



AGENDA
DESIGN ADVISORY PANEL MEETING

April 8, 2021, 5:00 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING TO ORDER:

[Note: This meeting will be live streamed and video recorded for the public.]

2. INTRODUCTION OF LATE ITEMS:

3. ADOPTION OF AGENDA:

4. ADOPTION OF MINUTES:

a. Minutes

2 - 5

Minutes of the Design Advisory Panel Meeting held in the Boardroom of the Service and Resource Centre, 411 Dunsmuir Street, Nanaimo BC, on Thursday 2021-MAR-11.

5. PRESENTATIONS:

a. Development Permit Application No. DP1218 - 41/45 Haliburton Street

6 - 35

To be introduced by Caleb Horn, Planner, Current Planning Section.

A development permit application was received from Parkshore Projects Ltd., on behalf of 1243166 BC Ltd., for the development of a five-storey multi-family residential building (38 units). The subject properties are legally described as Lots 3 and 4, Block 8, Section 1, Nanaimo District, Plan 584.

6. OTHER BUSINESS:

7. ADJOURNMENT:

MINUTES
DESIGN ADVISORY PANEL MEETING
BOARD ROOM, SERVICE AND RESOURCE CENTRE
411 DUNSMUIR STREET, NANAIMO, BC
THURSDAY, 2021-MAR-11, AT 5:00 P.M.

PRESENT: Members: Charles Kierulf, AIBC, Chair (joined electronically)
 Councillor Brown (joined electronically)
 Tony James, AIBC (joined electronically)
 Kevin Krastel, At Large, Acting Chair (joined electronically)
 Marie Leduc, At Large (joined electronically)
 Kate Stefiuk, BCSLA (joined electronically)
 Gur Minhas, At Large (joined electronically)

 Staff: L. Brinkman, Planner, Current Planning Section
 L. Nielsen, Recording Secretary

1. CALL THE DESIGN ADVISORY PANEL MEETING TO ORDER:

The Design Advisory Panel Meeting was called to order at 5:03 p.m.

2. ADOPTION OF AGENDA:

It was moved and seconded that the Agenda, be adopted. The motion carried unanimously.

3. ADOPTION OF MINUTES:

It was moved and seconded that the Minutes of the Regular Design Advisory Panel Meeting held in the Boardroom, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC, on Tuesday, 2021-FEB-25 at 5:05 p.m. be adopted as circulated. The motion carried unanimously.

Charles Kierulf, Chair, declared a conflict of interest due to business affiliation with the presentation team for DP1216-3180 Island Highway N.; appointed Kevin Krastel as Acting Chair for the following presentation, and vacated the meeting at 5:06 p.m.

4. PRESENTATIONS:

(a) Development Permit Application No. DP1216 – 3180 Island Highway North

Introduced by Lisa Brinkman, Planner, Current Planning Section

Presentations:

1. Glenn Hill, Architect of dhkArchitecture presented the project, and spoke regarding site and neighbourhood context, and provided an overview of the architectural plans and building features.
 - Historical property use created environmental challenges which are being addressed
 - Access to the carwash is provided from Norwell Drive via a shared drive aisle with the existing Dairy Queen location. Exit routes are to Norwell Drive or to the Island Highway
 - The form and character of the building expresses the motion of vehicles on the highway
 - A residential (manager's) suite is located on the 2nd floor, complete with a rooftop patio
 - Exterior materials include corrugated metal and stucco panelling
 - Landscape buffers are created to soften views from Norwell Drive and the Island Highway
2. Jack Tupper, Landscape Architect of Jack Tupper Studio, presented the landscape plan and spoke regarding tree replacement, hardscape elements and the planting plan.
 - One existing tree will be removed and several ornamental trees will be planted
 - The proposed planting plan consists of predominately hardy native species
 - The retention pond will be vegetated
 - An evergreen hedge (4 feet high) will border much of the carwash drive aisle to limit vehicle headlights from conflicting with the adjacent roadways
3. Scott Lewis, Civil Engineer of Aplin Martin Consultants Ltd., provided an overview of the proposed site servicing plans.

Panel discussions took place regarding the following:

- Sidewalk and crosswalk connections
- Pedestrian access to the residential unit
- Tree selection to possibly reconsider the paper bark birch
- The possibility of adding a green roof to the building
- Screening of potential rooftop equipment
- The possible expansion of the proposed rooftop deck
- Location of garbage enclosure and proposed pickup service
- Weather protection at entrance to residential unit stairway

It was moved and seconded that Development Permit Application No. DP1216 be accepted as presented. The following recommendation was provided:

- Consider alternatives to the birch and arbutus trees in the landscape concept;
- Look at adding evergreen trees to the landscape concept;
- Consider adding a pedestrian link to the public sidewalk; and,

- Ensure any rooftop equipment is screened.

The motion carried unanimously.

Charles Kierulf, returned to the meeting and resumed the Chair position at 5:58 p.m.
Gur Minhas declared a conflict of interest due to involvement with the presentation for 30 and 32 Lorne Place and vacated the Panel at 5:59 p.m.

(b) Development Permit Application No. DP1217- 30 and 32 Lorne Place

Introduced by Lisa Brinkman, Planner, Current Planning Section

Presentations:

1. Will Melville, Designer of Delinea Design Consultants Ltd., accompanied by Gur Minhas, principal of Satgur Development, presented the project. Mr. Melville spoke regarding site and neighbourhood context, density increase, and provided an overview of the architectural plans and proposed height variance.
 - The property is located on the Lorne Place cul-de-sac and backs on to Beaufort Park
 - An existing duplex is to remain on-site
 - Four individual residential units are proposed to be added on-site (three 2-bedroom units and one 1-bedroom unit) with a mid-site courtyard area
 - Site access is from a narrow laneway just off Lorne Place
 - Pedestrian connections are available to all four units and Beaufort Park
 - Exterior materials include vinyl siding, asphalt shingles, with wood-look vinyl products
 - Each entrance includes a canopy over the doors for weather protection
 - Exterior improvements are proposed for the existing duplex to tie it into the new project
 - Each unit has a small room with an exterior door to manage garbage, recycling and bike storage
 - Bollard lighting is proposed for the courtyard and the entrance laneway
2. Victoria Drakeford, Landscape Architect of Victoria Drakeford Landscape Architecture presented the landscape plan and spoke regarding neighbourhood context, and provided an overview of the planting palette.
 - Each unit has its own private southeast facing outdoor space
 - A considerable buffer of blackberries and old trees currently exists along the rear property line
 - Plantings will include those that attract birds
 - Over 20 trees (narrow conifers) are proposed to be planted
 - The rear yard of the existing duplex is to remain in its current state

- A rain garden and rock pit are incorporated into the landscape design

Panel discussions took place regarding the following:

- The possibility of extending the landscape buffer along to the rear yard of the existing duplex
- The possibility of further integrating the existing duplex in the proposed development through form and character and landscape improvements
- Garbage/recycling storage and movement of bins for pickup service
- The possibility of expanding the mechanical room area slightly to incorporate a common garbage enclosure
- The possibility of working with the City to clear the rear property line of invasive species
- The pedestrian connection between the parking stalls and Units 1 to 4
- A great model for increasing density within an existing residential neighbourhood

It was moved and seconded that Development Permit Application No. DP1217 be accepted as presented with support for the proposed variances. The following recommendation was provided:

- Consider further integrating the existing duplex with the new construction through the use of colour, materials, and landscaping.

The motion carried unanimously.

Gur Minhas returned to the Panel at 6:54 p.m.

5. OTHER BUSINESS:

A conversation ensued among Panel members regarding conflict of interest and protocol. Further clarity was requested.

6. ADJOURNMENT:

It was moved and seconded at 7:05 p.m. that the meeting terminate. The motion carried unanimously.

CHAIR

ACTING CHAIR

CERTIFIED CORRECT:

RECORDING SECRETARY

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001218 – 41 & 45 HALIBURTON STREET

Applicant: PARKSHORE PROJECTS LTD.

Architect: MATT HANSEN ARCHITECT AIBC

Landscape Architect: TOPOGRAPHICS LANDSCAPE ARCHITECTURE

Owner: 123166 BC LTD. and SHERYL MANN

SUBJECT PROPERTY AND SITE CONTEXT

<i>Zoning</i>	Medium Density Residential (R8)
<i>Location</i>	The subject properties are located on the east side of Haliburton Street between Crace Street and Finlayson Street.
<i>Total Area</i>	1,618m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Neighbourhood Map 3 – Development Permit Area DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial / Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines; South End Neighbourhood Plan Urban Design Framework & Guidelines

The subject site is located in the South End Neighbourhood within close proximity to Downtown Nanaimo. The two lots each contain an older single residential dwelling and the site slopes downhill from west to east.

Surrounding properties primarily contain single residential dwellings; however, properties on both sides of Haliburton Street are zoned for medium density multi-family residential. One block south from the subject site, a 5-storey residential project by the same developer has been built at 119 Haliburton Street and another two buildings have been approved at 135/147 Haliburton Street. Commercial services are located nearby along Nicol Street and at Port Place Mall, approximately 350m north of the site.

PROPOSED DEVELOPMENT

The applicant is proposing to construct a 5-storey multi-family residential building with 38 dwelling units and under-the-building parking. The two lots will be consolidated as a condition of the Development Permit.

The proposed unit composition is as follows:

- 5 studio units between 50m² and 60m² in floor area;
- 21 one-bedroom units between 49m² and 73m² in floor area; and
- 12 two-bedroom units between 78m² and 95m² in floor area.

The total proposed gross floor area is 2,891m² and the Floor Area Ratio (FAR) will equal 1.79. The base maximum FAR in the R8 zone is 1.25 and the applicant is proposing to achieve an

additional 0.35 FAR through the provision of amenities as outlined for Tiers 1 and 2 in 'Schedule D' of the Zoning Bylaw and an additional 0.25 by providing all required parking underground, for a total maximum permitted FAR of 1.85.

Site Design

The proposed building is sited centrally to efficiently utilize the site and to take advantage of views towards the ocean to the east. The primary building entry will be connected by a walkway to Haliburton Street. Secondary pedestrian walkways lead to the stairwell exits at the north and south ends of the building. A rooftop outdoor amenity space is proposed.

All required parking will be provided underground and accessed via a drive aisle ramp on the north side of the building. Long-term bicycle storage will be provided within the underground parking area. An outdoor refuse receptacle enclosure is proposed at the bottom of the drive aisle ramp.

Staff Comments:

- Provide site design details (e.g. exterior lighting, fencing and retaining wall materials, short-term bicycle parking, etc.).
- Consider providing a walkway circuit around the rear of the site for residents.

Building Design

The building is designed to reference the South End Neighbourhood Plan Urban Design Framework & Guidelines (the "South End Design Guidelines") and the front elevation facing Haliburton Street is set back above the third storey as recommended by the Guidelines. The building's form and character presents a modern interpretation of heritage elements with a strong building base, articulation of massing, prominent building entry, and use of high quality materials, particularly on the street-facing elevation.

Exterior building materials will be predominantly HardiePanel with brick cladding at the base and around the entry, with cedar soffit and granite tile accents. Black fascia banding will wrap around the building above the third storey. Each unit will have its own private patio or balcony, and the four ground-level units facing Haliburton Street will have direct pedestrian connections to the street.

