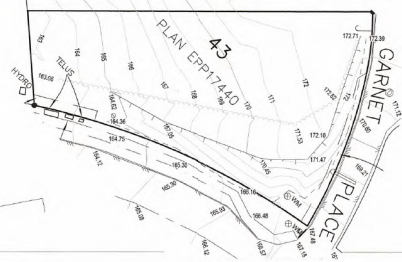
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REGISTERED
MEMBER
FREDERICK BROOKS
50
LANDSCAPE ARCHITECTS



F - The duplex residence on Garnet Place is situated level with the roadway driveways with minimum disturbance of the surrounding native environment. Each side of the duplex has a private patio garden off the dining room at the upper level, and a larger patio off the lower bedroom separated from its neighbour with a fence and vine arbour. An artificial turf 'lawn' is proposed as weekly mowing would be troublesome due to access and desired privacy. A new décor 1.8m board fence with vine arbours will provide mutual privacy to the existing townhouse to the west.

The heavily treed southern or rear half of the site adjoining the existing public park space is untouched and left 'as is'. The high bluff at the corner of Linley Valley Drive will be groomed of hazards and invasive plant species. To support a starter kit of new native planting species a low natural appearing rocky retain wall will be set near the top of the rock face and new planting soil installed, and the Garnet Place steep slope to be combed back and stabilized with hydro-seeded native ground covers.

The southern portion of the back boulevard (behind existing sidewalk) of Linley Valley Drive is presently wildly overgrown with blackberry and other invasive and non-invasive plants and is said to be a shelter for local deer birthing and home to other wildlife in the southern treed portion. The City planning dept is welcome to advise the owner/developer for guidance to either clear it or remain undisturbed.



LANDSCAPE CONCEPT PLAN



FRED BROOKS SCMA CMA
Landscape Architect
4845 Laguna Way
Nanaimo, B.C. V9T 3C3
Tel./Fax: 250 751 0950
email: fbl@laguna.ca

Project:
15 Unit Townhouse Development
Address:
5768 Linley Valley Drive
NANAIMO, BRITISH COLUMBIA
Architects:
GLUD Group (Canada) Inc.
800-338 West Hastings St.
Vancouver, B.C.

SCALE: 1/8" = 1' (Orig.)
DWG DATE:
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ISSUE DATE:
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Drawing title:
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CONCEPT
SITE PLAN
DUPLEX 14 / 15**

Sheet number:
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AUTOMATIC LANDSCAPE IRRIGATION SPECIFICATION

WORKMANSHIP Fred Brooks LMBCLA Nanaimo, BC ©

PROPOSED LANDSCAPE IRRIGATION IS A BELOW-GRADE DRIP SYSTEM, ALL ON SEASONAL TIMER CONTROL. POP-UP SPRAY HEADS FOR GRASS ONLY. A DETAILED SPECIFICATION WILL ACCOMPANY TECHNICAL LANDSCAPE DWGS.

The objective is to supply the required amount of water to the landscape planting / soil areas for the successful establishment and continued health of all existing and new plant material without under-watering, over-watering or missed spot watering due to either design, parts or installation factors, timing controls or blockage or screening by existing or new plant material, structures or site grading & contours. It is recommended that the bidder carefully review the site and bid documents and base his price on the overall intent of the drawings and these specifications.

The responsibility of an acceptable operating system rests solely with the on-site installer of the system, and not the designer, unless they are the same party.

Therefore, compliance with or deviation from any drawings is not an acceptable reason for lack of owner's acceptance of part or all of the system when it is charged & declared operational. The landscape irrigation contractor/installer shall ensure the delivery of a fully functional system with all rees and plants receiving adequate water for a healthy landscape.

All system to be single manufacturer brand, TORO quality or approved equal. **Be aware** that the use of "thin wall" piping is usually not a savings for the owner in the long run. Selection & use of optimum materials and best workmanship methods in the beginning will usually result in a quality job, avoiding callbacks and plant failure problems when plant material is under landscaper's warranty. **Note on your bid** what wall thickness & brand of piping you are proposing to use, as this will be confirmed at installation.

1.2 - Locate all U/G control valve boxes in convenient but unobtrusive locations.

1.3 - I.C. shall ensure that all new trees receive not less than 4 litres of water daily during summer growing season, and more water if subject to dry, hot and wind desiccating environment.

1.4 - Irrig. Contr. shall provide two sets of "as-built" irrigation drawings and specifications to owner prior to acceptance of system, and provide one copy of manufacturer's control station manual to owner and leave one copy securely attached to controller in clear protective case

1.5 - Irrig. Contractor shall provide one year warranty on workmanship and all parts of the system from date of first operational start up of the system, with confirming letter to owner.

1.6 - A signed/dated copy of this spec. shall be attached to your quote. I.C.: _____ Date: _____

LANDSCAPE SPECIFICATION

- 1) - Plant material to conform to current BCNTA/BCSLA Guide Spec'n. for Nursery stock.
- 2) - Landscape Contractor shall be responsible to locate all underground services prior to any excavation by referencing available civil drawings (by others) or "Call First" line at 1 800 474 6886.
- 3) - Landscape Contractor to provide seven days notice to Landscape Architect prior to commencement of landscape site work to allow for site meeting and drawing review, especially regarding possible building architect change orders and non-conforming site conditions.
- 4) - Landscape Contractor shall ensure that all slopes or paved surfaces which may slope or direct surface water into a landscape area shall not collect or puddle in a soil area but be directed and removed to an acceptable dispersment or drainage area via a surface swale or French drain.
- 5) - Planting soil for tree wells shall be structurally and nutritionally capable of encouraging health vigorous plant growth. pH shall range from 5.5 to 7.5.
- 6) - Grass areas (turf or seed) shall have 5" new soil base. Shrub planting areas shall have 16" new soil base. New trees shall have 12" (300 mm.) of new soil around and below the root ball. Tree hole excavations shall drain immediately (field test) to prevent root rot, suffocation and drowning. Hardpan subgrades shall be fractured or trenched to an approved run-off destination before topsoil placement.
- 7) - If B&B, cut all cords and peel back or cut away B&B sacking, and trunk wrap.
- 8) - Apply 'Acer' slow release pellet fertilizer over all planting areas per manufacturer's instructions before applying max. 2" of approved landscape mulch over planting areas.
- 9) - Stake all trees to 6 foot height (1.8m) with approved wood or steel stakes and non-abrasive and non-constricting ties. Nursery pot stakes are not acceptable.
- 10) - Install approved tree stem bark protectors (Arboguard or equal) on all trees in grass or turf areas which will be at risk of weed-eater type tools, lawnmower strikes, and deer or rodents.
- 11) - Remove all nursery marker flags but leave on plant name tags.
- 12) - All plant material shall be guaranteed in writing to the owner for one year against death due to unhealthy supply and/or improper installation conditions and/or wrong selection of species or variety or plants. One year period begins at date of Landscape Contractor's final invoice.

Landscape Contractor: _____ Date: _____



Landscape Concept ~

A ~ The guiding landscape objective for this wide south-facing site is to create the best opportunity for each residence to enjoy the natural benefit of a large private sunny ground level patio while creating a harmonious garden frontage along this semi-private lane. Each front patio is screened from one another and the front lane with a mixture of lattice and solid fence panels of mixed heights topped with varying runs of overhead vine arbours for added privacy and seasonal colour. Electrical garden outlets on interior switches may be done for each home. Wood patio privacy structures to be stained with colourful pastel shades rather than traditional natural or brown tones.

B ~ Matching flowering street trees are set in groups of three which front the units separated by a larger growing accent tree between driveways to create an alternating pattern. Massed low broadleaf evergreen shrubs buffer the wood patio screens behind a continuous grass boulevard. Smaller garden-scale trees are located at strategic sight lines for colour or textured accents.

C ~ For instant patio or rear deck privacy, black metal-framed 4'x 7' tall frosted or 'water glass' panels will disrupt sight lines while allowing light penetration and mutually shared plant effects (see rear wood deck plan). Due to bedrock conditions along the rear of the site these glass panels will be encircled by sufficiently deep soil for garden-scale trees and shrubs within built up onsite irrigated rocky planters. For added planting effect Boston ivy and Virginia creeper will be trained toward and upward onto the rear vertical rock face of the long north property line.

D ~ Planning-wise, the lane homes are set with an eight-foot horizontal separation between exterior walls creating a very long narrow alley between neighbouring walls and windows with much of the ground plane overshadowed with the roof overhangs resulting in a not so ideal landscaping condition. As there is no need to have regular access from front to rear, it is proposed to treat these spaces in a practical manner with porous artificial turf on drainrock base which provides the following benefits:

- 1) ~ Supports site water absorption rate engineering calculations
- 2) ~ Saves unnecessary soil, irrigation and maintenance costs
- 3) ~ Contributes to personal window privacy by eliminating worker access
- 4) ~ In the event of proposing using real grass, eliminates weekly mowing & leaf blower noise and fumes, raking and other bothersome maintenance activities.

E ~ At the northwest corner of the site exists a deep natural depression hosting much of the area's remaining natural environment. In support of the *Tree Management Plan* (by others) to preserve this zone the site will require a single or two-stepped retaining wall of approx 2.9m or 9.5' full height comprised of on-site rock (see plan). This wall will require input from the project's engineering services.

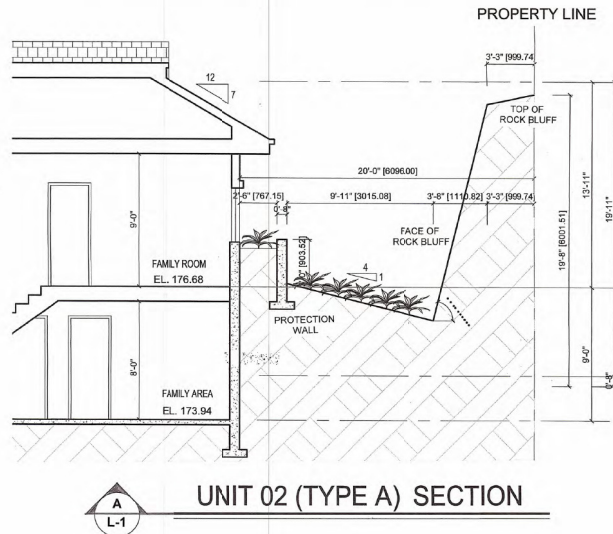
F ~ The duplex residence on Garnet Place is situated level with the roadway driveways with minimum disturbance of the surrounding native environment. Each side of the duplex has a private patio garden off the dining room at the upper level, and a larger patio off the lower bedroom separated from its neighbour with a fence and vine arbour. An artificial turf 'lawn' is proposed as weekly mowing would be troublesome due to access and desired privacy. A new décor 1.8m board fence with vine arbours will provide mutual privacy to the existing townhouse to the west.

The heavily treed southwest or rear half of the duplex site adjoining the existing public park space is untouched and left 'as is'. The high bluff at the corner of Garnet Place & Linley Valley Drive will be groomed of hazards and invasive plant species. To support a starter kit of new native planting species a low natural appearing rocky retain will be set near the top of the rock face and new planting soil installed, and the Garnet Place steep slope to be combed back and stabilized with hydro-seeded native ground covers.

The southern portion of the back boulevard (behind existing sidewalk) of Linley Valley Drive is presently wildly overgrown with blackberry and other invasive and non-invasive plants and is said to be a shelter for local deer birthing and home to other wildlife in the southern treed portion. The City planning dept is welcome to advise the owner/developer for guidance to either clear it or remain undisturbed.

FRED BROOKS LMBCLA Nanaimo, B.C.

LANDSCAPE PLANT LIST FOR SELECTION AT WORKING DWG STAGE		
BOTANICAL NAME	COMMON NAME	SIZE
TREES - DECIDUOUS		GAL.
1 Acer rubrum	red maple	15
2 Acer circinatum	vine maple	5
3 Acer palmatum atro.	Japanese maple, red	15
4 Acer palmatum atro.	Japanese maple, green	15
5 Cornus nuttallii "eddie"	Dogwood Eddie's white wonder	7
6 Liriodendron tulipifera	tulip tree	15
7 Magnolia sieboldii	Oyama magnolia	5
8 Parrotia persica	Persian parrotia	7
9 Prunus Shirotae	flowering cherry	7
10 Rhus typhina	sumac	7
11 Saphora japonica regent	Pagoda tree	15
TREES & SHRUBS - CONIFEROUS		
12 Pinus nigra 'fastigiata'	Austrian pine 'upright'	7
13 Sciadopitys verticillata	Japan umbrella pine	7
14 Pinus nigra	Black pine	7
15 Juniperus Chinensis	spreading juniper	3
16 Pseudotsuga menziesii	Douglas fir	5
SHRUBS - BROAD LEAF EVERGREEN		
17 Acuba japonica 'gold spot'	gold spot acuba	3
18 Euonymus 'emerald & gold'	low ht variety	2
19 Euonymus 'emerald gale'	med ht variety	2
20 Rhodo - mid-size habit	rhododendron, mix	5
21 Pieris japonica Mtn. Fire	illy valley shrub	3
22 Prunus laurocer. 'zabellana'	Zabell's laurel	3
23 Skimmia reevesiana	skimmia	3
24 Viburnum davidi	David's viburnum	3
SHRUBS - DECIDUOUS		
25 Azalea knaphill & exbury	cedic azalea	5
26 Cornus alba elegantissima	variegated dogwood shrub	3
27 Rosaceae, semi-deciduous	Medialand rose	3
28 Hydrangea macrophyllum	hydrangea	3
29 Hibiscus syriacus	hibiscus	3
30 Magnolia stellata	star magnolia	3
GROUNDCOVER & VINES		
31 Fern varieties	large evergreen	1
32 Gautheria shalton	Sisal (fillers)	1
33 Mahonia aquifolium	Oregon grape	1
34 Mahonia nervosa	Mahonia, low	1
35 Parthenocissus trif.	Boston ivy, rock bluff	1
36 Parthenocissus cinerifolia	Virginia creeper	1
37 Clematis varieties, mixed	clematis vine	1
Seeded wildflower meadow mix from Richardson Seed		
PERENNIALS		
38 Rudbeckia 'goldstrum'	Rudbeckia/Leucanthemum	1
39 Hosta varieties selected		1
40 Other perennial selections at planting time		1



UNIT 02 (TYPE A) SECTION

FRED BROOKS LMBCLA CREA
Landscape Architect

4845 Laguna Way
Nanaimo, B.C. V9T 5C2
Tel/Fax: 250 751 0550
email: fbl@lagshw.ca

Project:
**15 Unit Townhouse
Development**

Address:
**5768 Linley Valley Drive
NANAIMO, BRITISH COLUMBIA**

Architect:
GUD Group (Canada) Inc.
800-838 West Hastings St.
Vancouver, B.C.

