



AGENDA
DESIGN ADVISORY PANEL MEETING

February 25, 2021, 5:00 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING TO ORDER:

[Note: This meeting will be live streamed and video recorded for the public.]

2. ADOPTION OF AGENDA:

3. ADOPTION OF MINUTES:

a. Minutes

3 - 7

Minutes of the Design Advisory Panel Meeting held in the Boardroom of the Service and Resource Centre, 411 Dunsmuir Street, Nanaimo BC, on Thursday 2021-FEB-11.

4. PRESENTATIONS:

a. Development Permit Application No. DP1212 - 285 Prideaux Street

8 - 42

To be introduced by Lisa Brinkman, Planner, Current Planning Section

A development permit application, DP1212, has been received from S2 Architecture Interior Design for the development of a four-storey personal care facility building which is proposed to include 51 units. The subject property is legally described as Lot B, Section 1, Nanaimo District, Plan EPP95349.

b. Development Permit Application No. DP1221 - 3945 Biggs Road

43 - 97

To be introduced by Lainya Rowett, Manager, Current Planning Section

A development permit application, DP1221, has been received by Stuart Olson Construction Ltd., on behalf of Her Majesty the Queen in Right of the Province of British Columbia, as represented by the Minister of Citizens' Services, for a phased development to replace the existing Nanaimo Correctional Centre. The existing facility will be demolished and twelve new buildings will be erected. The subject property is legally described as Lot A, Section 1, Range 3, Wellington District, Plan VIP68061.

5. OTHER BUSINESS:

6. ADJOURNMENT:

MINUTES
DESIGN ADVISORY PANEL MEETING
BOARD ROOM, SERVICE AND RESOURCE CENTRE
411 DUNSMUIR STREET, NANAIMO, BC
THURSDAY, 2021-FEB-11, AT 5:00 P.M.

PRESENT: Members: Charles Kierulf, Chair
 Councillor Brown (joined electronically)
 Tony James, AIBC (joined electronically)
 Kevin Krastel (joined electronically)
 Marie Leduc (joined electronically)
 Kate Stefiuk, BCSLA (joined electronically)

Absent: Gur Minhas

Staff: L. Rowett, Manager, Current Planning Section
 L. Brinkman, Planner, Current Planning Section
 C. Horn, Planner, Current Planning Section
 L. Nielsen, Recording Secretary

1. CALL THE DESIGN ADVISORY PANEL MEETING TO ORDER:

The Design Advisory Panel Meeting was called to order at 5:06 p.m.

2. ADOPTION OF AGENDA:

It was moved and seconded that the Agenda, be adopted. The motion carried unanimously.

3. ADOPTION OF MINUTES:

It was moved and seconded that the Minutes of the Regular Design Advisory Panel Meeting held in the Boardroom, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC, on Tuesday, 2020-JAN-28 at 5:05 p.m. be adopted as circulated. The motion carried unanimously.

4. PRESENTATIONS:

(a) Development Permit Application No. DP1213 – 250 Timbercrest Way

Introduced by Lisa Brinkman, Planner, Current Planning Section.

Presentations:

1. Joyce Troost, Architect of Joyce Reid Troost Architecture accompanied by Scott Mack, Principal of Townsite Planning Inc., presented the project. Ms. Troost spoke regarding site history, site and neighbourhood context,

site topography, and provided an overview of the proposed architectural plans.

- There are 21 residential units proposed (nine duplex buildings and three single family homes)
- The duplex models differ from one another; one is wide and shallow, and the other is long and narrow
- Single family homes are located at each end of the site
- Buildings are sited to fit the site's topography and natural features and to allow for optimal sun exposure
- The lowest point of the property is at the corner of Timbercrest Way and Crestline Terrace
- Exterior materials consist of natural materials in muted colours such as stone and wood

2. Scott Murdoch, Landscape Architect of Murdoch de Greef Landscape Planning and Design presented the landscape plan and spoke regarding the proposed tree retention plan, site grade challenges and the proposed plant palette.

- The tree management plan proposes 31 tree removals and the planting of 132 trees
- The site's grades are inconsistent throughout the site and attempts are made to minimize disturbance to the land and the amount of retaining walls required
- Ornamental planting treatments are used on street frontages and side yards
- Common areas are planted with native and adaptive plant material and small lawn areas are proposed where the slope allows
- Concrete will be used for walkways and driveways
- A rock cut wall will run through the mid portion of the site (naturalized zone)
- A mix of native and non-native tree species will be used including Douglas fir, arbutus, native pines, maple and ash
- Shade gardens will be incorporated and will include native ferns

Panel discussions took place regarding the following:

- The intended stratification of the development
- The driveway design and location for the duplex units
- The east elevation façades and considerations to break building massing
- The possibility of integrating an amenity space on the east side of the property
- The proximity of Buildings 5 and 8 pertaining to the proposed glazing and fire protection
- Siting the single family homes at either end of the development
- The possibility of fitting visitor parking on the site
- The proposed building height variance

It was moved and seconded that Development Permit Application No. DP1213 be accepted as presented with support for the proposed building height variance. The following recommendations were provided:

- Consider introducing variation on the east facing high wall elevations; and,
- Consider introducing an amenity space or pathway in keeping with the natural landscape character.

The motion carried unanimously.

(b) Development Permit Application No. DP1214 – 400 Fitzwilliam Street

Introduced by Caleb Horn, Planner, Current Planning Section.

Presentations:

1. Pablo Yuste, Architect and Principal of Omicron Architecture Engineering Construction Ltd., accompanied by Jordan Royer, Project Manager of Omicron Architecture Engineering Construction Ltd., presented the project. Mr. Yuste spoke regarding site and neighbourhood context, site grades, building siting and volumes, and provided an architectural overview of the project.
 - This mixed use development consists of two buildings for a residential rental mix of 197 units and one commercial retail unit
 - The existing Telus operations centre is to remain onsite
 - The proposed unit mix targets a wide variety of household types, with adaptable and accessible units included
 - The site is programmed with a number of elements which include a communal roof deck atop Building B (including an indoor kitchen area), children's play space, a dog walk area, garden beds, outdoor communal amenity furnishings (ie seating, dining table)
 - Wallace Terrace, a new public space is being created just off the street level commercial retail unit located on the corner of Wallace and Wentworth Street
 - A prominent sculptural stair is proposed from the lower level of Wallace Street and to the semi-private resident courtyard between Buildings A and B
 - The resident courtyard is located over the underground parkade
 - Street frontage improvements will include a bike lane along Wallace, Wentworth and Richards streets
 - Parking area access will be from Richards Street
 - Exterior materials are chosen to limit massing and include aluminum composite panel, wood look shiplap siding, corrugated and perforated metal cladding in contrasting colours
 - All patios and balconies will include glazing
2. Ken Larsson, Landscape Architect of Connect Landscape Architecture presented an overview of the proposed landscape concept plan.

- The Wentworth/Wallace Street corner public plaza will include several amenities to become an activity generator which includes the corner bulge, bike path, commercial retail unit and slightly elevated seating terrace, a people place
- Materials, textures and colours are chosen to be durable and to play off the coastal feel

Panel discussions took place regarding the following:

- The possibility of providing additional street level commercial space
- The lower units and resident access from the street level
- Pedestrian access to and through the site
- Historical pedestrian movement within the Old City area, its uniqueness and the possibility of creating something similar through the site
- The importance of the transition with the existing neighbourhood along the Wallace Street/Fitzwilliam Street corner
- The possibility of adding transparency to the commercial unit for enhanced lighting on the plaza
- Landscape materials and plantings to reflect the local zone
- The use of artificial turf within the dog walk area and rubber matting within the children's play area
- The good use of the site's natural topography to step back and screen the underbuilding parking with dwelling units
- The street facing units on all elevations providing surveillance and reducing any need for fencing or gating
- The possible reinforcement of the character of the older areas, with less of a setback and a little more streetscape

It was moved and seconded that Development Permit Application No. DP1214 be accepted as presented with support for the proposed building height variance. The following recommendations were provided:

- Consider enhancing the southeast corner stair and its relationship to the street; and,
- Give further consideration to enhancing the integration between the building frontage and the Wallace Street streetscape.

The motion carried unanimously.

5. OTHER BUSINESS:

Lainya Rowett, Manager, Current Planning Section advised the panel that one panel member has resigned and the position will be advertised.

6. ADJOURNMENT:

It was moved and seconded at 6:55 p.m. that the meeting terminate. The motion carried unanimously.

CHAIR

CERTIFIED CORRECT:

RECORDING SECRETARY

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001212 – 285 PRIDEAUX STREET

Applicant / Architect: S2 ARCHITECTURE INTERIOR DESIGN

Owner: CITY OF NANAIMO

Landscape Architect: WSP LANDSCAPE ARCHITECTURE

SUBJECT PROPERTY AND SITE CONTEXT:

<i>Zoning</i>	Fitzwilliam Zone (DT2) and Old City Mixed Use (DT8)
<i>Location</i>	The subject property is located on the corner of Prideaux Street and Fitzwilliam Street.
<i>Total Area</i>	1,796 m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Neighbourhood Map 3 – Development Permit Area No. 8 – Old City Neighbourhood; Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential Development; and Heritage Conservation Area (HCA 1)
<i>Downtown Nanaimo Plan</i>	Old City Commercial and Fitzwilliam Character Area #8
<i>Relevant Design Guidelines</i>	Old City Multiple Family Residential Design Guidelines Nanaimo Downtown Urban Design Plan and Guidelines (Fitzwilliam precinct) General Development Permit Area Design Guidelines

The subject property is located in the Old City neighbourhood, on Fitzwilliam Street which is a gateway to downtown Nanaimo. The existing community services building will be demolished to allow for redevelopment of the site. The adjacent property to the west is the City's new fire hall, which is currently under construction. The Nanaimo detachment of the RCMP is located across Fitzwilliam Street to the south. The surrounding neighbourhood is a transitional area between more intensive commercial uses to the east and residential uses to the west. Nearby properties include single residential dwellings, low-density commercial uses, multi-family residential buildings, and commercial services.

PROPOSED DEVELOPMENT

The applicant is proposing a four-storey personal care facility with 51 supportive housing units.

Site Design

The building is set back 5.9m from the Fitzwilliam Street property line, and the front elevation and entrances face Prideaux Street. The grade of the property slopes down towards the northeast corner, causing the entrances to the building to be raised, with steps and/or a wheelchair ramp to provide access. A shared driveway (with the fire hall) is located along the west side of the property. Driveway access to the property is provided on both Fitzwilliam Street and Prideaux Street. Six parking spaces and the garbage/recycling enclosure are located on the north side of the property. A landscaped amenity area is located on the south side of the building, within the setback area

between the building and the Fitzwilliam Street public sidewalk. A concrete sidewalk is provided around the perimeter of the building. A bike rack is provided near the building entrance.

The proposed building will have a Floor Area Ratio (FAR) of 1.48, less than the maximum permitted FAR of 2.3.

Staff Comments:

- Due to the statutory right-of-ways registered on the property title (noted as access easement on the plans), the proposed site plan makes efficient use of the developable area of the property.

Building Design

A four-storey modular wood frame building is proposed. The main floor of the building will contain offices, staff room, kitchen, laundry, lounge, dining area and 6 residential units. The upper three storeys of the building contains 45 units. Generous glazing is proposed for the first storey facing Prideaux Street, and a canopy with wood detailing extends along the length of the front façade, which defines the ground floor and provides interest and weather protection for the primary building entrances. The exterior façade materials consist of fibre cement paneling and wood like fibre cement plank. The arrangement of the white fibre cement panel on the south and east façade provides interest and breaks the massing of the building. The building elevation facing Fitzwilliam Street contains windows and a canopy for weather protection in the amenity area.

Staff Comments:

- Consider ways to better differentiate the ground floor amenity area and the south elevation, such as a change in material or contrasting colour to break the continuous use of wood like material on this elevation.
- Provide details of screening for any rooftop equipment.
- While the canopy identifies the building frontage, consider additional detailing or visual cue to accent the front entry doors.

Landscape Design

A raised amenity area with trees and picnic tables is proposed on the south elevation facing Fitzwilliam Street, and is located on a curved concrete retaining wall that is 0.45m in height. A curved wrought iron decorative fence, 1.56m in height, is proposed to be located on the retaining wall to enclose the amenity area. Trees and shrubs are proposed between the sidewalk and the retaining wall to screen the retaining wall. Also, a landscape buffer and wood fence are proposed along the north property line to screen the parking spaces. Trees and shrub plantings are proposed along Prideaux Street. Exterior lighting will be placed to illuminate the entrances and the pedestrian walkways.

- Provide landscape screening along the east side of the garbage/recycling enclosure to screen from the street, and along the west side if possible.
- The proposed trees and plantings in the boulevard areas will be reviewed by the City's Engineering Department.
- Consider a textured retaining wall facing the Fitzwilliam Street sidewalk, to contribute to the heritage character of the neighbourhood.

- Ensure lighting is provided on the building elevations, and within the landscaped areas on both the Fitzwilliam Street and Prideaux Street frontages, to create an attractive evening urban environment (i.e. lighting under the canopies, and within the retaining wall).

PROPOSED VARIANCES

Building Height

The maximum allowable building height is 12m, the proposed building height is 16m, a proposed variance of 4m.

Parking

The Parking Bylaw requires 0.2 parking spaces sleeping unit for the Personal Care Facility use. Ten parking spaces are required onsite and 6 parking spaces are provided, a proposed variance of 4 parking spaces.

January 22, 2021



City of Nanaimo
455 Wallace Street
Nanaimo BC, V9R 5J6

900, 110 - 12 Avenue SW
Calgary, AB T2R 0G7
T: 403.670.7000
s2architecture.com

Attention: Lisa Brinkman
Planner

Re: BC Housing, Supportive Housing on Prideaux – S2 Project #220141
Design Rationale

Dear Lisa:

The development proposed at 285 Prideaux Street in Nanaimo will be a 51-unit supportive housing facility that will be operated by the John Howard Society and will be owned and funded by BC Housing. It will consist of a four-storey modular wood frame building and site improvements. The building use, as defined by the City of Nanaimo Zoning Bylaw No. 4500, will be Personal Care Facility. The building will contain front of house office and support spaces along with a commercial kitchen, dining, and lounge spaces on the main floor. The resident accommodation has been designed studio units that will be located on each of the four floors of the building with the majority of the units being located on floors 2 through 4.

The site is split zoned DT2 and DT8 with the building primarily located upon the DT2 portion of the property. The proposed design aligns with the bylaw use, setback, site coverage, and FAR requirements but requires a variance for the proposed height. The maximum height for the zoning is set at 12.0m. We are proposing a building height of 16m in response to the slope of the site which drops down towards the north-east corner of Prideaux. Along Fitzwilliam Street the south elevation of the building is approximately 15m above grade which is in line with the elevation of the adjacent new firehall to the west.

The design of the proposed building recognizes the character recommendations described in the General Development Permit Area Guidelines and the Downtown Urban Design Plan and Guidelines in which it will be built. We have sited the proposed development and designed the materials to respond to the planning principles contained in these documents.

In response to the proportions of the site and the available site area for development, the proposed building has been positioned with its principal entrance facing onto Prideaux Street. The Building has been located as close to the street as possible to create an activated edge to become part of the lively streetscape planned for the development area. The design offers an entry terrace with a canopy above providing a welcoming approach and high-quality pedestrian environment. The front façade treatment continues along the north elevation responding to the intersection of Fitzwilliam and Prideaux and the importance of Fitzwilliam Street as a major entrance way to downtown.

RECEIVED
DP1212
2021-JAN-22
Current Planning

PRINCIPALS

Robert Spactgens *Architect, AAA, AIBC, SAA, MRAIC*
David Symons *Architect, AAA, AIBC, SAA, OAA, MRAIC, Licensed California, Texas*
Linus Murphy *Architect, AAA, AIBC, SAA, OAA, FRAIC, LEED® AP*
Brian Corkum *Architect, AAA, AIBC, SAA, OAA, LEED® AP*
Genevieve Giguere *Architect, AAA, AIBC, MRAIC*
Peter Streith *Architect, AAA, AIBC, OAA, NWTAA, FRAIC*
Robert Lange *Architect, AAA, AIBC, NWTAA, MRAIC, LEED® AP*

S2 ARCHITECTURE

ASSOCIATE PRINCIPALS

Ken Shaman *Intern Architect, AAA*
Jason Curtis *Architect, AAA, MRAIC, LEED® AP*
Madeleine Schmidts *Interior Designer, NCIDQ*
Shaad Oosman *CPA, CMA*

ASSOCIATES

Jason Dolha *Manager, Production & Technical Services*
Jane Kratochvil *HR & Office Manager*
Stephen Jabs *Manager, Information Technology*
Steven Mott *Manager, Production & Technical Services*
Chad Zyla *Architect, AAA, MRAIC*
Michelle Rowles *Architect, AAA, MRAIC*
Melissa Chabot *Interior Designer, NCIDQ, LEED® AP ID+C*
Natalie Weiss *Interior Designer, NCIDQ, LEED® AP*

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The building materials and integrated landscaping are intended to enrich the urban pedestrian environment envisioned for this area. A simple palette of materials is combined with a playful use of repeating elements to create texture, rhythm, and visual interest. We have used the materials and form to reduce the sense of scale of the building by creating three horizontal divisions that interact with one another to create a unified composition. A wood accent material has been proposed for the top level and sides of the building to increase the visual interest and the natural character.

We have proposed an outdoor amenity space for the residents between the building and Fitzwilliam Street which will provide animated pedestrian activity along this side of the building. This space has been detailed with a landscape buffer that will enhance the pedestrian experience along Fitzwilliam Street while still providing clear sight lines towards the amenity space and building.

The on-site surface parking has been located on the north end of the site with access from Prideaux Street. This location provides direct and convenient access to the principal entrance of the building. These parking spaces have been visually screening from the adjacent lot and the street with landscaping elements.

Yours truly,
S2 Architecture



Chad Zyla
Architect AAA, March, BFA
Associate/ Project Manager

Initials / Encl / cc

January 22, 2021



City of Nanaimo
455 Wallace Street
Nanaimo BC, V9R 5J6

900, 110 - 12 Avenue SW
Calgary, AB T2R 0G7
T: 403.670.7000
s2architecture.com

Attention: Lisa Brinkman
Planner

Re: BC Housing, Supportive Housing on Prideaux – S2 Project #220141
Parking Variance Rationale

Dear Lisa:

The development proposed at 285 Prideaux Street in Nanaimo will be a 51-unit supportive housing facility that will be operated by the John Howard Society and will be owned and funded by BC Housing. It will consist of a four-storey modular wood frame building. The building use, as defined by the City of Nanaimo Zoning Bylaw No. 4500, will be Personal Care Facility. The associated off-street parking and loading bylaw No. 7266 lists the parking requirements for the Personal Care Facility use at 0.2 stalls per sleeping units. With the proposed density of 51 studio units the bylaw requires a development of this type and size to provide 10 parking stalls.

We are proposing to provide 6 on-site parking stalls with the following justifications. Compliance with the bylaw requirements would constrain the development and reduce the number of much needed shelter spaces. The site restraints combined with the in-place access agreements for the neighboring firehall have significantly reduced the available area available for parking on the site. We have dedicated a portion of the site area for much needed outdoor amenity space for the tenants of the building, this amenity is required by the BC Housing supportive housing program. As the tenants of the supportive housing program do not typically have personal vehicles, the on-site parking is only required for support personnel. The proposed 6 on-site parking stalls aligns with BC Housings anticipated operation requirements. We are submitting a letter that supports this from BC Housing.