Staff Comments:

- Look at opportunities to further break up the perceived vertical massing facing single residential dwellings to the north, east, and south, and transition to adjacent smaller scale developments. The South End Design Guidelines recommend a 2.2m setback and/or a change of materials above the third storey on the rear elevation.
- Consider reducing the depth of the roof overhang adjacent to neighbouring properties or utilizing lighter materials.

Landscape Design

A planting buffer along the street will consist of groundcovers, viburnum, azalea, and small trees to frame the primary building entrance. Further planting is proposed to screen the private patios.

A landscape buffer along the south property line will contain a variety of shrubs and beech trees, and a smaller buffer with ferns and vines is proposed adjacent to the drive aisle along the north property line. To the east, a laurel hedge is proposed as a buffer between the top of a 1m-high retaining wall and the exterior wall of the underground parking structure. A wildflower meadow is proposed on the roof of the underground parking structure where it extends to the east of the building above. Further planting is proposed in the northeast corner of the site, at the base of the drive aisle ramp.

The rooftop amenity space will include a garden terrace with outdoor seating. Planting on the roof will consist primarily of small flowering shrubs, groundcovers, and grasses. In addition, four small trees are proposed in raised planter beds.

Staff Comments:

- Consider decorative elements at individual walkways from the street, for example with decorative light and street address posts.
- Provide a landscape buffer around the outdoor refuse receptacle enclosure to ensure adequate screening as required by Part 17 of the Zoning Bylaw.
- Provide refuse receptacle enclosure details and utilize solid, durable materials for the enclosure.
- Ensure the required 1.8m landscape buffer can be provided along the east property line.

PROPOSED VARIANCES

Building Height

The maximum permitted building height in the R8 zone is 14m. The proposed building height inclusive of the rooftop guardrail is 15.75m, a requested variance of 1.75m.

Development Permit Application

41/45 Haliburton Street, Nanaimo B.C.

Design Rational

Context

Located in the South End of Nanaimo in the R8 zone, just a couple blocks away from the Downtown core, the project site is made up of two properties on the East side of the 00 Block of Haliburton Street. Most of the site is surrounded by a well established neighbourhood of older single family homes. There is a slight slope from West to East and terrific view opportunities to the water front and harbour to the east. Two older homes presently occupy the site. None of which have any historical or architecural merit.

The Zoning By-Laws, OCP and South End Neighbourhood Plan support the redevelopment of this area into higher density, Multi-family residential use. The intension of this application to stay within the guidelines of these documents and avoid variances where possible. A five storey buildings is proposed to stand over an underground parkade accessed off Haliburton Street.

OCP and Neighbourhood Objectives

Some key goals established by the OCP are to ‘Manage Urban Growth’ and ‘Build a more Sustainable Community’. The South End Neighbourhood Plan speaks to more specific needs of the neighbourhood. For example, development must keep up with the increased demand in population and be centered close to Urban Cores with a focus on cyclist and pedestrians.

Other guiding Principles relevant to this neighbourhood and project include, development of mixed use density with a range of housing choices and affordability. Single family homes continue to become less affordable as the demand for smaller more cost effective housing increases.

Haliburton Street is singled out as a neighbourhood greenway for Pedestrian Connectivity. The proposed Street Design and Landscape solution is consistant with the neighbourhood guidelines and builds off the excellent precident established by the ‘Outlook’ and ‘Prospect’ developments previously approved including, but not limited to, enhanced lighting, street trees, on-street parking, and boulevard planting with drought resistant native planting.

Haliburton Street will be re-established as a pedestrian-oriented street. A variety of small fences, retaining walls and landscape buffers with ensure the privacy and enjoyment of the street level units with direct access to Haliburton St.

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DP1218
2021-JAN-13
Current Planning

Building Design Guidelines

The massing and density is consistent with the current zoning by-laws and guiding principles of the South End Neighbourhood Plan. Following the precedent established by our neighbours at Outlook and Prospect, the buildings will be set back from the Street 6m as per R8 zoning. The massing will be managed by reducing the floor area of the upper 2 levels and stepping back the building form from Haliburton St. helping to keep the visual scale down to 3 levels. Articulation of the roof lines creates further visual interest. Massing toward the east side increases slightly to ensure the best possible access to views. Pedestrian Entrance is easily identifiable and celebrated as a focal point of the design.

Each unit will have access to outdoor space with a small balcony or ground floor patio. This ensures a visual interest and a balance between solid and transparent massing. A slight change of materials but with a consistent rhythm, will ensure Architectural interest in an organized and disciplined fashion.

Quality, sustainable materials such as brick and sandstone (found locally) and reclaimed wood make up some the material theme throughout the project respecting the traditional heritage of the South End. Colour choices are also consistent with the overall earth tone palette.

Underground parking is accessed off Haliburton St. Parking is designed to meet the required spaces as per the current zoning By-laws. Facilities are also proposed for bike storage and electric vehicle charging.

CPTED Strategies (crime prevention)

Variation in street patterns and traffic calming hubs along Haliburton Street will assist in neighbourhood safety and guide visitors away from private spaces. Ground floor patios are separated with low level retaining walls and shrubs to clearly identify private space but still allow neighbours to interact. Street lighting along Haliburton St. provide an added layer of surveillance and safety. Building entrance are clearly identifiable with easy access.

Summary

This proposal has been reviewed and supported by the South End Community Association (SECA). Parkshore Projects is committed to working with the City of Nanaimo and SECA in creating positive and sustainable change to this well established neighbourhood.

Exciting new Urban Growth has arrived in the South End and 41/45 is designed to maintain the momentum and set a high standard for future developments.

Thank you for considering our application.

Parkshore Projects

Development Permit Application

41/45 Haliburton Street, Nanaimo B.C.

Height Variance Rational

Permitted height : 14.00m (45.93')

Top of guardrail

Proposed height : 15.75m (51.67')

Variance required : 1.75m (5.75')

Top of Parapet

Proposed height : 14.8m (48.56')

Variance required : 0.80m (2.63')

It continues to be the developer's opinion that the guardrail could be excluded from the building height as it falls under the same category as the stairwell access to the green roof amenity. In addition, due to the setback of the proposed roof deck, the guardrail will not be visible from any point around the property.

Further, if the guardrail happened to be excluded from the height restriction, the proposed top of parapet height would then fall under the 1m tolerance giving Planning Staff the discretion to approve the variance without the need to go to Council.

We would be remiss to mention that Council has unanimously approved similar height variance at the 119 Haliburton (Outlook) project and most recently with the 135 -151 Haliburton (Prospect) project.

We appreciate you taking the time to consider our variance request.