SCALE: ~ Noted ~

DWG DATE:
11 January 2021

ISSUE DATE:
5 April 2021

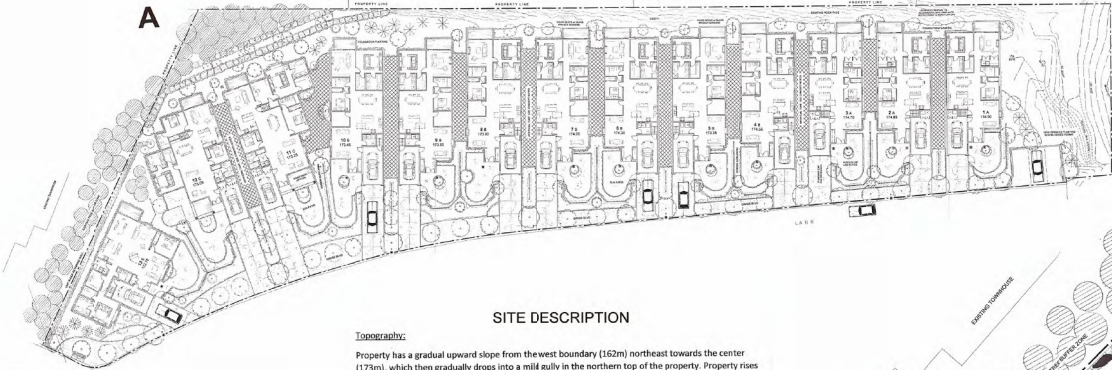
Drawing title:
**LANDSCAPE
SPECIFICATIONS
& DETAILS**

Sheet number:
L - 5 OF 5

Issued for:
**DEVELOPMENT
PERMIT
APPLICATION ONLY**
5 April 2021
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OR CONSTRUCTION PURPOSES

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A



SITE DESCRIPTION

Topography:

Property has a gradual upward slope from the west boundary (162m) northeast towards the center (173m), which then gradually drops into a mild gully in the northern top of the property. Property rises out of the gully towards the east and levels off into a previously blasted level area. There is an exposed rock bluff boundary along the eastern portion near the north boundary and approaching the east property boundary.

Soils and Morphology:

Eastern half of property has been previously stripped down to bedrock layer. Western half of property assumed to be relatively shallow soils over bedrock with deeper soil pockets in low areas.

Water (lakes, streams, creeks):

There are no watercourses on property. No watercourses in close proximity to property boundaries.

Wildlife habitat (e.g. nesting trees, deer):

No active nests were observed during tree inventory assessment.

No evidence of Heron/Raptor presence observed during assessment.

Natural Features/visual values:

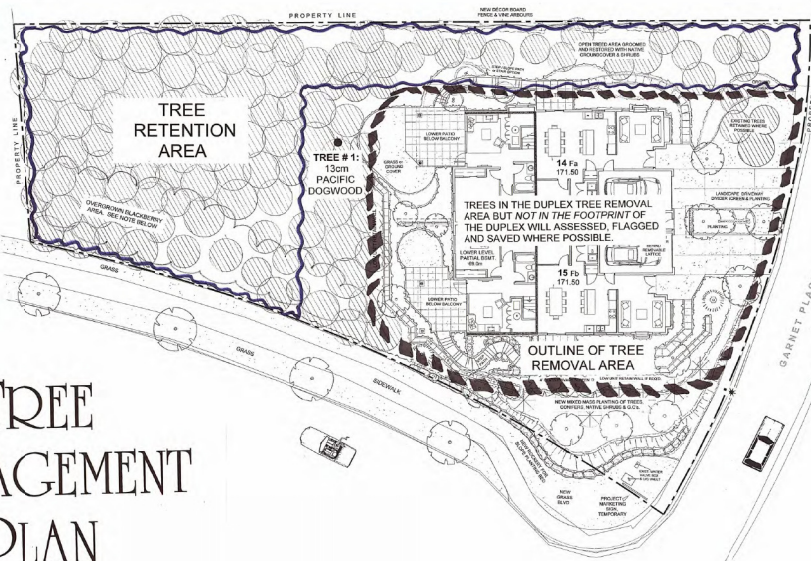
Some views of marsh wetland park area to the south and southwest.

Vegetation (inventory/understorey - size, species, density):

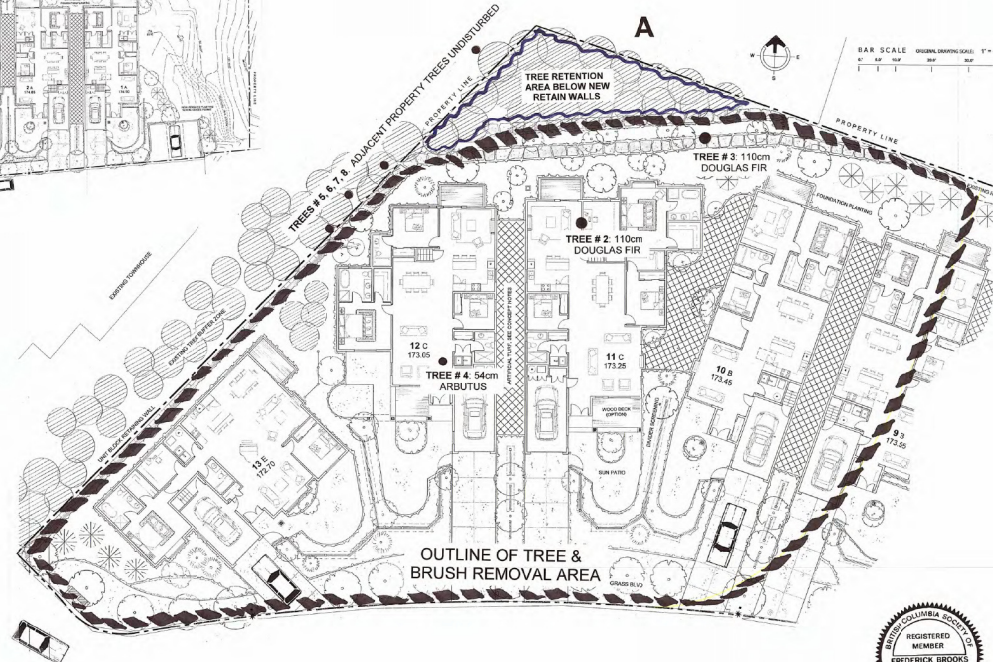
Property displays a mix of Douglas fir, western red cedar, and arbutus. Minimal understorey vegetation.

Common vegetation within treed areas of property include patches of salal, with some blackberry and grass throughout western roadside open areas.

B



TREE MANAGEMENT PLAN



2m x 2m PLASTIC MESH SCREEN (TYP.)
2m STAKED INTO GROUND (TYP.)

2m x 2m PLASTIC MESH SCREEN (TYP.)
2m STAKED INTO GROUND (TYP.)

NO ENTRY TREE PROTECTION AREA
NO GRADE CHANGE, STORAGE OF MATERIAL OR EQUIPMENT IS PERMITTED WITHIN THIS FENCED AREA. TREE PROTECTION BARRIER MUST REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.

NOTE:
PRIOR TO CONSTRUCTION TAKING PLACE ON THE SITE A PROTECTION FENCE (SEE SPECIFICATIONS BELOW) SHALL BE INSTALLED ON THE SITE ACCORDING TO THE LAYOUT ON THE DRAWING ALONG THE EXISTING GRABCE. PRIOR TO THE INSTALLATION OF THE FENCE, THE LAYOUT SHOULD BE REVIEWED BY THE CITY OF NANAIMO URBAN FORESTRY CO-ORDINATOR. THE PROJECT MANAGER WILL INSTRUCT ALL TRADES ON THE IMPORTANCE OF FOLLOWING THESE TREE PROTECTION MEASURES. ALL TRADES WILL BE REQUIRED TO SIGN OFF THEIR CONFORMANCE OF THIS PLAN.

MINIMUM PROTECTION REQUIRED AROUND TREE			
TRUNK DIAMETER (mm)	DISTANCE FROM TRUNK (m)	TRUNK DIAMETER (mm)	DISTANCE FROM TRUNK (m)
25	1.2	60	3.0
25	1.2	60	3.3
38	1.9	75	3.6
38	2.1	75	4.5
40	2.4	90	5.0
40	2.7	100	6.0

CITY OF NANAIMO
Tree Protection Fencing

Scale: 1:50
Date: 2021-04-05
By: [Signature]

NOTE:
TREE MANAGEMENT INFORMATION SHOWN ON THIS DWG IS FROM "TREE MANAGEMENT REPORT" PREPARED BY MSSRS. SHANE HARRIS & JAYSON FEARON, ISA CERTIFIED ARBORISTS FOR MR TREE SERVICE ON BEHALF OF OWNERS. PLEASE REFER TO THEIR REPORT FOR FULL DETAILS.

Project:
15 Unit Townhouse Development

Address:
5768 Linley Valley Drive
NANAIMO, BRITISH COLUMBIA

Architects:
GUD Group (Canada) Inc.
800-834 West Hastings St.
Vancouver, B.C.

SCALE: ~ Noted ~

DWG DATE: **22 February 2021**

ISSUE DATE: **5 April 2021**

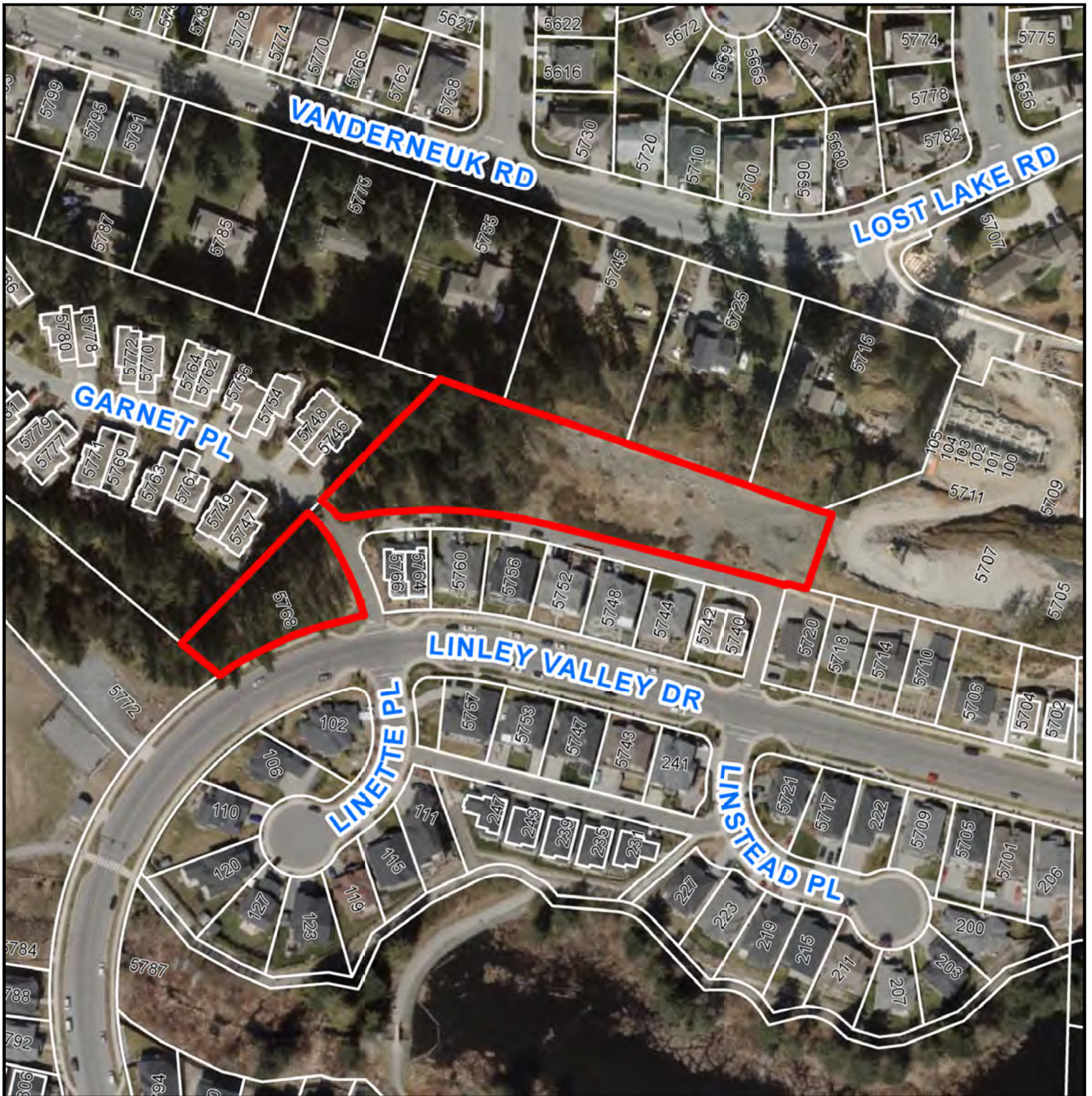
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TREE MANAGEMENT PLAN

Sheet number:
L - 6 OF 6

Issued for:
DEVELOPMENT PERMIT APPLICATION ONLY
5 April 2021
NOT ISSUED FOR R.P. TENDER OR CONSTRUCTION PURPOSES

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2021-APR-09
Current Planning

AERIAL PHOTO



DEVELOPMENT PERMIT APPLICATION NO. DP001230



5768 LINLEY VALLEY DRIVE

Development Permit Application No:
DP001231

Application Detail

MIXED-USE DEVELOPMENT (3 BUILDINGS)

- **1 FIVE-STOREY RESIDENTIAL BUILDING**
- **49 RESIDENTIAL UNITS; and,**
- **2 COMMERCIAL BUILDINGS**
- **1 THREE-STOREY COMMERCIAL BUILDING**
- **1 CAFÉ BUILDING**

Civic Address:

5730 TURNER ROAD

Applicant:

RAYMOND DE BEELD ARCHITECTURE

Owner:

INSIGHT HOLDINGS LTD.