Yours truly,
S2 Architecture

Chad Zyla
Architect AAA, March, BFA
Associate/ Project Manager

Initials / Encl / cc

PRINCIPALS

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Robert Lange *Architect, AAA, AIBC, NWTAA, MRAIC, LEED® AP*

S2 ARCHITECTURE

ASSOCIATE PRINCIPALS

Ken Shaman *Intern Architect, AAA*
Jason Curtis *Architect, AAA, MRAIC, LEED® AP*
Madeleine Schmidts *Interior Designer, NCIDQ*
Shaad Oosman *CPA, CMA*

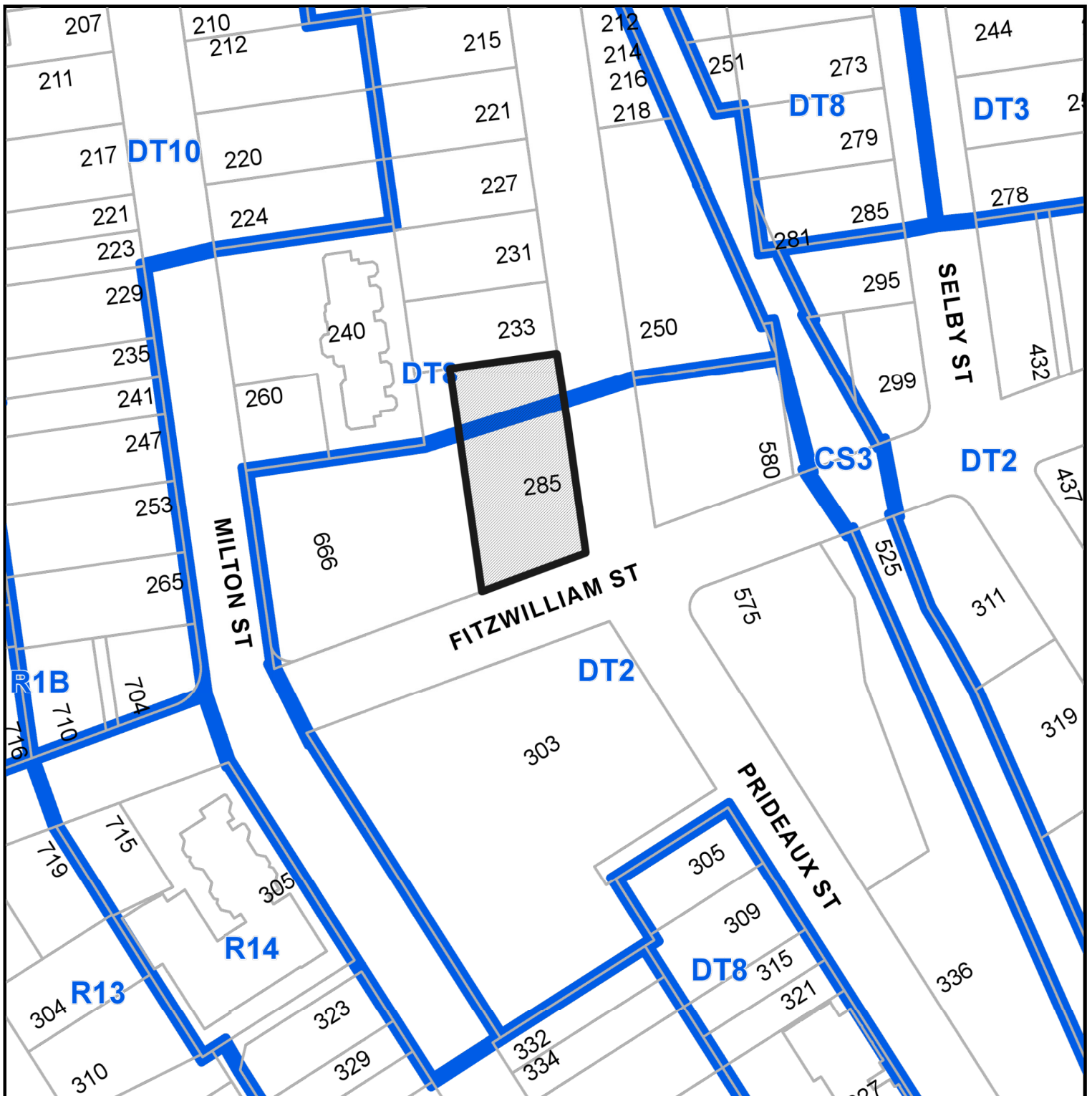
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Natalie Weiss *Interior Designer, NCIDQ, LEED® AP*

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RECEIVED
DP1212
2021-JAN-22
Current Planning

LOCATION PLAN



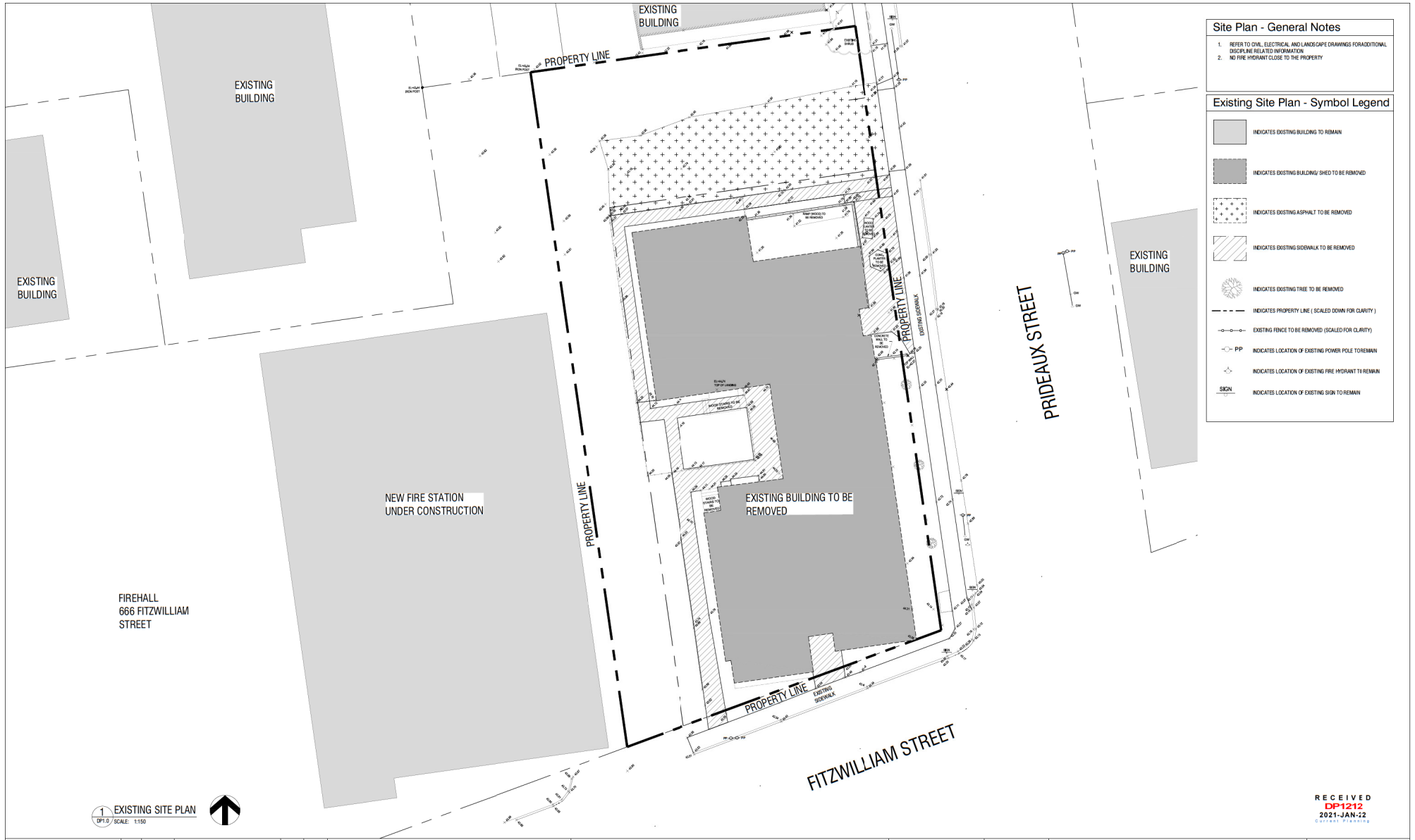
DEVELOPMENT PERMIT NO. DP001212



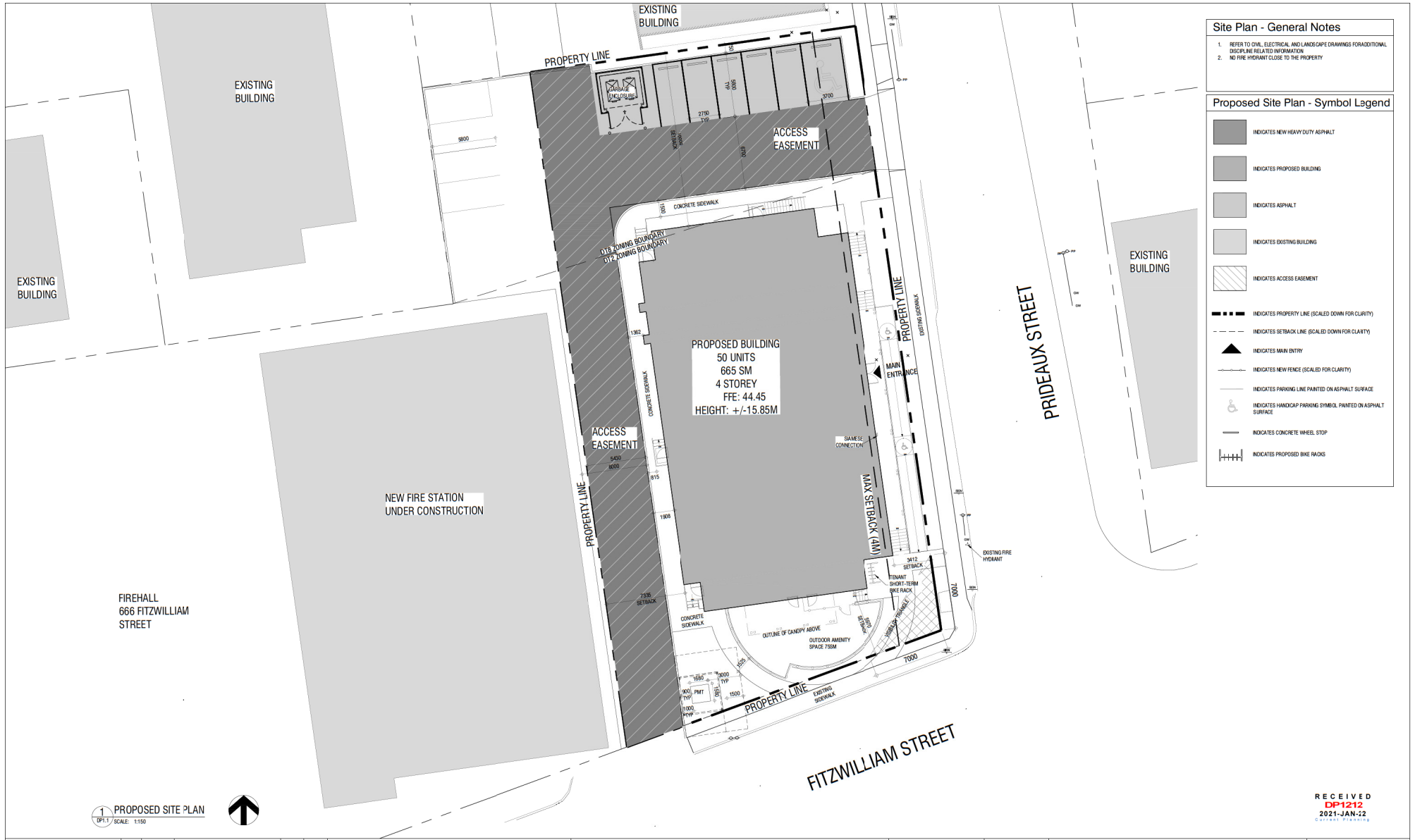
Subject Property

CIVIC: 285 PRIDEAUX STREET

LEGAL: LOT B, SECTION 1, NANAIMO DISTRICT, PLAN EPP95349



THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH	1. 2021.01.22 ISSUED FOR DR MEH CZ				 HORIZON NORTH	 BC HOUSING	 S2 architecture	PROJ # : 220141	BC HOUSING SUPPORTIVE HOUSING 285 PRIDEAUX STREET, NANAIMO, BC EXISTING SITE PLAN	DWG No: DP1.0
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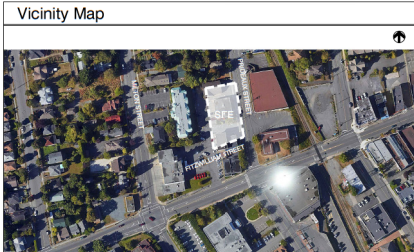
Site Plan - General Notes

1. REFER TO CIVIL, ELECTRICAL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION
2. NO FIRE HYDRANT CLOSE TO THE PROPERTY

- Proposed Site Plan - Symbol Legend**
- INDICATES NEW HEAVY DUTY ASPHALT
 - INDICATES PROPOSED BUILDING
 - INDICATES ASPHALT
 - INDICATES EXISTING BUILDING
 - INDICATES ACCESS EASEMENT
 - INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
 - INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
 - INDICATES MAIN ENTRY
 - INDICATES NEW FENCE (SCALED FOR CLARITY)
 - INDICATES PARKING LINE PAINTED ON ASPHALT SURFACE
 - INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
 - INDICATES CONCRETE WHEEL STOP
 - INDICATES PROPOSED BIKE RACKS

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH	1. 2021.01.22 ISSUED FOR DR MEH CZ				 HORIZON NORTH	 BC HOUSING	 S2 architecture	PROJ #: 220141 T: # SCALE: AS NOTED DATED:	BC HOUSING SUPPORTIVE HOUSING 285 PRIDEAUX STREET, NANAIMO, BC PROPOSED SITE PLAN	DWG No: DP1.1
	No. Y M D	REVISION	BY	CHKD						

Drawing List
DP0.0 COVER PAGE
DP0.1 PROJECT STATS & SITE PHOTOS
DP0.2 EXISTING SITE SURVEY
DP1.0 EXISTING SITE PLAN
DP1.1 PROPOSED SITE PLAN
DP1.2 W&R TURNING RADIUS & DETAILS
DP1.3 FIRE TRUCK TURNING RADIUS
DP2.0 MAIN FLOOR PLAN
DP2.1 SECOND FLOOR PLAN
DP2.2 THIRD FLOOR PLAN
DP2.3 FOURTH FLOOR PLAN
DP2.4 ROOF PLAN
DP3.0 EAST ELEVATION
DP3.1 NORTH ELEVATION
DP3.2 WEST ELEVATION
DP3.3 SOUTH ELEVATION
DP4.0 SECTION
DP5.0 WINDOW SCHEDULE
L-00 COVER
L-01 TREE MANAGEMENT PLAN
L-02 LANDSCAPE PLAN
L-03 PLANTING PLAN
L-04 DETAILS
L-05 DETAILS
L-06 DETAILS
L-07 DETAILS
C000 TITLE
C101 OVERALL SITE SERVICING PLAN
C102 OVERALL SITE GRADING PLAN



Municipal Address
285 PRIDEAUX STREET, NANAIMO, BC

Legal Address
LOT B, SECTION 1, NANAIMO DISTRICT, PLAN 0995349

Zoning Bylaw
DOWNTOWN (DTZ & DTB)

Proposed Development	
<p>PERMITTED USE:</p> <ul style="list-style-type: none">- MULTIPLE FAMILY DWELLING- OFFICE- PERSONAL CARE FACILITY- PHARMACY- RESTAURANT- RETAIL- SOCIAL SERVICE RESOURCE CENTRE	<p>PROPOSED USE:</p> <ul style="list-style-type: none">- PERSONAL CARE FACILITY

Site Area
TOTAL SITE ± 1,796 m ² ± 0.444 ac ± 0.19 ha
DTZ PORTION: ± 1,315.3 m ² ± 0.325 ac ± 0.131 ha
DTB PORTION: ± 480.7 m ² ± 0.119 ac ± 0.048 ha

Site Size
MINIMUM LOT AREA REQUIRED: 370 SM ± 1,796 SM
PROPOSED LOT AREA: 1,796 SM
MINIMUM LOT FRONTAGE REQUIRED: 50.245 M
PROPOSED LOT FRONTAGE: 50.245 M
MINIMUM LOT DEPTH REQUIRED: 25 M
PROPOSED LOT DEPTH: 30.87 M

Setback Summary
MINIMUM FRONT YARD SETBACK: 0m
PROPOSED FRONT YARD SETBACK: 3m
MINIMUM REAR YARD SETBACK: 0m
PROPOSED REAR YARD SETBACK: 7.6m
MINIMUM SIDE YARD SETBACK: 0m
PROPOSED SIDE YARD SETBACK: 1.3m

Site Coverage
MINIMUM LOT COVERAGE: 100% (± 1,315.3 m ²)
DTZ: 50% (± 240.35 m ²)
DTB: 96.4% (± 155.65 m ²)
TOTAL: 57% (± 655 m ²)

Maximum Density
MAXIMUM DENSITY:
DTZ: 2.3 FAR SITE AREA(1,315.35M) X 2.3 = 3,024.55M
DTB: 0.85 FAR SITE AREA(480.75M) X 0.85 = 408.65M
TOTAL: 3,433.10M/1,796M = 1.91
PROPOSED DENSITY: 2.665M = FAR 1.48

Building Height
MAXIMUM BUILDING HEIGHT: 12.0 m
PROPOSED BUILDING HEIGHT: 16 m

Building Area Summary
GROSS FLOOR AREA:
MAIN FLOOR: ± 1,405m ²
SECOND FLOOR: ± 1,405m ²
THIRD FLOOR: ± 1,405m ²
FOURTH FLOOR: ± 1,405m ²
TOTAL: ± 5,620 m ²

Sleeping Units Summary
LEVEL 1: 6 UNITS
LEVEL 2: 15 UNITS
LEVEL 3: 15 UNITS
LEVEL 4: 15 UNITS
TOTAL: 51 UNITS

Motor Vehicle Parking Requirement
REQUIRED PARKING: 0.2 STALL/SLEEPING UNIT
USE: PERSONAL CARE FACILITY
0.2 * 51 SLEEPING UNITS = 10 PARKING STALLS (MUST INCLUDE 3 ACCESSIBLE PARKING SPACES)
PROPOSED PARKING: 6 PARKING STALLS (INCLUDES 1 ACCESSIBLE PARKING SPACE)
NOTE: EXCEPT FOR DTB ZONE, NO PARKING SHALL BE PERMITTED BETWEEN THE FRONT PROPERTY LINE AND THE FRONT FACE OF BUILDING

Bicycle Parking Requirement
REQUIRED: 0 STALL
PROPOSED: 7 STALLS
SUPPORTIVE HOUSING: 0 STALL
SHORT-TERM: 0 STALL
*NOTE: 1. SHORT-TERM SPACE MUST NOT INTERFERE WITH PEDESTRIANS AND SHALL BE SEPARATED FROM CAR PARKING

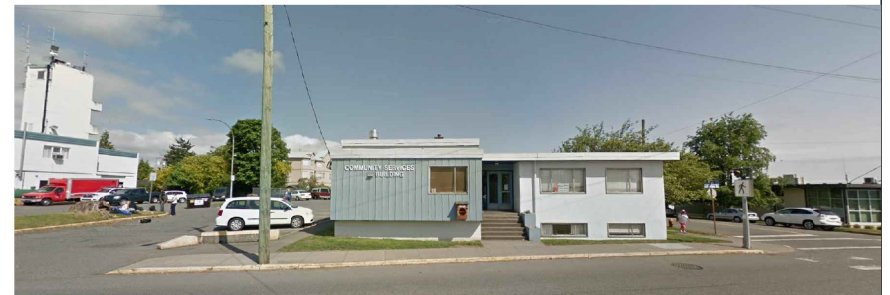
Loading Parking Requirement
REQUIRED: 1 STALL/2,000SM = 263/2800 = 1
PROPOSED: 0 LOADING STALL



1 SOUTHEAST CORNER
DP0.1 / SCALE: NTS



2 VIEW FROM PRIDEAUX STREET
DP0.1 / SCALE: NTS



3 VIEW FROM FITZWILLIAM STREET
DP0.1 / SCALE: NTS

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH	1	2021.01.22	ISSUED FOR PERMIT	CZ
No.	Y	M	D	REVISION
BY	CHKD			



PRJ # : 220141
REV # :
SCALE : AS NOTED
DRAWN BY :
CHECKED :