Matt Hansen Architect AIBC
Matthew T. Hansen Architect

CONTEXT MAP

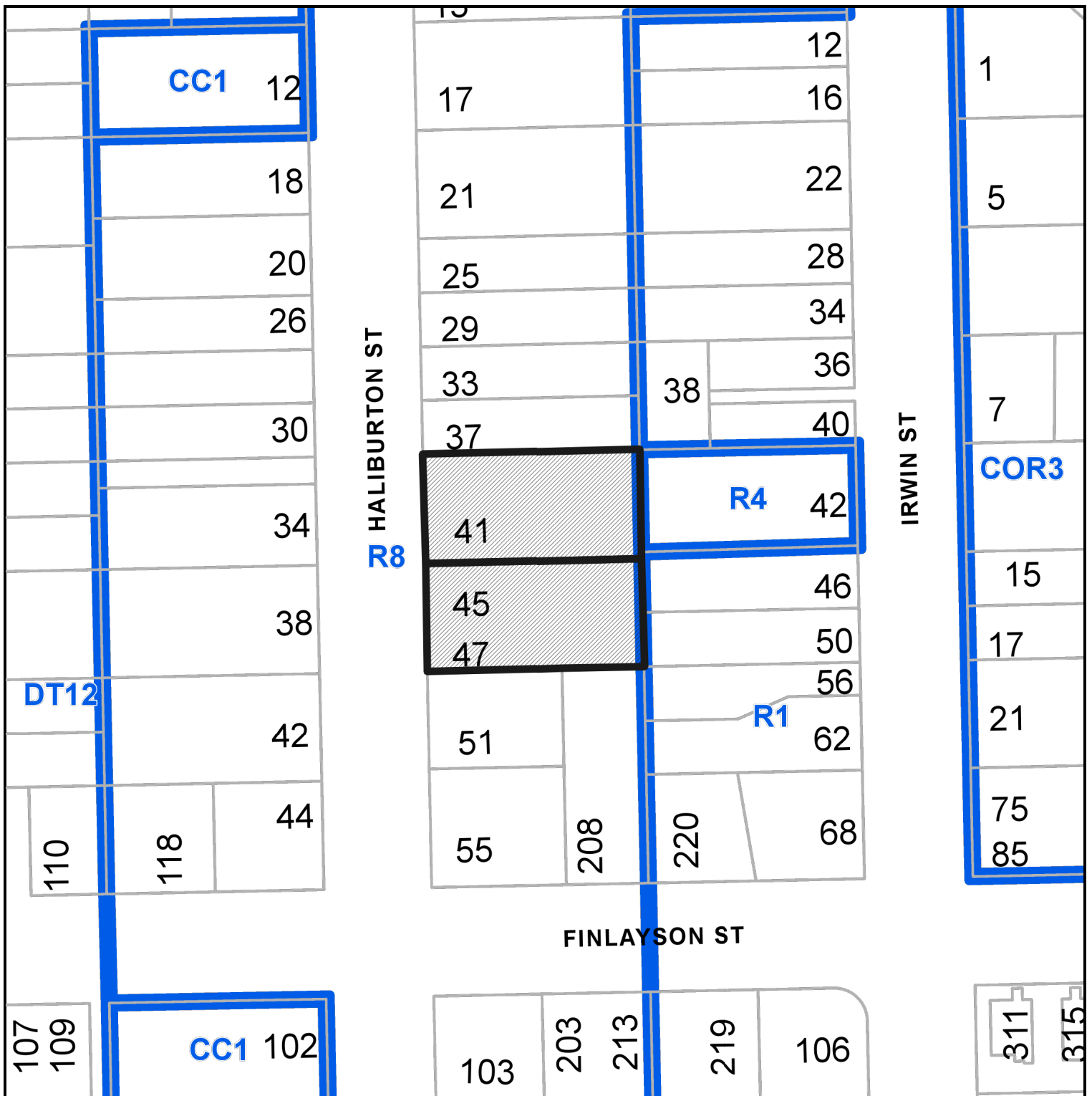


N



41 & 45 HALIBURTON STREET

LOCATION PLAN



DEVELOPMENT PERMIT APPLICATION NO. DP001218



Subject Property

CIVIC: 41 & 45 HALIBURTON STREET

LEGAL: LOT 3 & 4, BLOCK 8, SECTION 1, NANAIMO DISTRICT, PLAN 584

Project Data						
Project Data:	Lumina					
Civic Address:	41, 45 Haliburton Street, Nanaimo, BC					
Legal Address:	Lots 3 and 4, Block 8, Section 1, Nanaimo District, Plan 584					
Zoning:	R8					
Property Area:			ft2	m2		Notes:
41 Haliburton St.			8,710.37	809.22		
45 Haliburton St.			8,710.37	809.22		
Total Area:			17,420.85	1,618.45		
L0 Parkade Area: GFA			ft2	m2		Notes:
Garage L0			12,975	1,205.42		
Building Area: GFA			ft2	m2		Notes:
Floor L1			6,577	611.02		Excluding Lobby
Floor L2			6,541	607.68		Exclude stairs and elev.
Floor L3			6,516	605.36		Exclude stairs and elev.
Floor L4			5,776	536.61		Exclude stairs and elev.
Floor L5			5,704	529.92		Exclude stairs and elev.
Floor L6 - Roof Deck				0		Excluding roof stairs & elevator and mechanical room
Subtotal GFA:			31,114	2,890.59		
Total Building Area:			ft2	m2		
Subtotal GFA:			31,114	2,890.59		
Total GFA + Parkade:			44,089	4,096.01		
Unit Types:						
Units:	Description:	Qty:	ft2	m2	Area Total: ft2	Notes:
Type A	1 bed	2	781	72.56	1562	
Type A mod.	1 bed	1	774	71.91	774	
Type B	Studio	1	537	49.89	537	
Type B mod.	Studio	1	540	50.17	540	
Type C	1 bed	3	773	71.61	2319	
Type D	2 bed	5	839	77.95	4195	
Type D mod.	2 bed	5	872	81.01	4360	
Type E	1 bed + 1 den	10	764	70.98	7640	
Type F	Studio + den	1	650	60.39	650	
Type F mod.	Studio + den	1	636	59.09	636	
Type G	1 bed	1	756	70.23	756	
Type H	Studio + den	1	590	54.81	590	
Type I	1 bed	1	608	56.49	608	
Type I mod.	1 bed	1	535	49.71	535	
Type J	1 bed	2	527	48.96	1054	
Type K	2 bed	2	1025	95.23	2050	
Subtotal Units:		38			28,896	
Unit Totals:	Description:	Qty:	% of Total Unit Qty		Area Total: ft2	Notes:
	Studio	2	5.26%		1,077	
	Studio + den	3	7.89%		1,876	
	1 bed	11	28.95%		7,608	
	1 bed + 1 den	10	26.32%		7,640	
	2 bed	12	31.58%		10,605	
	Total Units	38	100%		28,896	Combined Gross Leasable Area (GLA)
					31,114	Gross floor area, Excluding Parkade
					7.42%	% of GLA to GFA
Zoning Requirements:	Required/ Allowed:	Proposed:				Notes:
Site Coverage*: (Part A)	40%	TBD				
Floor Area Ratio:						See table 7.3.1 and Schedule D of Bylaw No. 4500 for addition density requirements
1.25+0.25+0.10+0.25	1.85	1.79				
Front Bldg Setback	6.00 m	6.10 m				
Side Bldg Setback (North)	3.00 m	6.10 m				
Side Bldg Setback (South)	3.00 m	3.04 m				
Rear Bldg Setback	10.50 m	10.70 m				
Underground Parking Setback (Front)	1.80 m					
Height Relaxation:	49.21 ft (15.00 m)					
Number of Storeys	N/A	5 + Roof Deck				
Notes:						
*Site coverage excludes balconies						

1 Project Data

March 03, 2021

Vehicle Parking Requirements					
Lumina					
Location:					
Unit Description	Required	Res. Unit Qty	Required	Proposed	Notes
Studio	0.75	5	3.75		
1 bed	0.88	21	18.48		
2 bed	1.26	12	15.12		
Subtotal Parking Required:		38	37.35		
Parking Stall Type	Required / Allowed		Proposed	Notes	
Regular car	38		35		
Small car (40%)	15		15		
Drop off/ Loading	0		0		
Handicapped (21-100 Units = 2)	2		2		
Electric Vehicle (EV) (10%)	4				
Electric Vehicle Rough-in (20%)	8				All stalls are provided with rough-in EV.
Visitor Space					
Motorcycle / Scooter					1 is EV stall

2 Vehicle Parking Requirements

March 03, 2021

Bicycle Parking Requirements				
Combined Building Totals		Required	Proposed	Notes
Short Term (0.1unit)		3.8		
Long Term (0.5unit)		19.0		All located in Parky Garage @ L0

3 Bicycle Parking Requirements

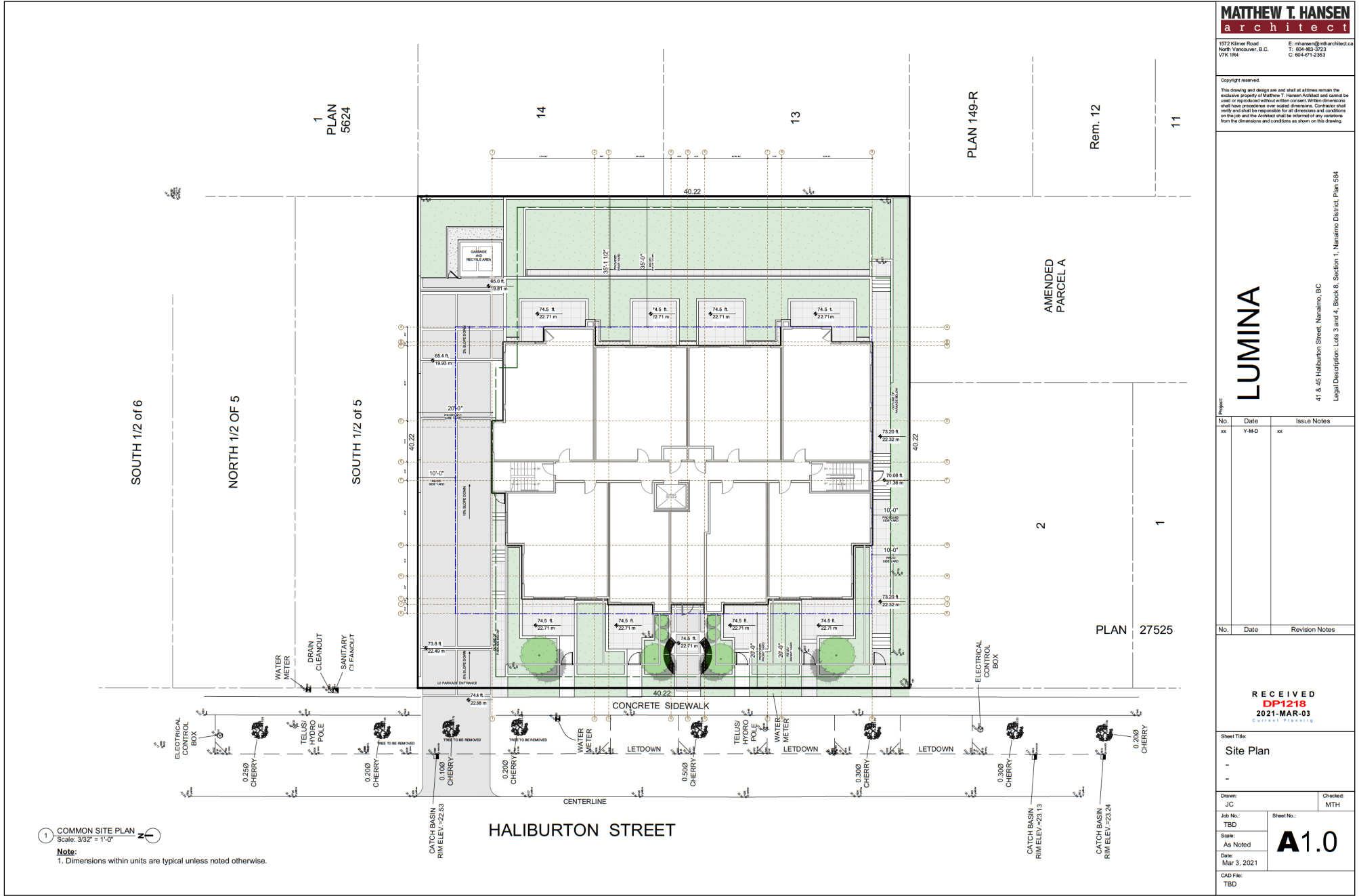
March 03, 2021

LUMINA

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DP1218
2021-MAR-03
Current Planning

41 & 45 Haliburton Street, Nanaimo, BC

Legal Description: Lots 3 and 4, Block 8, Section 1, Nanaimo District, Plan 584



1 COMMON SITE PLAN
Scale: 3/32" = 1'-0"

Note:
1. Dimensions within units are typical unless noted otherwise.

MATTHEW T. HANSEN
architect

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on the job and the Architect shall be informed of any variations
from the dimensions and conditions as shown on this drawing.

LUMINA

41 & 45 Haliburton Street, Nanaimo, BC
Legal Description: Lots 3 and 4, Block 6, Section 1, Nanaimo District, Plan 584

Revision			Issue Notes
No.	Date		
xx	Y-M-D	xx	

No.	Date	Revision Notes
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RECEIVED
DP1218
2021-MAR-03
Current Planning

Sheet Title:
Site Plan

Drawn: JC
Checked: MTH

Job No.: TBD
Sheet No.:

Scale: As Noted
A1.0

Date: Mar 3, 2021

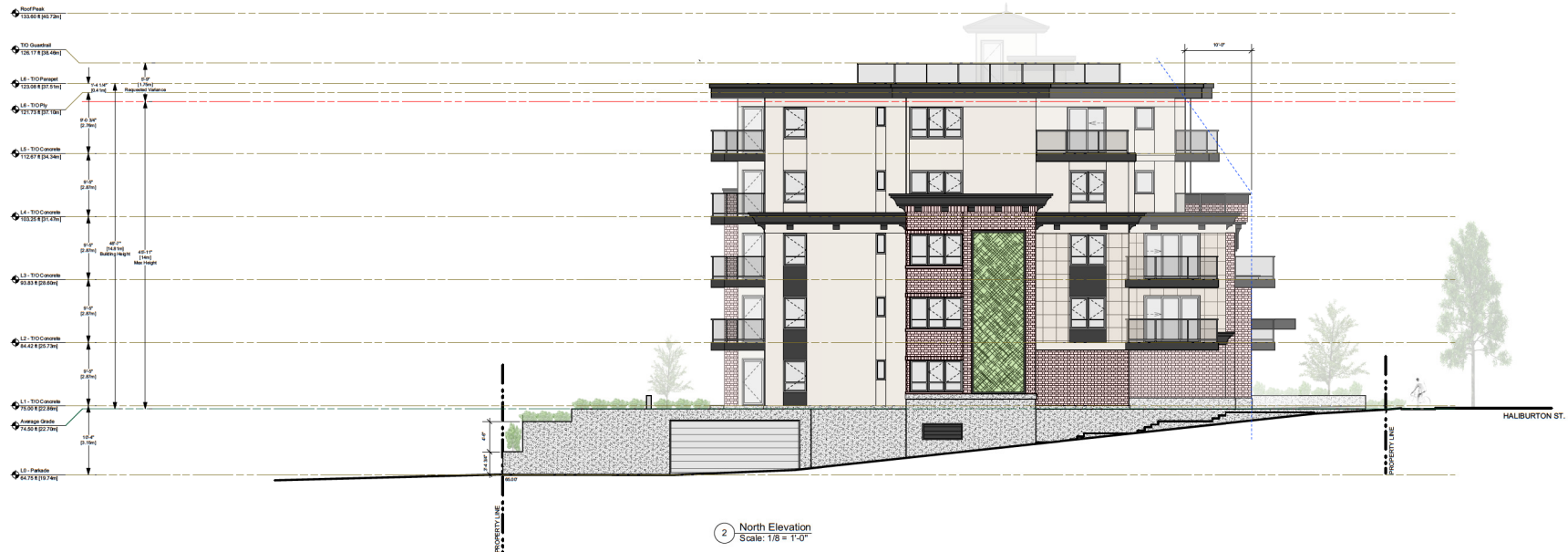
CAD File: TBD

No.	Date	Issue Notes
xx	Y-M-D	xx
No.	Date	Revision Notes

<p>RECEIVED DP1218 2021-MAR-03 CITY OF NANAIMO</p>	
<p>Sheet Title: Elevations</p>	
<p>Drawn: JC</p>	<p>Checked: MTH</p>
<p>Job No.: TBD</p>	<p>Sheet No.: A3.0</p>
<p>Scale: As Noted</p>	
<p>Date: Mar 3, 2021</p>	
<p>CAD File: TBD</p>	



1 West Elevations
Scale: 1/8" = 1'-0"



2 North Elevation
Scale: 1/8" = 1'-0"

Note:
1. Dimensions within units are typical unless noted otherwise.