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001231– 5730 TURNER ROAD

Applicant/Architect: **RAYMOND DE BEELD ARCHITECT INC.**

Owners: **INSIGHT HOLDINGS LTD.**

Landscape Architect: **KINSHIP DESIGN ART ECOLOGY**

SUBJECT PROPERTY AND SITE CONTEXT:

Zoning	COR3 – Community Corridor
Location	The subject property is located in North Nanaimo with one corner of the triangular shaped lot at the intersection of Uplands Drive and Turner Road, and another corner of the lot at the Turner Road/Linley Valley Drive roundabout.
Total Area	7,355m ²
Official Community Plan (OCP)	Map 1 – Future Land Use Plan - Corridor Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential development.
Relevant Design Guidelines	General Development Permit Area Design Guidelines

The subject property is a vacant, triangular shaped parcel with two road frontages. Commercial uses, including Longwood Station, are located at the intersection to the south and west of the subject property. The adjacent property to the northwest, at 5050 Uplands Drive is a mixed use commercial and multi-family development. A new multi-family development is proposed to the east at 6030 Linley Valley Drive.

PROPOSED DEVELOPMENT

The applicant is proposing a five storey multi-family building with 49 rental units (24 two bedroom units and 25 one bedroom units), a three storey commercial building, and a separate café building with a vaulted ceiling. A floor area ratio of 0.88 is proposed, which complies with the density permitted in the COR3 zone for mixed-use developments.

Site Design

The café building and commercial building are sited on the west side of the property such that they face the existing commercial uses at the Uplands and Turner Road intersection. The residential building is L-shaped, and is sited on the southeast portion of the property with strong street presence on both frontages. The site will be accessed by an existing driveway at the north end of the property. A grove of trees in the northern corner of the property will be maintained and enhanced along the Molecey Creek riparian corridor. Surface parking is provided along the western side property line, and under-the-building parking is located under the residential and commercial building.

Staff Comments:

- The surface parking areas and parking garage entrance are screened from the street as is recommended in the design guidelines.
- Consider a raised pedestrian crossing in front of the parking garage entrance, and to the residential garbage enclosure.

Building Design

The residential building is five storeys in height with a traditional pitched roofline, and is sited on the lowest part of the site which allows for the under-the-building parking garage. The massing is divided into columns consisting of balconies and changes in exterior materials, including horizontal wood-like siding, vertical grey siding, white fibre cement panel and timber details. Architectural concrete is proposed for the exposed portions of the underground parking garage, and glass railings are proposed for the balconies. The primary building entrance is adjacent to the parking garage entrance on the north elevation, with additional connections from the ground floor units to the Turner Road public sidewalk. Bike storage and electric vehicle (EV) parking are provided in the parking garage. Several rooftop patios are provided on different storeys of the building.

The commercial building is three storeys in height with a pitched roofline. The primary entrance to the building is on the west end, and entrances to the building are located from the Turner Road public sidewalk. The south elevation, facing Turner Road, contains generous glazing, white signage panels, and balconies on the third storey which offer articulation to the building facade. The north elevation is stepped, with a different façade material accenting each step.

The café building is single storey with two sections of vaulted sloped roofline at the ends, and a peaked roofline at the centre to reflect the roofline of the other two buildings. The exterior materials are also wood-like siding and white fiber cement panel. South facing outdoor patios will be located at the front of the café building.

Staff Comments:

- To better relate to the two storey residences on the adjacent property to the north, consider ways to reduce the perceived height and further articulate the north end of the residential building.
- For the commercial building consider the following:
 - adding more detail and transparency to the west elevation;
 - incorporating a corner feature for the primary entrance area, to better relate the entrance towards Turner Road; and
 - ways to activate the ground floor and entrances on the south elevation of the commercial building to better relate to Turner Road.
- Consider adding more transparency to the west elevation of the café building.

Landscape Design

The landscaped area along the property frontage, between the buildings and Turner Road, will contain a bioswale, several retained trees, and layered plantings. A public pedestrian path, with attractive stone wall features, is provided through the site and connects the public sidewalks,

the building entrances and the surface parking areas. A plaza area is provided between the commercial building and the residential building, which will contain shade trees, benches and a pedestrian connection from the public sidewalk to the surface parking area. At the northern end of the residential building are stepped retaining walls which will be planted with trees and shrubs to screen the foundation wall of the parking garage. Along the northwest property line is a 1.8m wide landscape buffer which includes four existing cedar trees, black chain link fence and a garbage enclosure with a green roof. The café garbage/recycling area is adjacent to the café building and is screened with a cedar board fence.

Staff Comments:

- To allow café garbage bins to be rolled to the loading space without causing damage, consider a more durable material for the enclosure gate.
- Provide a cross section to show the proposed retaining walls between the residential building and Turner Road.
- Provide a site lighting plan and show proposed lighting for the entrances, pedestrian paths, plaza area and parking areas.
- Look at opportunities to reduce the parking and increase tree retention in the northern corner of the site to buffer the development from the adjacent lower density residential development.

PROPOSED VARIANCES

Building Height

A variance is proposed to the maximum permitted building height of the multi-family residential building from 14m to 18.96m, a proposed variance of 4.96m.

A variance is proposed to the maximum permitted building height of the commercial building from 14m to 16.3m, a proposed variance of 2.3m.

Minimum Landscape Treatment Level

The Zoning Bylaw requires a minimum landscape buffer width of 1.8 m along the side property line, and the landscape buffer width is proposed to be varied to 1.37m adjacent to the surface parking spaces, and to 0m adjacent to the café building and four parking spaces near the café building.

Setback for Garbage and Recycling Containers

The Zoning Bylaw requires a minimum setback of 3m from any lot line for garbage and recycling enclosures, and the proposed setback for the residential garbage and recycling enclosure is 1.8m, a proposed variance of 1.2m.

May 28, 2021

5730 Turner Road – Development Permit Design Rationale

Project

Mixed-use project development includes 3 buildings (49 Unit 5 story Residential, 3 stories CRU, and 1 double height storey cafe building) with underground shared parkade structure located underneath the residential and CRU buildings. The site includes surface parking on the northwest side of the lot.

Background

Development to provide high-quality rental accommodation, corporate business spaces, and a cafe with patios adjacent at the corner intersection of Turner Road and Uplands Drive.

Site Layout

The building's settings are dictated by the irregular-shaped lot, the statutory right of way, and the site's sloped nature. The proposed building's location utilizes the south portion of the lot while dedicating the north portion of the lot for tree preservation while maintaining the riparian buffer (7.5m) at the far north corner of the parcel. The residential building is located at the southeast corner of Turner Road (at the roundabout). The CRU building is located 9m to the west of the residential building, retaining views and creating a courtyard space buffer between the residential and the CRU building, connecting the street front of the Turner Road into the development. The cafe building is located on a dominant location at the west corner of the lot on Uplands Drive, having patios facing southeast, sharing a common plaza with the CRU building. The statutory right of way is shared between the proposed development and the neighbouring site to the west, it provides access to the surface parking, garbage enclosure and to the parkade.

Pedestrian Circulation

The whole development is linked via a pedestrian walkway crossing the site from the southwest (common corner plaza) to Turner Road at the northeast edge of the lot. The proposed walkway aims to encourage accessible use, connecting recreational amenities and building main entrances. As a result, most pedestrian-accessible areas are designed to allow handicap accessibility.

Vehicle Circulation

The project employs the statutory right of way as the main driveway entrance into the development to the rear surface parking from Turner Road at the northeast edge. The development proposes fire department access to the buildings from the site parameter along Turner Road from the south.

Parking

A total of 124 parking stalls were provided for the development, 73 surface parking stalls located at the rear yard of the lot and 51 underground parking provided in the parkade shared between residential and CRU use. Single entrance/exit provided to the parkade, located close to the residential entrance from the northwest end of the residential building.

Form

The proposed complex consists of 3 buildings. The residential massing is located at the southeast corner of the lot at the roundabout, separated from the CRU building to its west by a spacious courtyard designed as a garden space serving residents while maintaining both buildings' views. Although the residential building is the highest building on the lot, it sits on the lowest part of the site to maintain the buildings' hierarchy towards Uplands Drive. Common roof decks/patios on both end-side of the residential building provide magnificent views, especially the northeast rooftop patio, which is situated to offer northern views to the ocean. The patios are also designed to be used as traditional socializing spaces and stepping the building back from the adjacent CRU building as a response to its height. Meanwhile, the Cafe building (the lowest in height) is located at the intersection of Turner Road and Upland Drive, far southwest of the lot. It is integrated with a patio-plaza shared with the CRU building that serves as a public realm and the primary pinpoint into the site. It offers a refuge for pedestrians, residents and workers to enjoy. Furthermore, the idea of having a wider separation between the proposed buildings is an attempt to leave as much as an open area as possible for landscaping and common spaces.

The primary buildings form's main statement is inspired by traditional architecture framed into a contemporary design context and requirements. This is mainly elaborated by elevating height levels, projection and recessing facade elements such as balconies, and incorporating large and imposing pitched roofs and gables facing different directions while defining each building's primary/secondary entry points.

Material & Colour

The facade colour scheme incorporates soft natural colour. Low-maintenance wood sidings are applied with neutral vertical grey siding expressing the building's base and edges, harmonizing it with the parkade's concrete wall finish. The facade is interspersed with the white panel to add distinctness to areas where the highlight/exposure seems required.

Exterior Lighting

The design suggests up-light for the main entrance canopies and down-light for exits, patios and balconies. For the exterior, bollard lighting is proposed along the exterior pathway, and within common spaces and courtyards, recessed wall lighting is suggested in public plazas and around the seating areas.

Key Features

Traditional/new classic high-end apartment, CRU and cafe buildings within the mixed-use neighbourhood. Shared terrace and decks. Common public spaces. Accessible friendly.

Raymond de Beeld, Architect AIBC



May 28, 2021

5730 Turner Road – Development Permit Variance Rationale

Garbage and Landscape Setbacks:

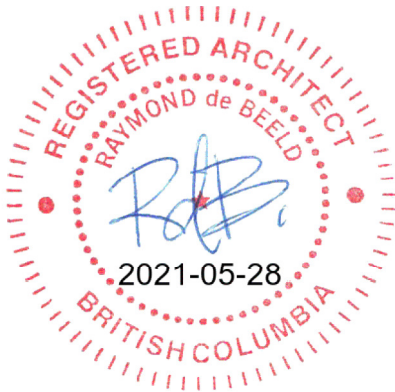
- **Requirement:**
 - Garbage Setback: 3.0m
 - Landscape Buffer: 1.8m
- **Provided:**
 - Garbage enclosure at northwest of the Cafe Building = 0m.
 - Garbage enclosure at northeast along statutory right of way = 1.8m.
 - Landscape Buffer at north edge of the lot = varies 0.0m to 1.8m.
- **Variance:**
 - Garbage enclosure at northwest of the Cafe Building = 3m.
 - Garbage enclosure at northeast along statutory right of way = 1.2m.
 - Landscape Buffer at north edge of the lot = varies 1.8m to 0.0m.
- **Rationale:**
 - All garbage enclosures are located away from adjacent neighbouring buildings and properly screened with landscape wall and roof.
 - Garbage enclosure at northeast is located along the statutory right of way on the same path of neighbouring garbage enclosure; this allows a convenient garbage pick up and easy access to the users, especially for the residential occupants.
 - The garbage enclosure at the northwest of the cafe building located at the back yard of the building. It is hidden from the rest of the development with direct connection to the servicing rooms of the building.
 - The narrowed landscape buffer is necessary to provide an adequate path for handicap accessible pedestrian walkway crossing the site.