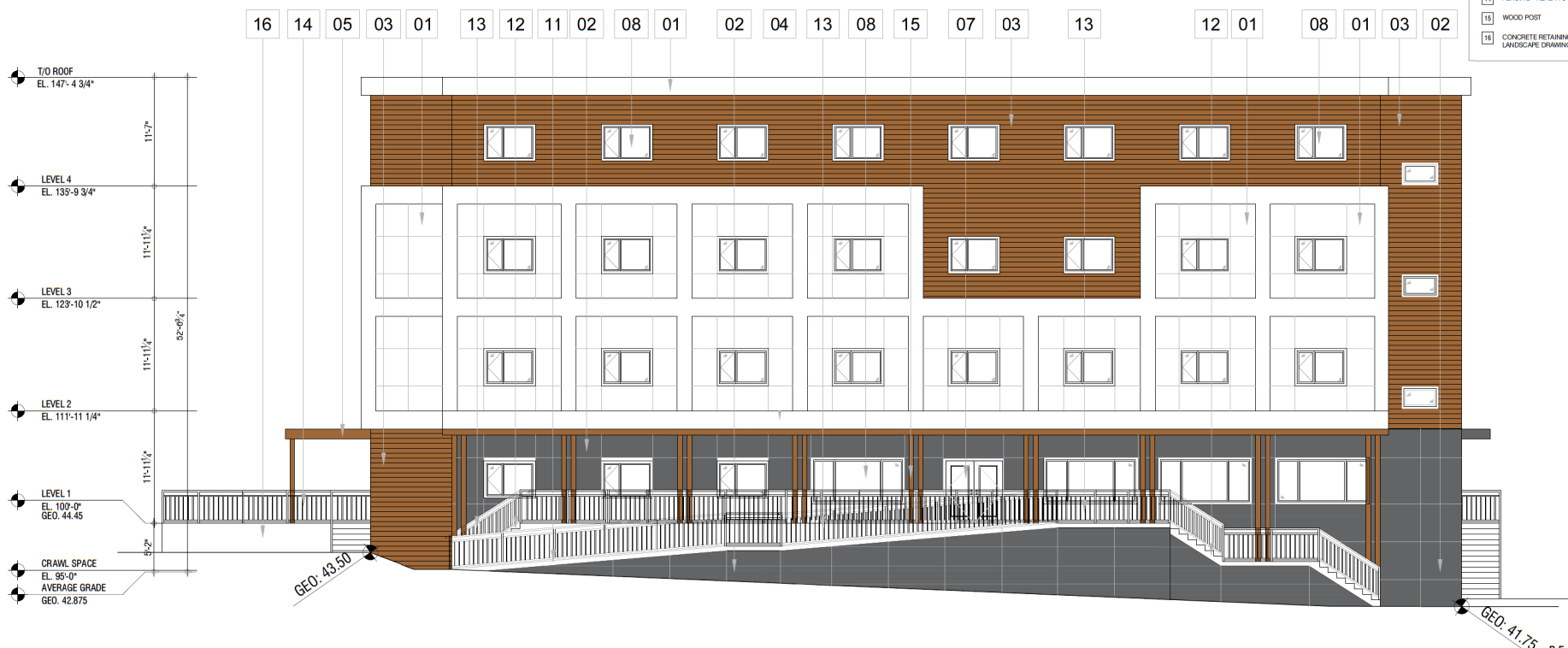
BC HOUSING
SUPPORTIVE HOUSING
285 PRIDEAUX STREET, NANAIMO, BC
PROJECT STATS & SITE PHOTOS

RECEIVED
DP1212
2021-JAN-22
CITY OF NANAIMO

DWG No.:
DP0.1

Elevations - Code Legend

- 01 FIBRE CEMENT PANEL - ARCTIC WHITE
- 02 FIBRE CEMENT PANEL - AGED PEWTER
- 03 FIBRE CEMENT PLANK SIDING - CEDARTONE
- 04 CANOPY - ARCTIC WHITE
- 05 CANOPY - WOOD
- 06 CANOPY - AGED PEWTER
- 07 STOREFRONT DOOR - BLACK
- 08 PVC WINDOW - BLACK
- 09 STEEL DOOR - AGED PEWTER
- 10 STEEL DOOR - TO MATCH CEDARTONE
- 11 P.T. WOOD RAMP
- 12 P.T. WOOD STAIRS/LANDING
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 FENCING - REFER TO LANDSCAPE DRAWINGS
- 15 WOOD POST
- 16 CONCRETE RETAINING WALL - REFER TO LANDSCAPE DRAWINGS



1 EAST ELEVATION
DP3.0 / SCALE: 3/8" = 1'-0"

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No.	Y	M	D	REVISION	BY	CHKD
1	2021	01	12	ISSUED FOR DRAWN	CZ	



PROJ #	220141
TITLE	AS NOTED
DATE	2021-01-12
BY	CZ
CHKD	

BC HOUSING
SUPPORTIVE HOUSING
285 PRIDEAUX STREET, NANAIMO, BC
EAST ELEVATION

DWG No.:
DP3.0

RECEIVED
DP1212
2021-JAN-22
CITY OF NANAIMO

Elevations - Code Legend

- 01 FIBRE CEMENT PANEL - ARCTIC WHITE
- 02 FIBRE CEMENT PANEL - AGED PEWTER
- 03 FIBRE CEMENT PLANK SIDING - CEDARTONE
- 04 CANOPY - ARCTIC WHITE
- 05 CANOPY - WOOD
- 06 CANOPY - AGED PEWTER
- 07 STOREFRONT DOOR - BLACK
- 08 PVC WINDOW - BLACK
- 09 STEEL DOOR - AGED PEWTER
- 10 STEEL DOOR - TO MATCH CEDARTONE
- 11 P.T. WOOD RAMP
- 12 P.T. WOOD STAIRS/LANDING
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 FENCING - REFER TO LANDSCAPE DRAWINGS
- 15 WOOD POST
- 16 CONCRETE RETAINING WALL - REFER TO LANDSCAPE DRAWINGS



1 NORTH ELEVATION
DP3.1 / SCALE: 3/16" = 1'-0"

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2021-JAN-22
CITY OF NANAIMO

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No.	Y	M	D	REVISION	BY	CHKD
1	2021	01	22	ISSUED FOR DRWING	CZ	



PROJ #	220141
TITLE	
DATE AS NOTED	
DRAWN BY	
CHECKED BY	

BC HOUSING
SUPPORTIVE HOUSING
285 PRIDEAUX STREET, NANAIMO, BC
NORTH ELEVATION

DWG No.:
DP3.1

Elevations - Code Legend

- 01 FIBRE CEMENT PANEL - ARCTIC WHITE
- 02 FIBRE CEMENT PANEL - AGED PEWTER
- 03 FIBRE CEMENT PLANK SIDING - CEDARTONE
- 04 CANOPY - ARCTIC WHITE
- 05 CANOPY - WOOD
- 06 CANOPY - AGED PEWTER
- 07 STOREFRONT DOOR - BLACK
- 08 PVC WINDOW - BLACK
- 09 STEEL DOOR - AGED PEWTER
- 10 STEEL DOOR - TO MATCH CEDARTONE
- 11 P.T. WOOD RAMP
- 12 P.T. WOOD STAIRLANDING
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 FENCING - REFER TO LANDSCAPE DRAWINGS
- 15 WOOD POST
- 16 CONCRETE RETAINING WALL - REFER TO LANDSCAPE DRAWINGS



1 WEST ELEVATION
DP3.2 / SCALE: 3/16" = 1'-0"

RECEIVED
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2021-JAN-22
CITY OF NANAIMO

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No.	Y	M	D	REVISION	BY	CHKD
1	2021	01	22	ISSUED FOR DR/MEH/CZ		



PROJ #	220141
TITLE	AS NOTED
DATE	01-22-2021
DRAWN BY	
CHECKED BY	

BC HOUSING
SUPPORTIVE HOUSING
285 PRIDEAUX STREET, NANAIMO, BC
WEST ELEVATION

DWG No.:
DP3.2

Elevations - Code Legend

- 01 FIBRE CEMENT PANEL - ARCTIC WHITE
- 02 FIBRE CEMENT PANEL - AGED PEWTER
- 03 FIBRE CEMENT PLANK SIDING - CEDARTONE
- 04 CANOPY - ARCTIC WHITE
- 05 CANOPY - WOOD
- 06 CANOPY - AGED PEWTER
- 07 STOREFRONT DOOR - BLACK
- 08 PVC WINDOW - BLACK
- 09 STEEL DOOR - AGED PEWTER
- 10 STEEL DOOR - TO MATCH CEDARTONE
- 11 P.T. WOOD RAMP
- 12 P.T. WOOD STAIRLANDING
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 FENCING - REFER TO LANDSCAPE DRAWINGS
- 15 WOOD POST
- 16 CONCRETE RETAINING WALL - REFER TO LANDSCAPE DRAWINGS



1 SOUTH ELEVATION
DP3.3 / SCALE: 3/16" = 1'-0"

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DP1212
2021-JAN-22
CITY OF NANAIMO

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1.	2021.01.22	ISSUED FOR DP			MEH CZ
No.	Y	M	D	REVISION	BY CHKD



PROJ #	220141
TITLE	
DATE AS NOTED	
DRAWN BY	
CHECKED BY	

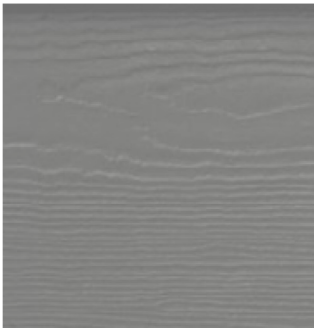
BC HOUSING
SUPPORTIVE HOUSING
285 PRIDEAUX STREET, NANAIMO, BC
SOUTH ELEVATION

DWG No:
DP3.3

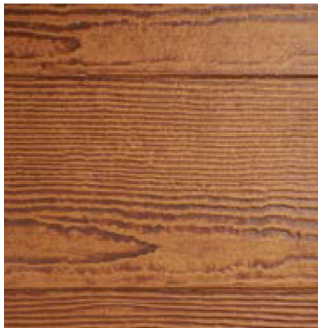
MATERIAL BOARD



1. Fibre Cement Panel
White



2. Fibre Cement Panel
Dark Grey



3. Fibre Cement Plank Siding
Wood Look



4. PVC Window
Black







Renderings provided by S2 Architecture.
Renderings are artistic representations and are subject to change.

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2021-JAN-22



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DP1212
2021-JAN-22

Renderings provided by S2 Architecture.
Renderings are artistic representations and are subject to change.

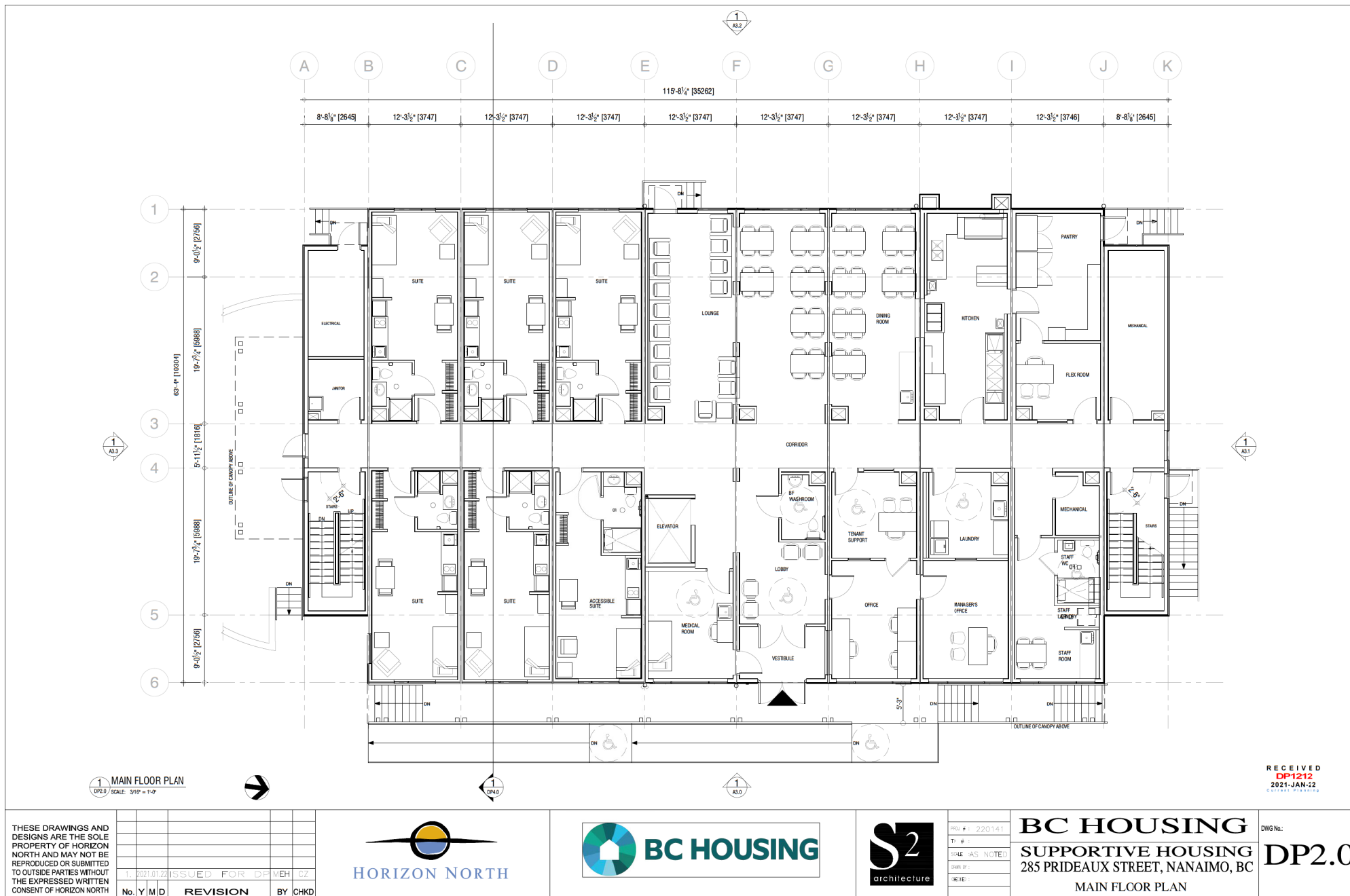


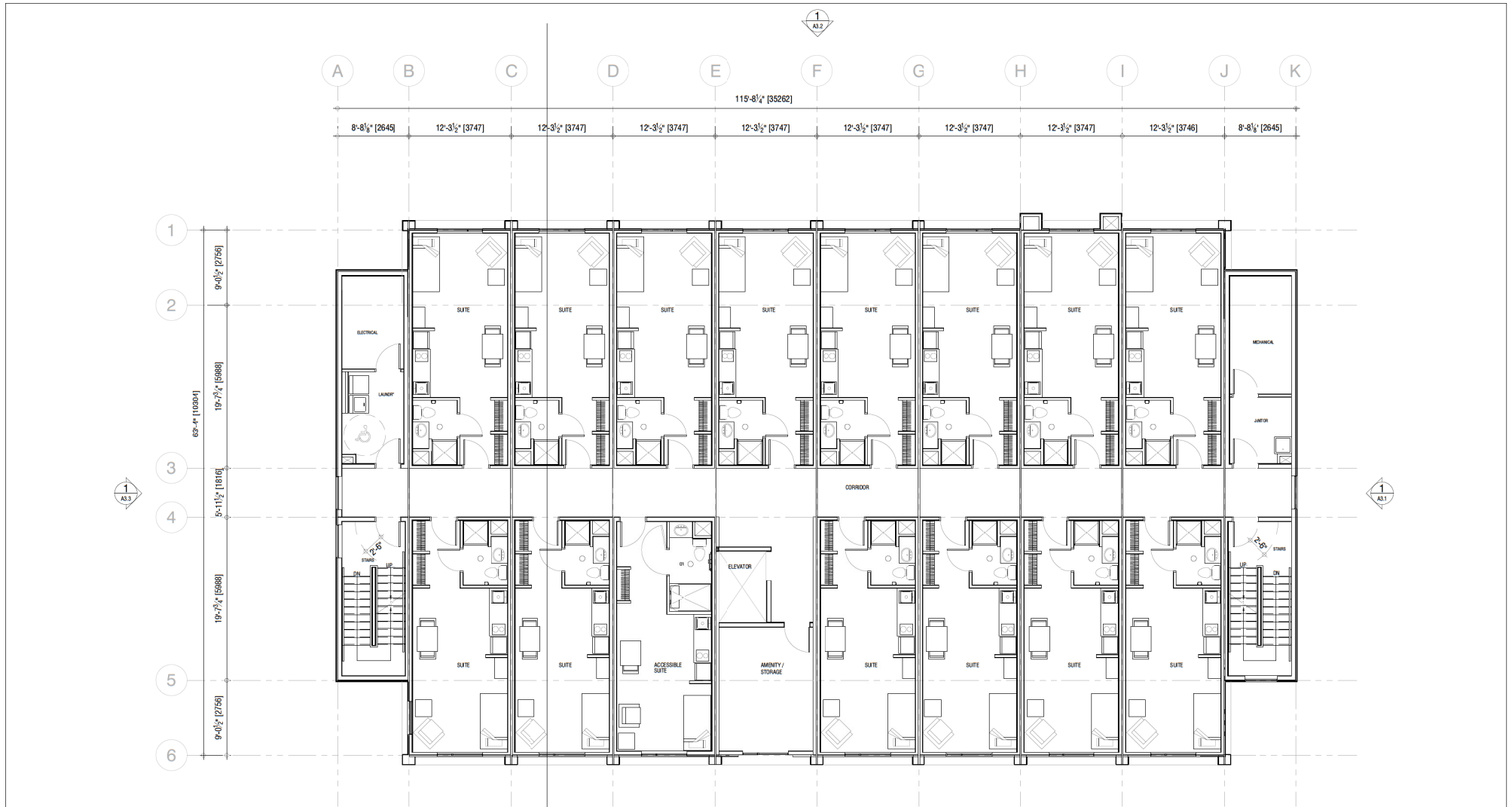


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Renderings are artistic representations and are subject to change.