LUMINA

41 & 45 Haliburton Street, Nanaimo, BC
Legal Description: Lots 3 and 4, Block 6, Section 1, Nanaimo District, Plan 554

No.	Date	Issue Notes
xx	Y-M-D	xx
No.	Date	Revision Notes

RECEIVED
DP1218
2021-MAR-03
CITY OF NANAIMO

Sheet Title:
Elevations

Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.: A3.1
Scale: As Noted	
Date: Mar 3, 2021	
CAD File: TBD	



Note:
1. Dimensions within units are typical unless noted otherwise.



Black

FASCIA & FLASHING

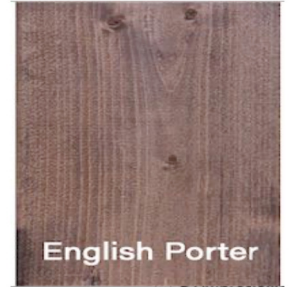


Architectural Bronze

WINDOW TRIM



BUILDING FACADE



English Porter

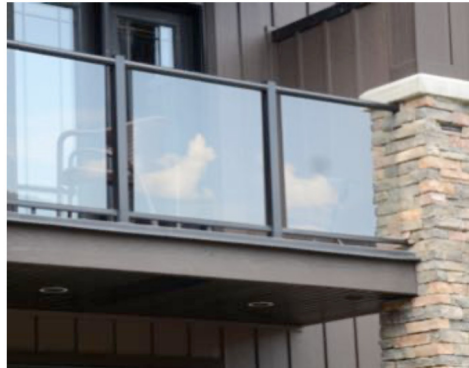
CEDAR SOFFIT



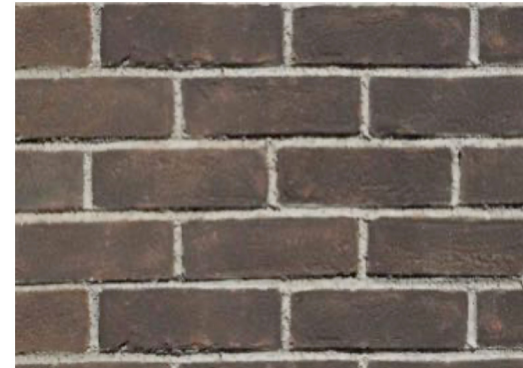
HARDI-PANEL



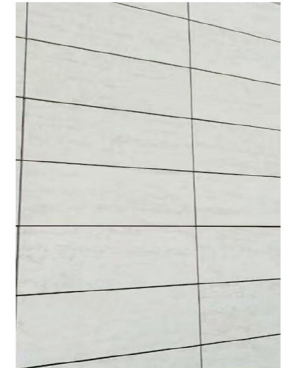
ALUMINUM WINDOW



DECK RAILING



BRICK CLADDING



GRANITE TILE

RECEIVED
DP1218
2021-MAR-03
Landscape Planning

MATTHEW T. HANSEN
architect

MATERIAL & COLOUR SAMPLES

parkshore
Projects Ltd.



1 North-West Street View
Scale: NTS



2 South-West Street View
Scale: NTS



3 South-East Street View
Scale: NTS



4 North-East Street View
Scale: NTS

MATTHEW T. HANSEN
architect

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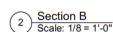
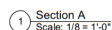
LUMINA
41 & 45 Haliburton Street, Nanaimo, BC
Legal Description: Lots 3 and 4, Block 6, Section 1, Nanaimo District, Plan 594

No.	Date	Issue Notes
xx	Y-M-D	xx
No.	Date	Revision Notes

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CITY OF NANAIMO

Sheet Title:
Perspective
Street View

Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.: A0.1
Scale: As Noted	Date: Mar 3, 2021
CAD File: TBD	



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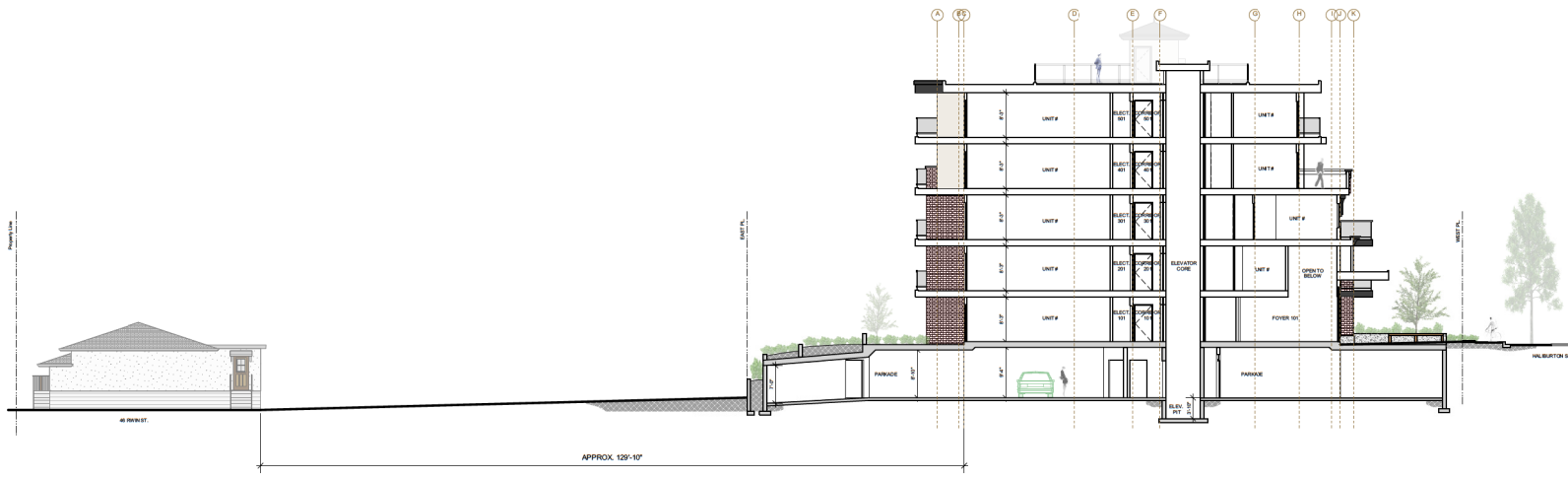
LUMINA

41 & 45 Halburton Street, Nanaimo, BC
Legal Description: Lots 3 and 4, Block 8, Section 1, Nanaimo District, Plan 554

No.	Date	Issue Notes
xx	Y-M-D	xx
No.	Date	Revision Notes

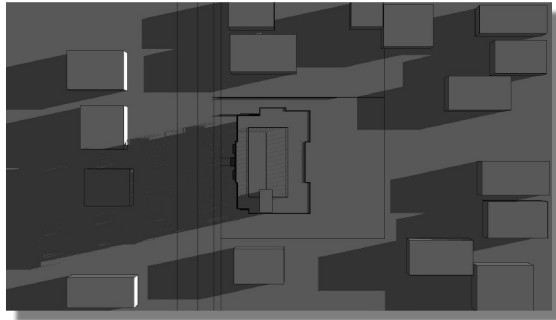
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Sheet Title: Section + Context	
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Job No.: TBD	Sheet No.:
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Date: Mar 3, 2021	
CAD File: TBD	

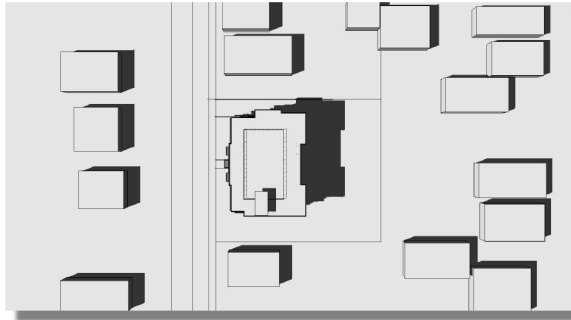


1 Section B + Context
Scale: 3/32 = 1'-0"

Note:
1. Dimensions within units are typical unless noted otherwise.



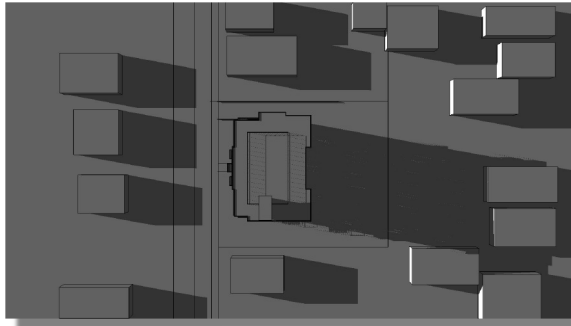
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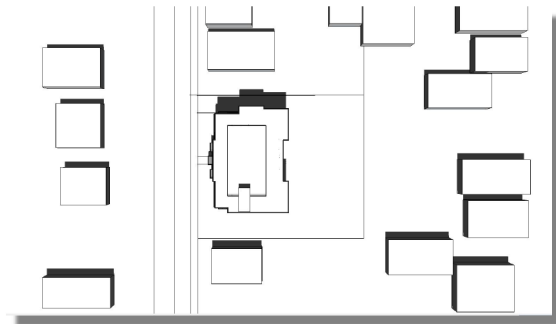
3:00 PM



9:00 AM



6:00 PM



12:00 PM

Note:
1. Shadow Study is for August 12

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LUMINA
Project
41 & 45 Haliburton Street, Nanaimo, BC
Legal Description: Lots 3 and 4, Block 8, Section 1, Nanaimo District, Plan 584