Building Height:

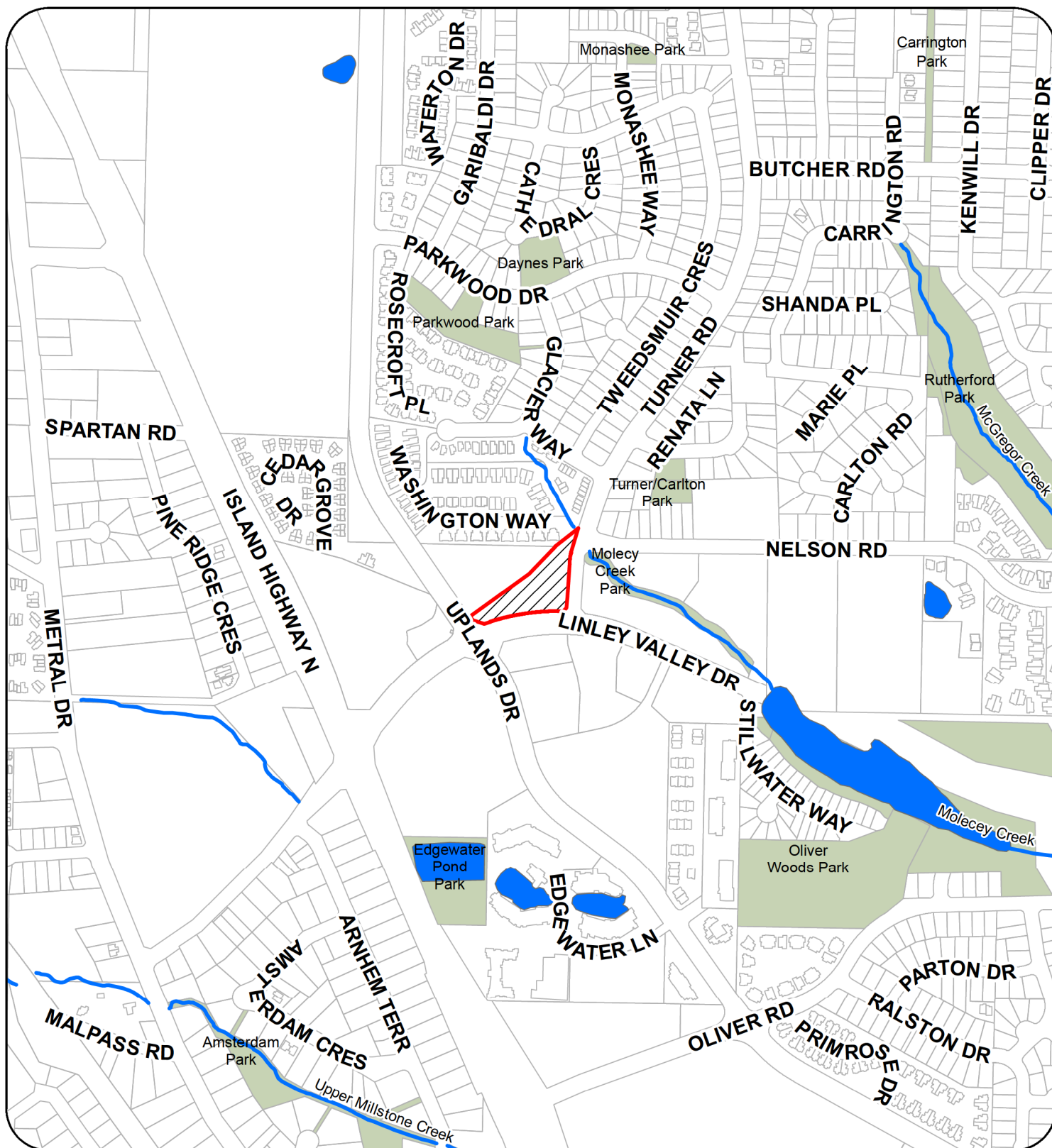
- **Requirement:**
 - 14m from the average finished grade.
 - 18m, if 75% parking is underneath a building.
- **Provided:**
 - 18.96m (5 storeys + parkade) Residential building.
 - 16.30m (3 storeys + parkade) CRU building.
 - 6.82m (1 double-height storey) Cafe Building.

- **Variance:**
 - Residential building = 4.96m.
 - CRU building = 2.30m.
- **Rationale:**
 - The city allows up to a maximum of 18m of building height which can reduce the height variance to 0.96m (and only be required for residential building) if a shared parking method is used. While it is not possible to dedicate 80% of the parking unassigned and keeping the parking in the parkade assigned.
 - The proposed building's heights are measured to the top of the pitched roof's ridge, which primarily serves to form the character of the development. The proposed design of the buildings is an attempt to offer a more traditional presence at the Turner Road rather than a contemporary/ flat roof architecture.
 - The development proposes 3 separate buildings; although the site is sloping up toward Uplands Drive, it was crucial from the design point of view to deliver the hierarchy in height to follow the site's natural grade and avoid a significant amount of cut and fill.
 - The development is proposing 0.88 of density and 29.6% of site coverage, which allows more pedestrian/ public integrated spaces than building coverage.
 - The proposal does not disturb or limit the views from any neighbouring development, and vice versa since most of the development's buildings are sitting adjacent to Turner road. Besides, it leaves a significant buffer between the proposed buildings and the neighbouring developments.

