



AGENDA
BOARD OF VARIANCE MEETING

March 4, 2021, 4:00 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING OF THE BOARD OF VARIANCE TO ORDER:

[Note: This meeting will be live streamed and video recorded for the public.]

2. INTRODUCTION OF LATE ITEMS:

3. ADOPTION OF AGENDA:

4. ADOPTION OF MINUTES:

3 - 7

Minutes of the Open Board of Variance Meeting held in the Board Room, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo BC, on Thursday, 2021-JAN-07, at 4:00 p.m.

5. PRESENTATIONS:

a. Board of Variance No. BOV747 - 21 Robarts Street

8 - 13

Legal description: The Easterly 45 Feet of Lot 16, Block 16, Section 1, Nanaimo District, Plan 584

The applicant is requesting to reduce the front yard setback from 3m to 2.5m in order to reconstruct a previously existing, non-conforming front porch. This represents a variance of 0.5m.

Zoning Bylaw No. 4500 requires a minimum front yard setback of 3m in the DT8 zone. A porch is permitted to project up to 2m into the front yard setback on a single residential dwelling.

Legal description: Lot B, Section 2, Wellington District, Plan EPP81989

The applicant is requesting to reduce the required setback for a garage door from 6m to 4.36m in order to permit a proposed addition to an existing single residential dwelling. This represents a variance of 1.64m.

Zoning Bylaw No. 4500 requires a minimum setback of 6m for all garage doors and carport entrance ways facing a street on a single residential dwelling.

6. **OTHER BUSINESS:**

7. **ADJOURNMENT:**

MINUTES
BOARD OF VARIANCE MEETING
BOARDROOM, SERVICE AND RESOURCE CENTRE
411 DUNSMUIR STREET, NANAIMO, BC
THURSDAY, 2021-JAN-07 AT 4:00 P.M.

PRESENT: Members: Jessica Kaman, Chair, At Large Member
 Nelson Allen, At Large Member
 Allan Dick, At Large Member (joined electronically)
 Daryoush Firouzli, At Large Member (joined electronically)

 Absent: Kenneth Hample, At Large Member

 Staff: L. Stevenson, Planner
 K. Berke, Recording Secretary

1. CALL THE BOARD OF VARIANCE COMMITTEE MEETING TO ORDER:

The Open Board of Variance Meeting was called to order at 4:06 p.m.

2. INTRODUCTION OF LATE ITEMS:

- (a) Agenda Item 5(a) Board of Variance Application No. BOV744 – 5324 Kenwill Drive - Add an email from adjacent property owners who are in support of the variance.
- (b) Agenda Item 5(b) Board of Variance Application No. BOV745 – 2198 Departure Bay Road - Add an email from an adjacent property owner who is not in support of the variance.

3. ADOPTION OF AGENDA:

 It was moved and seconded that the Agenda be adopted as amended. The motion carried unanimously.

4. ADOPTION OF MINUTES:

 It was moved and seconded that the Minutes of the Board of Variance Meeting held in the Boardroom, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC on Thursday, 2020-DEC-17, at 4:00 p.m., be adopted as circulated. The motion carried unanimously.

5. PRESENTATIONS:

(a) Board of Variance No. BOV744 – 5324 Kenwill Drive

The Chair read the application requesting a variance to locate a heat pump between the front of the principal building and the nearest front lot line. Zoning Bylaw No. 4500 requires that a heat pump or central air conditioning unit be located to the rear or side of a principal building. The applicant requests a variance to “Section 6.5.2 of the City of Nanaimo Zoning Bylaw No. 4500”. Where the principal use of the property is a single residential dwelling or duplex, heat pumps and central air conditioning units shall not be located between the front face of a principal building and the nearest front lot line, and shall not be closer than 4.5m to side lot lines or closer than 3m to rear lot lines. Heat pumps and central air conditioning units shall be screened from view from streets.

Scott Parker, owner, spoke to the rationale and hardship of the application. He stated that when his house was developed in the early 1990's, Georgiaview Crescent was designated as the front yard to the property due to the location of the house on the lot; however, the civic address of the property is actually 5324 Kenwill Drive. Therefore, any design of the property comes from the knowledge that Georgiaview is his front yard. He also stated that the location of the proposed heat pump would serve the best interest to surrounding neighbours and the elevations of his property are quite a bit higher from the nearest neighbour at 5311 Georgiaview Crescent. He believes that for how his family uses the property, Kenwill Drive is his front yard.

Discussion took place regarding:

- The proposed location being screened by a fence from the road
- The designation and definition of the front and side yard
- House meeting current setbacks
- Conflicts with putting heat pumps in the front yard
- Noise level to surrounding neighbours

It was moved and seconded that application BOV744 for 5324 Kenwill Drive to vary the provisions of “Section 6.5.2 of City of Nanaimo Zoning Bylaw No. 4500” to locate a heat pump between the front of the principal building and the nearest front lot line be approved. The motion carried unanimously.

(b) Board of Variance Application No. BOV745 – 2198 Departure Bay Road

The Chair read the application requesting a variance to allow a fence height of up to 2.0m within the front yard setback and within the required 7m setback for visibility at intersections. The applicant requests a variance to “Sections 6.9.1 and 6.10.2 of the City of Nanaimo Zoning Bylaw No. 4500”. Where two streets intersect, there shall be no obstruction to the line of vision between 1.2m and 3m within an area bounded by the centre line of intersecting lot lines and a line joining each of the lot lines 7m from their point of intersection. The maximum height of a fence within the front yard shall not exceed 1.2m in height in the R1 zone.

Melvin and Constance Crum, owners, spoke to the rationale for the application. They stated that their house is located on Departure Bay Road, where there is constant traffic. The main entrance and main floor of their house is close to street level, where they find it very noisy. The noise and busyness of it make it truly difficult to enjoy being outside in their yard. They are proposing to build a 2m high fence inside their property line on Departure Bay Road to reduce the noise and give them some privacy from the large volume of traffic. They said they have done some research and found that a 2m high concrete fence is their best option to reduce the noise. A 1.2m high fence is not high enough to block out the noise & sight of the constant traffic. They said their proposed fence would meet the intent of the Visibility At Intersection bylaw (Section 6.9.1), to not obstruct the visibility of the road, as the road right of way is greater than 11 metres from Montrose Avenue to their lot. They also advised that many of their neighbours (both owners and tenants) have signed a letter in support of their application.

Discussion took place regarding:

- The hardship being the constant noise from traffic
- The intention with the existing trees along the Departure Bay Road lot line
- Safety of the visibility at the intersection
- Aesthetics with a 2 metre high concrete fence
- Whether there was discussion with the City before they bought the house of what their options were for noise mitigation
- Possibility for higher shrubs, hedge or vegetation, different fence material
- Permeability between the street and houses, create a connection between public and private
- Big blank wall attracts vandalism
- The fence height for all front yards in an R1 Zone have a maximum fence height of 1.2m
- Extenuating circumstances should allow for modifications to the bylaw, different avenues for the applicants to go such as development variance application etc.

It was moved and seconded that application BOV745 for 2198 Departure Bay Road to vary the provisions of “Sections 6.9.1 and 6.10.2 of City of Nanaimo Zoning Bylaw No. 4500” in order to permit a fence height of up to 2.0m within the front yard setback and within the required 7m setback for visibility at intersections be denied. The motion carried.

Opposed: *Nelson Allen*

(c) Board of Variance Application No. BOV746 – 30 Mt. Benson Street

The Chair read the application requesting a front yard setback of 5.05m and a north side yard setback of 2.14m in order to renovate an existing non-conforming building and increase its height by approximately 1m. This represents front and side yard setback variances of 0.95m and 0.86m respectively. Zoning Bylaw No. 4500 requires a minimum front yard setback of 6m and a minimum side yard setback of 3m in the R8 zone.