1 2nd FLOOR PLAN
DP2.1 / SCALE: 3/16" = 1'-0"



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2021-JAN-22
Current Planning

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No.	Y	M	D	REVISION	BY	CHKD
1	2021	01	22	ISSUED FOR DR	MEH	CZ



PROJ #	220141
TITLE	AS NOTED
DATE	2021-01-22
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CHECKED BY	

BC HOUSING
SUPPORTIVE HOUSING
285 PRIDEAUX STREET, NANAIMO, BC
2nd FLOOR PLAN

DWG No: **DP2.1**



1 3rd FLOOR PLAN
DP2.2 / SCALE: 3/16" = 1'-0"



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2021-JAN-22
CITY OF NANAIMO

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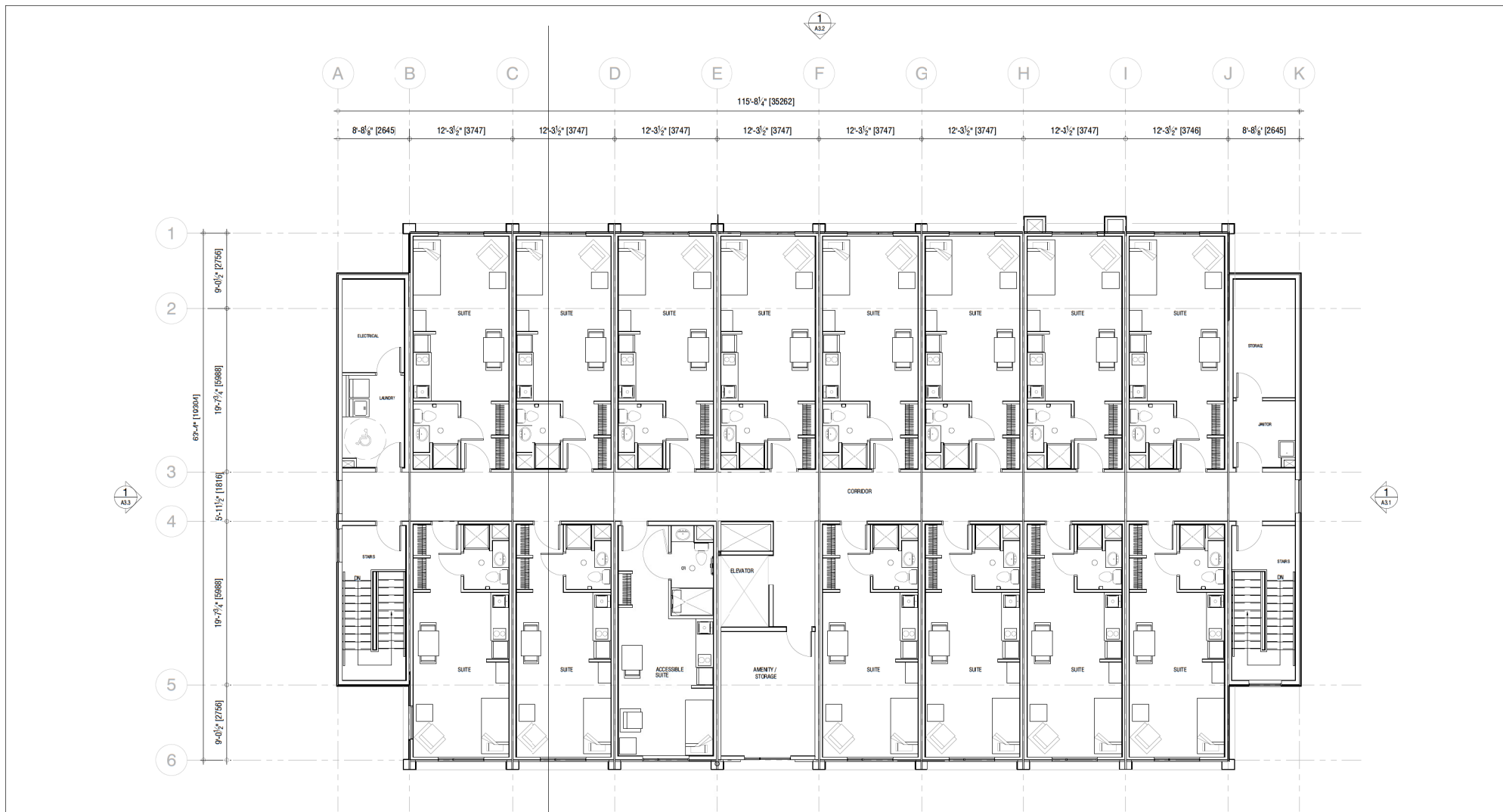
No.	Y	M	D	REVISION	BY	CHKD
1	2021	01	22	ISSUED FOR DR	MEH	CZ



PROJ #: 220141
T: # :
DATE: AS NOTED
DRAWN BY:
CHECKED:

BC HOUSING
SUPPORTIVE HOUSING
285 PRIDEAUX STREET, NANAIMO, BC
3rd FLOOR PLAN

DWG No:
DP2.2



1 4th FLOOR PLAN
DP2.3 / SCALE: 3/16" = 1'-0"



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No.	Y	M	D	REVISION	BY	CHKD
1	2021	01	22	ISSUED FOR DRWING	CZ	

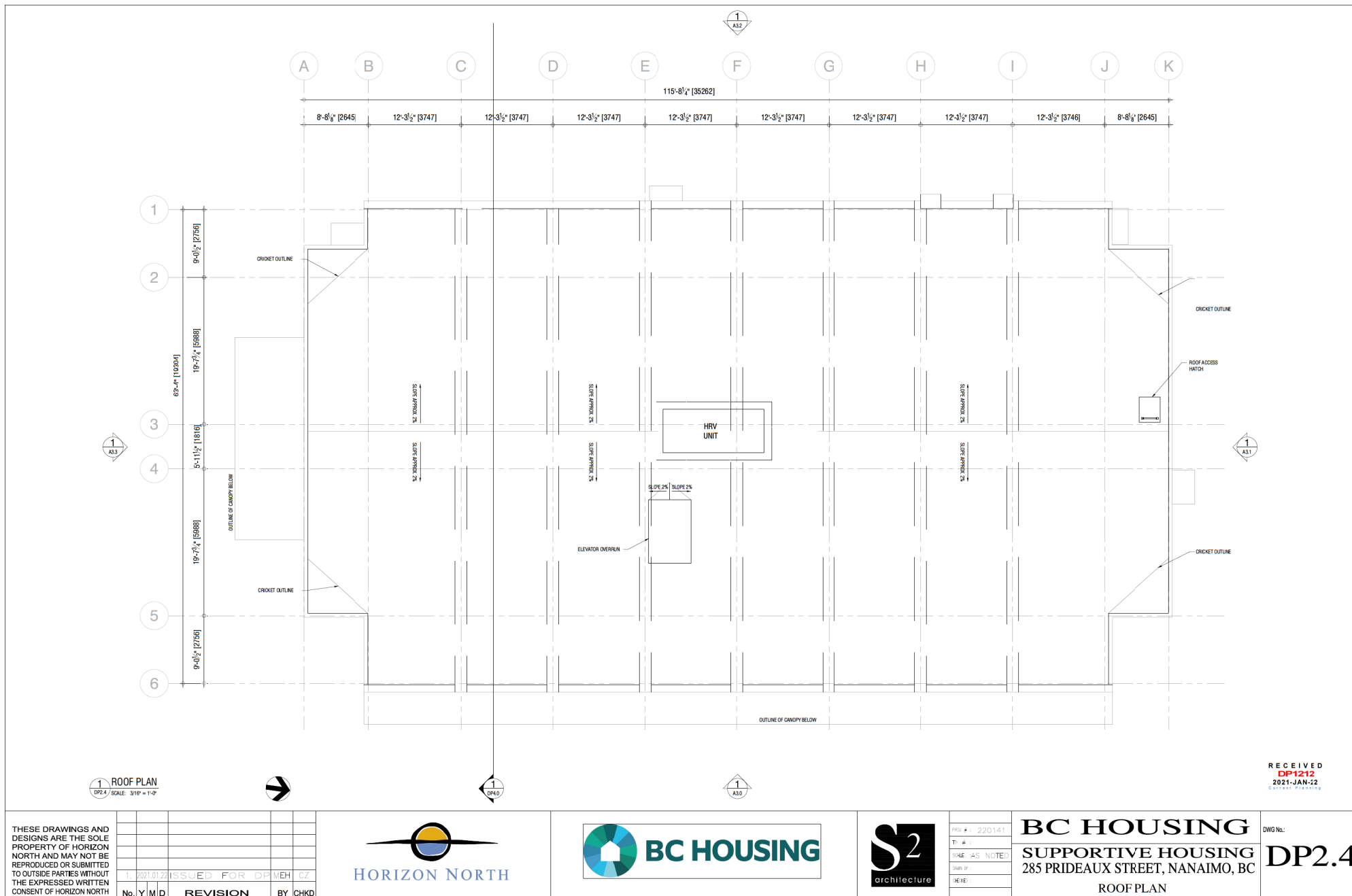


PROJ #	220141
TITLE	AS NOTED
DATE	2021-01-22
DESIGNED BY	
CHECKED BY	

BC HOUSING
SUPPORTIVE HOUSING
285 PRIDEAUX STREET, NANAIMO, BC
4th FLOOR PLAN

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2021-JAN-22
CITY OF NANAIMO

DWG No: **DP2.3**



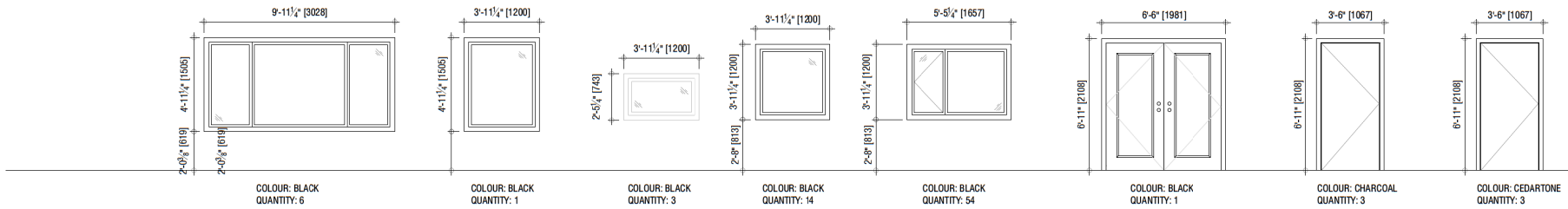


1.	2021.01.22	ISSUED FOR DP MEH CZ			
No.	Y	M	D	REVISION	BY CHKD



BC HOUSING
SUPPORTIVE HOUSING
285 PRIDEAUX STREET, NANAIMO, BC
SECTION

DWG No.:
DP4.0



1 EXTERIOR DOOR & WINDOW SCHEDULE
 DP5.0 / SCALE: 3/8" = 1'-0"

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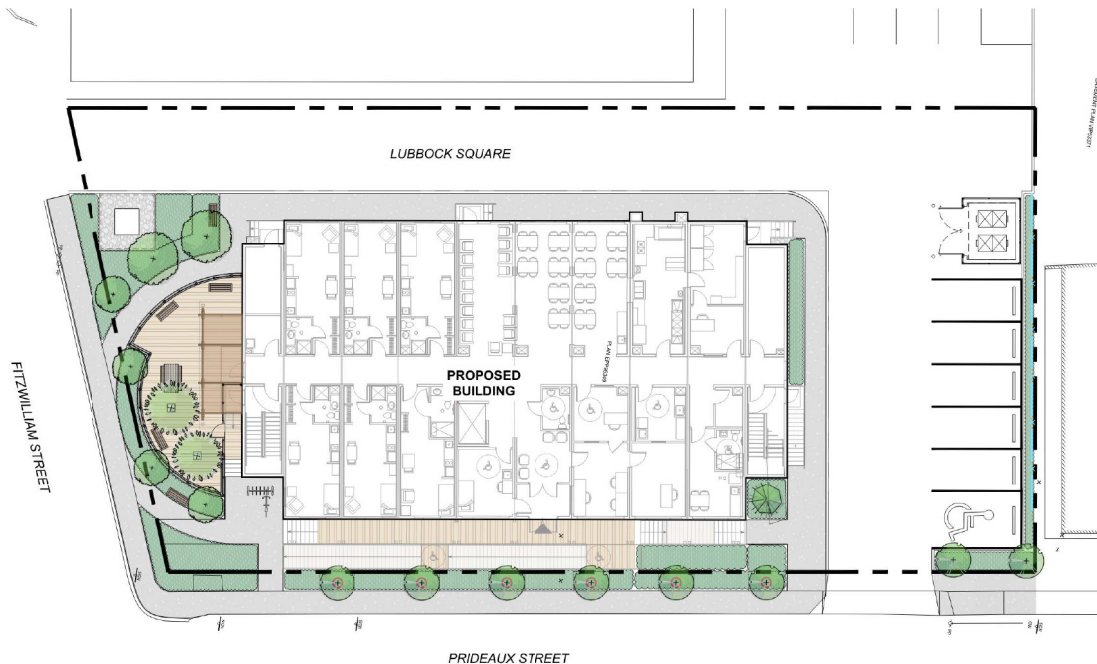
1.	2021.01.22	ISSUED FOR DR			MEH CZ
No.	Y	M	D	REVISION	BY CHKD



PROJ #	220141
TITLE	AS NOTED
DATE	2021-01-12
DRAWN BY	
CHECKED BY	

BC HOUSING
 SUPPORTIVE HOUSING
 285 PRIDEAUX STREET, NANAIMO, BC
 EXTERIOR WINDOW SCHEDULE

DWG No: **DP5.0**



BCH PRIDEAUX STREET

285 Prideaux Street, Nanaimo, B.C.

ISSUED FOR DP

DRAWING LIST

L-00	COVER
L-01	TREE MANAGEMENT PLAN
L-02	LANDSCAPE PLAN
L-03	PLANTING PLAN
L-04	DETAILS
L-05	DETAILS
L-06	DETAILS
L-07	DETAILS

WSP LANDSCAPE ARCHITECTURE

Michael Holm
Senior Project Manager
Email: michael.holm@wsp.com
Phone: (604) 631-9637

Lisa Ng
Landscape Designer
Email: lisa.ng@wsp.com
Phone: (604) 601-6836

CRITICAL NOTES

- Landscape installation to be compliant with Canadian Landscape Standards (full document applies). It is expected that Landscape Trades will have a current copy of the document (digital or hardcopy) present with them on site at all times.
- Questions (RFIs) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.
- Submittals on landscape include but are not limited to:
 - Shop drawings on all specified furnishings including notes on colour and dimensions
 - Shop drawings on all custom site elements
 - A soil report submitted (compliant with "Level 2P" for shrub/tree plantings in accordance with the Canadian Landscape Standard)
 - A request for the Landscape Architect to pre-review trees/shrubs for the project at the nursery in advance of delivery to site. Note that the Landscape Architect requires this process for review to occur immediately upon receipt as to prevent issues with timeline. If quantities of a shrub or tree are minimal, photo submittals will be reviewed as an alternate. Note that all trees/shrubs stock in to be sourced from the Pacific Northwest (BC, Washington, Oregon). The contractor will be expected to prove an exhaustive search was provided in sourcing material before alternatives of plant material are considered.
 - Bark mulch to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour). Submit 1L sample or website information prior to purchase
 - Unit paving and hard surface materials to be submitted for verification on colour, size and pattern.
 - Completion testing of base preparation (95% MFD)
- Landscape critical review meetings include (but are not limited to):
 - Tree protection fencing setup requires a review by the arborist prior to construction.
 - Project kick-off on landscape, and review of stockpile and preservation of existing materials
 - Mobilization of soils and furnishing works requires furnishings to be reviewed after delivery to site to review for damages. Note that soils may be tested up to 2 times for verification of compliance of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals.
 - Mobilization of custom works (i.e. wooden walkway or bench), if applicable to contract, will be required for a critical review meeting of proposed layout and construction.
 - Delivery of the plant material to site (mobilization of planting works)
 - 1 additional interim planting review
 - Substantial review of the landscape (site cleanup to be complete prior to calling for review)
 - Total performance of the landscape
 - Mobilization of flatwork.
- Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended. Maintenance to be compliant with "Level 2" (woods no larger than 2" diameter) in accordance with Canadian Landscape Standard.
- Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils, as defined in "Establishment Watering" requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent detriment to plant health prior to use of irrigation system. If a water ban is in place within the city, notify Contract Administrator.
- Warranty on all landscape to be 1 year, unless noted otherwise.
- All landscape and irrigation works to be constructed as per the City of Nanaimo standard details. Refer to: - M-ESS - Section 14 Landscape.

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COURT PLANNING





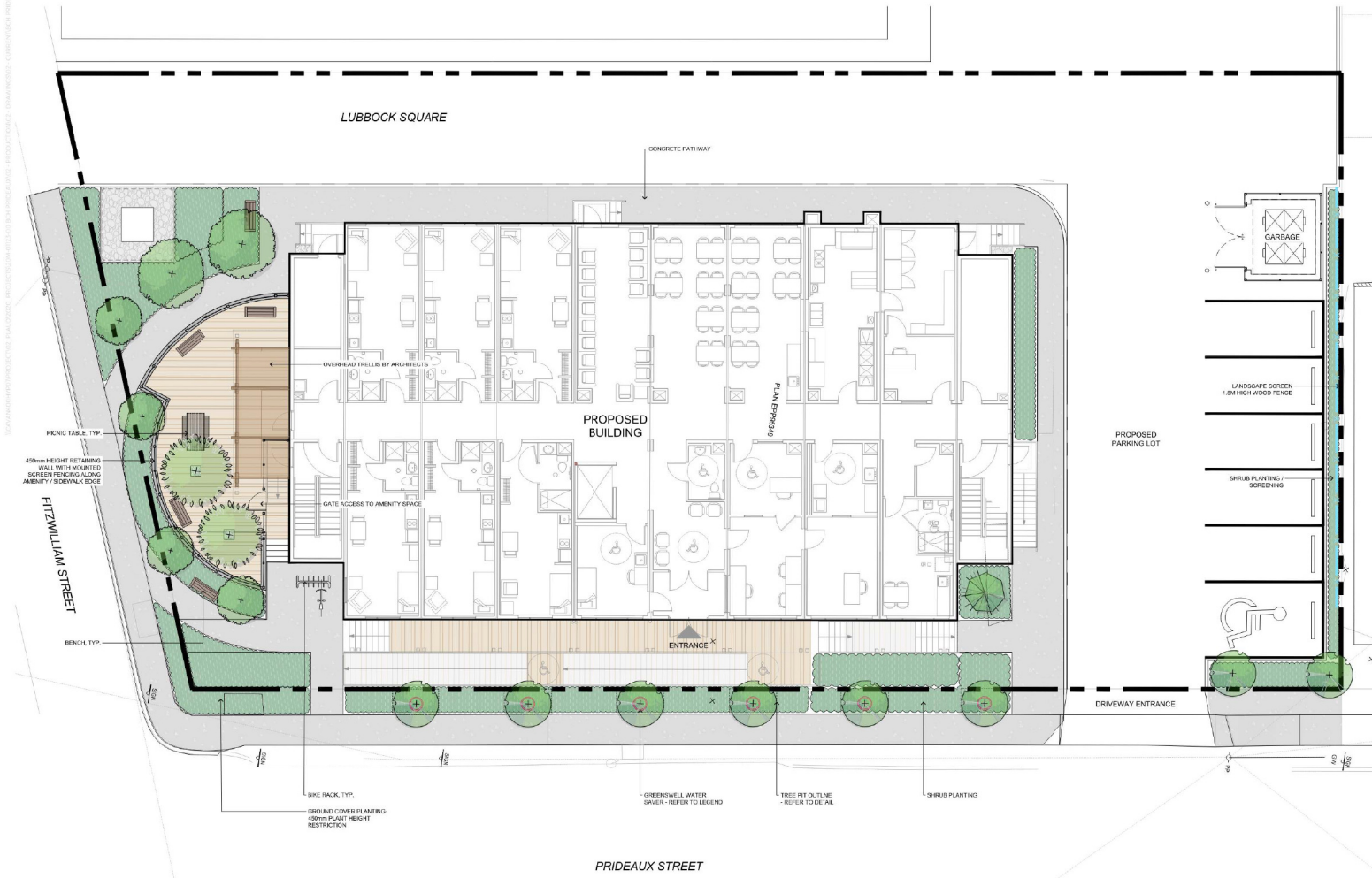
LEGEND	
	PROPERTY LINE
	TREE TO BE REMOVED

TREE REMOVAL		
TREE NUMBER	TREE SPECIES TO BE REMOVED	NUMBER OF TREES REQUIRED FOR REPLACEMENT
C1	Prunus sp.	2
C2	Prunus sp.	2
C3	Prunus sp.	2

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2021-JAN-22
CLIMATE PRACTICE

<p>LANDSCAPE ARCHITECTURE URBAN DESIGN PLANNING ENGINEERING 1000 - 840 HONE STREET, VANCOUVER B.C. V6C 2M1</p>	<p>PROJECT BCH 285 PRIDEAUX STREET NANAIMO, B.C.</p> <p>CLIENT BC HOUSING</p> <p>CONSULTANT WSP</p>	 	<p>ORIGINAL SIZE 610x914mm x 384mm (24" x 36")</p>		<p>SEALED</p>	<p>DESIGNED BY: MH</p> <p>DRAWN BY: LN</p> <p>CHECKED BY: MH</p> <p>PROJECT #: 204-0123-00</p> <p>SCALE: 1:200</p>	<p>SHEET TITLE TREE MANAGEMENT PLAN</p> <p>SHEET NO.</p>
			<p>NO. DATE DESCRIPTION</p> <p>1 2021/07/22 ISSUED FOR DP</p> <p>2 2021/07/26 ISSUED FOR COMMENT</p>	<p>BY: MH</p>			

LANDSCAPE ARCHITECTURE (URBAN DESIGN) (PLANNING) (ENGINEERING)
1000 - 840 HOME STREET, VANCOUVER B.C. V6E 2M4



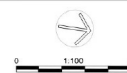
SOFTSCAPE LEGEND		
	1 L-04	PROPOSED TREES Minimum 900mm depth growing medium, complete with mulch. Refer to details. Install as per Canadian Landscape Standards.
	3 & 4 L-04	SHRUB PLANTING Minimum 450mm import growing medium complete with mulch. Refer to details. Install as per Canadian Landscape Standards.
	2 L-04	TREE PIT OUTLINE Location of tree pit as shown on plan. Refer to detail.
		GREENWELL WATER SAVER Large sized GreenWell Water Saver, 2600mm height x 600mm Ø top x 670mm Ø bottom. Refer to site for more information. https://greenwellwatersavers.com/more-greenwell-information-large-size/
HARDSCAPE LEGEND		
	2 L-05	CONCRETE Pedestrian rated access - 100mm thick
	4 L-04	WOOD DECKING Refer to detail.
	3 L-05	GRAVEL Refer to detail for aggregate size and thickness.
SITE FURNISHING LEGEND		
	4 L-05	PICNIC TABLE Type: BYPTVC-6, wheelchair accessible Size: 90"W x 60"D x 31"H Supplier: Wishbone Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.
	5 L-05	PARK BENCH Type: ANA-6 Size: 72"W x 22"D x 33.75"H Supplier: Wishbone Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.
	8 L-05	BIKE RACK Type: SBRR-7 Mount: Surface Supplier: Wishbone Site Furnishings Surface mount to concrete
	1 L-06	PROPOSED 1.8m HIGH WOOD FENCE: Along the north side of the proposed parking lot. Provide shop drawing of fence prior to fabrication. Refer to detail.
	2 L-06	PROPOSED WROUGHT IRON FENCE AND GATE: Along the perimeter of the proposed patio. Provide shop drawing of fence prior to fabrication. Refer to detail.