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No.	Date	Revision Notes

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Current Planning

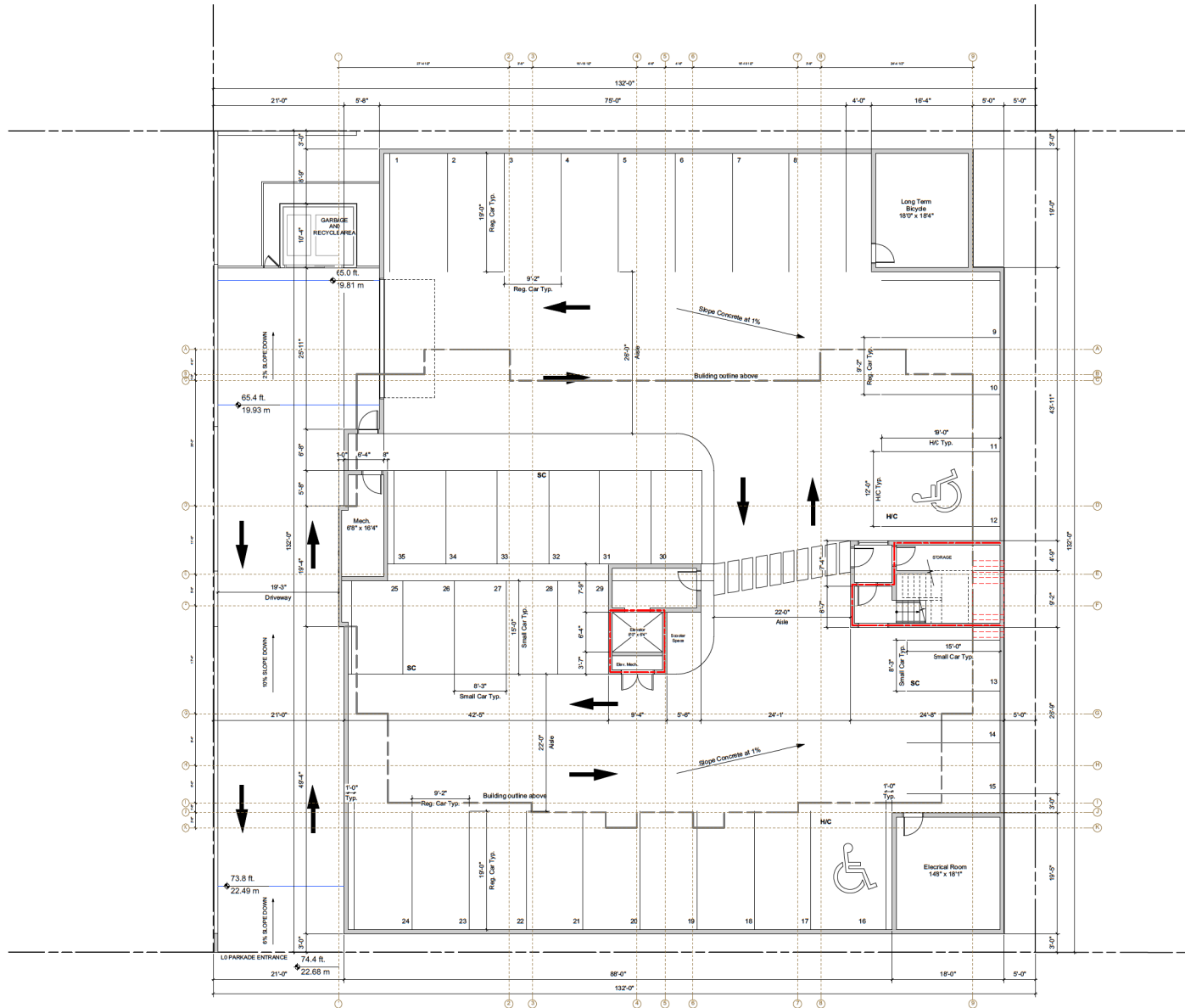
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Shadow Study
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Scale: As Noted
Date: Mar 3, 2021
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Sheet No.:
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xx	Y-M-D	xx
No.	Date	Revision Notes

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DP1218
2021-MAR-03
COURT PLANNING

Sheet Title: L0 Parkade Plan	
Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.: A2.0
Scale: As Noted	Date: Mar 3, 2021
CAD File: TBD	



1 L0 Parkade Plan
Scale: 1/8" = 1'-0"

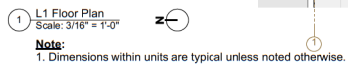


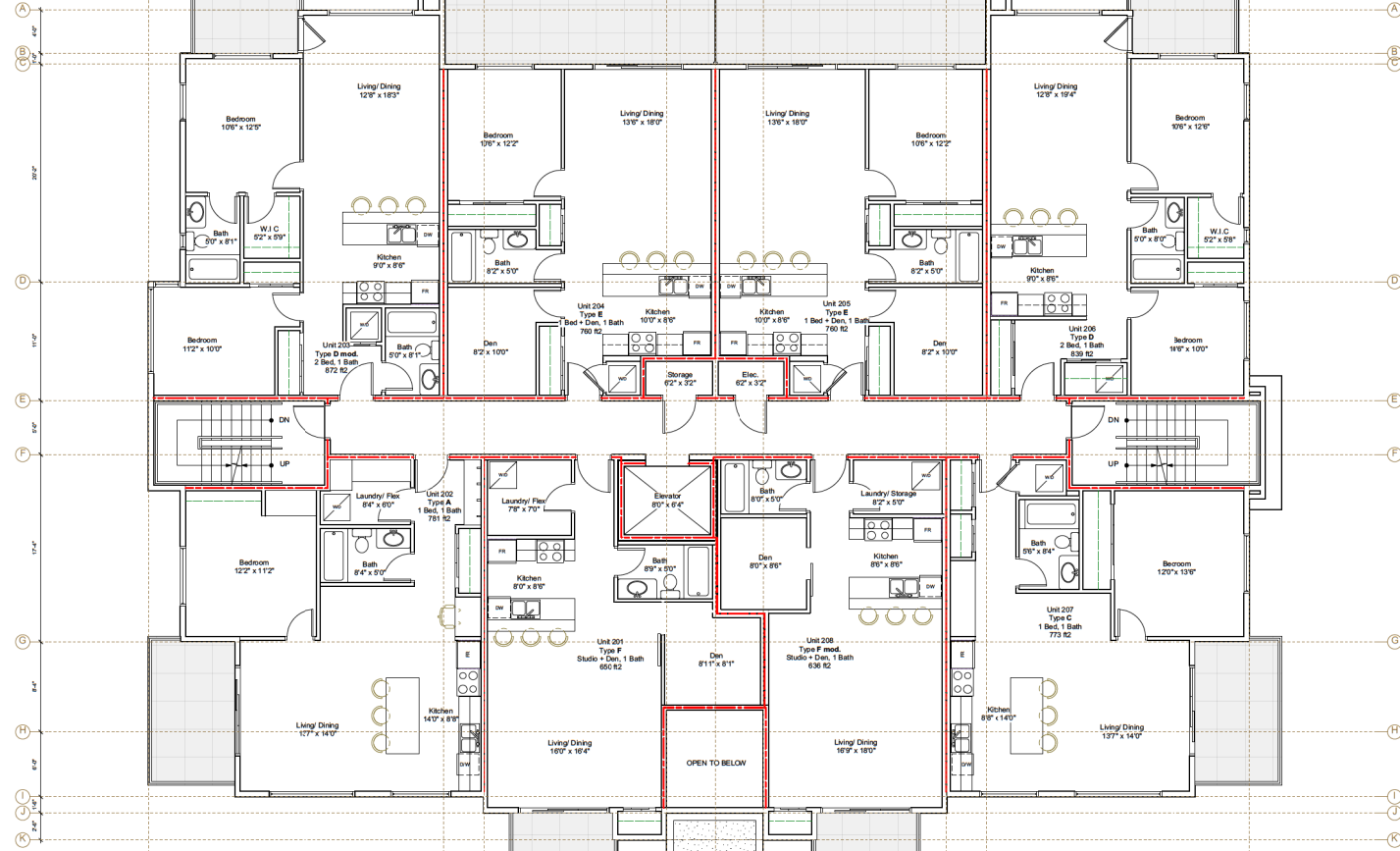
Note:
1. Dimensions within units are typical unless noted otherwise.

HALIBURTON STREET

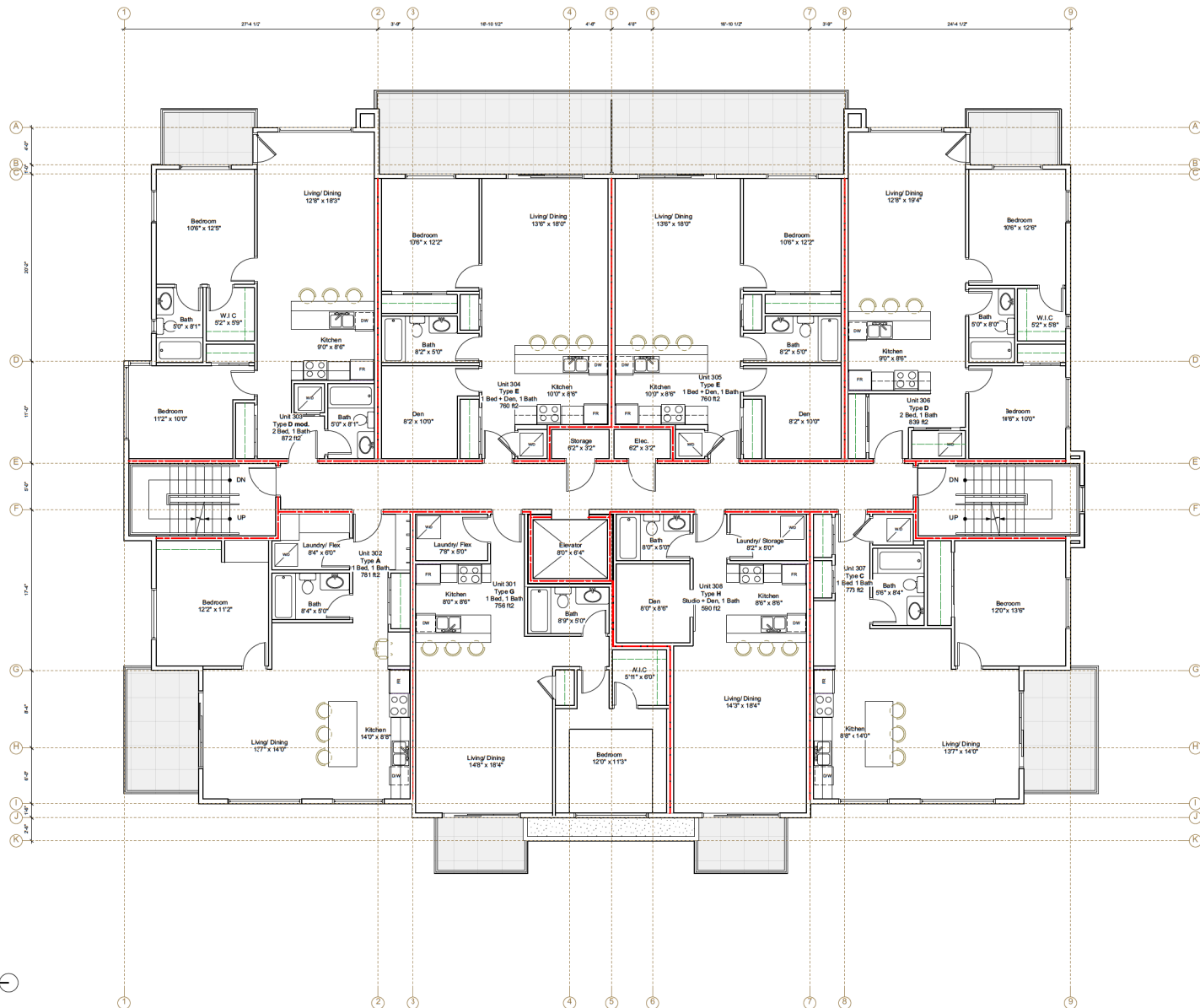
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Current Planning