Don Saywell, on behalf of the owners, spoke to the rationale for the application. He stated that presuming that the building was built to the required setbacks at the time; they are looking to reconstruct the building to upgrade it to the British Columbia Building Code standards without having to demolish the existing foundation.

Discussion took place regarding:

- When the building was originally constructed
- The use of the building
- Through the building approval the front, the sides and the back of that building will be renovated including the roof
- The approved development permit
- Proposed changes to the existing building
- Whether raising the roof approximately 1.2m is within the allowable height
- The extent of the interior and exterior renovations

It was moved and seconded that application BOV746 for 30 Mt. Benson Street to vary the provisions of “Section 7.5.1 of City of Nanaimo Zoning Bylaw No. 4500” to allow a front yard setback of 5.05m and a north side yard setback of 2.14m in order to renovate an existing non-conforming building and increase its height by approximately 1m be approved. The motion carried unanimously.

6. OTHER BUSINESS:

(a) Late Item Submitted & BOV Notices

Board member discussion took place regarding the late item that was submitted for BOV745 from a neighbour who was not in support of the variance. The neighbour stated that he did not receive a notice within the 7 day bylaw requirement before the meeting. Staff advised of the requirements in the Local Government Act and the Board of Variance Bylaw, and said that the City is required to make its best efforts to mail or otherwise deliver notices not less than 7 days before the hearing. In this case, the notice was mailed by the City more than 14 days prior to the meeting, which is why staff did not remove the application from the agenda. However, if the board members felt that adequate notice was not provided, then they may make a motion to postpone an item.

7. ADJOURNMENT:

It was moved and seconded at 5:09 p.m. that the meeting adjourn. The motion carried unanimously.

CHAIR

CERTIFIED CORRECT:

RECORDING SECRETARY



COMMUNITY DEVELOPMENT

BOARD OF VARIANCE

NOTICE OF MEETING

A meeting of the Board of Variance will be held on Thursday, 2021-MAR-04, at 4:00 p.m. in the Board Room, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC to hear the following appeal:

APPEAL NO: BOV00747

Applicant: BRITTANY MARTIN AND RYAN HILL

Civic Address: 21 ROBARTS STREET

Legal Description: THE EASTERLY 45 FEET OF LOT 16, BLOCK 16, SECTION 1, NANAIMO DISTRICT, PLAN 584

Purpose: Zoning Bylaw No. 4500 requires a minimum front yard setback of 3m in the DT8 zone. A front porch is permitted to project up to 2m into the front yard setback on a single residential dwelling. The applicant is requesting to reduce the front yard setback from 3m to 2.5m in order to reconstruct a previously existing, non-conforming front porch. This represents a variance of 0.5m. The porch would then project 2m into the front yard setback as permitted by the Zoning Bylaw.

Zoning Regulations: Old City Mixed Use – DT8 Zone. The applicant requests a variance to the “City of Nanaimo Zoning Bylaw No. 4500”:

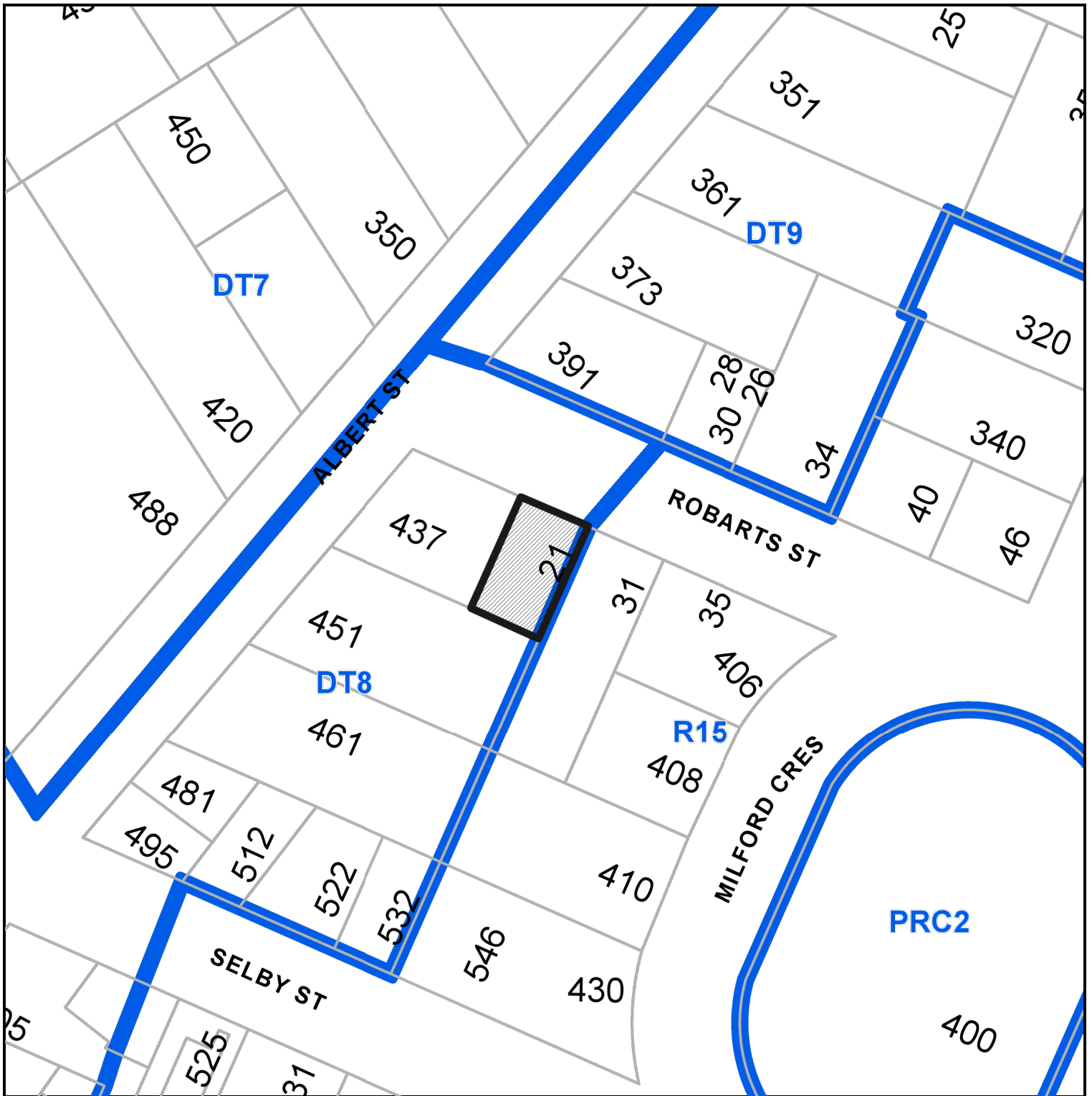
*Section 11.5.1 – Siting of Buildings
A minimum front yard setback of 3m is required.*

You are being notified as an owner or tenant of land that is adjacent to land that is the subject of this application. The Board of Variance decision will apply to subsequent owners of the land. If you deem your property is affected by the proposed variance, you will be given opportunity to be heard by the Board of Variance. In light of COVID-19, members of the public may submit comments in writing or pre-register to attend via Zoom. In-person attendance will not be permitted at this time.

WRITTEN SUBMISSION: To submit comments in writing you must contact the Current Planning Section no later than 2:30 p.m., March 4th, 2021 by emailing planning@nanaimo.ca or calling 250-755-4429 (x4222).

ATTEND VIA ZOOM: To attend electronically as a delegation, you must register no later than 11:00 a.m., March 1st, 2021 by emailing planning@nanaimo.ca or calling 250-755-4429 (x4222).