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2021-JAN-22
CITY OF NANAIMO



LANDSCAPE ARCHITECTURE (URBAN DESIGN) (PLANNING) (ENGINEERING)
1000 - 840 HOME STREET, VANCOUVER B.C. V6E 2M4

PROJECT
BCH 285 PRIDEAUX STREET | NANAIMO, B.C.
CLIENT
BC HOUSING
CONSULTANT
WSP



ORIGINAL SIZE 610x914mm (24" x 36")	
1	2021/07/22
0	2021/07/26
NO.	DATE
DESCRIPTION	
BY	



DESIGNED BY	MH	SHEET TITLE
DRAWN BY	LN	LANDSCAPE PLAN
CHECKED BY	MH	SHEET NO.
PROJECT #	2021-0123-00	
SCALE	1:100	

L-02

LANDSCAPE ARCHITECTURE URBAN DESIGN PLANNING ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M4



TREE SCHEDULE					
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	2	<i>Cornus florida</i>	Red flowering dogwood	B&D, 1cm cal., 1.8m ht standard	As shown
	8	<i>Malus 'Ivory Spear'</i>	'Ivory Spear' crabapple	B&D, 1cm cal., 1.8m ht standard	As shown
	6	<i>Malus 'Raspberry Spear'</i>	'Raspberry Spear' crabapple	B&D, 1cm cal., 1.8m ht standard	As shown
	1	<i>Picea amurica 'Bruni'</i>	'Bruni' Serbian spruce	B&S, 1cm cal., 1.8m ht standard	As shown

SHRUB SCHEDULE					
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
K	132	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#1 Fol, full	600mm o.c.
BG	55	<i>Buxus 'Green Velvet'</i>	'Green Velvet' boxwood	#2 Fol, full	900mm o.c.
O	41	<i>Cornus sericea 'Flaviramea'</i>	'Flaviramea' dogwood	#2 Fol, full	900mm o.c.
E	7	<i>Eurogymnus alatus</i>	Winged burning bush	#2 Fol, full	1200mm o.c.
P	34	<i>Parthenocissus quinquefolia</i>	Virginia creeper	#2 Fol, full	600mm o.c.
X	4	<i>Salix purpurea</i>	Arctic willow	#2 Fol, full	1500mm o.c.
SJ	12	<i>Spirea japonica 'Goldmound'</i>	'Goldmound' spirea	#2 Fol, full	900mm o.c.
TM	25	<i>Taxus x media 'Hilli'</i>	'Hilli' yew	#2 Fol, full	900mm o.c.

- PLANTING NOTES:**
- All work of the contractor shall meet or exceed all standards and specifications established in the latest edition of the Canadian Landscape Standard.
 - All plant material must be certified to be free of sudden oak death (*Phytophthora ramorum*), according to the Canadian Food Inspection Agency (CFIA), or C.S.L.A. standards; plant material to be made available for optional inspection by the Contract Administrator at source of supply.
 - The contractor shall provide a (1) year replacement warranty on all plant material to the owner from the date of substantial completion.
 - The quantities shown on the plan shall take precedence over the quantities shown on the plant list. The contractor shall notify the Contract Administrator of any discrepancies prior to ordering and installing plant material.
 - The contractor shall not substitute plant material or products without written consent of the Contract Administrator. The contractor shall be responsible for the removal and replacement of any unapproved substitutions.
 - Arrange plants in containers for consultant's review and approval of placement prior to installation.
 - All trees are to be planted with trunk flare at finished grade to match original nursery grade; contractor to obtain consultant's approval of final tree depth prior to placement of finished material. Trees planted at improper depth and without final approval may be subject to removal at contractor's expense.
 - Growing medium shall meet the following Canadian Landscape Standards:
Planting bids:
The contractor shall provide a soil sample and test to the contract administrator demonstrating that the growing medium meets these specifications prior to delivery to the site. The contractor will be responsible for the removal and replacement of any unsuitable / non specification growing medium at their own expense.
Placement - the contractor shall place the growing medium at the following minimum depths:
Trees: 900mm
Planting bids: 450mm
Contractor shall supply and place composted bark mulch 50mm deep. Mulch is not to bury tree trunk flare. Accommodate for mulch depth when planting trees. Sample of mulch to be provided to consultant for approval prior to placement.

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2021-JAN-22
DEPT OF PLANNING

LANDSCAPE ARCHITECTURE URBAN DESIGN PLANNING ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M4

PROJECT
BCH 285 PRIDEAUX STREET | NANAIMO, B.C.

CLIENT
BC HOUSING

CONSULTANT
wsp

ORIGINAL SIZE 6035cm x 3844cm (24" x 36")

1	2021/07/22	ISSUED FOR DP	MH
0	2021/06/26	ISSUED FOR COMMENT	MH

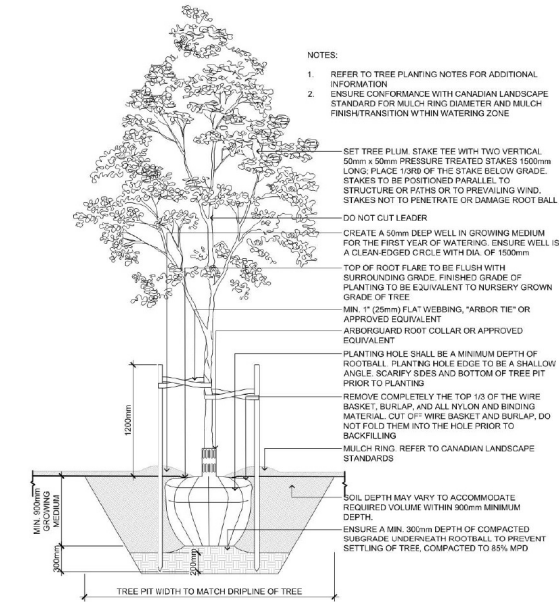
NO. DATE DESCRIPTION BY

SEALED

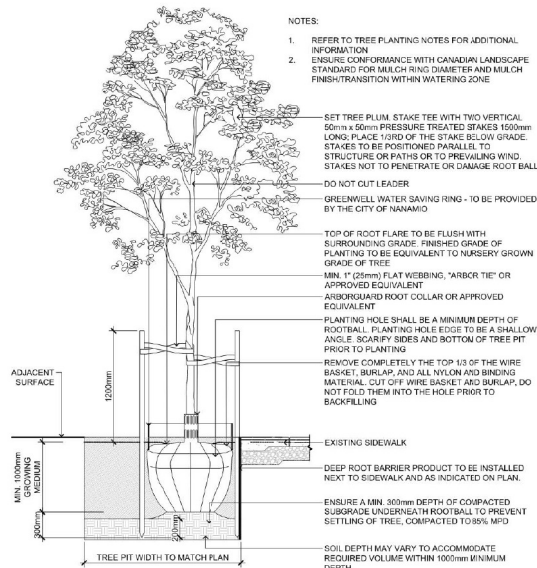
DESIGN BY MH
DRAWN BY LN
CHECKED BY MH
PROJECT # 204 0123 00
SCALE 1:100

SHEET TITLE
PLANTING

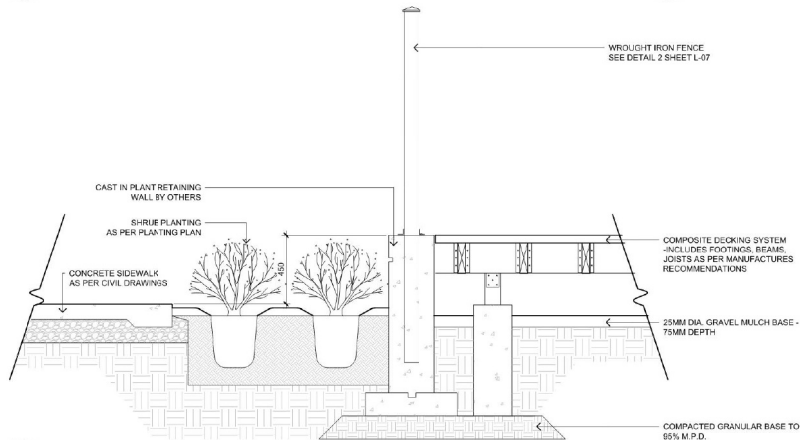
SHEET NO.
L-03



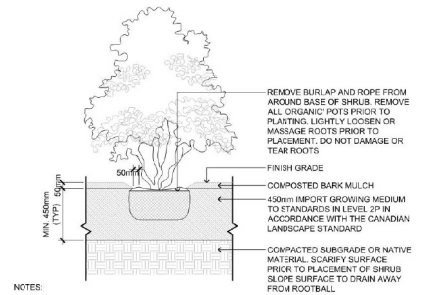
1 TREE PLANTING
L-04 SCALE: 1:25



2 TREE PLANTING - ADJACENT TO SIDEWALK
L-04 SCALE: 1:25

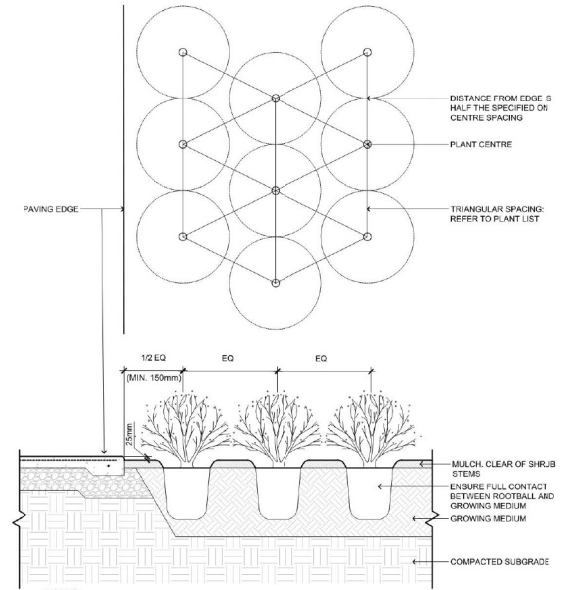


3 PLANTER AND FENCE SECTION
L-04 SCALE: 1:15



- NOTES:
- SHRUB TO BE PLANTED LEVEL WITH FINISH GRADE
 - COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB
 - PLANTING PIT MUST BE FREE DRAINING
 - DISTURBED SUBGRADE, NATIVE MATERIAL, OR IMPORT FILL TO BE SUITABLY COMPACTED IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS TO PREVENT SETTLEMENT OF ROOTBALL
 - PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD, DISEASED, DAMAGED, OR DEFECTIVE BRANCHES IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD
 - REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATES UNLESS OTHERWISE SPECIFIED

4 SHRUB PLANTING DETAIL
L-04 SCALE: 1:20



- NOTES:
- REFER TO CANADIAN LANDSCAPE STANDARD FOR COMPACTION AND PREPARATION REQUIREMENTS FOR PLANTING BEDS
 - REFER TO TYPICAL SHRUB PLANTING DETAILS FOR INFORMATION ON MULCH AND GROWING MEDIUM
 - ENSURE MATURE SHRUB FORM WILL NOT OVERHANG WALKWAY
 - COMPACTION RATE TO BE 85% MPD UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT

5 SHRUB SPACING
L-04 SCALE: 1:15

RECEIVED
DP1212
2021-JAN-22
OUTLINE PLANNING



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1001 - 1601 HOWE STREET, VANCOUVER, B.C. V6Z 2M4

PROJECT: BCH 285 PRIDEAUX STREET | NANAIMO, B.C.
CLIENT: BC HOUSING
CONSULTANT: WSP

PROJECT: BCH 285 PRIDEAUX STREET | NANAIMO, B.C.
CLIENT: BC HOUSING
CONSULTANT: WSP

ORIGINAL SIZE 60 96cm x 96.44cm (24" x 36")

1 2023/07/22 ISSUED FOR DP

0 2023/06/26 ISSUED FOR COMMENT

NO. DATE DESCRIPTION BY

SEALED

DESIGN BY: MH

CHECKED BY: MH

PROJECT # 2024-0723-00

SCALE AS SHOWN

SHEET TITLE

SHEET NO.

DETAILS

L-04





APPROVED TREE SPECIES
AS PER PLANTING PLAN

PRUNE FOR CLEARANCE AND FOR
TREE HEALTH AS PER SECTION 14.0

NOTE: PLANT TREE WITH NURSERY SOIL LINE
AT 50mm ABOVE FINISH GRADE, FORM 50mm
DEEP SAUCER AT BASE OF TREE.

75mm DEPTH BARK MULCH TO
600mm RADIUS AT TREE.

300 ON 150mm DEPTH TOPSOIL
AS PER SPECIFICATION.

150mm MIN. DEPTH "A HORIZON"
AMENDED TOPSOIL PER SPECIFICATIONS.

PROVIDE 150mm FREEBOARD
BEHIND FINISHED GRADE AND
ADJACENT PAVED SURFACES.

300mm MIN DEPTH IRRIGATION
TRENCH

UNITE AND REMOVE TOP 1/3 OF BURLAP
FROM ROOTBALL

NOTE: BALLED AND BURLAP TREE IS
ILLUSTRATED. IF CONTAINER OR BAG
GROWN TREES ARE USED, COMPLETELY
REMOVE IMPERMEABLE CONTAINERS.

SUBSOIL (REFER TO CLAUSE 14.17
OF SPECIFICATIONS)

ROUGHEN PIT BOTTOM AND SIDES
TO REMOVE GLAZING.

UNDISTURBED NATIVE SOILS OR
COMPACTED SUBGRADE

AS PER THE CITY ENGINEERS DIRECTION
INSTALL PVC DRAIN IN 150mm DEPTH GRANOCK
C/W FILTER/NO.1 AND DRAIN TO STORM SEWER.

REFER TO SPECIFICATION CLAUSE
14.30.1 AND 14.59 FOR STAKING
MATERIALS AND INSTALLATION.
STAKING SHALL BE
DONE AT THE
DISCRETION OF THE
CITY ENGINEER

10.41m

1.0m MAX.

0.15m MIN TYP

500mm MIN
TYP.

500mm
MIN.

0.30m

1m MIN. FROM FACE OF CURB

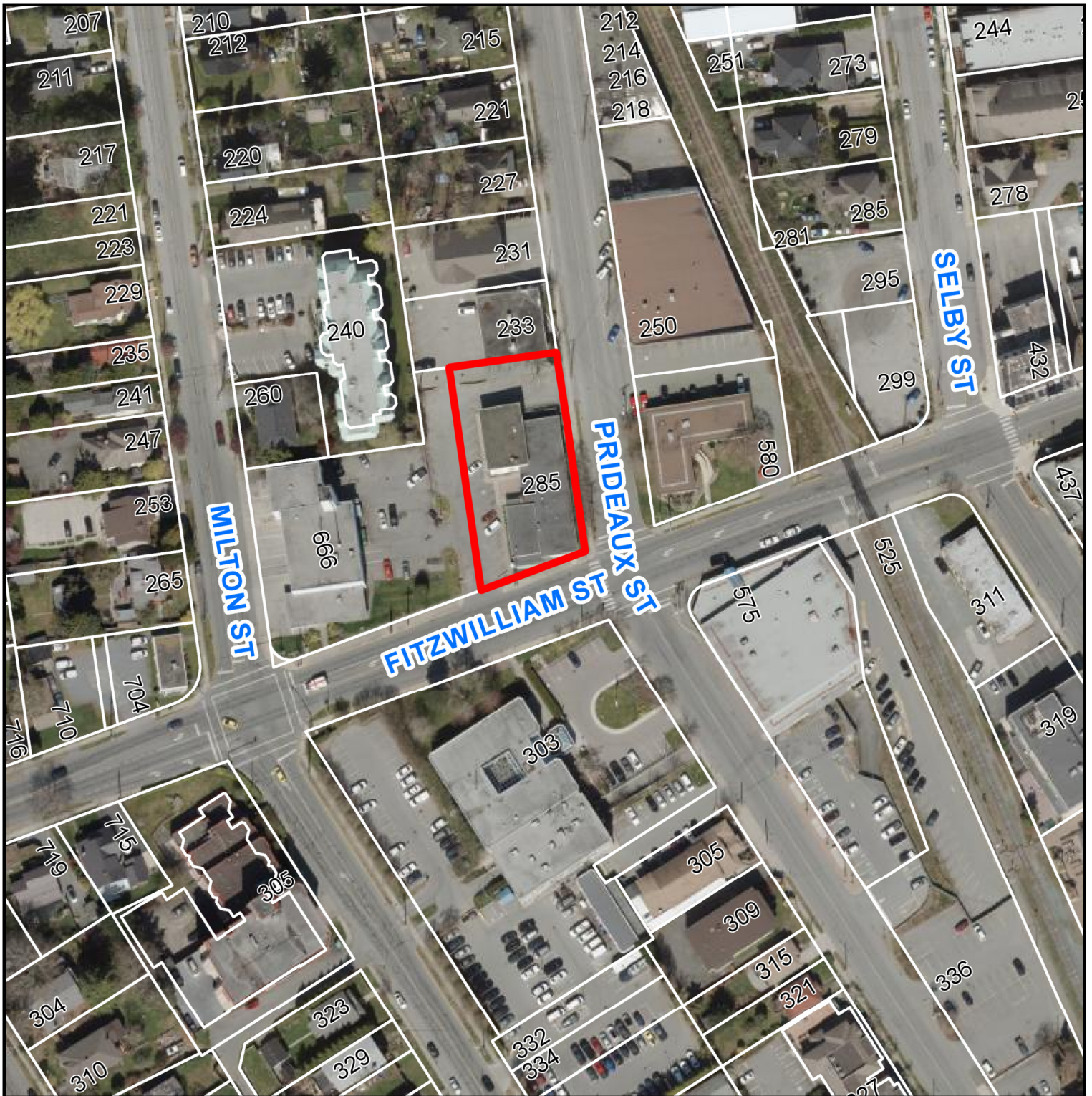
2m MIN.
WIDTH OF BOULEVARD

ROAD
FACE OF CURB

SIDEWALK

L-07

AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001212



285 PRIDEAUX STREET

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001221 – 3945 BIGGS ROAD

Applicant: STUART OLSON CONSTRUCTION LTD.

Architect: IBI GROUP ARCHITECTS (CANADA) INC.

Landscape Architect: R. KIM PERRY & ASSOCIATES INC.