Drawn: JC		Checked: MTH
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Scale: As Noted		
Date: Mar 3, 2021		
CAD File: TBD		





1 L2 Floor Plan
Scale: 3/16" = 1'-0"



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LUMINA

Project
41 & 45 Halburton Street, Nanaimo, BC
Legal Description: Lots 3 and 4, Block 6, Section 1, Nanaimo District, Plan 584

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No.	Date	Revision Notes

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Current Planning

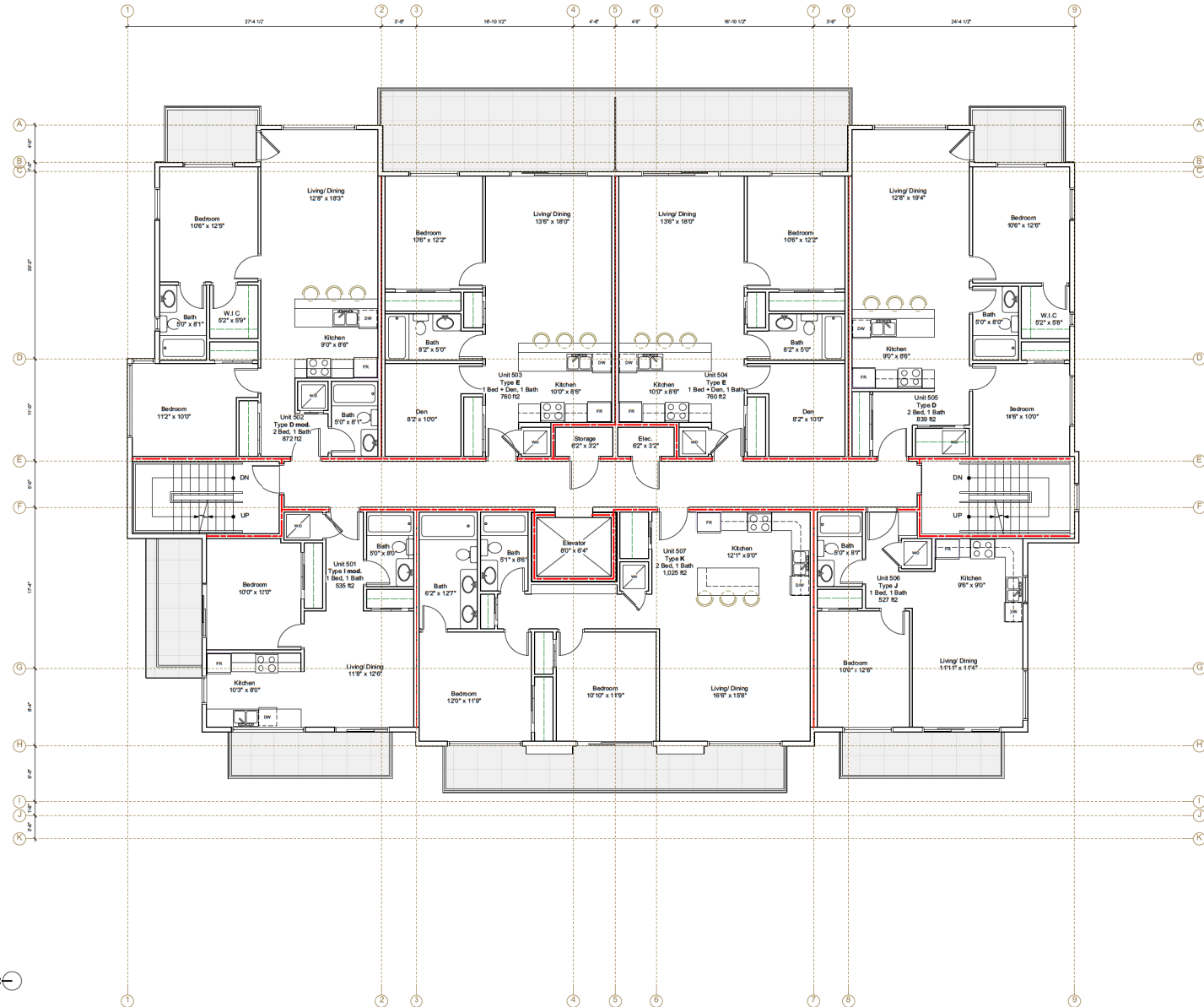
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L3 Floor Plan

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Date: Mar 3, 2021	
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No.	Date	Issue Notes
xx	Y-M-D	xx
No.	Date	Revision Notes

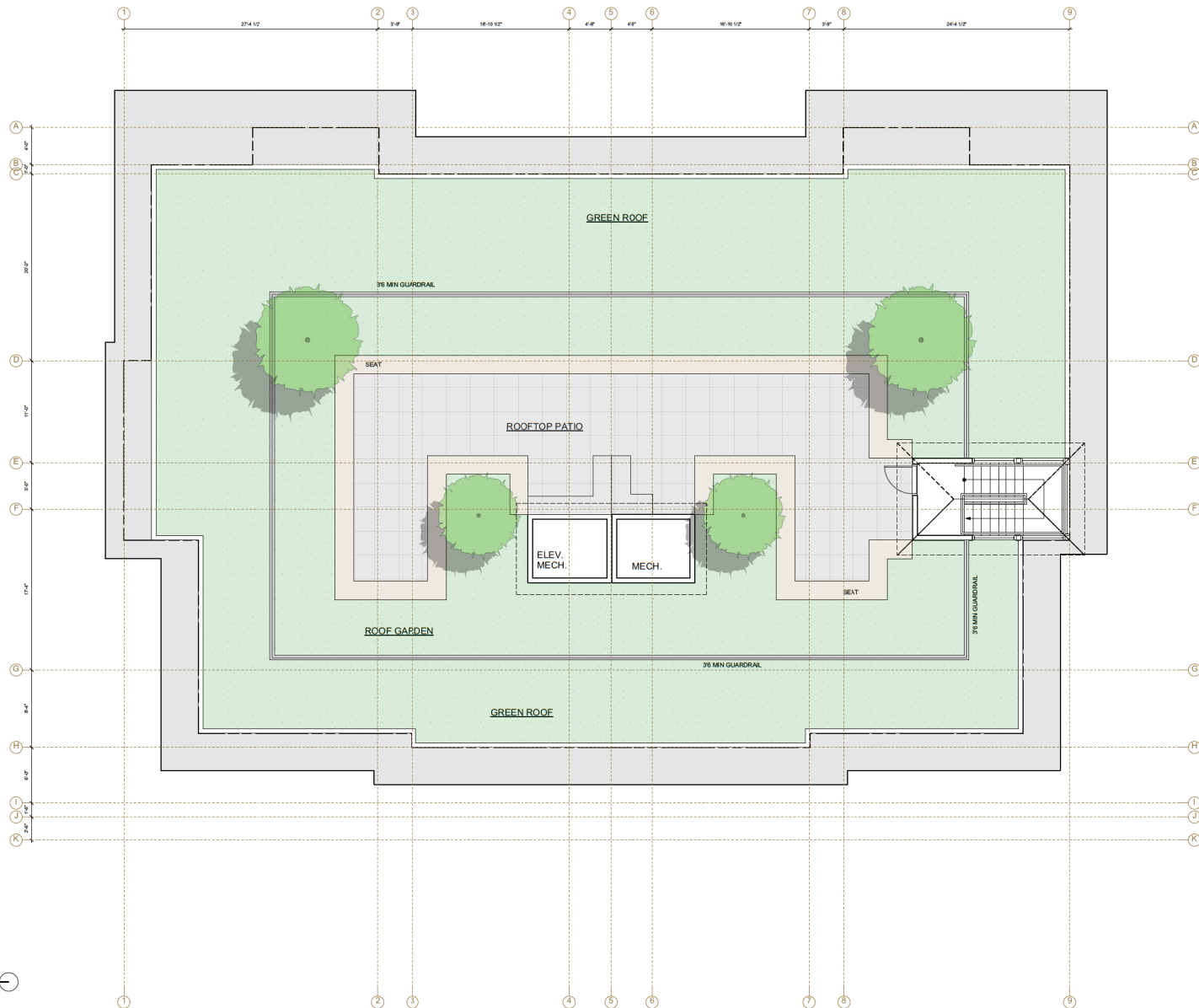
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DP1218
2021-MAR-03
CURRENT PLANNING

Sheet Title:
L5 Floor Plan
-
-
Drawn:
JC
Job No.:
TBD
Scale:
As Noted
Date:
Mar 3, 2021
CAD File:
TBD
Checklist:
MTH
Sheet No.:
A2.5



1 L5 Floor Plan
Scale: 3/16" = 1'-0"

Note:
1. Dimensions within units are typical unless noted otherwise.