LOCATION PLAN



BOARD OF VARIANCE NO. BOV00747

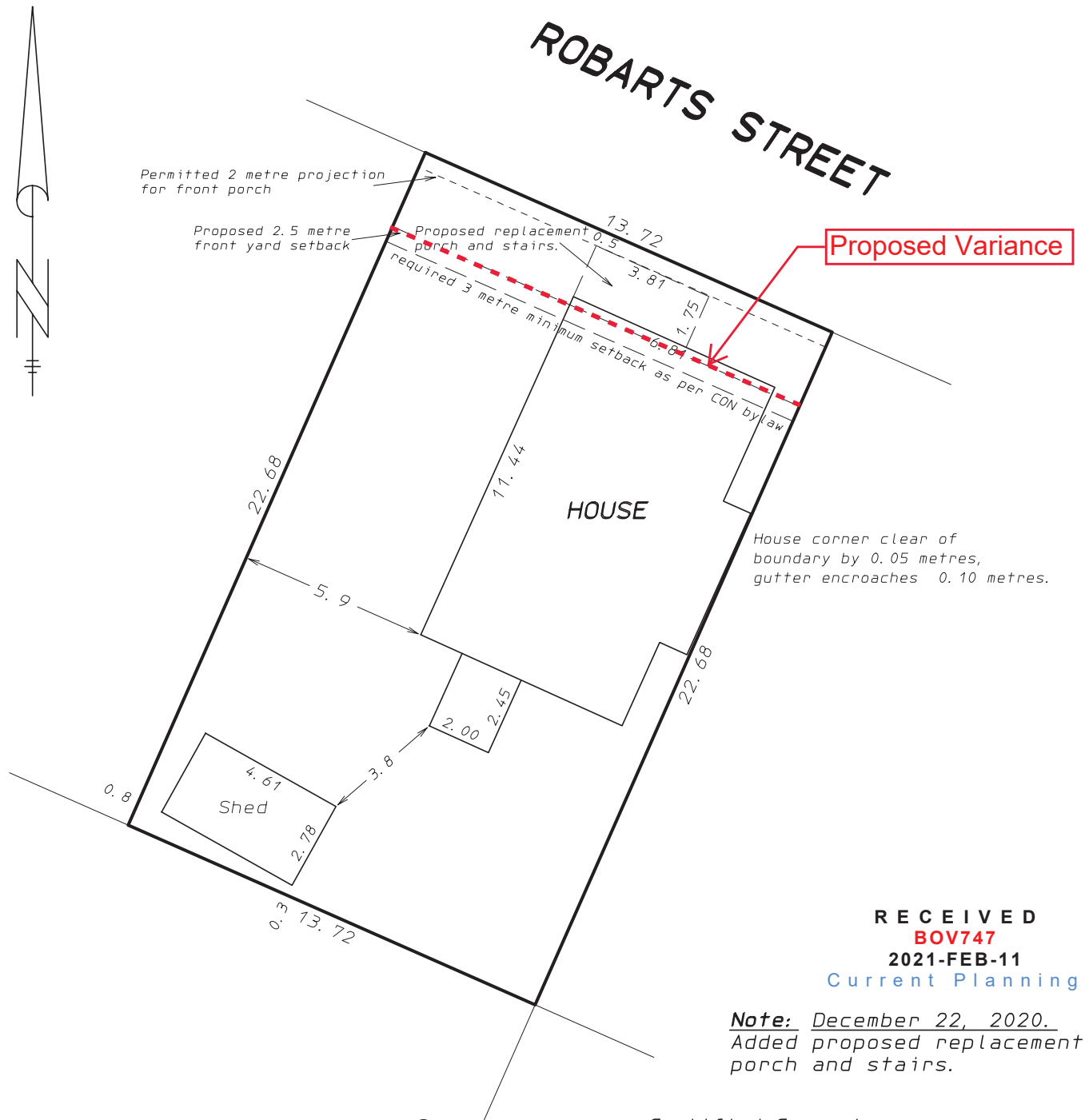
CIVIC: 21 ROBERTS STREET

LEGAL: THE EASTERLY 45 FEET OF LOT 16, BLOCK 16, SECTION 1, NANAIMO DISTRICT, PLAN 584

B. C. LAND SURVEYOR'S CERTIFICATE OF LOCATION
OF BUILDINGS ON THE EASTERLY 45' OF LOT 16,
BLOCK 16, PLAN 584, SECTION 1,
NANAIMO DISTRICT.

SCALE = 1: 200

All distances are in metres.



RECEIVED
BOV747
2021-FEB-11
Current Planning

Note: December 22, 2020.
Added proposed replacement porch and stairs.

Charles O. Smythies & Associates ©

B. C. Land Surveyors & Planners
Nanaimo, B. C.

Date: November 4, 2020.

File: 7-NM-1-9 (4478.001)

Certified Correct

George Smythies
BH9W74

Digitally signed by George Smythies BH9W74
DN: c=CA, cn=George Smythies BH9W74, o=BC Land
Surveyor, ou=Verify ID at www.juricert.com/
LKUP.cfm?id=BH9W74
Date: 2021.02.11 14:14:12 -0800

B. C. L. S.

This document is not valid unless
originally signed and sealed.

February 8, 2021

City of Nanaimo
455 Wallace Street
Nanaimo, BC
V9R 5J6

Attention: Board of Variance

First General Services of Vancouver Island is formally submitting a request for a variance on behalf of Lee Lawrie, owner of 21 Robarts Street, Nanaimo BC.

In July of 2020, Ms. Lawrie's home was struck by a vehicle which resulted in damage to the front porch. First General Services has submitted a building permit to reconstruction the porch to the exact pre-loss size and location, with no alterations or additions. Current Zoning Bylaw has a yard setback, so we are requesting to vary the front yard setback from 3m to 2.5m in order to allow a front porch to project 2m into the required front yard setback (0.5m from the property line).

First General is requesting a variance to the current Zoning Bylaw to reconstruct the porch as it was built in 1905 with the home and it will not work with the existing layout to put the porch anywhere else. The porch and associated structure were in place for many years without hardship towards neighbours or the community and as such rebuilding the porch to the previous specification will not adversely impact anyone.

Thank you for your consideration in this matter.