Owner: HER MAJESTY THE QUEEN IN RIGHT OF THE PROVINCE OF BRITISH COLUMBIA AS REPRESENTED BY THE MINISTER OF CITIZENS' SERVICES

SUBJECT PROPERTY AND SITE CONTEXT

<i>Zoning</i>	CS2 – Community Service Two AR1 – Rural Resource
<i>Location</i>	The subject property is located in northwest Nanaimo and is bounded by Dunster Road to the north, Nanaimo Parkway to the east, Biggs Road and AR1-zoned land to the south, and Brannen Lake and the city boundary to the west.
<i>Total Area</i>	Approximately 47 ha
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Parks and Open Space Map 3 – Development Permit Area (DPA) No. 1 – Watercourses; DPA No. 2 – Environmentally Sensitive Areas; and, DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial / Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines

The subject property contains the existing Nanaimo Correctional Centre (NCC) and is situated between Brannen Lake and the Nanaimo Parkway. The lake drains into the Millstone River, which runs along the southwest portion of the property. The existing correctional centre is located in the southwest quadrant of the site. The remainder of the site is comprised of two large forested areas and an open field.

Existing rural residential lots are located to the north of the site; across the Nanaimo Parkway to the east are forested park and industrial areas, and to the south is a mobile home park and agricultural lands. The development site slopes from Biggs Road to Brannen Lake with approximately 30m in elevation change.

PROPOSED DEVELOPMENT

The proposed development includes the phased replacement of the existing corrections centre with 12 new buildings and accessory structures contained by a perimeter security fence. The proposal includes a new administration building, a program services building, a horticulture centre and equipment shed, and a variety of residences throughout the site.

None of the development will take place within the portions of the property designated within the Agricultural Land Reserve. The proposed development is organized into four distinct quadrants around a central recreational area. The building composition for the quadrants is as follows:

Quadrant	Building(s)	Use	Size
1	AE	Administration	10,651.38m ²
2	F1 - F3	Medium Security	2,276.03m ²
3	GS	Guthrie Support	1,313.62m ²
3	H1 - H4	Guthrie Residences	660.61m ²
4	HT	Horticulture Centre	141.1m ²
4	LE	Landscape Equipment Shed	111.1m ²
Central	D1	Program Services	1,758.24m ²

The combined gross floor area (GFA) of all buildings is 16,912.09m². The floor area ratio (FAR) will equal 0.15, well below the maximum permitted 1.25 FAR within the CS2 zone.

Further development of the existing road and upgrades to the storm water and sanitary lines are proposed within the required watercourse leavestrip for Brannen Lake (15m) and the Millstone River (30m). The proposed development includes raising a 375m section of perimeter maintenance road above the floor control level and the installation of a concrete sanitary connection chamber and a new storm water drainage outfall and headwall.

Site Design

The site design emulates a campus with pods of buildings surrounding a central recreational area. Access to the site will be maintained from Biggs Road, where the visitor parking area containing 26 spaces will be located and will include accessible parking and electrical vehicle charging stations. Bicycle racks are placed near the visitor and staff parking areas. A pedestrian pathway connects the visitor parking to the main administration building. The site design also incorporates cultural elements in artwork and architectural features throughout the site.

A paved turnaround adjacent to the southeast corner of the administration building allows ambulant visitors to be dropped-off close to the public entry. Public vehicle access is restricted at the end of the paved turnaround, where a private road continues to provide access to all buildings and then terminates at a turnaround in front of the program services building (D1) in the centre of the site. Proposed landscaping, signage, monitored security, and passive wayfinding elements enforce the restriction on public access areas.

Another larger parking area is located to the east of the administration building with approximately 143 parking spaces for staff and some secured parking spaces. A total of 169 parking spaces are proposed within the development site. Staff bicycle lockers and a carpool structure are located across the drive aisle from the staff parking area. Loading bays are also located on the east side of the administration building adjacent to the staff parking.

Staff Comments:

- The design guidelines encourage a formal entrance to institutional sites. Consider signage or other wayfinding elements to reinforce the site entrance.
- Consider placing the staff bicycle lockers closer to the staff entrance.
- The design guidelines discourage parking areas that dominate the area between the street and the building. Consider further screening of the visitor parking area from Biggs Road.
- Consider reducing the overall amount of surface parking provided onsite.

Building Design

The proposed buildings vary in massing and design and will be constructed to achieve LEED Gold with emphasis on energy efficiency, indoor environmental quality, water efficiency, sustainable site design and waste management.

The administration building (AE) is viewed as a two-storey building from Biggs Road; however, due to the substantial grade change across the length of the building, and a central control and security system, the building height extends up to 18.73m at its highest point and appears as three-storeys along the north elevation. The over-height central control area is set back from the south façade and is partially obscured from Biggs Road. The public entry on the administration building displays a large feature wall of natural wood cladding, fibre cement boards, and patterned siding. Exterior materials consist of a combination of fibre cement siding, composite aluminum panel, and custom metal cladding. The building has a mix of glazing and articulation, and due to its size and configuration, presents as three separate buildings.

The medium security and Guthrie residences (F1-F3, H1-H4) are grouped in two distinct neighbourhoods of small, two-storey buildings. The Guthrie support building (GS) forms part of the Guthrie neighbourhood and is similar in scale to the surrounding residences. The façade treatment is clad with fibre cement panels and horizontal lap siding. The building mass is broken down further with patterned elements and potential artwork inspired by traditional Coast Salish architecture, with vertical trim elements extending the height of the buildings.

The program services building (D1), in the middle of the development site, is similar in scale and design to a community centre with the gym placed in the centre of the building. Due to the grade change of the site, only one storey is visible from the south elevation, while the full massing is visible from the elevation facing the lake. The exterior materials used include custom pattern metal cladding, fibre cement board cladding and generous curtain wall glazing.

Staff Comments:

- The building form reflects the intended institutional use.
- Barring any security concerns, consider a more prominent staff entrance.
- Consider providing weather protection above all exit doors particularly those exiting from the second level.
- Provide information regarding the horticulture buildings.

Landscape Design

The site has extensive open recreation space including public plazas, space for agriculture, and common green spaces. Indigenous elements and wellness programming is supported throughout the site with the inclusion of a healing garden, a sweat lodge and council circle, and a Shkode-Kaan. The buildings and recreation areas are inter-connected by an extensive network of universally accessible asphalt and gravel pedestrian pathways.

A proposed 'commons plaza' is centrally located between the administration building (AE) and the program services building (D1). This area can accommodate dining, seating and gathering spaces, as well as an outdoor workshop plaza space. Areas around the residences are planted with trees to simulate a street edge with a rhythm of plantings, buildings, and walkways leading to the entrances of each building. The healing garden and a small amphitheater are located north of the program services building.

A flex-use plaza and 'common green' are located south of the program services building and offer space for large group gatherings and sports as an extension of the athletic functions within the program services building. A gravel running/walking loop also encircles the green space.

The southwest corner of the development site will provide opportunities for food production and orchard planting. A 'hedgerow and thicket' plant typology is utilized to provide separation and limit views of the facility from Biggs Road.

The parking areas are planted with large deciduous trees to provide shade and break up the paved areas. Street trees are proposed along Biggs Road to enhance the streetscape. Landscape berms with trees are provided between the visitor parking on Biggs Road and the buildings onsite to reduce visibility of the facility from the road. Lighting is provided throughout the site to provide safe, secure and well-lit conditions.

The plant palette throughout the site includes mainly native, drought tolerant and low maintenance plant species. Wetland and meadow planting areas within the secured perimeter mimic the lakefront and riparian plant typologies. The retention of existing mature trees and addition of deciduous and coniferous tree clusters connects the on-site landscape to the surrounding woodland and forest edge typologies.

Staff Comments:

- Consider additional landscape islands to break up the parking areas.
- Details of proposed retaining walls to be provided.
- Provide information regarding location of refuse receptacles.
- Consider a more direct pedestrian connection between the visitor parking and the entrance to the administration building.
- Consider extending the sidewalk to connect the Staff entrance on the south façade to the visitor parking area.

PROPOSED VARIANCES

Maximum Building Height

The maximum permitted building height in the CS2 zone is 14m. The proposed building height of the administration building (AE) is 18.73m. A requested variance of 4.73m. The additional height is required to facilitate a central control and security system for the safety of staff, visitors, and inmates within the prison campus.

Minimum Watercourse Setback

The required watercourse setback from Brannen Lake and the Millstone River is 15m and 30m, respectively. The applicant proposes to place fill within the watercourse setback in order to facilitate a maintenance road as well as upgrade sanitary and storm water infrastructure.



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February 3, 2020

For the attention of:

Lainya Rowett

Manager, Current Planning Section
Development Approvals Department
City of Nanaimo

Re: Nanaimo Correctional Centre Replacement – Development and Variance Rationale

Lainya,

Please find enclosed the Nanaimo Correctional Centre Replacement – Architectural Development and Variance Rationale. Included below is an explanation of the development and summary of information relevant to zoning bylaws.

1. Project Overview

The Nanaimo Correctional Centre (NCC) Project involves the replacement of the Existing Correctional Centre at 3945 Biggs Road, Nanaimo BC. The Site is located beside Brannen Lake and includes DPA1, DPA2 overlays and CS2, ALR Zoning. **Drawing A101 Site Plan** outlines the scope of the development within the site and its proximity to the zoning boundaries.

Over several construction phases, the existing centre will be demolished and 12 new Buildings will be constructed within the Secure Perimeter fence. The development includes a new secure administration building, a Program Services Building and a variety of Residences throughout the site. **Drawing A003 Project Data** summarises the development areas and the relevant zoning data for review, with Bylaw References.

2. Site and Context

The Project Site is bounded by Millstone Creek to the West, Brannen Lake to the North, the Agricultural Land Reserve to the East and Biggs Road to the South. Within this large site is the NCC Campus, encompassed by the Secure Perimeter fencing.

The NCC masterplan is designed to reflect a typical college campus, to the greatest extent possible within a Correctional Centre. The site is divided into four quadrants of distinct scale and character, each with a distinct use. The Main Administration Building (Block AE) is located in quadrant 1, the Medium Neighbourhood (Blocks F1-F3) in Quadrant 2, the Guthrie Neighbourhood (Blocks GS, H1-H4) in Quadrant 3, the Landscape Storage and Horticulture Centre in Quadrant 4 and the Program Services Building (Block D1) at the centre.

The Site is highest at Biggs Road, and descends in terraces towards the edge of Brannen Lake. As a result, the South Façade of the Main Administration Building (Block AE) is the only visible building face from Biggs Road. Where possible, landscaped berms and planting has been used as screening to obscure the scale of the development when viewed from Biggs Road or Brannen Lake.



3. Massing, Form and Character

At the centre of the site, Block D1 contains educational and recreational components. This building is similar in scale to that of other Community Centres encountered across Vancouver Island and the Lower Mainland. The mass of the building is broken into 3 zones, with the Gym volume at the centre. From the South, a single storey is visible with the full mass of the building facing the lakeside residences to the north. The façade treatment reflects this building typology, with custom pattern metal cladding, fibre cement board cladding and generous curtainwall glazing.

The Medium Security and Guthrie Residences (Blocks F1-F3, H1-H4) are grouped in two distinct neighbourhoods of small, two storey buildings. The Guthrie Support Building (Block GS) forms a part of the Guthrie neighbourhood, similar in scale to the surrounding residences. The façade treatment is typical of multi-family developments, clad with fibre cement panels and horizontal lap siding. The building mass is broken down further with pattern elements inspired by traditional Coast Salish Architecture, with vertical trim elements extending the height of the buildings.

Each of these neighbourhoods contains a hardscape plaza, vehicle and pedestrian access.

Block AE, the main administration building, contains all the Secure populations, their supporting services, a healthcare component, staff offices and publicly accessible areas. The building massing ultimately reflects the functional program required for the efficient and safe operation of a Correctional Centre, with a focus on reducing the scale of the public facing façade. The resulting massing is a two storey institutional development, when viewed from Biggs Road. Across the length of the building the grade drops substantially. The building form varies across this length, appearing as 3 separate buildings due to setbacks and façade treatment. The public entry displays a large feature wall of natural wood cladding, fibre cement boards, pattern siding.

4. Vehicle Access and Circulation

The Nanaimo Correctional Centre is accessed from Biggs Road. Vehicular circulation is divided into two categories, Public and Secure.

The public parking lot is located close to the Biggs Road site entry, the visitor entrance plaza and the public lobby of Building AE. This parking lot contains Accessible Stalls and Electrical Vehicle Charging stands. A paved turnaround allows ambulant visitors to be dropped off close to the public entry. Public Vehicle Access is restricted at the end of the paved turnaround. Landscaping, Signage, monitored security and passive wayfinding elements enforce this restriction.

Secure Vehicle access continues beyond the entrance plaza to the North to the Staff Parking, Vehicle and Pedestrian Sallyports, Facilities and Maintenance Entrance and the exterior patrol road. Deliveries will be received at the loading bays. Fire Truck and Emergency Vehicle Access to the site is provided via the Vehicular Sallyport to the North of Block AE. Inside the NCC Campus a road provides access to all building entries, ending in a turnaround in front of Building D1.



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3

5. Pedestrian and Bicycle Access

The Nanaimo Correctional Centre is accessed from Biggs Road, the Public parking and Staff parking lots. Bicycle parking is located adjacent to the Public and Staff entrances.

Landscaping, Signage, monitored security and passive wayfinding elements are used to reinforce and naturally delineate public access. Staff are provided with a dedicated entry in to the facility, that is discrete and separate from the main Reception and Visitation area used by the Public. Pedestrian walking paths are numerous, located throughout the campus to provide barrier free access to each building.

6. Sustainability

The Nanaimo Correctional Centre Replacement Project is designed to meet a high level of environmental stewardship. In addition to meeting the mandatory ASHREA 90.1 requirements, the new school is designed to achieve LEED Gold. The design places an emphasis on energy efficiency, indoor environmental quality, water efficiency, sustainable site design and waste management. The LEED score card will summarize the specific strategies used for this project.

7. Zoning

Please refer to **Drawing A003 Project Data** for a detailed summary of applicable Zoning Calculations with rationale and Bylaw references included.

8. Variance Rationale

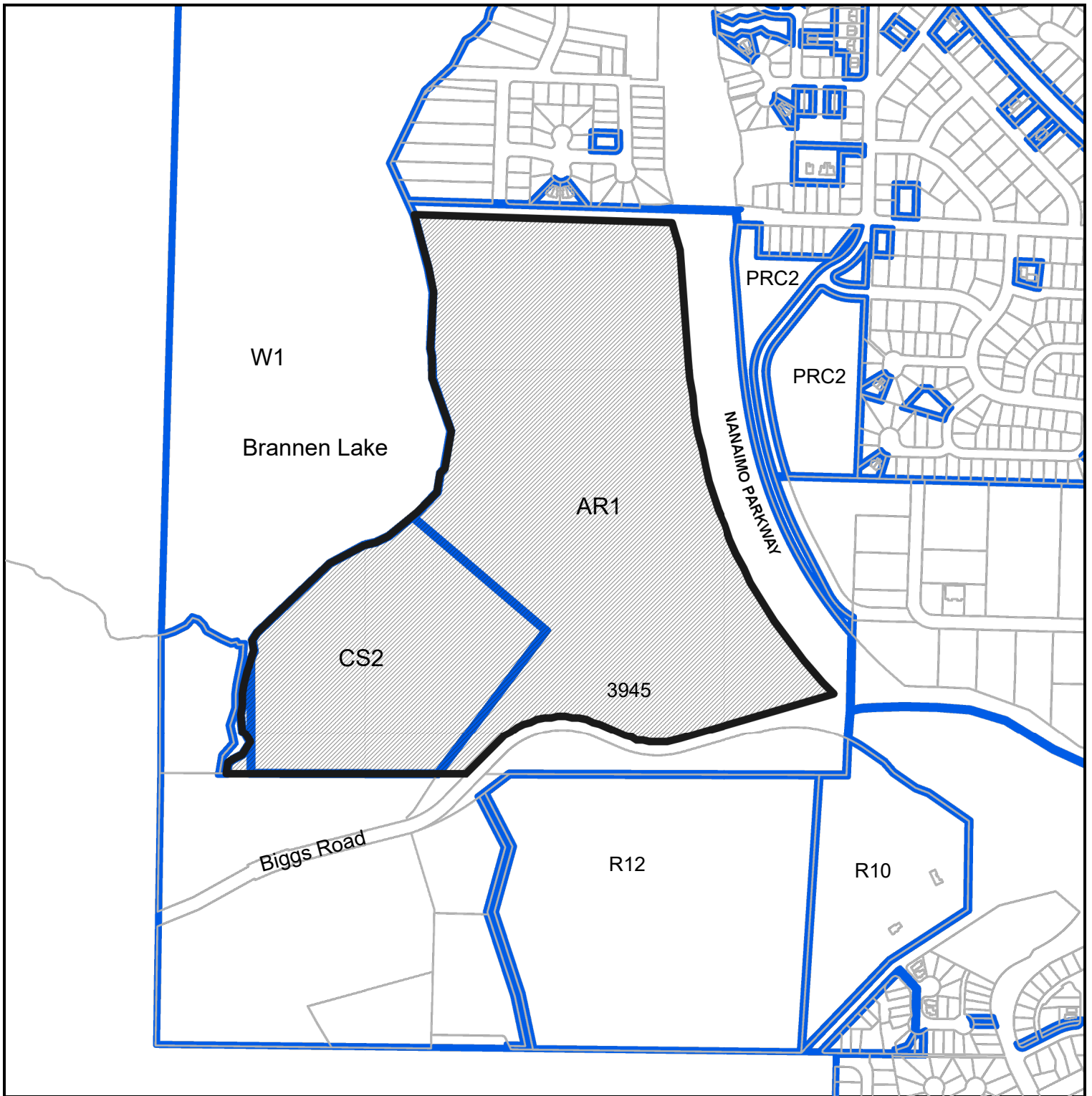
A small portion of the Block AE Development infringes on the Maximum Allowable Building Height. The Infringing Area is comprised of the Central Control and Security System for the entire Prison Campus. This location is ideal for the function of this space, as view lines from the Central Control to the Public Entry, Public Parking Lot, Staff Parking Lot and the NCC Campus are essential for the safety of staff and inmates. The Central Control is set back from the South Façade and is partially obscured from view from Biggs Road. In addition to this, the finished grade at the public entry is a Storey above the Average Grade, further diminishing the appearance of the building height to the public. The infringing area is approximately 120m² of the total 16,912m² development.

The Average Grade Calculation, Maximum Building Height, Infringing Area and proximity to Biggs Road are outlined on **Drawings A5000** and **A5500**.