1 L6 Roof Plan
Scale: 3/16" = 1'-0"



Note:
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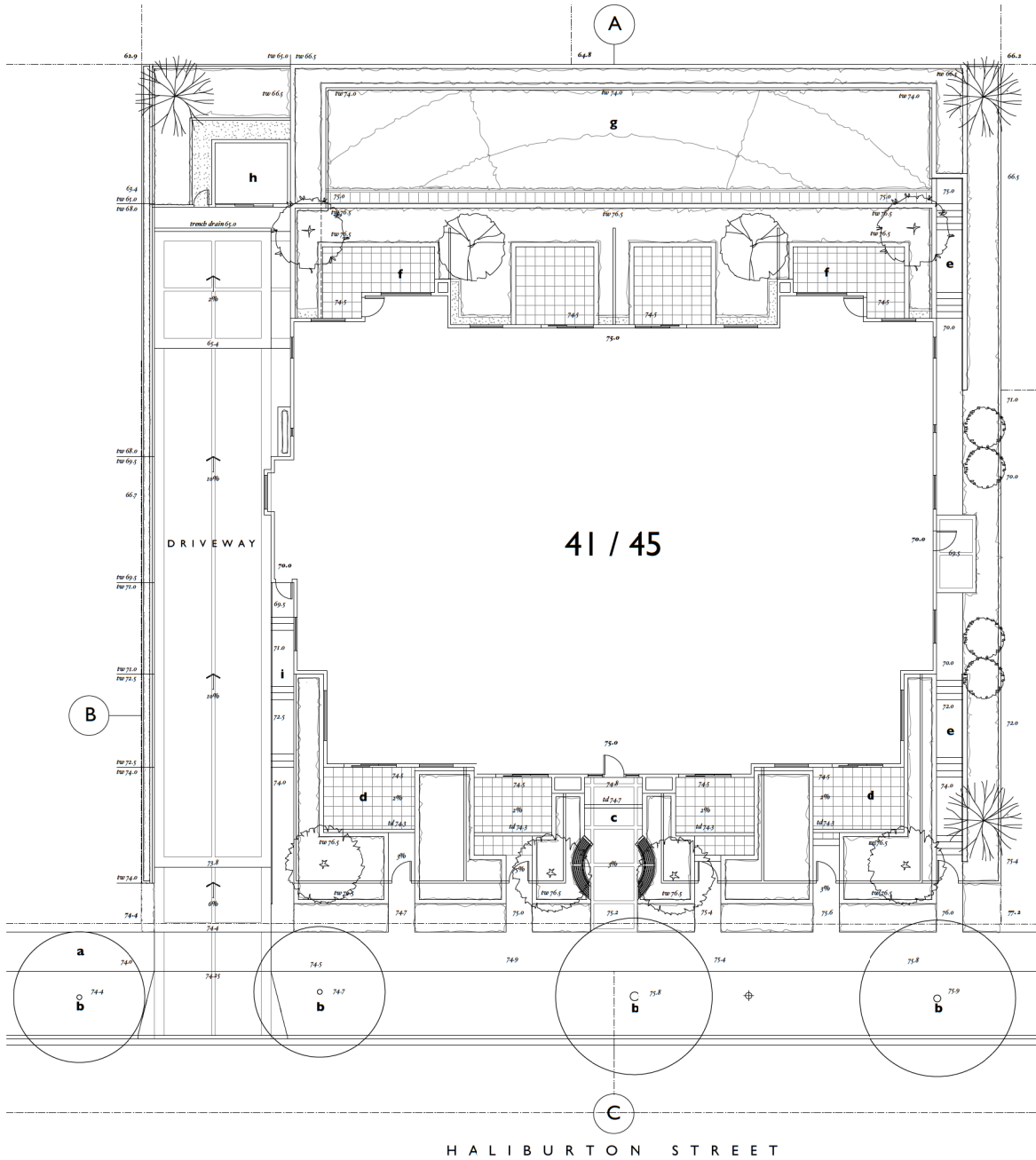
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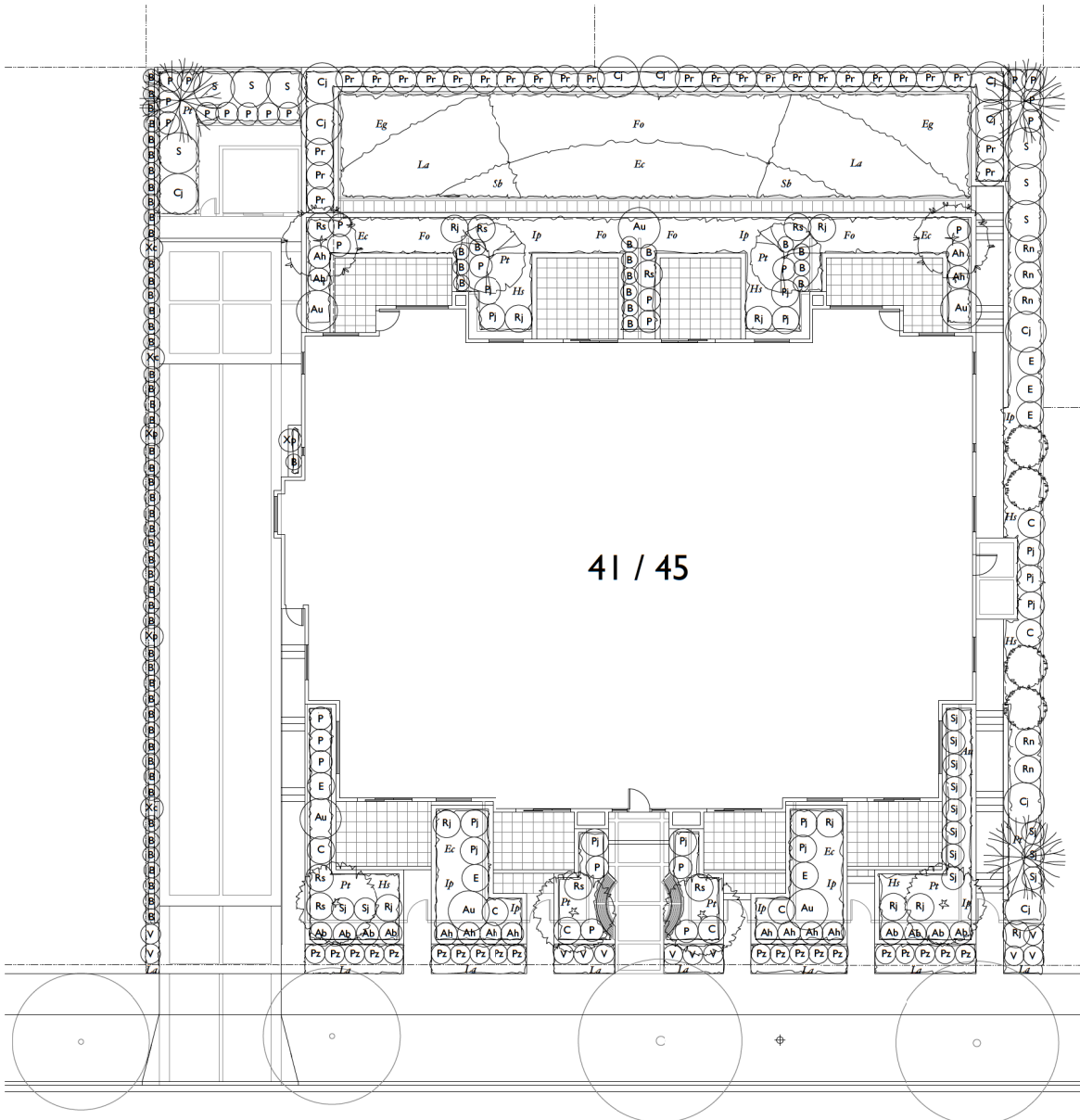
LUMINA
Project
41 & 45 Haliburton Street, Nanaimo, BC
Legal Description: Lots 3 and 4, Block 6, Section 1, Nanaimo District, Plan 584

No.	Date	Issue Notes
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No.	Date	Revision Notes

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2021-MAR-03
CURRENT PLANNING

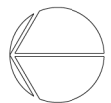
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L6 Roof Plan
-
-
Drawn:
JC
Job No.:
TBD
Scale:
As Noted
Date:
Mar 3, 2021
CAD File:
TBD
Checked:
MTH
Sheet No.:
A2.6





41 / 45

Symbol	Qty	Botanical Name	Common Name	Size	Note
TREES					
	2	<i>Acer palmatum Bloodgood</i>	Japanese Maple	6'bt	multitem
	2	<i>Acer palmatum Senkaki</i>	Japanese Maple	6'bt	multitem
	4	<i>Fagus sylvatica Daneyck</i>	Daneyck Beech	3" cal	low branch
	3	<i>Liquidambar styraciflua</i>	Sweet Gum	3" cal	
	4	<i>Stryax obassia</i>	Fragrant Snowbell	3" cal	
SHRUBS					
	6	<i>Arbutus unedo</i>	Strawberry Tree	#5	
	8	<i>Azalea japonica Blue Danube</i>	Azalea	#2	
	12	<i>Azalea japonica Hino White</i>	Azalea	#2	
	66	<i>Blechnum spicant</i>	Deer Fern	#2	
	10	<i>Camellia japonica Elegans Champagne</i>	Camellia	#5	
	7	<i>Choisya ternata</i>	Mexican Mockorange	#5	
	6	<i>Euonymus alatus Compactus</i>	Burningbush	#2	
	13	<i>Pieris japonica Forest Flame</i>	Pieris	#5	
	27	<i>Polystichum munifolium</i>	Swordfern	#2	
	26	<i>Prunus laurocerasus Reynouardii</i>	Russian Laurel	#7	
	20	<i>Prunus laurocerasus Zabeliana</i>	Zabel Laurel	#2	
	9	<i>Rhododendron Jean Marie de Montague</i>	Rhododendron	#5	
	8	<i>Rhododendron Snow Lady</i>	Rhododendron	#5	
	5	<i>Rosa nutkana</i>	Nootka Rose	#5	
	13	<i>Skimmia japonica</i>	Skimmia	#2	
	7	<i>Syringa vulgaris Firmament</i>	Lilac	#5	
	11	<i>Viburnum laurifolium</i>	Viburnum	#2	
GROUNDCOVERS					
	20	<i>Arctostaphylos uva-ursi</i>	Kimbernitch	#1	
	108	<i>Erica carnea Springwood White</i>	Heather	#1	
	120	<i>Lavandula angustifolia Munstead</i>	Lavender	#1	
	48	<i>Pachysandra terminalis</i>	Japanese Spurge	#1	
	36	<i>Stachys byzantina</i>	Lamb's Ears	#1	
PERENNIALS & GRASSES					
	60	<i>Elymus glaucus</i>	Blue Lyme Grass	#1	
	120	<i>Festuca ovina Glauca</i>	Blue Fescue	#1	
	24	<i>Hemerocallis Stella d'Oro</i>	Daylily	#1	
	60	<i>Iris pumila</i>	Iris	#1	
VINES					
	3	<i>Clematis amandii</i>	Evergreen Clematis	#5	staked
	3	<i>Parthenocissus tricuspidata</i>	Boston Ivy	#5	staked
All Plants to meet BCSLA / BCNTA Standards					
Drip irrigation to be provided for all planting areas					



December 6, 2021

41 / 45

41 & 45 Haliburton St, Nanaimo, BC

Level One

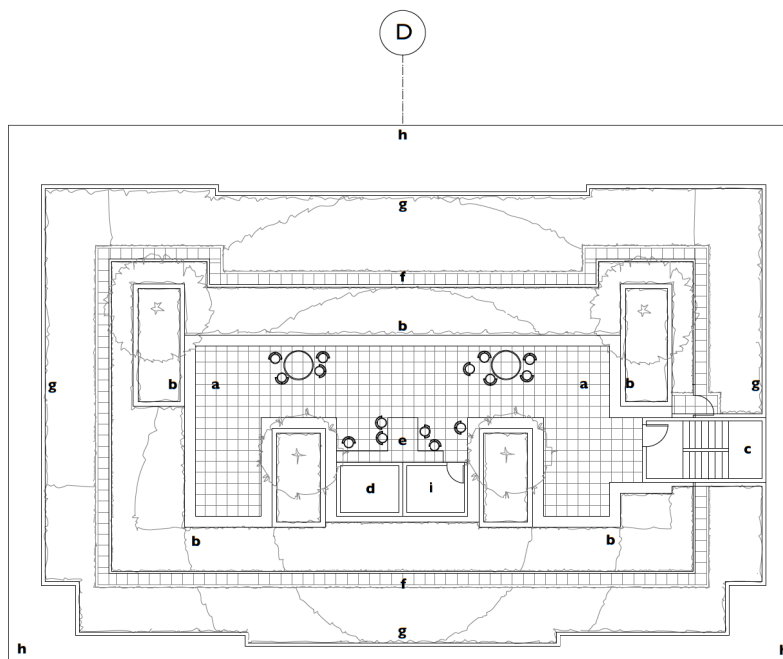
Landscape Grading Plan

Scale 1/8"=1'-0"

TOPOGRAPHICS
landscape architecture
250 247 9720

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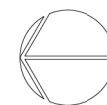
LA 2