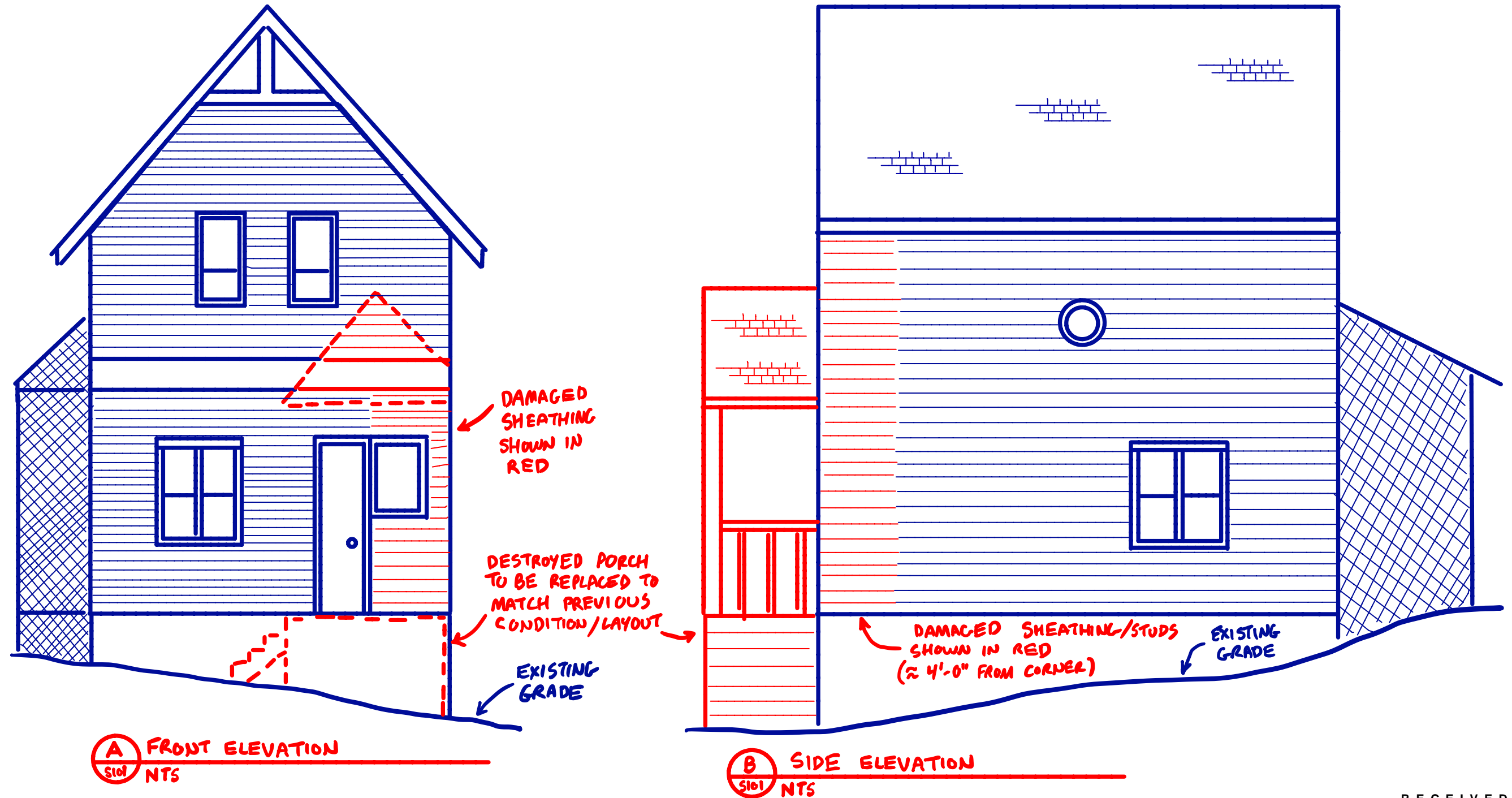
Regards,

Brittany Martin

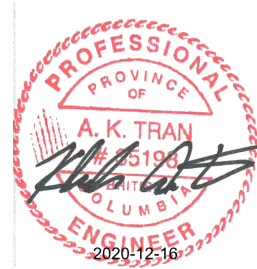
[REDACTED]

Project Manager
First General Services of Vancouver Island

RECEIVED
BOV 747
2021-FEB-08
Current Planning



RECEIVED
BOV 747
2021-FEB-04
Current Planning



REVISIONS			
REV	DATE	DESCRIPTION	ENG
1	11/DEC/2020	BUILDING PERMIT	KT
ISSUE	DATE	DESCRIPTION	ENG
ISSUE			

CLIENT:
INTACT INSURANCE

sorensen
TRILOGY
STRUCTURAL ENGINEERING SOLUTIONS
NANAIMO (250) 585-1360 VICTORIA (778) 265-7362
www.sorensentriology.ca

PROJECT:
21 ROBARTS ST VEHICLE
IMPACT ASSESSMENT

DESIGN: SK
DATE: 11DEC2020
DRAFT: SK
REVIEW: KT

TITLE:
21 ROBARTS ST

PROJ No: 20-273
SCALE: NTS
S102
REV: 1

AERIAL PHOTO



BOARD OF VARIANCE NO. BOV00747

 21 ROBARTS STREET



COMMUNITY DEVELOPMENT

BOARD OF VARIANCE

NOTICE OF MEETING

A meeting of the Board of Variance will be held on Thursday, 2021-MAR-04, at 4:00 p.m. in the Board Room, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC to hear the following appeal:

APPEAL NO: BOV00748

Applicant: JOSH KNIGHT (SHINING KNIGHT CONSTRUCTION)

Civic Address: 1382 ROSE ANN DRIVE

Legal Description: LOT B, SECTION 2, WELLINGTON DISTRICT, PLAN EPP81989

Purpose: Zoning Bylaw No. 4500 requires a minimum setback of 6m for all garage doors and carport entrance ways facing a street on a single residential dwelling. The applicant is requesting to reduce the required setback for a garage door from 6m to 4.36m in order to permit a proposed addition to an existing single family dwelling. This represents a variance of 1.64m.

Zoning Regulations: Single Dwelling Residential – R1 Zone. The applicant requests a variance to the “City of Nanaimo Zoning Bylaw 2011 No. 4500”:

Section 7.5.3

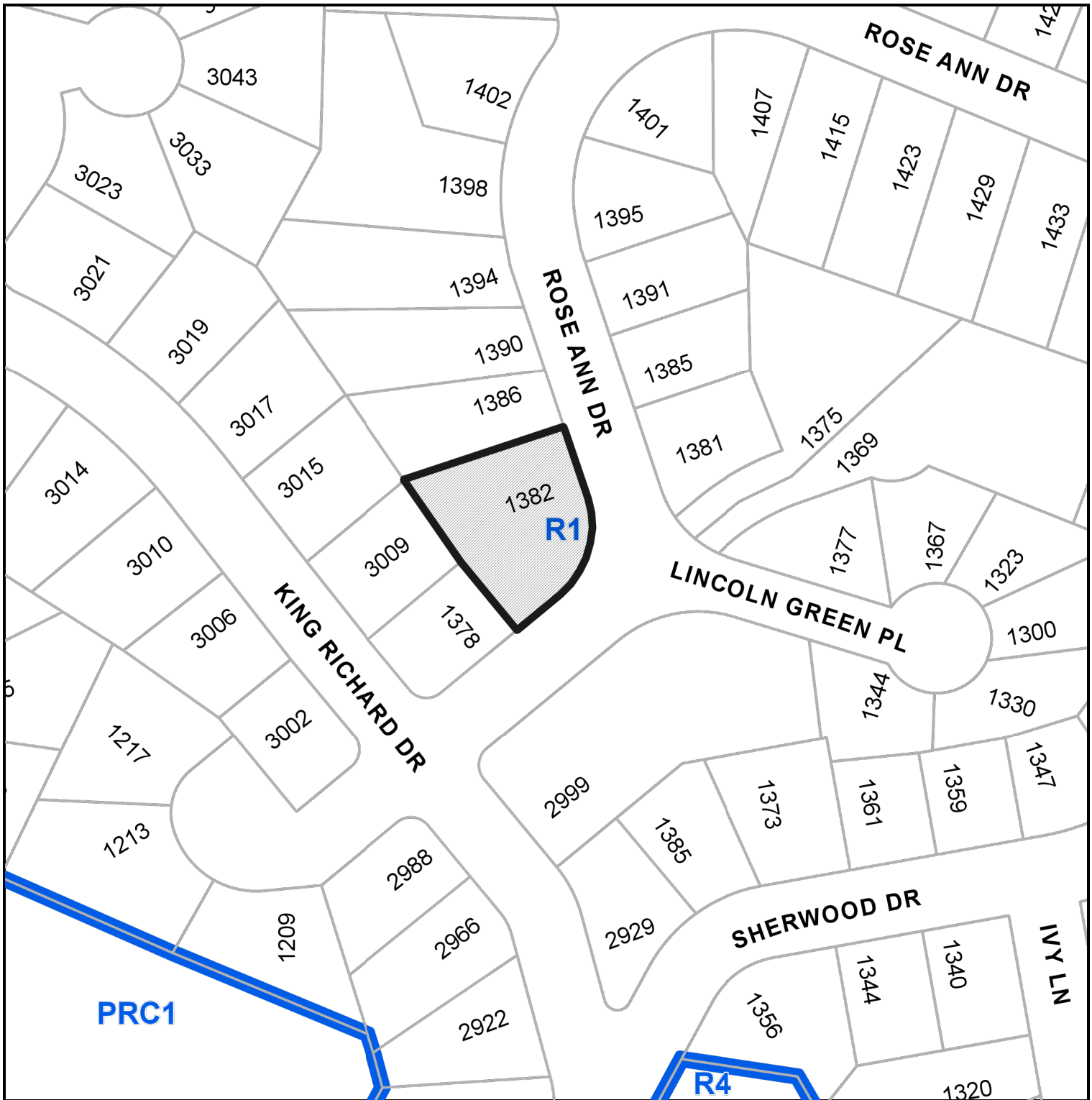
All garage doors and carport entrance ways facing a street on a single residential dwelling or duplex must be setback at least 6m.