Raymond de Beeld, Architect AIBC

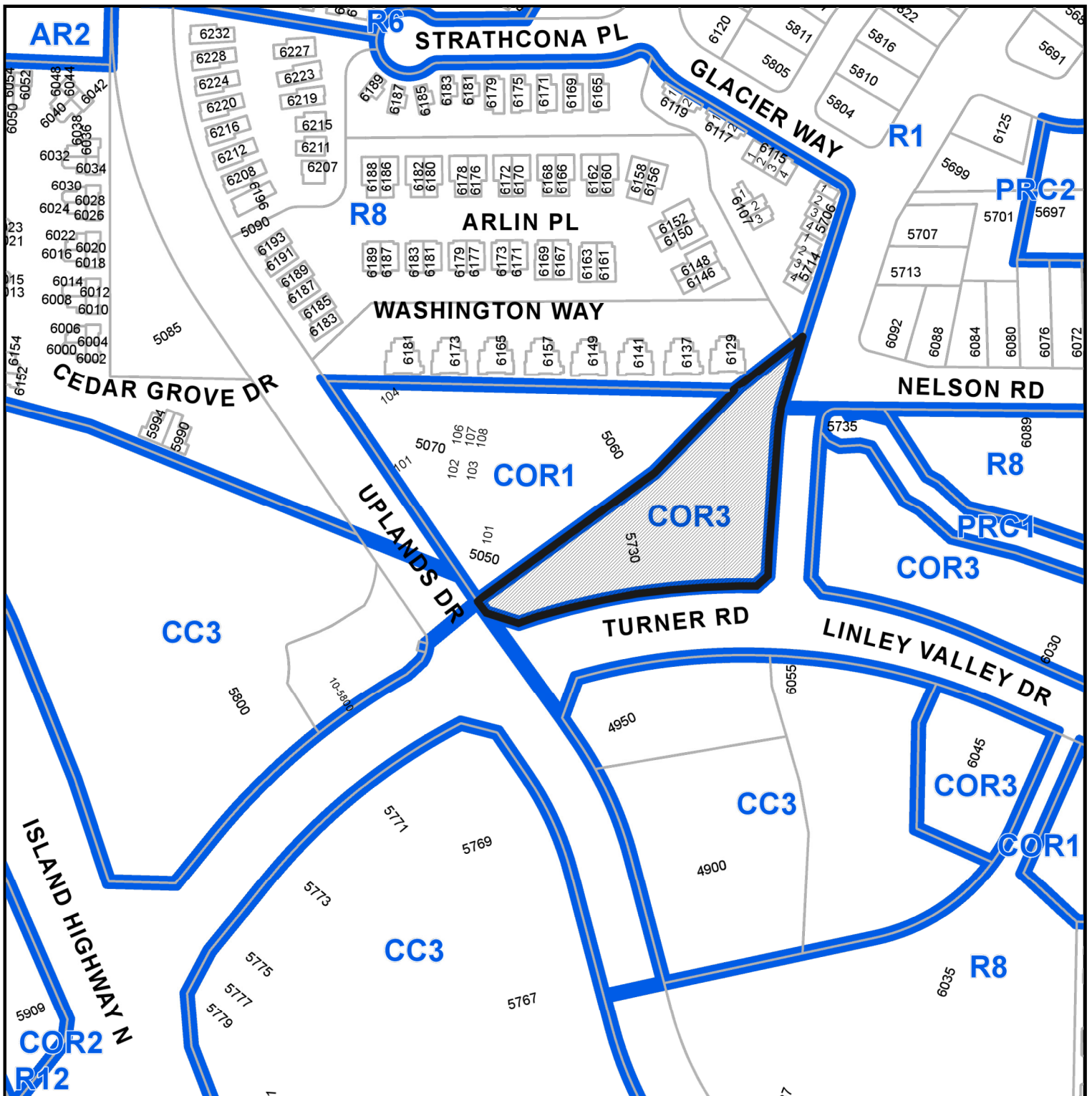


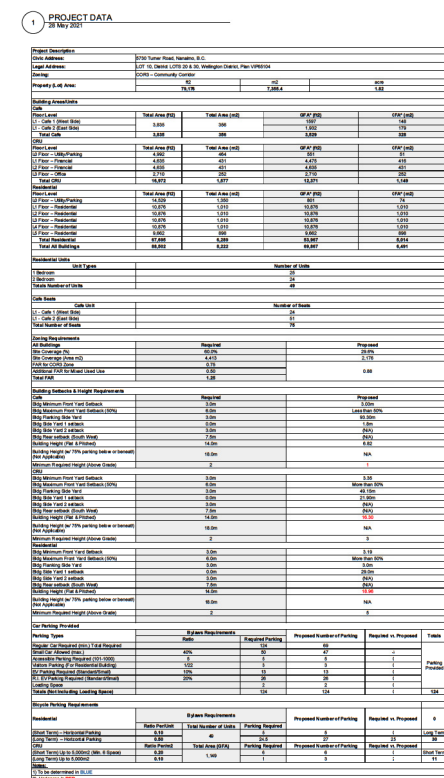
CONTEXT MAP



5730 TURNER ROAD

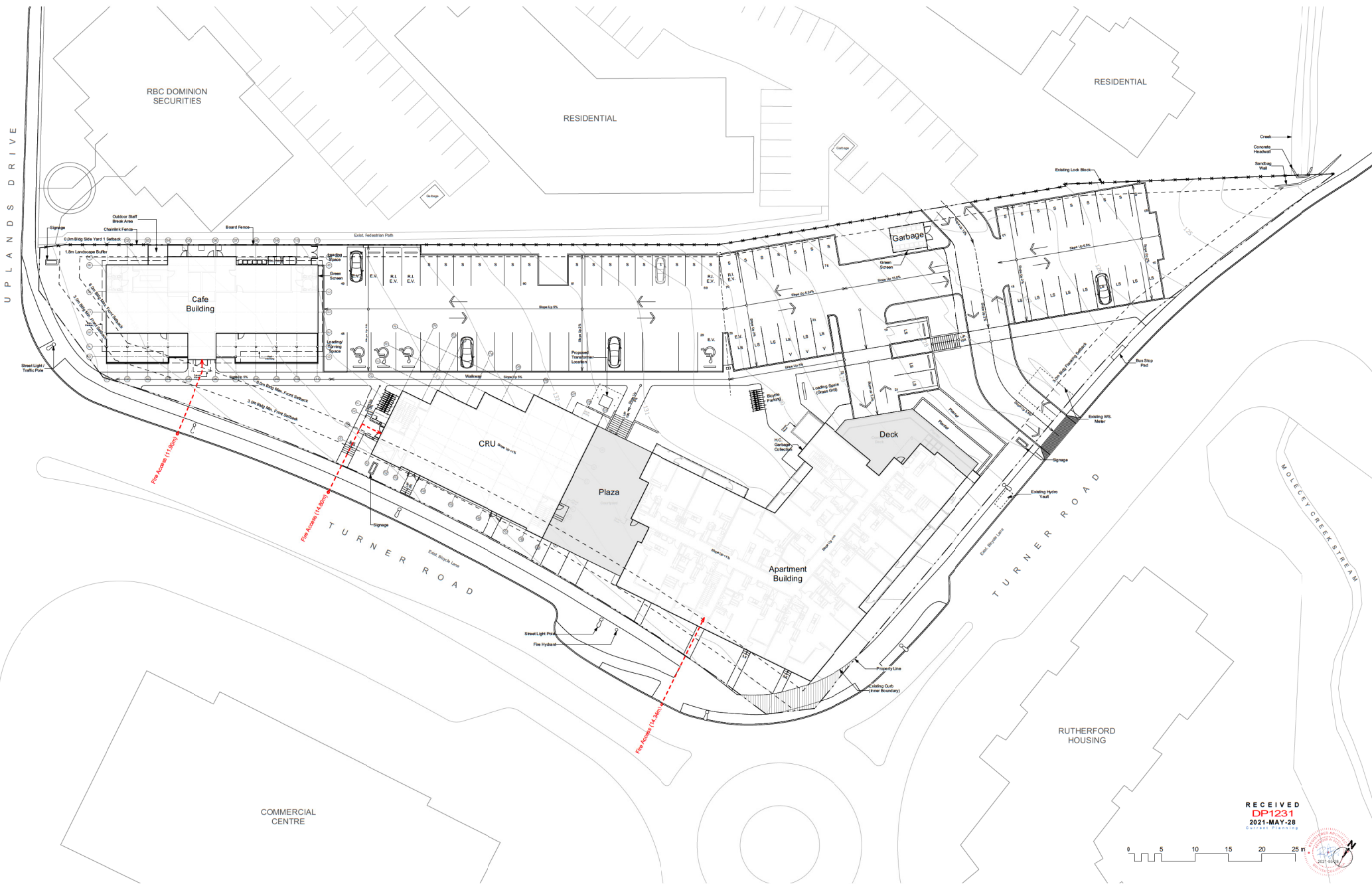
LOCATION PLAN





Project Description						
Civic Address:	5730 Turner Road, Nanaimo, B.C.					
Legal Address:	LOT 10, District LOTS 20 & 30, Wellington District, Plan VIP65104					
Zoning:	COR3 – Community Corridor					
Property (Lot) Area:	ft2	m2	acre			
	79,176	7,355.4	1.82			
Building Areas/Units						
Cafe						
Floor Level	Total Area (ft2)	Total Area (m2)	GFA* (ft2)	GFA* (m2)		
L1 - Cafe 1 (West Side)	3,835	356	1597	148		
L1 - Cafe 2 (East Side)			1,932	179		
Total Cafe	3,835	356	3,529	328		
CRU						
Floor Level	Total Area (ft2)	Total Area (m2)	GFA* (ft2)	GFA* (m2)		
L0 Floor – Utility/Parking	4,992	464	551	51		
L1 Floor – Financial	4,635	431	4,475	416		
L2 Floor – Financial	4,635	431	4,635	431		
L3 Floor – Office	2,710	252	2,710	252		
Total CRU	16,972	1,577	12,371	1,149		
Residential						
Floor Level	Total Area (ft2)	Total Area (m2)	GFA* (ft2)	GFA* (m2)		
L0 Floor – Utility/Parking	14,529	1,350	801	74		
L1 Floor – Residential	10,876	1,010	10,876	1,010		
L2 Floor – Residential	10,876	1,010	10,876	1,010		
L3 Floor – Residential	10,876	1,010	10,876	1,010		
L4 Floor – Residential	10,876	1,010	10,876	1,010		
L5 Floor – Residential	9,662	898	9,662	898		
Total Residential	67,695	6,289	53,967	5,014		
Total All Buildings	88,502	8,222	69,867	6,491		
Residential Units						
Unit Types	Number of Units					
1 Bedroom	25					
2 Bedroom	24					
Totals Number of Units	49					
Cafe Seats						
Cafe Unit	Number of Seats					
L1 - Cafe 1 (West Side)	24					
L1 - Cafe 2 (East Side)	51					
Total Number of Seats	75					
Zoning Requirements						
All Buildings	Required	Proposed				
Site Coverage (%)	60.0%	29.6%				
Site Coverage (Area m2)	4,413	2,176				
FAR for COR3 Zone	0.75	0.88				
Additional FAR for Mixed Used Use	0.50					
Total FAR	1.25					
Building Setbacks & Height Requirements						
Cafe	Required	Proposed				
Bldg Minimum Front Yard Setback	3.0m	3.03m				
Bldg Maximum Front Yard Setback (50%)	6.0m	Less than 50%				
Bldg Flanking Side Yard	3.0m	93.30m				
Bldg Side Yard 1 setback	0.0m	1.8m				
Bldg Side Yard 2 setback	3.0m	(N/A)				
Bldg Rear setback (South West)	7.5m	(N/A)				
Building Height (Flat & Pitched)	14.0m	6.82				
Building Height (w/ 75% parking below or beneath) (Not Applicable)	18.0m	N/A				
Minimum Required Height (Above Grade)	2	1				
CRU						
Bldg Minimum Front Yard Setback	3.0m	3.35				
Bldg Maximum Front Yard Setback (50%)	6.0m	More than 50%				
Bldg Flanking Side Yard	3.0m	49.15m				
Bldg Side Yard 1 setback	0.0m	21.90m				
Bldg Side Yard 2 setback	3.0m	(N/A)				
Bldg Rear setback (South West)	7.5m	(N/A)				
Building Height (Flat & Pitched)	14.0m	16.30				
Building Height (w/ 75% parking below or beneath) (Not Applicable)	18.0m	N/A				
Minimum Required Height (Above Grade)	2	3				
Residential						
Bldg Minimum Front Yard Setback	3.0m	3.19				
Bldg Maximum Front Yard Setback (50%)	6.0m	More than 50%				
Bldg Flanking Side Yard	3.0m	3.0m				
Bldg Side Yard 1 setback	0.0m	29.0m				
Bldg Side Yard 2 setback	3.0m	(N/A)				
Bldg Rear setback (South West)	7.5m	(N/A)				
Building Height (Flat & Pitched)	14.0m	18.96				
Building Height (w/ 75% parking below or beneath) (Not Applicable)	18.0m	N/A				
Minimum Required Height (Above Grade)	2	5				
Car Parking Provided						
Parking Types	Bylaws Requirements		Proposed Number of Parking	Required vs. Proposed	Totals	
	Ratio	Required Parking				
Regular Car Required (min.) Total Required		124	69		Parking Provided	
Small Car Allowed (max.)	40%	50	47	-3		
Accessible Parking Required (101-1000)	5	5	5	0		
Visitors Parking (For Residential Building)	1/22	3	3	0		
EV Parking Required (Standard/Small)	10%	13	13	0		
R.I. EV Parking Required (Standard/Small)	20%	26	26	0		
Loading Space		2	2	0		
Totals (Not including Loading Space)		124	124	0	124	
Bicycle Parking Requirements						
Residential	Bylaws Requirements			Proposed Number of Parking	Required vs. Proposed	0
	Ratio Per/Unit	Total Number of Units	Parking Required			
(Short Term) – Horizontal Parking	0.10	49	5	5	0	Long Term
(Long Term) – Horizontal Parking	0.50		24.5	27	2.5	30
CRU	Ratio Per/m2	Total Area (GFA)	Parking Required	Proposed Number of Parking	Required vs. Proposed	
(Short Term) Up to 5,000m2 (Min. 6 Space)	0.20	1,149	6	6	0	Short Term
(Long Term) Up to 5,000m2	0.10		1	3	2	11
Notes:						
1) To be determined in BLUE						
2) Variances in RED						









Looking at the intersection of Turner Road with Upland Drive at Far west corner



Looking from the roundabout at east toward Upland Drive intersection at the west



Looking along Turner Road (east edge) to north toward the roundabout



Looking from Uplands Drive intersection toward east



Looking at the roundabout at Turner Road and Linley Valley Drive intersection



Molecey Creek at the top north corner



Looking along Turner Road (south edge) toward roundabout at the east



Looking from the Roundabout to north along Turner Road East



Pedestrian dirt path crossing the site



1 CONSULTANTS LIST

Owner: Harris Quarter Holdings 2525 Bowen Road Nanaimo, B.C. V9T 3L2 Tony Harris Email: tony@tonyharris.com zak@tonyharris.com	Architect (GRP): Raymond de Beeld Architect Inc. 755 Terminal Ave. N Nanaimo, B.C. V9S 4K1 Raymond de Beeld Tel: 250-564-2108 Fax: 250-564-2118 Cell: 250-729-1349 Email: raymond@rdbarchitect.ca Ataur Rahman Email: ataur@rdbarchitect.ca	Surveyor: Williamson & Associates Professional Surveyors 3088 Barons Road Nanaimo BC V9T 4B5 Brian Henning Tel: 250-756-7723 brian@wbcs.ca	Civil: Herold Engineering Ltd. 3701 Shanton Rd Nanaimo, BC V9T 2H1 George Habowysh Tel: 250-751-8558 Email: G.Habowysh@heroldengineering.com Scott Jensen Email: S.Jensen@heroldengineering.com	Geotechnical: Leskewich Engineering Associates Ltd. 1900 Bowwood Road Nanaimo, B.C. V9S 5Y2 Steven Stacey Tel: 250-756-0355 Email: stacey@lekowich.com	Landscape: Kate Stefuk Studio 1070 Nelson Street, Nanaimo, B.C. V9S 2K2 Kate Stefuk Tel: 250-753-8093 kate.stefuk@krsdpdesign.ca
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2 DRAWING LIST

Drawing No.	Description	
A0.0	Cover Sheet, Consultants	A1.3
A0.1	Context, Project Data	A1.4
A0.2	Streetscape	A1.5
A0.3	Perspectives 01	A1.6
A0.4	Perspectives 02	A1.7
A0.5	Perspectives 03	A1.8
A0.6	Perspectives 04	A6.1
A1.1	Site Layout - Building & Tree Plan	A6.2
A1.2	Site Layout - Fire Access	A6.3
		A1.3
		A1.4
		A1.5
		A1.6
		A1.7
		A1.8
		A6.1
		A6.2
		A6.3

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1 NE ELEVATION
Scale: N.T.S.



2 NORTH ELEVATION
Scale: N.T.S.



3 APARTMENT BUILDING N ELEVATION
Scale: N.T.S.



4 APARTMENT BUILDING PLAZA
Scale: N.T.S.

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1 APARTMENT BUILDING PLAZA
Scale: N.T.S.



2 WEST ELEVATION
Scale: N.T.S.



3 OFFICE BUILDING WEST ELEVATION
Scale: N.T.S.



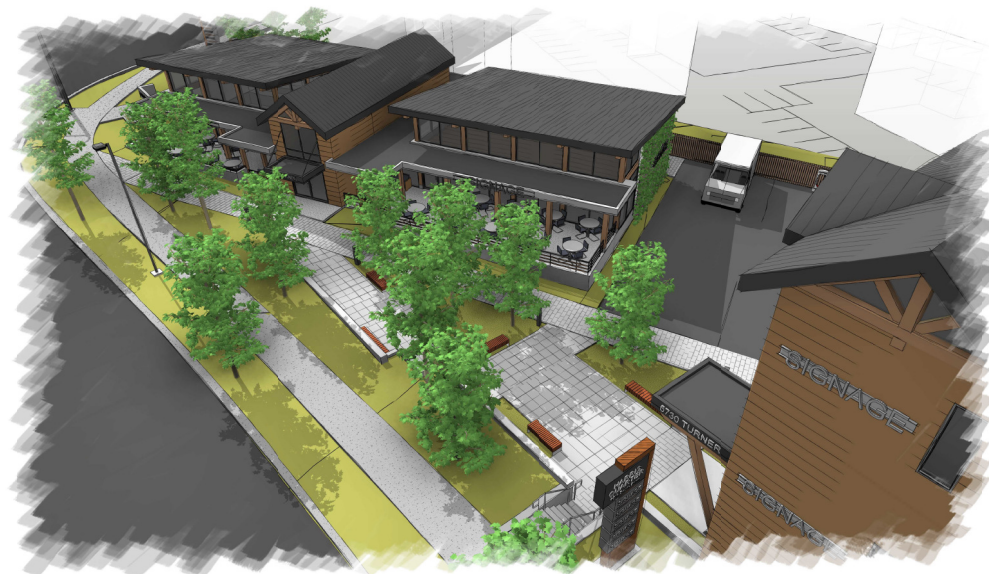
4 CAFE BUILDING SW ELEVATION
Scale: N.T.S.



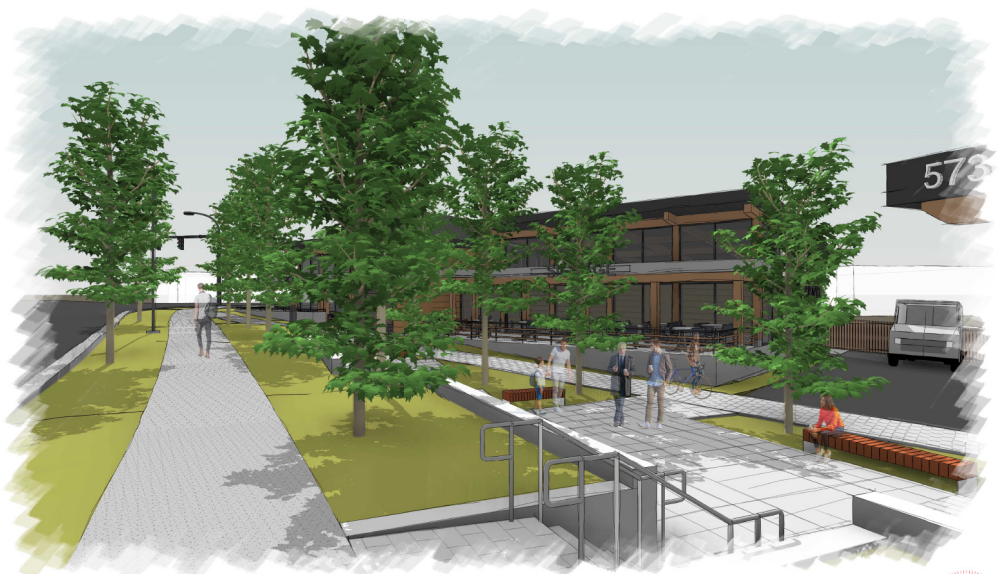
1 CAFE BUILDING W ELEVATION
Scale: N.T.S.



2 CAFE BUILDING PLAZA W
Scale: N.T.S.



3 CAFE BUILDING PLAZA S
Scale: N.T.S.



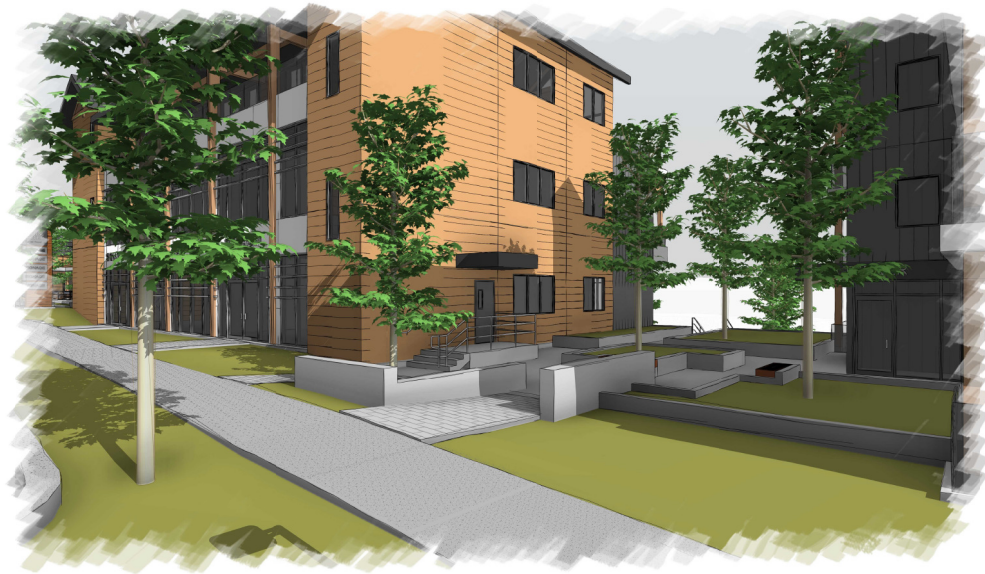
4 PATIO VIEW
Scale: N.T.S.