Yours truly,

Tony Gill, Architect MAIBC, MRAIC, AIA
Global Director

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001221



Subject Property

CIVIC: 3945 BIGGS ROAD

LEGAL: LOT 1, DISTRICT LOT 22G, WELLINGTON DISTRICT, PLAN VIP73819

NANAIMO CORRECTIONAL CENTRE REDEVELOPMENT

Project Data

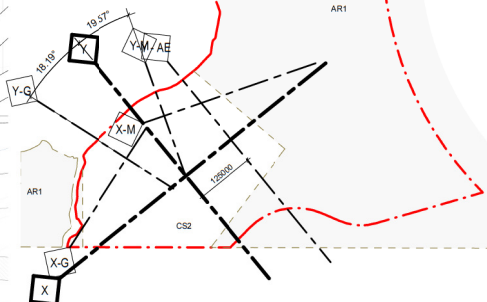
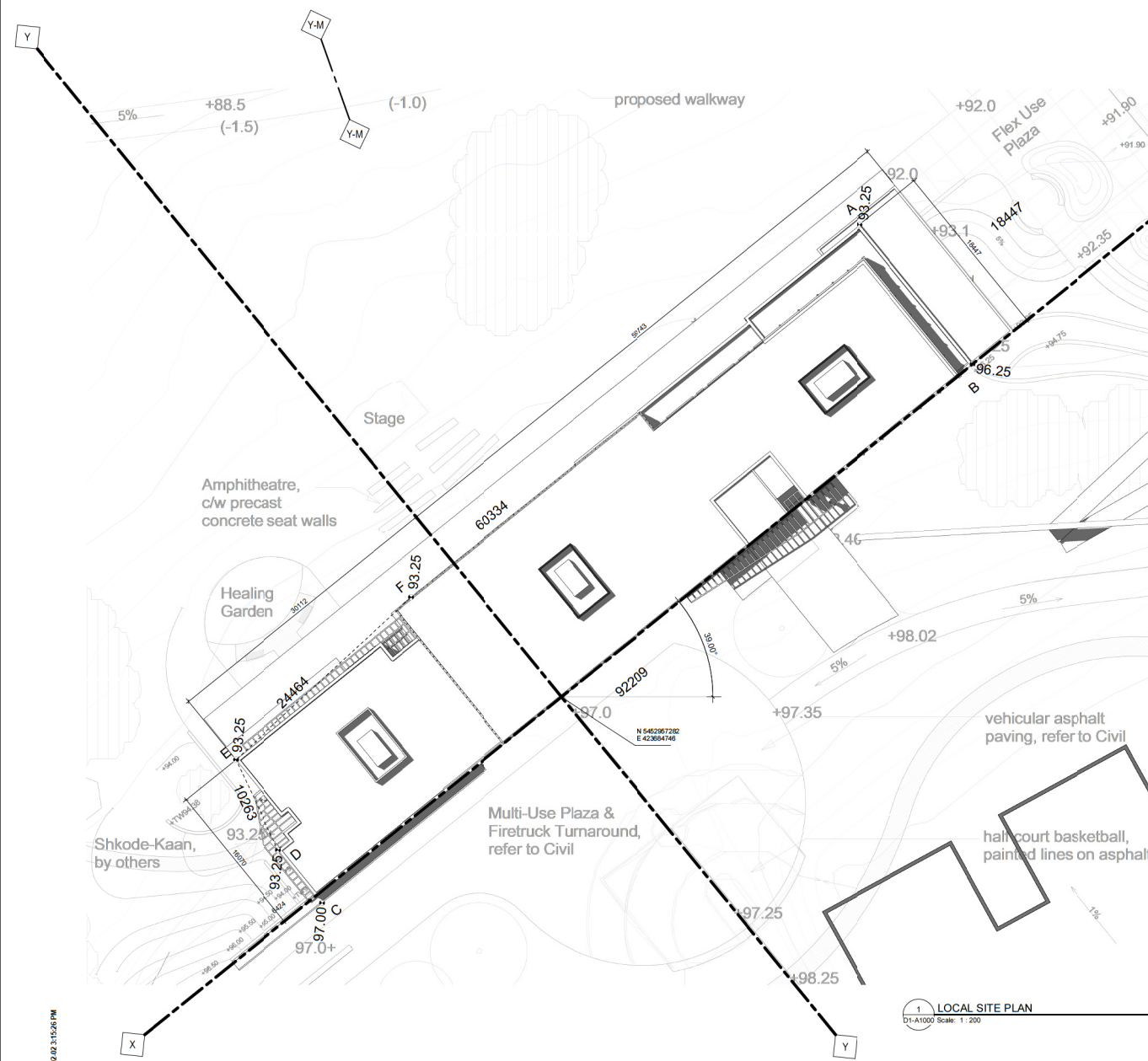
Civic Address: 3945 Biggs Road, Nanaimo, B.C.
Legal Description: LOT 1, DISTRICT LOT 22G, WELLINGTON DISTRICT, PLAN VIP73819
PID: 025-424-530
Zoning: CS-2, AR-1 (Split-zoned site. New building construction under this application confined to CS-2 zone)

Lot Area:
Overall: 542,370 m²
CS-2 Zone: 114,320 m²
AR-1 Zone: 428,050 m²

Item	Required/Permitted	Existing	Proposed	Calculation	Bylaw Reference	Rationale
Principle Use:	Jail	Jail	Jail		4500 - 14.2.1	
Occupants: Inmates: Staff:		190 124	202 165			
Building Height:	14 m		Proposed Building Height	Ave Finished Grade Calculation:	4500 - 14.6.1 & Part 5 - Height, Building	AE building control tower footprint area is a small porion of total building foot print. Excess control tower height is pushed well back from bulding front such that it is screened by the lower portion of the building and by landscape elements. Elevator penthouses exempt.
Building: AE D F GS H			18.730 m 8.846 m 8.450 m 8.300 m 7.700 m	SEE BUILDING AE SHEET AE-A5000 FOR CALCS. AVE. FIN GRADE = 95.02 m SEE BUILDING SHEET D1-A1000 FOR CALCS. AVE. FIN GRADE = 94.904m ALL CORNERS AT 84.25 m AVE. FIN GRADE = 84.25 m ALL CORNERS AT 85.50 m AVE. FIN GRADE = 85.50 m ALL CORNERS AT 84.50 m AVE. FIN GRADE = 84.50 m		
Lot Coverage	50%		8.65%	(AE + D + F + G + H + Ht + Ldsc) / CS-2 Area (5758.00 + 1359.93 + 418.32 + 417.38 + 209.99 + 120.1 + 141.1)/114,320		
Floor Areas			Net Area	Base Area Service Rm Lobby Byc/Rec Storage Green Equip. Net Area		Exterior walls > 165mm thick. Interior face of wall used as area boundary for Base Areas.
Building AE: Building D: Buildings F: Buildings H: Building G: Landscape Equipment Shed LE: Horticulture Center HT:			10651.38 m² 1758.24 m² 2276.03 m² 660.61 m² 1313.63 m² 111.1 m² 141.1 m² 16912.09 m²	10679.07 m² 9.29 m² 10.9 m² 7.5 m² 0 m² 10651.38 m² 1767.53 m² 9.29 m² 0 m² 0 m² 0 m² 1758.24 m² 2285.32m² 9.29 m² 0 m² 0 m² 0 m² 2276.03 m² 1322.927 m² 9.29 m² 0 m² 0 m² 0 m² 660.61 m² 669.90 m² 9.29 m² 0 m² 0 m² 0 m² 1313.63 m² 120.1 m² 9.00 m² 0 m² 0 m² 0 m² 111.1 m² 141.1 m² 0 m² 0 m² 0 m² 0 m² 141.1 m² 16912.09 m²		
FAR	1.25		0.1479	16912.09 m² / 114,320 m² (CS-2 zone only)	4500 - 14.3.1	
Setbacks	Front: 7.5 m Front - Major Street: 10 m Side: 7.5 m Flanking Side: 7.5 m Rear: 7.5 m Watercourse - Brannen Lake: 15 m Watercourse - Millstone River: 30 m		N/A 75.763 m 20.256 m N/A N/A 35.378 m 34.527 m		4500 - 14.5.1 4500 - 6.3.1.1 & Sched C 4500 - 6.3.1.4	
Flood Control Elevation			81.7 m per Civil consultant		7226 - 7.2 Table 4	Proposed bwest floor level: 84.25 m (Building F)
Off-Street Parking					7226 - 7.2 Table 4	Proposed nmate population increase: 12/190 = 6.31% increase Proposed staff increase: 41/124 = 33.1% increase Proposed parking stall increase: 74/99 = 74.7% increase. Proposed parking increase is much greater than proposed inmate and staff population increase.
Secure: Special: Staff: Visitor: Total: Accessible Stalls: EV Charging Stalls:		0 12 72 15 99	18 15 110 30 173		7226 - 7.5 Table 6 7226 - 7.7	
Off-Street Loading Stalls	4	4	4		7226 - 6.1(i)(b)	
Bicycle Parking	Not defined	0	4 Public plus 4 Employee - Total: 8		7226 - 7.6 Table 7	Similar to hospital use

CLIENT	
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ISSUES	
1	ISSUED FOR TECHNICAL SUBMISSION 2021-01-01
2	ISSUED FOR REVIEW 2021-01-25
3	ARCHITECTURAL RECORDS/NOTES 2021-01-25
4	ARCHITECTURAL RECORDS/NOTES 2021-01-25
5	ISSUED FOR CLIENT REVIEW 2021-01-27
6	DRAFTED ISSUED FOR PLO 2021-01-28
7	FINANCIAL SUBMISSION 2 2021-01-28
8	PROPOSAL DESIGN SUBMITTAL 2021-01-28
9	OF SUBMISSION 2021-01-28
CONSULTANTS	
SEAL	
PRIME CONSULTANT IBI GROUP ARCHITECTS (CANADA) INC. 7075 150th Street, Suite 100 Vancouver, BC V6E 4B1, Canada Tel: 604.453.1707 Fax: 604.453.1902 ibi@ibi.com	
PROJECT NANAIMO CORRECTIONAL CENTRE 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA	
PROJECT NO: 122747	
DRAWN BY: Author	CHECKED BY: Checker
PROJECT MGR: Designer	APPROVED BY: Approver
SHEET TITLE PROJECT DATA	
SHEET NUMBER A003	ISSUE

RECEIVED
2021-FEB-03
Current Planning



Finished Grade Calculation - Building D				
Corner	Grade at Corner	Face Length (mm)	Ave Gr x Length	
A	93.25	18447	1747853.25	
B	96.25	92209	8909694.625	
C	97	6424	611083	
D	93.25	10263	957024.75	
E	93.25	24464	2281268	
F	93.25	60334	5626145.5	
A	93.25	212141	20133069.13	
		20133069.13	/	212141 = 94.90419
			Ave Finished Grade	

1 LOCAL SITE PLAN
D1-A1000 Scale: 1 : 200

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ISSUES

No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2021-01-05
2	ISSUED FOR REVIEW	2021-01-25
3	DRAFT ISSUE FOR FID	2021-02-05
4	FINANCIAL SUBMISSION 2	2021-01-15
5	SCHEMATIC DESIGN SUBMITTAL	2021-01-15
6	DP SUBMISSION	2021-02-05

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IBI GROUP

ARCHITECTS (CANADA) INC.

1075 LESTER STREET, VANCOUVER, BC V6E 4B1, CANADA

TEL: 604 453 8700 FAX: 604 683 5062

PROJECT

NANAIMO CORRECTIONAL CENTRE

3945 BIGGS ROAD

NANAIMO, BC

V9R 5N3, CANADA

PROJECT NO:

122747

DRAWN BY:

Author

DESIGNED BY:

Designer

APPROVED BY:

Checker

Approver

SHEET TITLE

LOCAL SITE PLAN

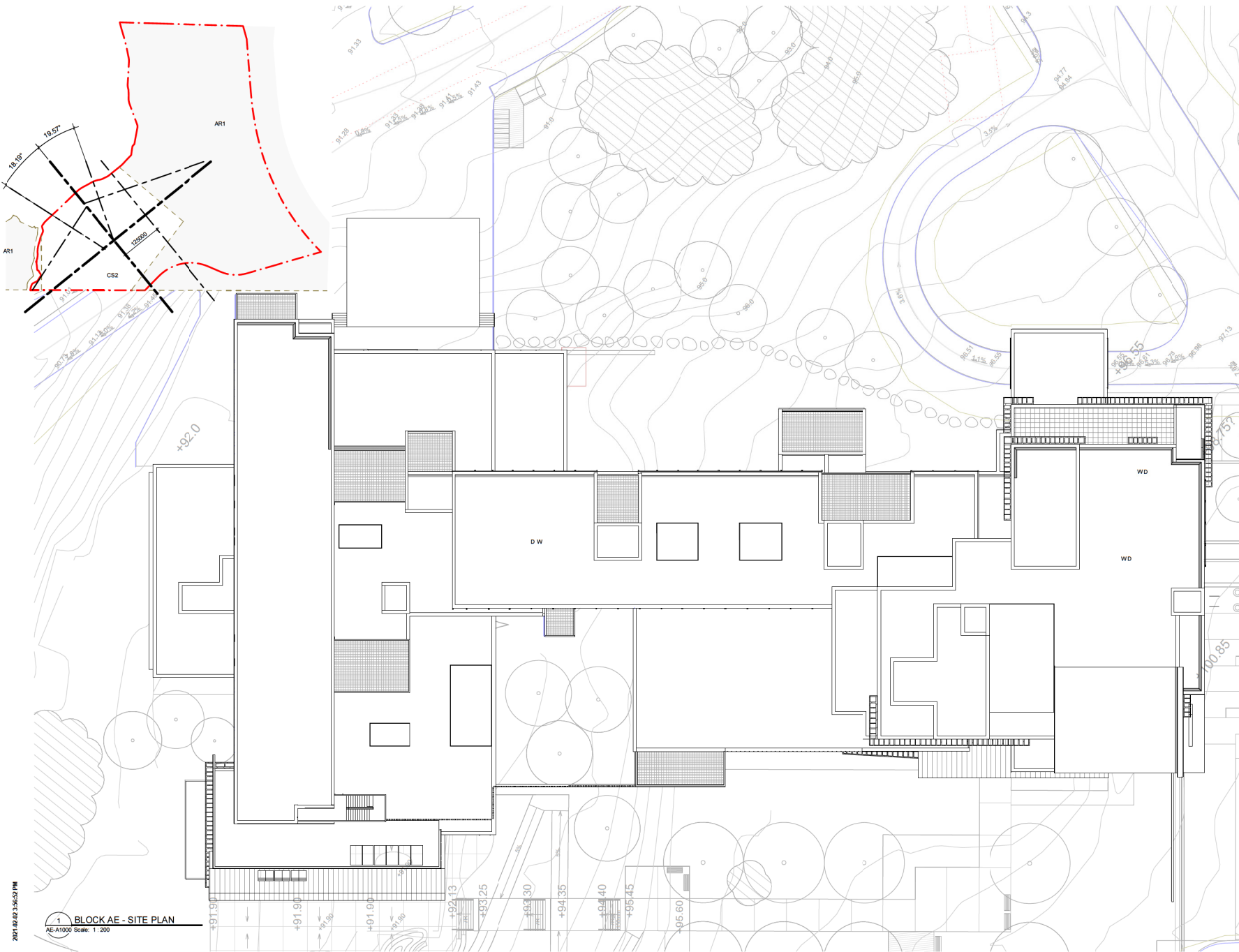
SHEET NUMBER

D1-A1000

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2021-FEB-03
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2021-02-03 3:15:26 PM



2021-02-02 3:56:52 PM

1 BLOCK AE - SITE PLAN
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ISSUES	No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2021-01-05	
2	ISSUED FOR REVIEW	2021-01-25	
3	ARCHITECTURAL BACKGROUND	2021-02-04	
4	ARCHITECTURAL BACKGROUND	2021-02-15	
5	FINANCIAL SUBMISSION 2	2021-02-15	
6	W.P. ISSUED FOR REVIEW	2021-01-05	
7	SCHEMATIC DESIGN SUBMITTAL	2021-01-15	
8	FP SUBMISSION	2021-02-05	

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Current Planning

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ARCHITECTS (CANADA) INC.
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bi@bi.com

PROJECT

NANAIMO CORRECTIONAL CENTRE
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO:
122747

DRAWN BY:
Author

CHECKED BY:
Checker

PROJECT MGR:
Designer

APPROVED BY:
Approver

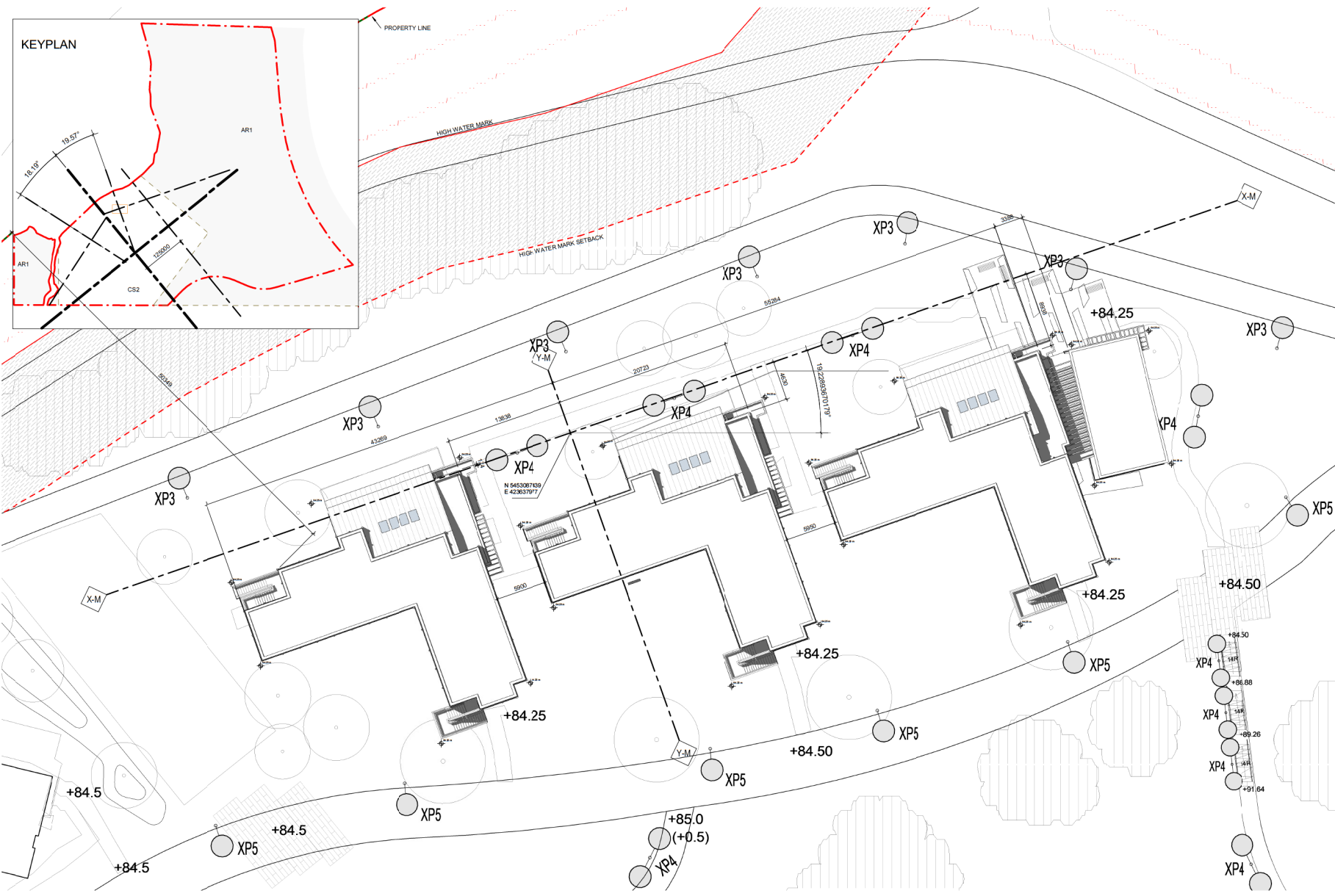
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BLOCK AE LOCAL SITE PLAN

SHEET NUMBER

AE-A1000

ISSUE



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NO.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2011-05-05
2	ISSUED FOR REVIEW	2011-07-20
3	ARCHITECTURAL RECORDING	2011-09-06
4	ARCHITECTURAL RECORDING	2011-09-15
5	FINANCIAL SUBMISSION 2	2011-10-15
6	WPP - ISSUED FOR REVIEW	2011-11-05
7	SCHEMATIC DESIGN SUBMITTAL	2011-11-15
8	1P SUBMISSION	2011-12-05

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BIR GROUP

ARCHITECTS (CANADA) INC.