You are being notified as an owner or tenant of land that is adjacent to land that is the subject of this application. The Board of Variance decision will apply to subsequent owners of the land. If you deem your property is affected by the proposed variance, you will be given opportunity to be heard by the Board of Variance. In light of COVID-19, members of the public may submit comments in writing or pre-register to attend via Zoom. In-person attendance will not be permitted at this time.

WRITTEN SUBMISSION: To submit comments in writing you must contact the Current Planning Section no later than 2:30 p.m., March 4th, 2021 by emailing planning@nanaimo.ca or calling 250-755-4429 (x4222).

ATTEND VIA ZOOM: To attend electronically as a delegation, you must register no later than 11:00 a.m., March 1st, 2021 by emailing planning@nanaimo.ca or calling 250-755-4429 (x4222).

LOCATION PLAN



BOARD OF VARIANCE NO. BOV00748



Subject Property

CIVIC: 1382 ROSE ANN DRIVE

LEGAL: LOT B, SECTION 2, WELLINGTON DISTRICT, PLAN EPP81989

B.C. LAND SURVEYOR'S CERTIFICATE OF PROPOSED ADDITION TO HOUSE LOCATED ON:

LOT B, SECTION 2, WELLINGTON DISTRICT, PLAN EPP81989.

SCALE 1:250
0 2 4 6 8 10 15 metres
DISTANCES AND ELEVATIONS ARE IN METRES.

NOTES:

CIVIC ADDRESS: 1382 ROSE ANN DRIVE

LOT DIMENSIONS ARE DERIVED FROM REGISTERED PLANS.

ELEVATION DATUM IS DERIVED FROM INTEGRATED SURVEY CONTROL MONUMENTS.

HOUSE DESIGN FROM OPEN INTERIORS DESIGN DRAWINGS DATED DECEMBER 1, 2020. WHERE ADDITION MEETS EXISTING FOUNDATION DIMENSIONS ARE APPROXIMATE. BUILDER TO LOCATE NEW FOUNDATION INSIDE MIN. SETBACKS SHOWN.

THE UNDERSIGNED CONFIRMS THAT HE HAS BEEN RETAINED BY BARRY AND VALERIE FULFORD TO PROVIDE SETBACK LINE LAYOUT IN ACCORDANCE WITH THE MIN. SETBACK DISTANCES SHOWN ON THIS PLAN.

- STANDARD IRON POST FOUND.
- ▲ HUB/SPIKE/CONCRETE NAIL FOUND
- 44.39 DENOTES PROPOSED GARAGE SLAB.

NG 44.8 DENOTES TYPICAL SPOT ELEVATION OF NATURAL GRADE (NG) IN CONFORMANCE WITH THE CITY OF NANAIMO ZONING BYLAW.

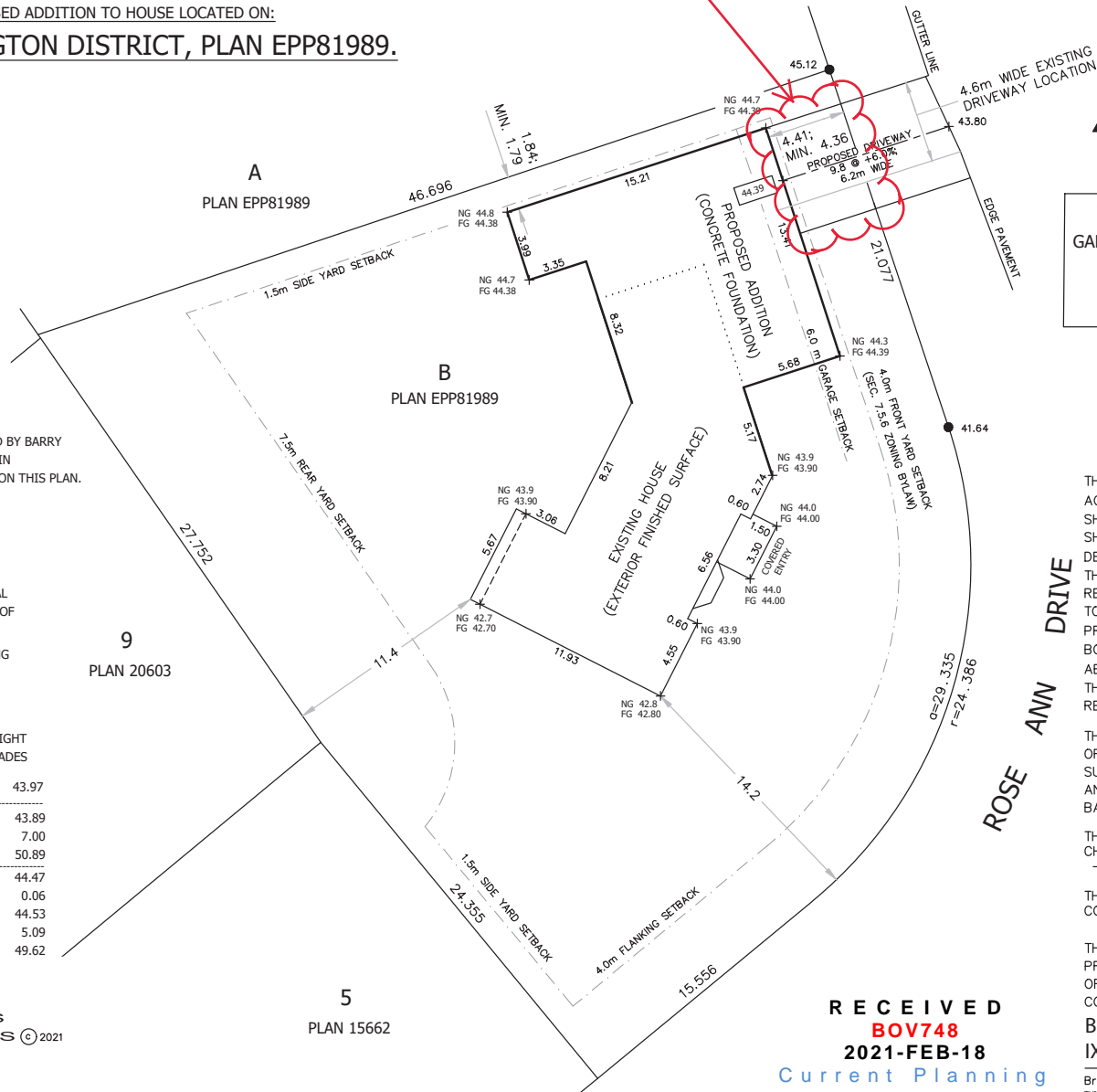
FG 44.38 DENOTES TYPICAL SPOT ELEVATION OF EXISTING and PROPOSED FINISHED GRADE (FG).