Key

- a **Garden Terrace**
permeable concrete pavers
- b **Sitting Wall**
18" soil depth
- c **Stairway**
refer to architecture
- d **Elevator**
refer to architecture
- e **Counter**
30" height
- f **Guardrail**
3'-6" height
- g **Planter Wall**
12" height
- h **Roof Cantilever**
please refer to architecture
- i **Mechanical Room**
please refer to mechanical

- D **Landscape Section**
please refer to L45



December 6, 2020 revised
October 22, 2020 revised
October 14, 2020 revised
October 2, 2020 conceptual plan

41 / 45

41 & 45 Haliburton St, Nanaimo, BC

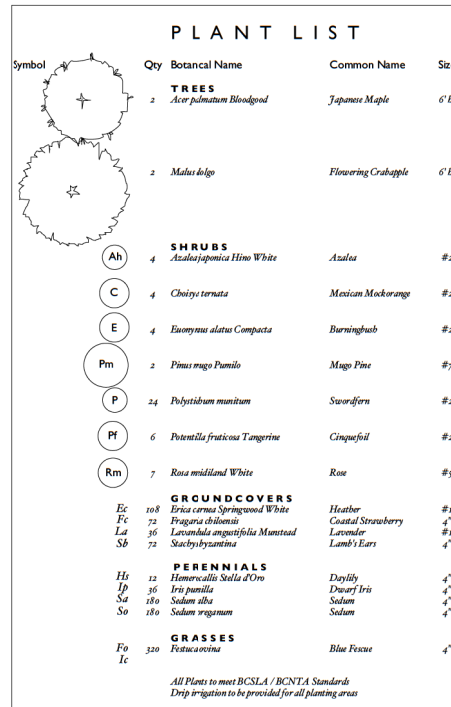
Level Six

Landscape Grading Plan
Scale 1/8"=1'-0"

TOPOGRAPHICS
landscape architecture
250 247 9720

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LA 3



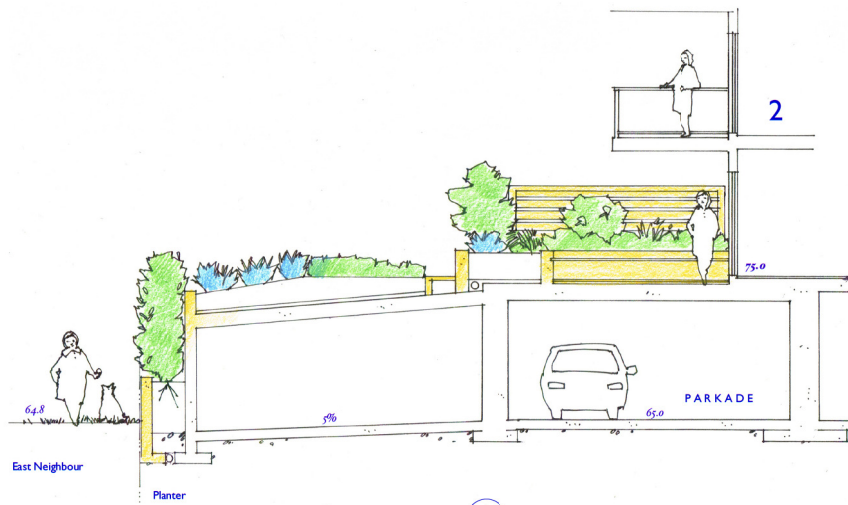
December 6, 2020 revised
October 22, 2020 revised
October 14, 2020 revised
October 2, 2020 conceptual plan

41 / 45
41 & 45 Haliburton St, Nanaimo, BC
Level Six
Landscape Planting Plan
Scale 1/8"=1'-0"

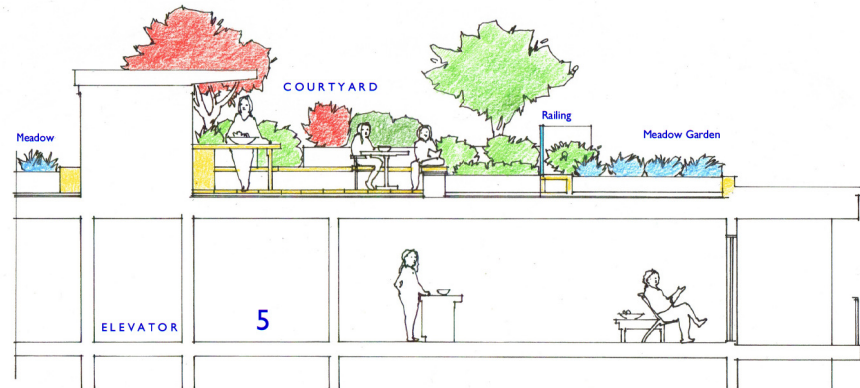
TOPOGRAPHICS
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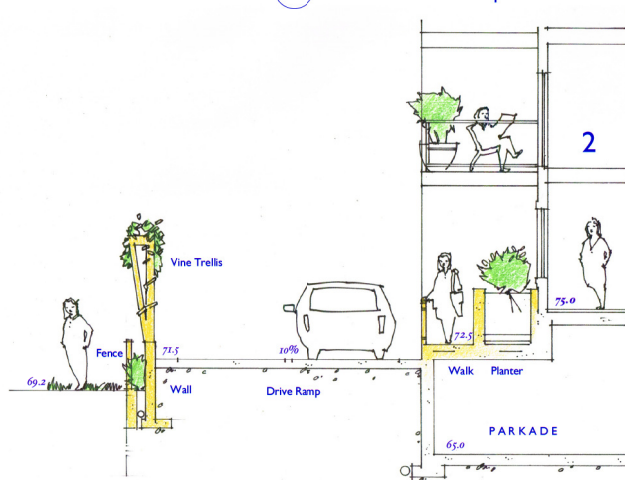
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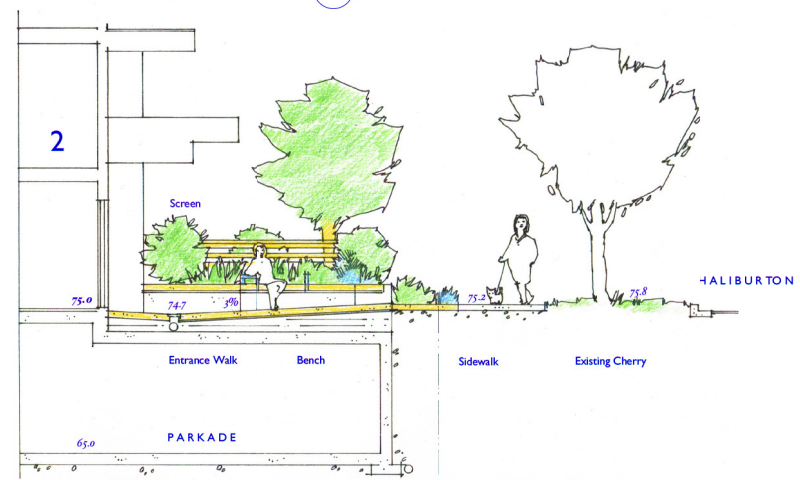
Section A East Landscape



Section D Roof Garden



Section B North Landscape



Section C West Landscape

December 6, 2022 revision

41 / 45

41 & 45 Haliburton St, Nanaimo, BC

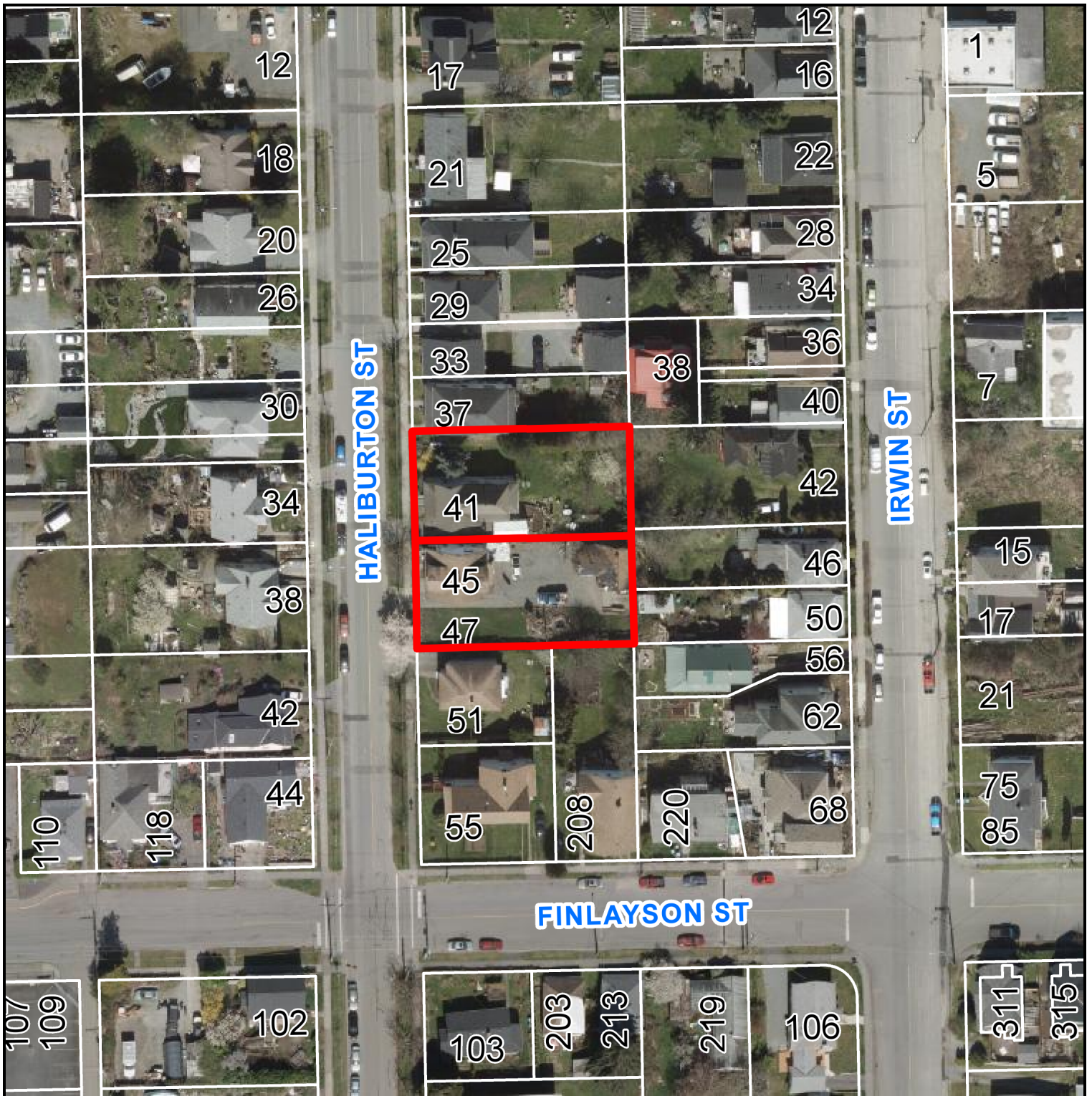
Level One
Landscape Sections
Scale 1/4" = 1'-0"

TOPOGRAPHICS
landscape architecture
450 347-9730

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LA 5

AERIAL PHOTO



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41 & 45 HALIBURTON STREET