1 OFFICE BUILDING SOUTH STREET
Scale: N.T.S.



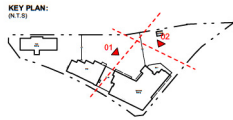
2 COMMON PLAZA SW
Scale: N.T.S.



3 COMMON PLAZA SE
Scale: N.T.S.



4 STREET SE ELEVATION
Scale: N.T.S.



MATERIAL LEGEND:

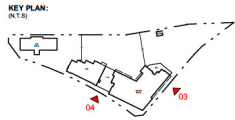
- FP1 Fiber Cement Panel (White)
- WD1 Fiber Cement Lap Siding (Wooden Grain Texture & Colour)
- WD2 Fiber Cement Vertical Siding (Iron Grey Matt Finish)
- WD3 Timber Wood Frame/Column/Beam
- CN1 Exposed Architectural Concrete
- RF1 Roofing Shingles (Cloud Grey)
- G1 Clear Glazing (Tinted Grey)
- GR1 Side Mounted Aluminum & Glass Guardrail
- VW1 Vinyl Windows & Door Frame (Dark Grey)
- MT1 Prefinished Metal Faccia (Charcoal)
- MT2 Prefinished Metal Faccia (White)
- SC1 Privacy Metal Screen (Charcoal)



1 Elevation - 01
Scale: 3/32" = 1'-0"



2 Elevation - 02
Scale: 3/32" = 1'-0"



MATERIAL LEGEND:

- FP1 Fiber Cement Panel (White)
- WD1 Fiber Cement Lap Siding (Wooden Grain Texture & Colour)
- WD2 Fiber Cement Vertical Siding (Iron Grey Matt Finish)
- WD3 Timber Wood Frame/Column/Beam
- CN1 Exposed Architectural Concrete
- RF1 Roofing Shingles (Cloud Grey)
- G1 Clear Glazing (Tinted Grey)
- GR1 Side Mounted Aluminum & Glass Guardrail
- VW1 Vinyl Windows & Door Frame (Dark Grey)
- MT1 Prefinished Metal Fascia (Charcoal)
- MT2 Prefinished Metal Fascia (White)
- SC1 Privacy Metal Screens (Charcoal)



1 Elevation - 03
Scale: 3/32" = 1'-0"



2 Elevation - 04
Scale: 3/32" = 1'-0"



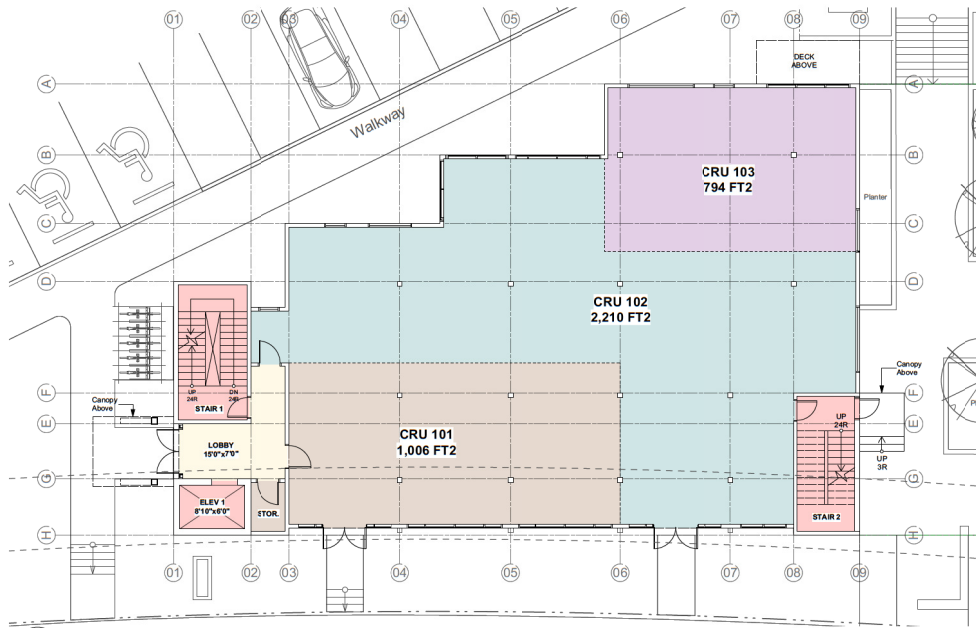
1 Residential - L1 Layout
Scale: 1/8" = 1'-0"

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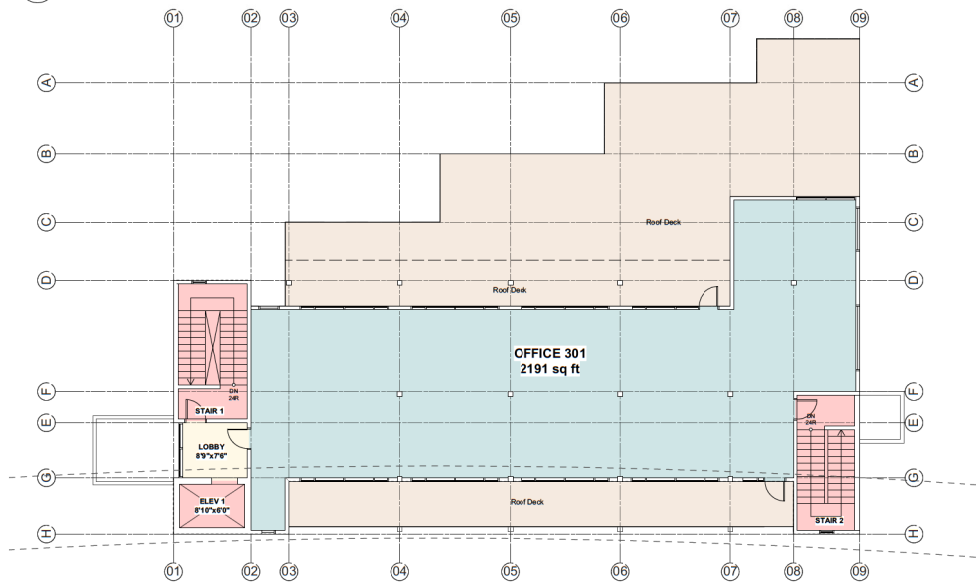




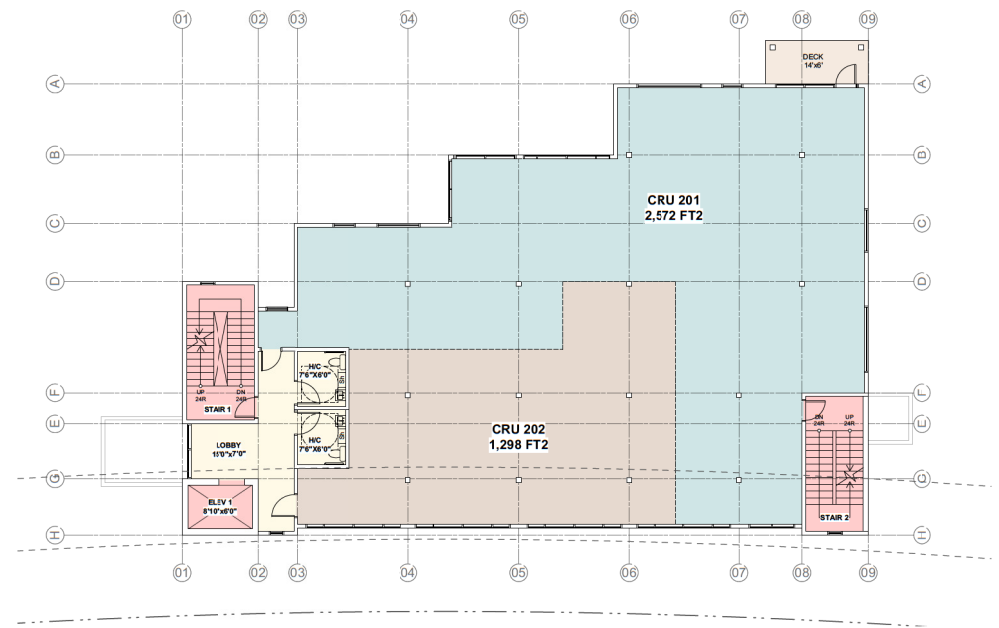




1 CRU - L1 Layout
Scale: 1/8" = 1'-0"



3 CRU - L3 Layout
Scale: 1/8" = 1'-0"

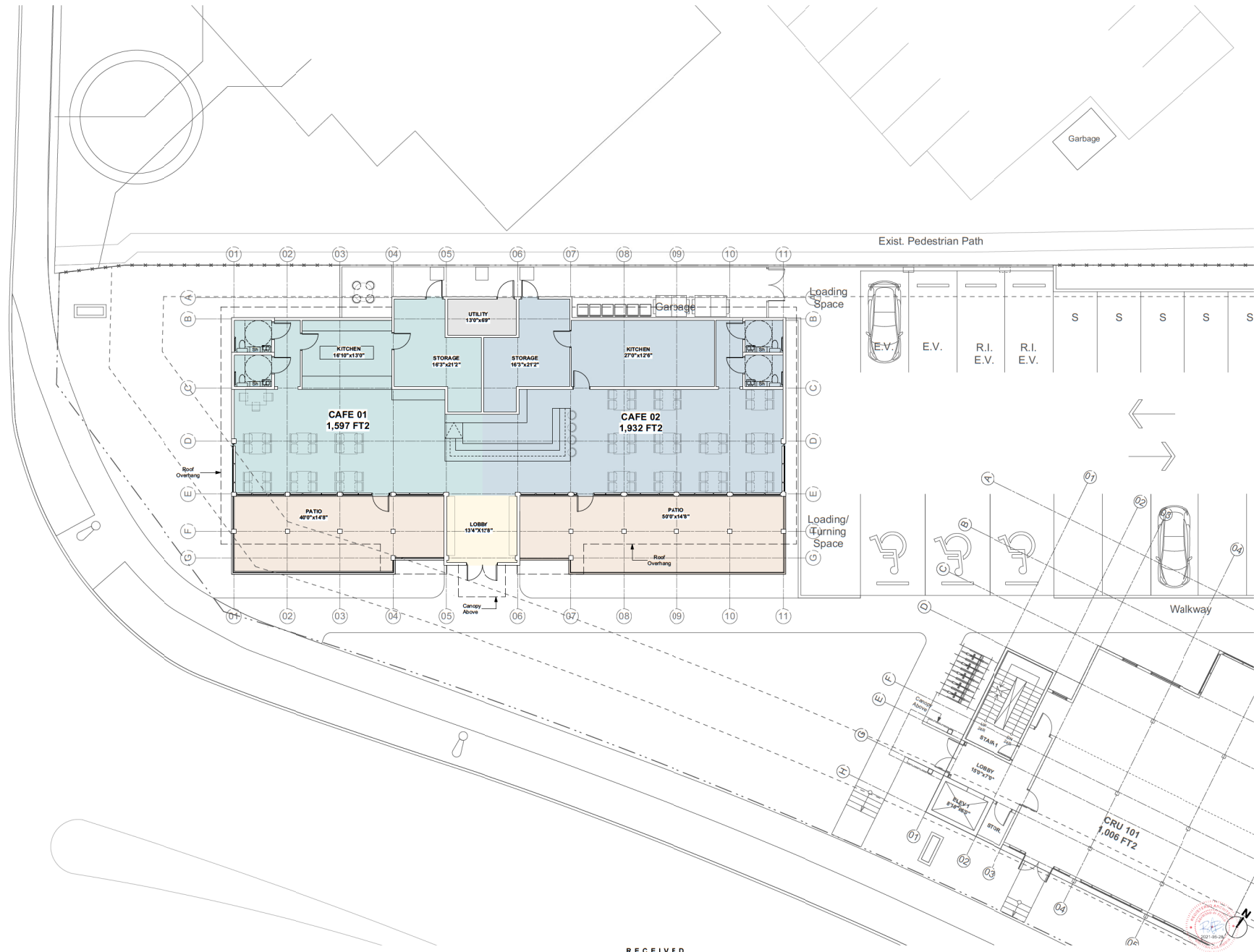


2 CRU - L2 Layout
Scale: 1/8" = 1'-0"

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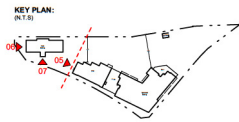


U P L A N D S D R I



1 Restaurant - L1 Layout
Scale: 1/8" = 1'-0"



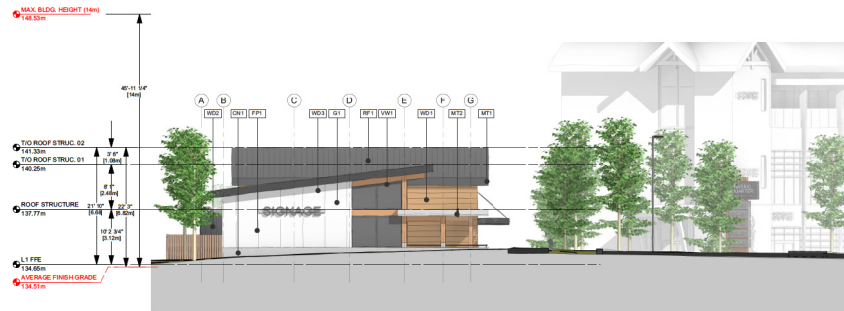


MATERIAL LEGEND:

- FP1 Fiber Cement Panel (White)
- WD1 Fiber Cement Lap Siding (Wooden Grain Texture & Colour)
- WD2 Fiber Cement Vertical Siding (Iron Grey Matt Finish)
- WD3 Timber Wood Frame/Column/Beam
- CN1 Exposed Architectural Concrete
- RF1 Roofing Shingles (Cloud Grey)
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- GR1 Side Mounted Aluminum & Glass Guardrail
- VW1 Vinyl Windows & Door Frame (Dark Grey)
- MT1 Prefinished Metal Fascia (Charcoal)
- MT2 Prefinished Metal Fascia (White)
- SC1 Privacy Metal Screen (Charcoal)



1 Elevation - 05
Scale: 3/32" = 1'-0"



2 Elevation - 06
Scale: 3/32" = 1'-0"



3 Elevation - 07
Scale: 3/32" = 1'-0"

TURNER ROAD MIXED-USE

5730 TURNER ROAD
Nanaimo, BC

Landscape Architectural Drawings Issued for Development Permit

LANDSCAPE SHEETS

L0.00	Cover
L1.01	Design Rationale
L1.02	Landscape Plan
L1.03	Landscape Plan Rooftop Patios
L1.04	Landscape Sections
L1.05	Landscape Plants + Materials
L2.01	Tree Management Plan
L2.02	Tree Management Details

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DESIGN PRECEDENTS

PLANTINGS



01 Streetscape edge, layered plantings (trees, shrubs, perennials) with landscape wall



02 Plantings integrated with paving



03 Evergreen indigenous groundcovers form base for plantings & landscape design



04 Lush planted swale with pedestrian bridge crossings

HARDSCAPE



05 Stone landscape feature walls for retaining & sitting



06 Large concrete unit pavers as pathway



07 Large rectangular unit paver for featured landscape spaces



08 Medium rectangular unit paver for walkway

BENCHES + SITE FURNITURE



09 Platform bench



10 Large timber benches



11 Platform bench



12 Benches with planting & paving

LIGHTING + LANDSCAPE FEATURES



13 Bollard lighting along walkway and within Commons & Courtyard spaces



14 Recessed wall lighting



15 Green screen walls



16 Rainwater feature in courtyard

DESIGN RATIONALE

CONTEXT

Harris Quarters, at 5730 Turner Road, is situated in a transitional landscape. In the urban context, the site lies between a vibrant City Commercial Centre to the west that includes Longwood Station, and quieter residential neighbourhoods to the north and east. The design responds to this pattern with a mix of public patios and open spaces at the western, more commercial portion of the site, transitioning to a more private courtyard and garden setting that provides a backyard to the rental apartments. A walkway oriented on the long axis of the parcel unifies spaces across the site.

Ecologically, an exposed high point near the intersection of Turner Road and Uplands Drive is reminiscent of the dry rocky outcroppings with arbutus that are characteristic of the rainshadow environment. A 13m elevation change from the southwest to the northeast creates a natural transition from that high point through fragments of Douglas fir – salal forest to lower lying cedar and alder dominated riparian landscapes adjacent to Molecey Creek.

Positioned on a natural height of land, this new mixed-use community will enjoy expansive views northeast through a shallow valley to the ocean, and southwest over Longwood Station to Mount Benson.

DESIGN CONCEPT
URBAN RAINSHADOW SCENARIO

The landscape design deliberately accentuates, amplifies and distorts the character and diversity of specific rainshadow ecosystems to create strong visual character and identity for the project, to delineate distinct spaces within the development, and to unify the site as a whole.

The planting palette relies on indigenous species layered with appropriate complementary ornamentals assembled together to replicate local natural systems within an urban environment.

Materials, including wood benches, stone walls and paving stones evoke the warmth, colours and textures found in the rainshadow, but are designed with clean, contemporary sophistication and creative flair.

Green infrastructure, necessary to manage rainwater on site, provides an ecological armature for the parcel. A bioswale, linking architecture, infrastructure and landscape, is designed to further emphasize the cyclical summer drought/ winter rain pattern that dictates so much of what thrives in the rainshadow.

DESIGN ELEMENTS

- 1 Commons**
The Commons offers a shared urban patio-plaza for the office building and café to spill into the public realm. As the main entry into the site, the Commons is open and energetic, but also offers a refuge for pedestrians, residents and workers to sit and enjoy a coffee or a bite to eat. Furnished with a mix of benches and platforms to accommodate all ages and allow for playful activities, the Commons is nestled into a space inspired by the high and dry arbutus-shore pine ecosystem.
- 2 Courtyard**
The Courtyard is the space created between the office and residential building, connecting the street front on Turner Road to the more private Garden space serving residents. Vegetated edges surrounding and penetrating the Courtyard allow for a creative treatment of rainwater feeding into the bioswale, and create spaces to support the emergence of a novel urban environment inspired by the Douglas fir-salal ecosystem that dominates the rainshadow.
- 3 Garden**
The Garden is a more private landscape designed to serve as a backyard for the residents of the residential apartments. The Garden provides a walking path within a shade garden and an lawn for open-ended play, picnicking and gathering with friends. It is welcoming to passers-by, but uses trees to create enclosure hinting at its semi-private nature.
- 4 Rooftops**
Rooftop patios for the office and residential buildings provide a shared private space for residents and workers. Offering expansive views out to the ocean and up to Mt. Benson, the Rooftops heighten the perception of one's position in Nanaimo. With privacy and ample exposure to sunlight, the Rooftops provide an ideal space to grow garden herbs and vegetables, and for communal eating and socializing.

- 5 Walkway**
A bold Walkway bisects the project along the southwest-northeast axis. The Walkway provides a pedestrian oriented spine that unifies the site, and creates a visual connection to the Commercial City Centre and neighbourhoods beyond the parcel. The Walkway also serves as a clear division between the parking and vehicle dominated areas and the open spaces dedicated to people.
- 6 Bioswale**
To manage rainwater on site, a bioswale captures and slows runoff from rooftops and impermeable areas. In addition to this practical function, the bioswale provides an ecological framework for the site, linking distinct spaces and novel urban ecosystems with water flowing through green infrastructure.
- 7 Restoration**
At the northeast limit of the parcel, a Restoration area provides a buffer between the development and the channelized portion of Molecey Creek. This area will be treated as an ecological infill site, with healthy trees protected to the extent possible, and dense plantings of replacement trees and understory plants inspired by the Western redcedar-foamflower site association that characterizes riparian areas in the rainshadow.

DESIGN ELEMENTS KEY PLAN



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1	04-13-21	DP SUBMISSION
2	05-28-21	DP REVISIONS

PROJECT
TURNER ROAD MIXED-USE
5730 Turner Road
Nanaimo, BC

PROJECT 2008
DB KS **CB** KS
SCALE 1:250
DATE JAN 24, 2021

DESIGN RATIONALE

L1.01



LANDSCAPE PLAN
SCALE 1:250

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NO.	DATE	ISSUE
1	04-13-21	DP SUBMISSION
2	05-28-21	DP REVISIONS

PROJECT
TURNER ROAD MIXED-USE
5730 Turner Road
Nanaimo, BC

PROJECT 2008
DB KS **CB** KS
SCALE 1:250
DATE FEB 08, 2021

LANDSCAPE PLAN

L1.02



DESIGN PRECEDENTS

ROOFTOP FEATURES



17 Movable planters



18 Communal table



19 Tables & chairs, concrete pavers, planters



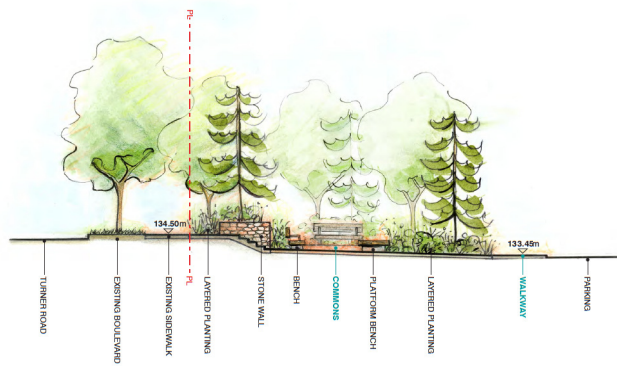
20 Lush plantings of flowers, herbs, and food producing plants

ROOFTOP PATIOS

SCALE 1:250

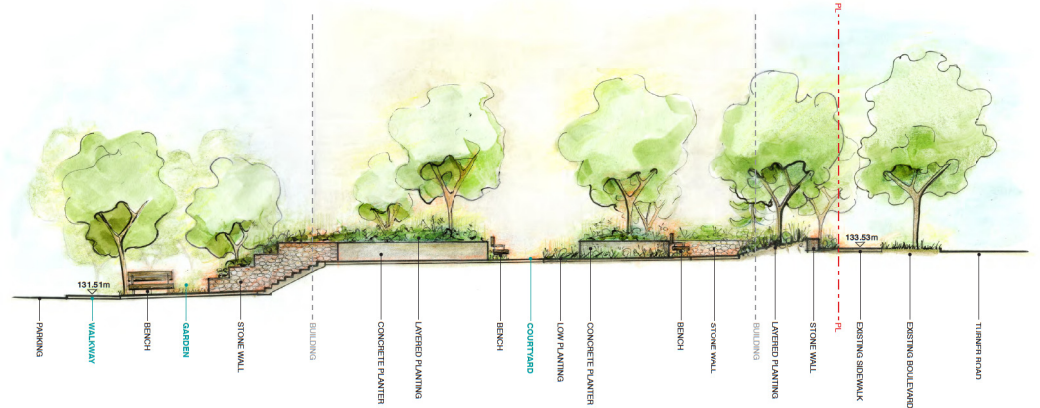
- A** ROOFTOP PATIO 02
(5th floor of residential building, northern views out to the Salish Sea and Coast Mountains, planters, communal table, concrete pavers)
- B** ROOFTOP PATIO 03
(5th floor of building, sunny, southwestern views to Mt. Benson & northern views to Salish Sea and Coast Mountains, planters, benches, small table & chairs, concrete pavers)
- C** ROOFTOP PATIO 04
(2nd floor of CRU building, northern views to Salish Sea & Coast Mountains, planters, communal table, small table & chairs, benches, concrete pavers)
- D** ROOFTOP PATIO 05
(2nd floor of CRU building, sunny, southwestern views to Mt. Benson)

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A SECTION / ELEVATION

SCALE 1:100



B SECTION / ELEVATION

SCALE 1:100

SECTION KEY PLAN



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2021-MAY-28
Landscape Planning

NO.	DATE	ISSUE
1	04-13-21	DP SUBMISSION
2	05-28-21	DP REVISIONS

PROJECT
TURNER ROAD MIXED-USE
5730 Turner Road
Nanaimo, BC

LANDSCAPE SECTIONS

PROJECT 20008
DB KS **CB** KS
SCALE 1:100
DATE FEB 08, 2021

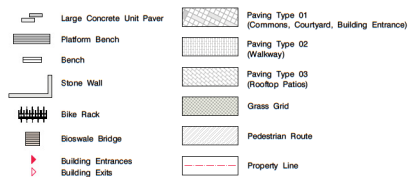
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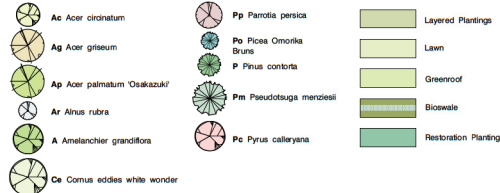
PLANTS + MATERIALS

SCALE 1:250

LANDSCAPE + MATERIALS LEGEND



PLANT LEGEND



PLANT PALETTE

Key	Qty	Botanical Name	Common Name
Deciduous Trees			
Ac	15	Acer circinnatum	Vine Maple
Ag	9	Acer griseum	Paper Bark Maple
Ap	12	Acer palmatum 'Osakazuki'	Green Japanese Maple
Ar	6	Alnus rubra	Red Alder
A	10	Amelanchier grandiflora Autumn Brilliance	Saskatoon Berry
Ce	12	Cornus edulis white wonder	Eddies White Wonder
Po	20	Parrotia persica 'Vanessa'	Persian Hornwood
Pc	14	Pyrus calleryana	Calleryana Pear
Coniferous Trees			
Po	31	Picea Omorika Bruns	Serbian Spruce
P	7	Pinus contorta var. contorta	Shore Pine
Pm	10	Pseudotsuga menziesii	Douglas Fir
Evergreen Shrubs			
Au	TBD	Arbutus unedo	Strawberry Bush
Os	TBD	Gaultheria shallon	Salt
Mh	TBD	Malva nivalis	Dull Oregon Grape
Mc	TBD	Monarda mollis	Pacific Vase Myrtle
Rh	TBD	Rhododendron 'Gladier'	Evergreen Azalea
Vo	TBD	Vaccinium ovatum	Evergreen Huckleberry
Deciduous Shrubs			
Cs	TBD	Comus sericea	Red Twig Dogwood
Cc	TBD	Cotinus coggygria 'Royal Purple'	Purple Smoke Bush
Ra	TBD	Ribes sanguineum	Red Flowering Currant
V	TBD	Vaccinium	Blueberry
Groundcovers			
Ac	TBD	Adiantum triphyllum	Vanilla Leaf
Au	TBD	Arctostaphylos uva-ursi	Kinnikinnick
Am	TBD	Amaranthus maritimus	Sea Thrift
Es	TBD	Eriogonum fasciculatum	Coastal Strawberry
Fc	TBD	Fragaria chiloensis	Woodland Strawberry
Fv	TBD	Fragaria vesca	Strawberry
Sa	TBD	Sedum rupestris 'Angelina'	Stonecrop
To	TBD	Trillium ovatum	Western Trillium
Bioswale			
Co	TBD	Carex obovata	Slough Sedge
ie	TBD	Iris ensata	Japanese Iris
Je	TBD	Juncus effusus	Common Rush
Sm	TBD	Scirpus microcarpus	Small Flowered Bulrush
Ferns, Grasses, Perennials			
OK	TBD	Calamagrostis Karl Forester	Feather Reed Grass
Dc	TBD	Dioscorea cespitosa	Tufted Hellebore
DF	TBD	Dicentra formosa	Pacific Bleeding Heart
Dp	TBD	Dodecatheon pulchellum	Shootingstar
De	TBD	Dryopteris erythrosora	Autumn Fern
Bl	TBD	Eriophyllum lanatum	Woody Sunflower
Ln	TBD	Luzula nivea	Snowy Woodrush
My	TBD	Miscanthus yaku jima	Dwarf Maiden Grass
Pa	TBD	Panicum capillare 'Hamel'	Deer Fountain Grass
Pg	TBD	Polygodium glycyrrhiza	Licorice Fern
Pm	TBD	Polygodium multiflorum	Sword Fern
Sn	TBD	Salvia nemorosa 'Caradonna'	Purple Wood Sage
S	TBD	Sedum Autumn Fire	Sedum
Tg	TBD	Tellima grandiflora	Fringedop
Tl	TBD	Trientalis latifolia	Western Starflower
Vines			
Ca	TBD	Clematis amandii 'Snowdrift'	Evergreen Clematis
Lc	TBD	Lonicera alcea	Orange Honeyuckle
Bulbs			
Ag	TBD	Allium 'Globemaster'	Ornamental Onion
Cq	TBD	Camassia quamash	Camass