MAXIMUM HOUSE HEIGHT CALCULATION BY GRADES

MEAN NG	=	43.97
MEAN FG	=	43.89
MAXIMUM HEIGHT	+	7.00
CON MAXIMUM ROOF PEAK	=	50.89
EXISTING MAIN FLOOR	=	44.47
APPROX. RISE TO PROPOSED ADDITION SLAB	+	0.06
PROPOSED ADDITION SLAB	=	44.53
APPROX. HEIGHT TO PROPOSED ROOF PEAK	+	5.09
PROPOSED ROOF PEAK	=	49.62

WILLIAMSON & ASSOCIATES
PROFESSIONAL SURVEYORS © 2021
3088 BARONS ROAD NANAIMO B.C. V9T 4B5
PHONE: 250-756-7723 FAX: 250-756-7724
EMAIL: WAPS@VICBS.CA
FILE: 12035-5 REV 2 HEIGHT SURVEY (BASE PLAN 12035)

Proposed Garage Door
Setback Variance



**VARIANCE REQUIRED
GARAGE FRONT YARD SETBACK**
REQUIRED SETBACK = 6.00 m
PROPOSED SETBACK = 4.41 m
CONTINGENCY + 0.05 m
VARIANCE REQUIRED = 1.64 m

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S).

THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S). THIS PLAN IS NOT TO BE USED TO RE-ESTABLISH BOUNDARY LINES.

THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

THIS PARCEL MAY BE SUBJECT TO REGISTERED CHARGES & PERMITS:

- STATUTORY BUILDING SCHEMES H14058 & B67122;

THIS PLAN DOES NOT PURPORT TO VERIFY COMPLIANCE WITH THE RESTRICTIONS THEREIN.

THIS BUILDING LOCATION CERTIFICATE HAS BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE AND IS CERTIFIED CORRECT THIS DATE OF: FEBRUARY 17, 2021.

Brock Williamson
IXFVP6

Digitally signed by Brock Williamson IXFVP6
DN: cn=CA, cn=Brock Williamson IXFVP6, o=BC
Land Surveyor, ou=Verify ID at
www.juricert.com/lookup.cfm?id=IXFVP6
Date: 2021.02.17 20:12:36 -08'00'

Brock E.J. Williamson B.C.L.S.
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED.

RECEIVED
BOV748
2021-FEB-18
Current Planning

February 19, 2021

Variance Rationale

We are seeking a setback variance associated with the Garage addition at 1382 Rose Ann Drive, Nanaimo. The Zoning Bylaw requires a 6m setback for garage doors facing a street and we are requesting a setback of 4.41m from the front property line to the garage door, a proposed variance of 1.64m

The hardships caused to the homeowners that are resulting in this setback variance application are listed below:

The topography of the property limits the building capabilities by location and by size. With the odd shaped house and pie shaped yard as well as change in topography, pushing the proposed building back, would encroach into the small useable backyard (this may not be clear from the site plan, and is again due to the very sloped property visible in the contour line drawings). While the property is large, most of it is steep and treed, not able to be used. Due to the lots design and location, the topography prohibits being able to place the garage in any other location as the land on the other side of the house does not make sense, being as it is so far below the house.

The current residence is a 1500 square foot (just under 2000 square feet including converted garage) single level, with only 2 bedrooms and while it was designed with an attached two car garage, in the 24 years the couple have resided in the home, they have never used that area as a garage.

The previous owners reported the garage was unusable due to its original design where a vehicle was required to turn 90 degrees in a 20' area, and down a slope into the garage, making it incredibly hard to enter or exit even with a small car. At no time could two cars ever fit into the garage. This part of the property would be torn down and the area encompassed into the new plans.

Also, and especially important, if you consider the hallway in the house that leads into the planned addition, the design encroaches the garage into the house as far as possible, otherwise the garage interferes with the hallway. The garage goes into the residence as far as it can (6') where it intersects the hallway, the only access into the proposed addition.

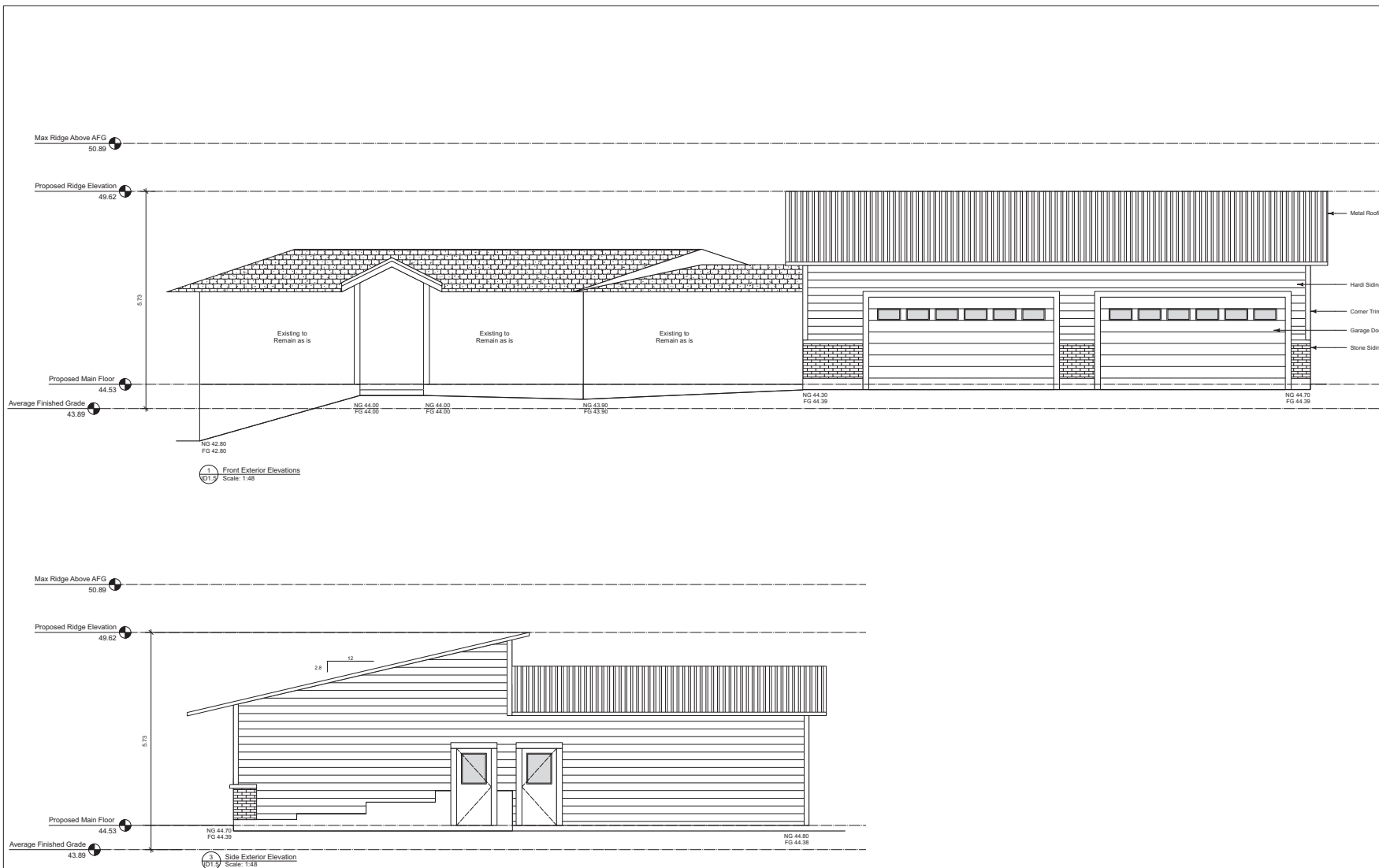
The proposed plans include a minimum of 3 and possibly 5 off street parking spots.

Over the years the owners have completed extensive upgrades to the home to make the home modern looking and beautiful in the neighborhood. The garage addition has been designed to finish that plan.

The addition will provide the residence with a total of 3 bedrooms and a 2-car garage and workshop.

With the current setup, the property is without a garage or even a garden shed. The original garage/converted bedroom area is not renovate-able due to the garage floor and issues with drainage. It needs to be demolished as part of the build, so that the entire property will blend into the existing upgrades the couple completed to the main home.

We are confident the completed project will enhance the beauty of the neighborhood and the city will benefit in increase property taxes.



General Notes	
1. These drawings are the property of Open Interiors Inc. and may not be copied or reproduced in any manner other than that defined on the drawings without express written permission.	
2. Do not scale the drawings. Larger scale drawings shall take precedence over small scale drawings.	
3. Construction procedures and materials shall conform to the current edition of the B.C. Building Code, and all addenda thereto as well as all local Bylaws and Regulations.	
4. The Contractor shall verify all lines, levels, surveys, dimensions, and location of all services before commencing construction. Commencement of construction shall constitute acceptance of conditions as satisfactory.	
5. The Owner shall obtain the municipal building permit. The Contractor shall obtain all other required permits.	
6. Dimensions are taken at face or centre line of walls as indicated, and top of slab, subfloor or plate, or at underside of lintel as indicated.	
7. The Contractor shall visit the site and ascertain all physical conditions affecting the contract. No claim shall be considered with respect to problems that the site inspection would have disclosed.	
8. Safety, care of adjacent properties during construction, and compliance with regulations regarding safety shall be the responsibility of the Contractor.	
9. All materials purchased for and delivered to the site shall remain on site.	
10. The Contractor shall consult the Designer if at any time a variation in the construction or in quality of materials as specified would, in his judgement, be beneficial or expedite the execution of his work or that of other trades.	
11. Substitutions in materials or methods of construction, when necessary because of material shortages or in respect to avoid serious delays, may be made only after consultation with and receipt of written approval from the designer.	
12. Workmanship shall be best quality and good trade practice, executed by workers experience and skilled in respective duties for which they are employed. Immediately notify Consultant if required Work is such as to make it impractical to produce required results.	
13. Framing lumber shall be SPF No 2 or Better unless noted otherwise.	
14. Lintels over openings shall be 2x2/10 minimum unless noted otherwise.	
15. Built up posts shall have laminations equal in number to the laminations of the supported beam.	
16. Footings shall bear on solid undisturbed native soil or engineered granular fill below the frost depth.	
17. Engineered manufactured joists and beams shall be designed by a professional engineer licensed to practice in British Columbia. Shop drawings for engineered manufactured joists and beams shall be signed and sealed by a professional engineer licensed to practice in British Columbia.	
18. Engineered wood roof trusses shall be designed by a professional engineer licensed to practice in British Columbia. Shop drawings for engineered wood roof trusses shall be signed and sealed by a professional engineer licensed to practice in British Columbia.	
Construction Notes	
1. All exterior walls to be W2 unless otherwise noted	
2. All interior walls to be W5 unless otherwise noted	
3. Forced Air Furnace with Heat Pump	
4. Hot Water on Demand in Addition	
Construction Facilitator	
Construction and project to be managed by Shiring Knight Construction	
Drawing Name	
Exterior Elevations	
Drawing By	
Julene Lypkie	
Date	Revision No.
01.12.2020	9
Scale	Sheet Number
As Noted	ID1.5

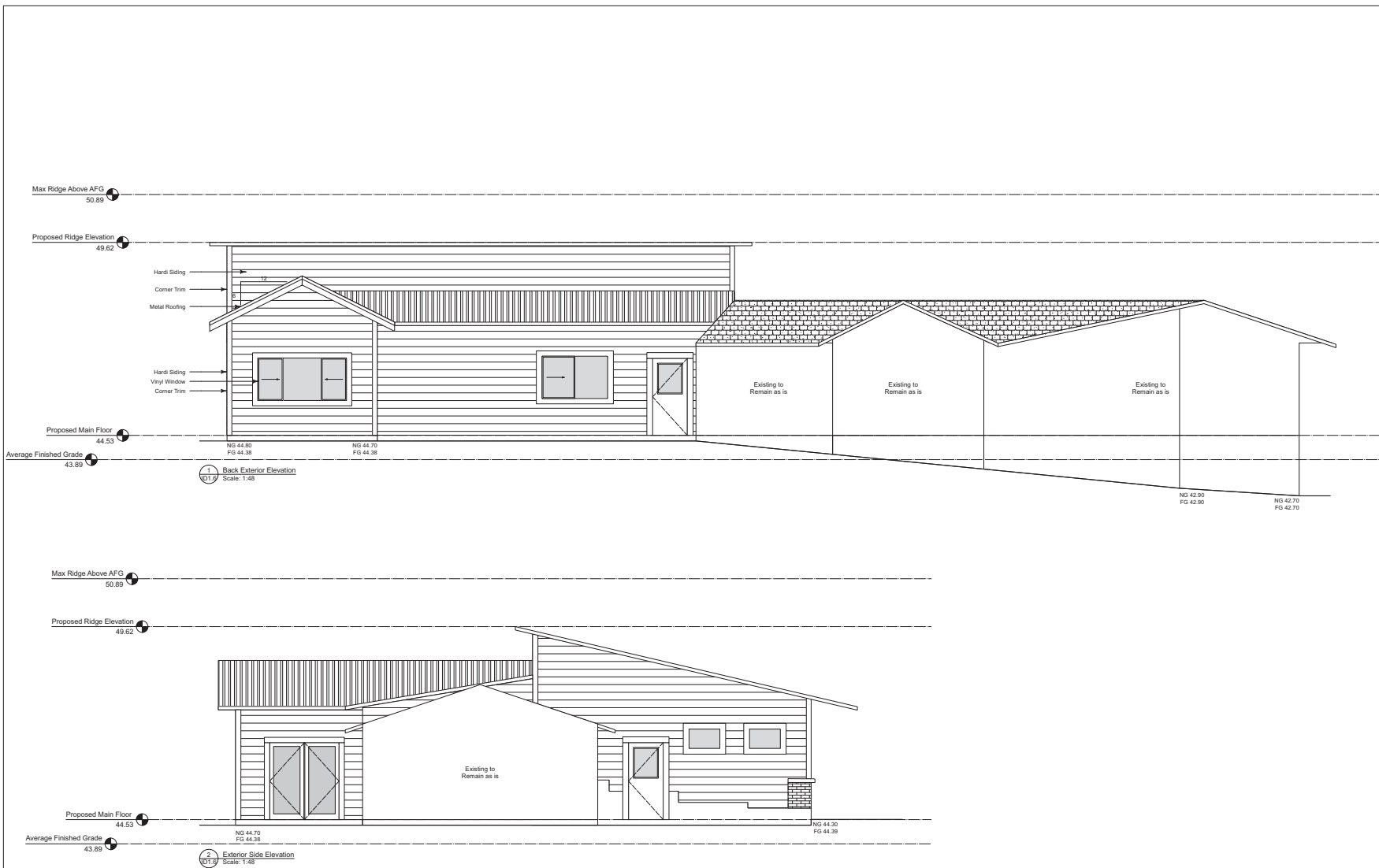
Open Interiors
 PROFESSIONAL DESIGN SERVICES
 3011 Meadow Drive
 Nanaimo BC V9R 7G5
 info@openinteriors.ca