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TREE MANAGEMENT PLAN LEGEND

- | | | |
|---------------------------|-----------------------------|--|
| # | # | The number key correlates to the Tree Inventory Table, indicating species and diameter at breast height (DBH).
Large circles indicate surveyed trees (DBH > 0.3 m).
Small circles indicate unsurveyed trees (DBH < 0.3 m). |
| Surveyed
(DBH > 0.3 m) | Unsurveyed
(DBH < 0.3 m) | |
| | | Pseudotsuga menziesii (Douglas fir) |
| | | Pseudotsuga menziesii (Douglas fir) (0.10 - 0.7 m DBH) |
| | | Alnus rubra (Red alder) (0.10 - 0.40 m DBH)
All surveyed specimens are Landmark Trees (0.3 - 0.4 DBH) |
| | | Arbutus menziesii (Arbutus) (0.10 - 0.40 m DBH) |
| | | Thuja plicata (Western redcedar) (0.1 - 0.7 m DBH) |
| | | Unidentified multistemmed deciduous tree (0.15 DBH) |
| | | Tree Protection Fencing
(See sheet L2.02, detail 1) |

Refer to **Landscape Plants & Materials Sheet L1.05** for Plant Palette and Tree Replacement locations.

Refer to **Tree Management Details Sheet L2.02** for Tree Inventory list, Tree Replacement list, and Tree Protection Fence.

Refer to **Landscape Plants & Materials Sheet L1.05** for Plant Palette and Tree Replacement locations.

Refer to **Tree Management Plan Sheet L2.01** for Existing Tree locations and Tree Protection Fencing location.

TREE INVENTORY

SIGNIFICANT TREES TO BE REMOVED

KEY	QTY	BOTANICAL NAME	COMMON NAME	DBH	NOTES
1	(1)	Pseudotsuga menziesii	Douglas Fir	1.0	Landmark
2	(1)	Pseudotsuga menziesii	Douglas Fir	0.8	Landmark
3	(2)	Alnus rubra	Red Alder	0.4	Landmark
4	(2)	Alnus rubra	Red Alder	0.3	Landmark

TREES TO BE REMOVED

KEY	QTY	BOTANICAL NAME	COMMON NAME	DBH	NOTES
5	(1)	Arbutus menziesii	Arbutus	0.4	
6	(2)	Arbutus menziesii	Arbutus	0.3	
7	(1)	Arbutus menziesii	Arbutus	0.2	Unsurveyed
8	(9)	Arbutus menziesii	Arbutus	0.15	Unsurveyed
9	(1)	Pseudotsuga menziesii	Douglas Fir	0.7	
10	(6)	Pseudotsuga menziesii	Douglas Fir	0.6	
11	(18)	Pseudotsuga menziesii	Douglas Fir	0.5	
12	(13)	Pseudotsuga menziesii	Douglas Fir	0.4	
13	(1)	Pseudotsuga menziesii	Douglas Fir	0.3	
14	(14)	Pseudotsuga menziesii	Douglas Fir	0.2	Unsurveyed
15	(28)	Pseudotsuga menziesii	Douglas Fir	0.15	Unsurveyed
16	(7)	Alnus rubra	Red Alder	0.2	Unsurveyed
17	(28)	Alnus rubra	Red Alder	0.15	Unsurveyed
18	(1)	Thuja plicata	Western redcedar	0.7	
19	(3)	Thuja plicata	Western redcedar	0.6	
20	(4)	Thuja plicata	Western redcedar	0.5	
21	(6)	Thuja plicata	Western redcedar	0.4	
22	(1)	Thuja plicata	Western redcedar	0.3	
23	(5)	Thuja plicata	Western redcedar	0.2	Unsurveyed
24	(12)	Thuja plicata	Western redcedar	0.15	Unsurveyed
25	(5)	Unknown	Multi-Stemmed Deciduous	0.15	Unsurveyed

TOTAL NUMBER OF TREES TO BE REMOVED: 156

TREES TO BE RETAINED

KEY	QTY	BOTANICAL NAME	COMMON NAME	DBH	NOTES
26	(1)	Arbutus menziesii	Arbutus	0.3	
27	(5)	Pseudotsuga menziesii	Douglas Fir	0.15-0.7	
28	(5)	Alnus rubra	Red Alder	0.15-0.2	
29	(6)	Thuja plicata	Western redcedar	0.15-0.3	

TREE REPLACEMENTS

TREES TO BE PLANTED ON SITE

DECIDUOUS TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN HT. (m)	NOTES
Ac	(15)	Acer glabrum	Vine Maple		
Ag	(9)	Acer griseum	Paper Bark Maple		
Ap	(12)	Acer palmatum 'Osakazuki'	Green Japanese Maple		
Ar	(6)	Alnus rubra	Red Alder	1.5	All Landmark Replacement Trees
A	(10)	Amelanchier grandiflora	Saskatoon Berry		
		Autumn Brilliance			
Ce	(12)	Cornus edulis white wonder	Eddies White Wonder	2.0	8 Landmark Replacement Trees
Pp	(20)	Parrotia persica 'Vanessa'	Persian Ironwood		
Pc	(14)	Pyrus calleryana	Calleryana Pear		

CONIFEROUS TREES

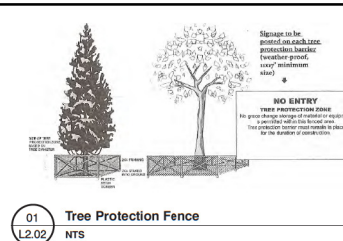
KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN HT. (m)	NOTES
Pn	(11)	Pinus omaritica	Serbian Spruce		
P	(7)	Pinus contorta var. contorta	Shore Pine		
Pm	(16)	Pseudotsuga menziesii	Douglas Fir	2.0	All Landmark Replacement Trees

PROPOSED NUMBER OF REPLACEMENT TREES: 150

NOTES:

CITY OF NANAIMO BYLAW NO. 7126 (2013) REQUIRES 50% REPLACEMENT TREES FOR THE 156 TREES TO BE REMOVED. AT A SITE MEETING HELD JAN. 22, 2021, CITY STAFF STATED THAT 100 TREES PER HECTARE IS APPROPRIATE TO DETERMINE TOTAL REPLACEMENT TREES REQUIRED. AT 0.74 HECTARES, THE PROJECT REQUIRES 74 REPLACEMENT TREES. 150 REPLACEMENT TREES ARE PROPOSED.

CITY OF NANAIMO BYLAW NO. 7126 (2013) REQUIRES THAT REPLACEMENT TREES HAVE A MINIMUM HEIGHT BASED ON THE SIZE OF THE TREE REMOVED. IN ADDITION TO THE SIZES NOTED ABOVE TO REPLACE LANDMARK TREES, 62 REPLACEMENT TREES MUST HAVE A 1.5 M MINIMUM HEIGHT, AND 64 REPLACEMENT TREES MUST HAVE A 2.0 M MINIMUM HEIGHT. THE SPECIES AND LOCATIONS FOR TREES OF DIFFERING HEIGHTS WILL BE IDENTIFIED IN A DETAILED PLANTING PLAN AND DETERMINED IN COLLABORATION WITH THE CITY OF NANAIMO.



TREE PROTECTION FENCE

Prior to construction taking place on site a tree protection fence (see detail 01, sheet L2.02) shall be installed on site according to the layout as indicated on the Tree Management Plan (see sheet L2.01), the fence is to follow the existing grade.

Prior to the installation of this fence the layout should be reviewed by the City of Nanaimo Urban Forestry Coordinator.

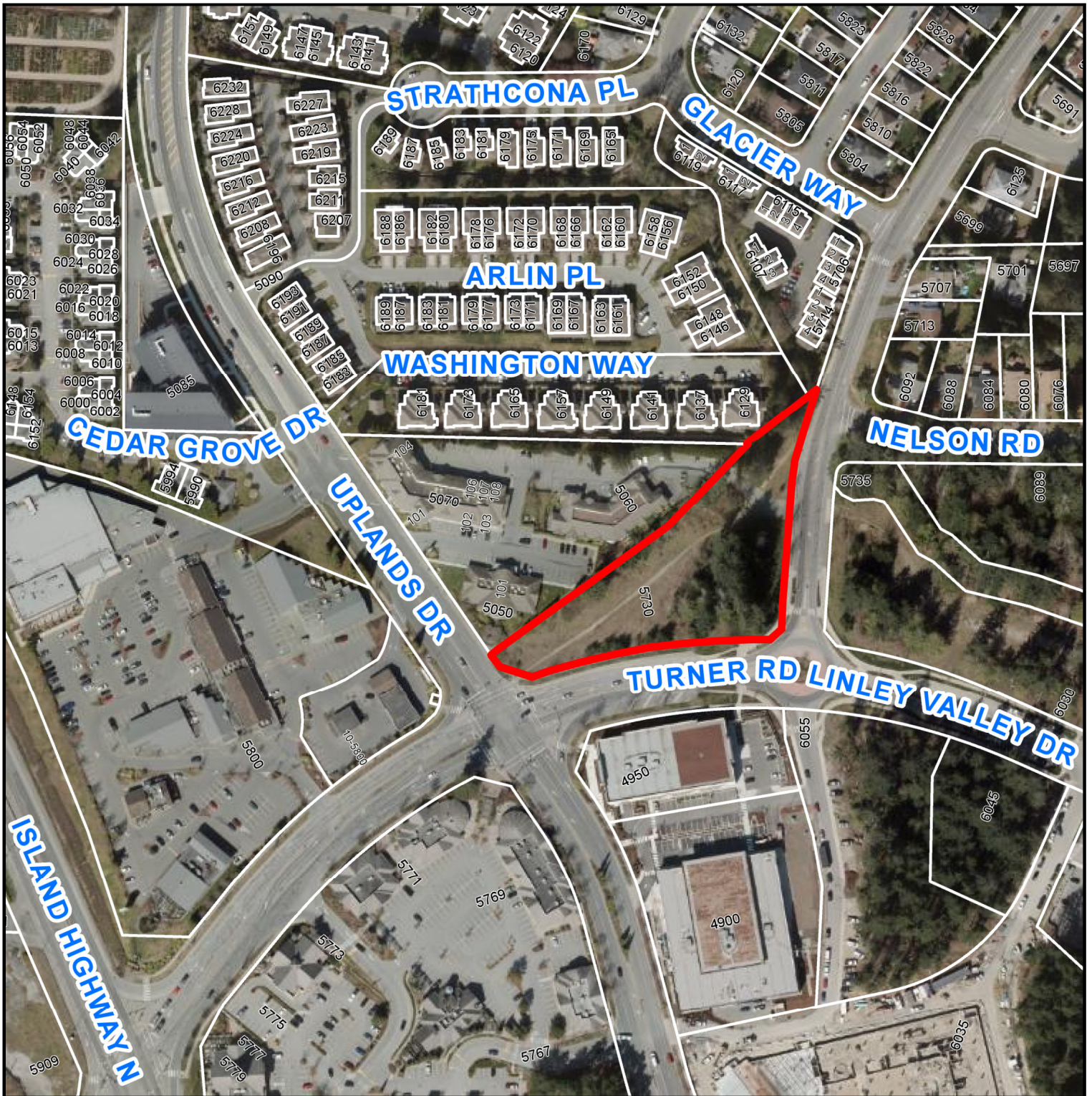
The Project Manager will instruct all trades on the importance of following these tree protection measures. All trades will be required to sign off on their concurrence of this plan.

The fence is to remain in place for the duration of construction.

NOTES:

- Height of fence to be 1.2m (4').
- 2"x 4" to be used for vertical posts, top and bottom rails and cross bracing (in 60"x60" treated vertical posts may be used with a minimum diameter of 9 cm).
- Spacing between vertical posts to be no further apart than 3.7m (12') on centre.
- Structure must be sturdy with vertical posts driven firmly into ground.
- Continuous plastic mesh screening (e.g. orange snow fencing).
- Signs entitled "Tree Protection Area" to be posted on fence every 15m.
- Location of fence as shown on plan.

AERIAL PHOTO



DEVELOPMENT PERMIT APPLICATION NO. DP001231



5730 Turner Road