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Revision	Date	By
1. Client Review	May 11.18	JL
2. Client Review	Aug 2.18	JL
3. Client Review	June 04.20	JL
4. Issued to Consultants	Aug 28.20	JL
5. Issued to Consultants	Sep 21.20	JL
6. Issued for Pricing	Sep 23.20	JL
7. Client Review	Oct 1.20	JL
8. Issued to Consultants	Nov 2.20	JL
9. Issued for Permit	Dec 1.20	JL

Project Name
 Fulford Residence
 1382 Rose Ann Dr. Nanaimo, BC

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 Current Planning



General Notes	
1. These drawings are the property of Open Interiors Inc. and may not be copied or reproduced in any manner other than that defined on the drawings without express written permission.	
2. Do not scale the drawings. Larger scale drawings shall take precedence over small scale drawings.	
3. Construction procedures and materials shall conform to the current edition of the B.C. Building Code, and all addenda there to as well as all local Bylaws and Regulations.	
4. The Contractor shall verify all lines, levels, surveys, dimensions, and location of all services before commencing construction. Commencement of construction shall constitute acceptance of conditions as satisfactory.	
5. The Owner shall obtain the municipal building permit. The Contractor shall obtain all other required permits.	
6. Dimensions are taken at face or centre line of walls as indicated, and top of slab, subfloor or plate, or at underside of lintel as indicated.	
7. The Contractor shall visit the site and ascertain all physical conditions affecting the contract. No claim shall be considered with respect to problems that the site inspection would have disclosed.	
8. Safety, care of adjacent properties during construction, and compliance with regulations regarding safety shall be the responsibility of the Contractor.	
9. All materials purchased for and delivered to the site shall remain on site.	
10. The Contractor shall consult the Designer if at any time a variation in the construction or in quality of materials as specified would, in his judgement, be beneficial or expedite the execution of his work or that of other trades.	
11. Substitutions in materials or methods of construction, when necessary because of material shortages or in order to avoid serious delays, may be made only after consultation with and receipt of written approval from the designer.	
12. Workmanship shall be best quality and good trade practice, executed by workers experience and skilled in respective duties for which they are employed. Immediately notify Consultant if required Work is such as to make it impractical to produce required results.	
13. Framing lumber shall be SPF No 2 or Better unless noted otherwise.	
14. Lintels over openings shall be 2x2/10 minimum unless noted otherwise.	
15. Built up posts shall have laminations equal in number to the laminations of the supported beam.	
16. Footings shall bear on solid undisturbed native soil or engineered granular fill below the frost depth.	
17. Engineered manufactured joists and beams shall be designed by a professional engineer licensed to practice in British Columbia. Shop drawings for engineered manufactured joists and beams shall be signed and sealed by a professional engineer licensed to practice in British Columbia.	
18. Engineered wood roof trusses shall be designed by a professional engineer licensed to practice in British Columbia. Shop drawings for engineered wood roof trusses shall be signed and sealed by a professional engineer licensed to practice in British Columbia.	
Construction Notes	
1. All exterior walls to be W2 unless otherwise noted	
2. All interior walls to be W5 unless otherwise noted	
3. Forced Air Furnace with Heat Pump	
4. Hot Water on Demand in Addition	
Construction Facilitator	
Construction and project to be managed by Shining Knight Construction	
Drawing Name	
Exterior Elevations	
Drawing By	
Julene Lypkie	
Date	Revision No.
01.12.2020	9
Scale	Sheet Number
As Noted	ID1.6

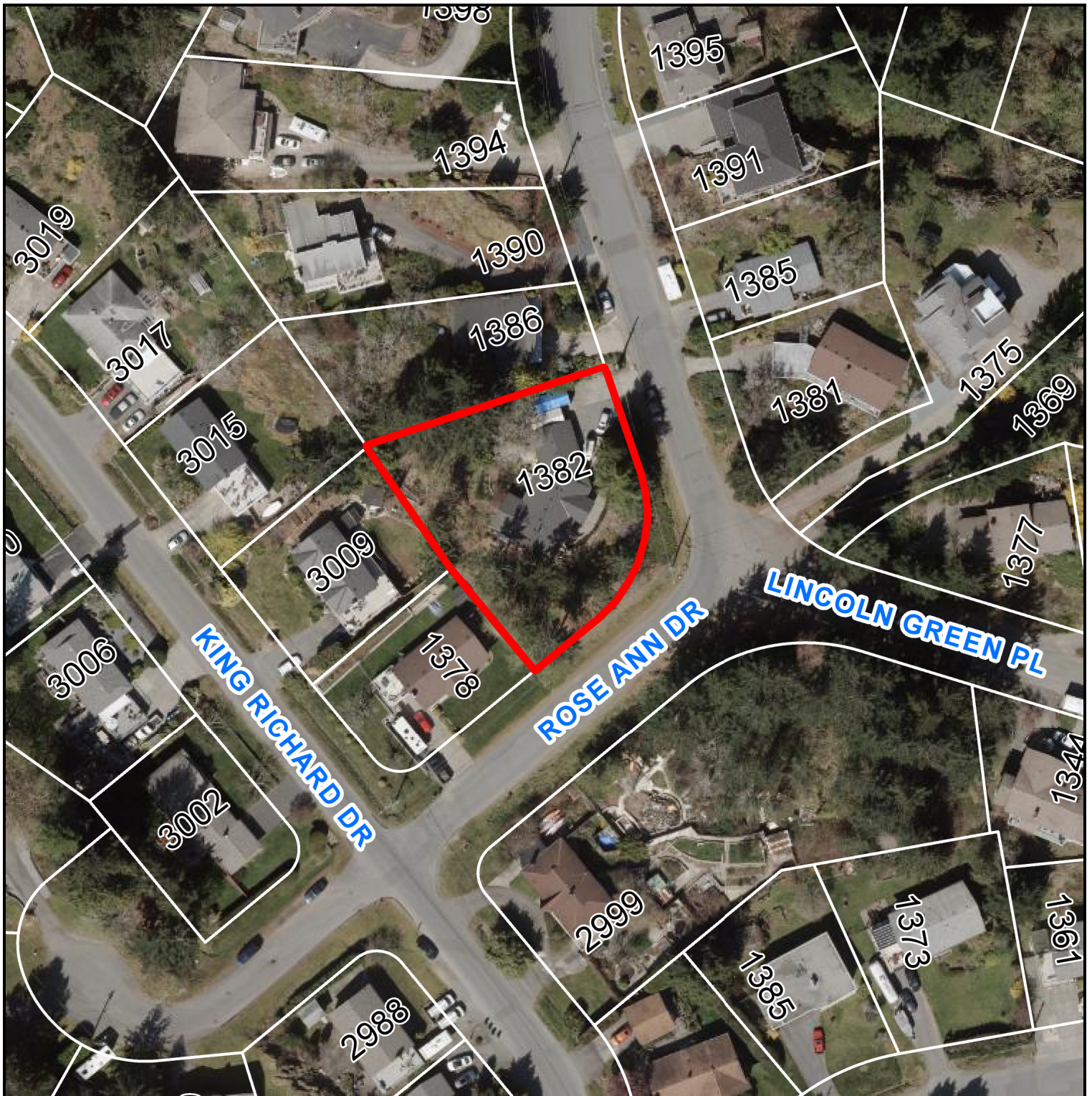
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Project Name
Fullford Residence
1382 Rose Ann Dr. Nanaimo, BC

AERIAL PHOTO



BOARD OF VARIANCE NO. BOV00748

 1382 ROSE ANN DRIVE