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birgroup.com

PROJECT

NANAIMO CORRECTIONAL CENTRE

3945 BIGGS ROAD

NANAIMO, BC

V9R 5N3, CANADA

PROJECT NO:

122747

DRAWN BY:

NS/MS/SP

CHECKED BY:

OS

PROJECT MGR:

TED

APPROVED BY:

TG

SHEET TITLE

BLOCK F LOCAL SITE PLAN

SHEET NUMBER

F-A1000

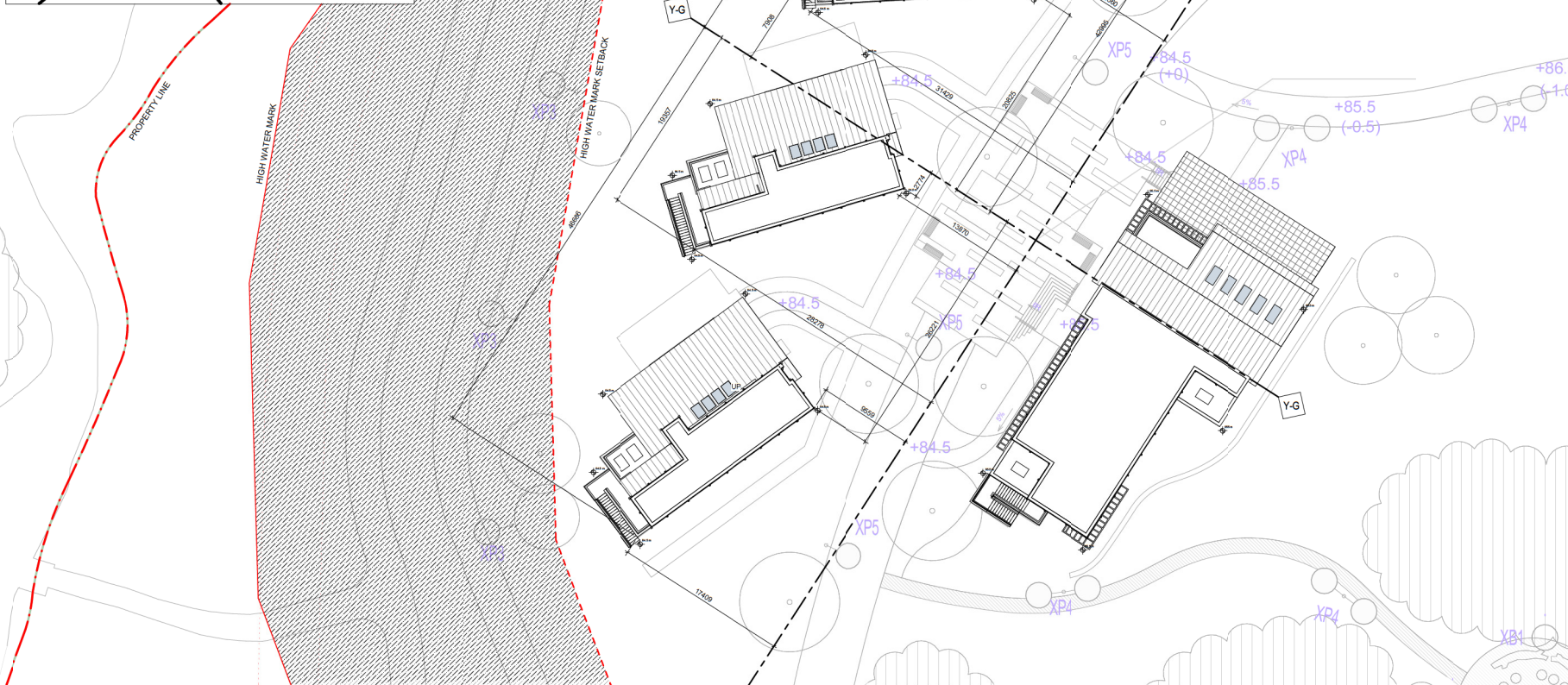
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1

2011.02.02 11:35 PM

1 F LOCAL SITE PLAN
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No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2020-05-01
2	ISSUED FOR REVIEW	2020-07-23
3	ARCHITECTURAL SK OVGROUNDS	2020-09-08
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5	FINANCIAL SUBMISSION 2	2020-10-15
6	WIP - ISSUED FOR REVIEW	2021-01-05
7	SCHEMATIC DESIGN SUBMITTAL	2021-01-15
8	DP SUBMISSION	2021-02-03

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Vancouver, BC V6E 4B1, Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

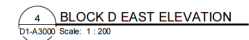
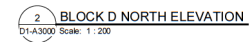
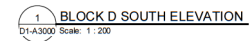
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NANAIMO CORRECTIONAL
CENTRE
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO: 122747	
DRAWN BY: NS/NM/SP	CHECKED BY: GS
PROJECT MGR: TED	APPROVED BY: TG

**BLOCK GS & H - LOCAL SITE
PLAN**

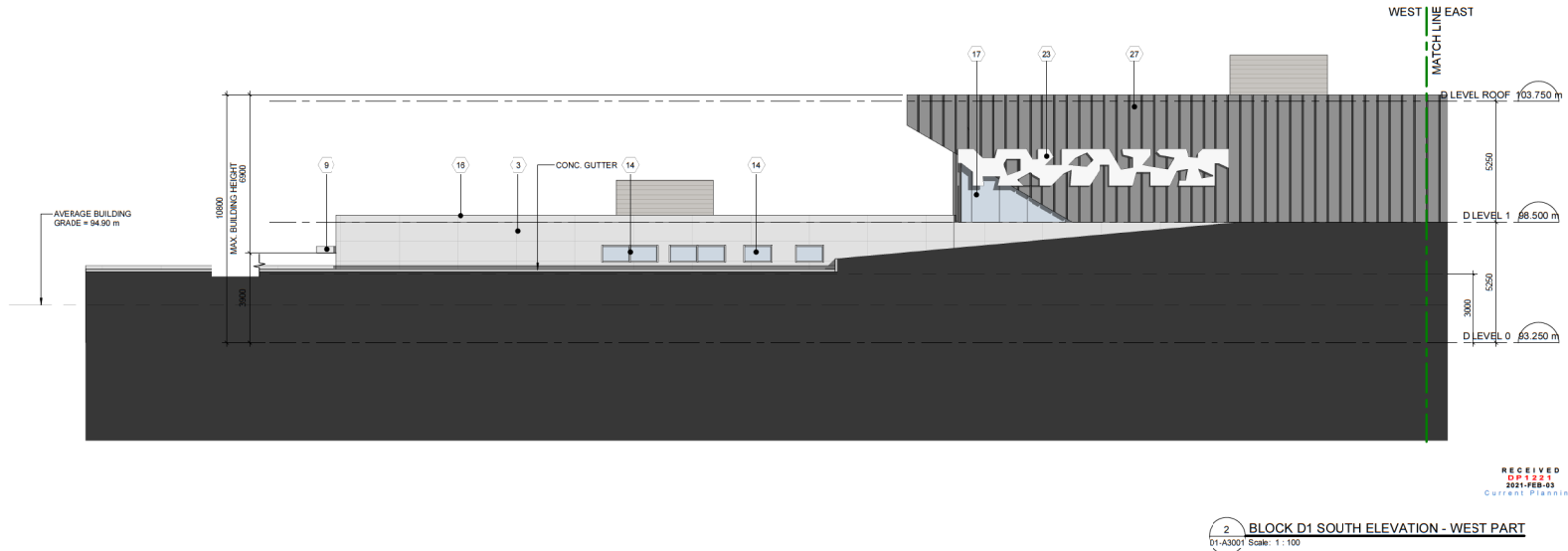
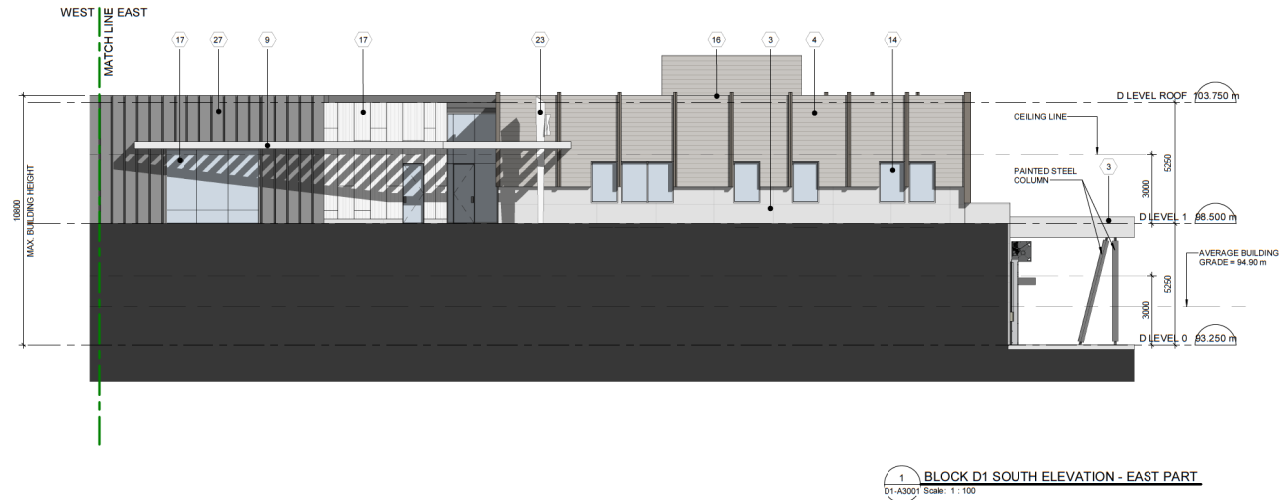
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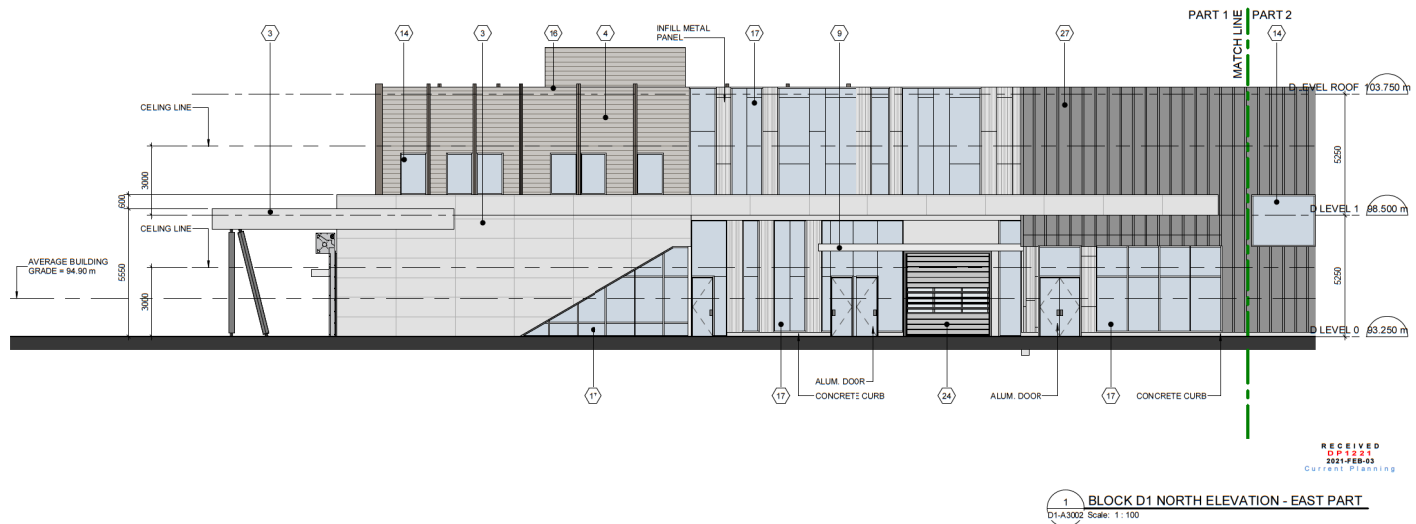
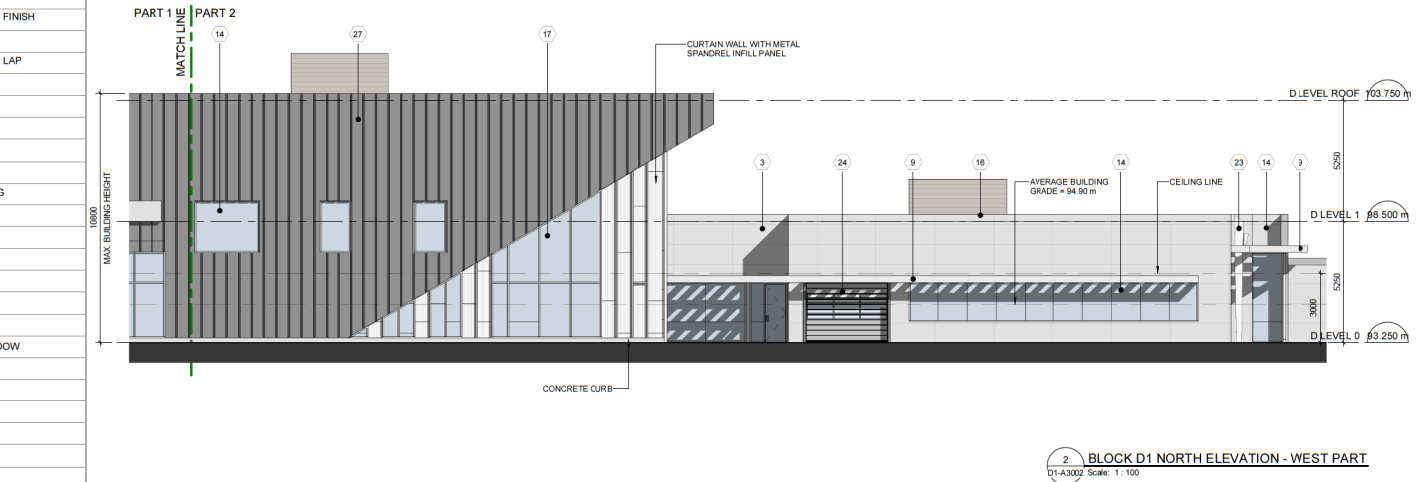
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DP1221
2021-FEB-03
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EXTERIOR FINISHES LEGEND	
(1)	CMU CLADDING
(2)	MINERAL FIBRE CEMENT SIDING - WOODGRAIN FINISH
(3)	MINERAL FIBRE CEMENT SIDING - PANEL
(4)	MINERAL FIBRE CEMENT SIDING - HORIZONTAL LAP
(5)	WOOD HORIZONTAL LAP SIDING
(6)	ARCHITECTURAL CONCRETE, PATTERN FINISH
(7)	CAST IN PLACE CONCRETE
(8)	CONCRETE FACED INSULATION
(9)	PREFINISHED METAL EYEBROW
(10)	2 PLY MODIFIED BITUMEN MEMBRANE ROOFING
(11)	STANDING SEAM METAL ROOF
(12)	VINYL WINDOWS
(13)	DETENTION / SECURE WINDOW
(14)	COMMERCIAL WINDOW - HEAVY DUTY
(15)	STEEL DOOR
(16)	PREFINISHED METAL FLASHING / FASCIA
(17)	ALUMINUM CURTAIN WALL - COMMERCIAL WINDOW
(18)	RESIDENTIAL SKYLIGHT
(19)	PLANTER BOX
(20)	STEEL FRAMED STAIR, GUARD
(21)	CIRCULAR WOOD POST
(22)	WOOD SOFFIT
(23)	FUTURE ARTWORK
(24)	ROLL UP DOOR
(25)	PAINTED STEEL MESH - ART WORK ATTACHED BY OTHERS
(26)	PREFINISHED COMPOSITE ALUMINUM PANEL
(27)	PREFORMED CUSTOM PROFILE METAL CLADDING
(28)	SLC SECURE MESH
(29)	ARCHITECTURAL FENCING

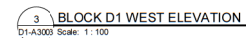
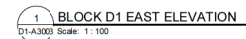


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No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2021-01-05
2	ISSUED FOR REVIEW	2021-01-20
3	DRAWING FOR CONSTRUCTION	2021-02-04
4	FINAL SUBMISSION 2	2021-01-15
5	SCHEMATIC DESIGN SUBMITTAL	2021-01-15
6	DP SUBMISSION	2021-01-05
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<div></div>		
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<div><div>IBI</div><div>ARCHITECTS (CANADA) INC. 707-120-1200, 1200 West Pender Street Vancouver, BC V6E 4B1, Canada Tel: 604-683-8700 Fax: 604-683-0402 ibi@ibi.com</div></div>		
PROJECT		
NANAIMO CORRECTIONAL CENTRE 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA		
PROJECT NO. 122747		
DRAWN BY: NEWMAN		CHECKED BY: OS
PROJECT MGR: TED		APPROVED BY: TG
SHEET TITLE		
BLOCK D - BUILDING ELEVATIONS SOUTH		
SHEET NUMBER		
D1-A3001		
ISSUE		

EXTERIOR FINISHES LEGEND	
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(2)	MINERAL FIBRE CEMENT SIDING - WOODGRAIN FINISH
(3)	MINERAL FIBRE CEMENT SIDING - PANEL
(4)	MINERAL FIBRE CEMENT SIDING - HORIZONTAL LAP
(5)	WOOD HORIZONTAL LAP SIDING
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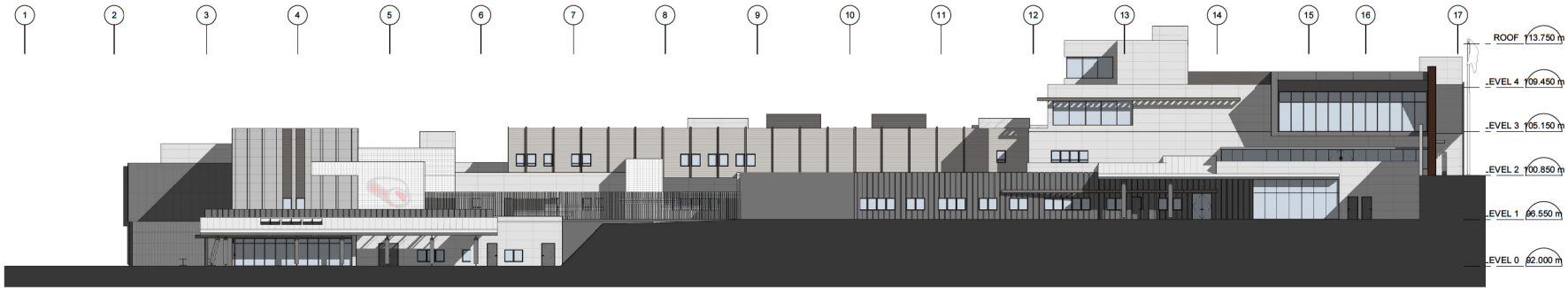


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ISSUES	
NO.	DESCRIPTION
1	ISSUED FOR TECHNICAL SUBMISSION
2	ISSUED FOR REVIEW
3	DRAFT ISSUE FOR FID
4	FINAL SUBMISSION 2
5	SCHEMATIC DESIGN SUBMITTAL
6	DP SUBMISSION
DATE	
2020-05-05	
2020-07-20	
2020-10-06	
2020-10-15	
2021-01-15	
2021-02-05	
CONSULTANTS	
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IBI GROUP ARCHITECTS (CANADA) INC. 1015 LEE Street, Vancouver, BC V6E 4B1, Canada Tel: 604 683 8787 Fax: 604 683 5962 ibigroup.com	
PROJECT	
NANAIMO CORRECTIONAL CENTRE 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA	
PROJECT NO:	
122747	
DRAWN BY:	
NEWMAN	
PROJECT MGR:	
TED	
CHECKED BY:	
GS	
APPROVED BY:	
TG	
SHEET TITLE	
BLOCK D - BUILDING ELEVATIONS NORTH	
SHEET NUMBER	
D1-A3002	
ISSUE	

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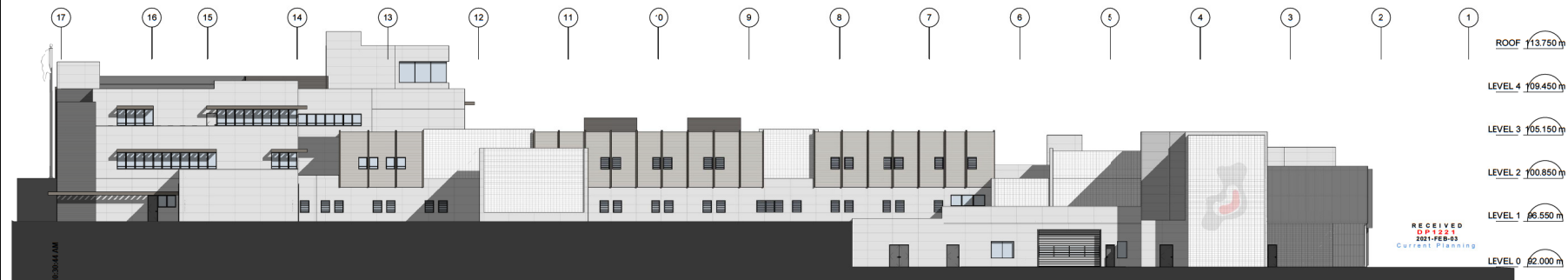


4 BLOCK AE WEST ELEVATION
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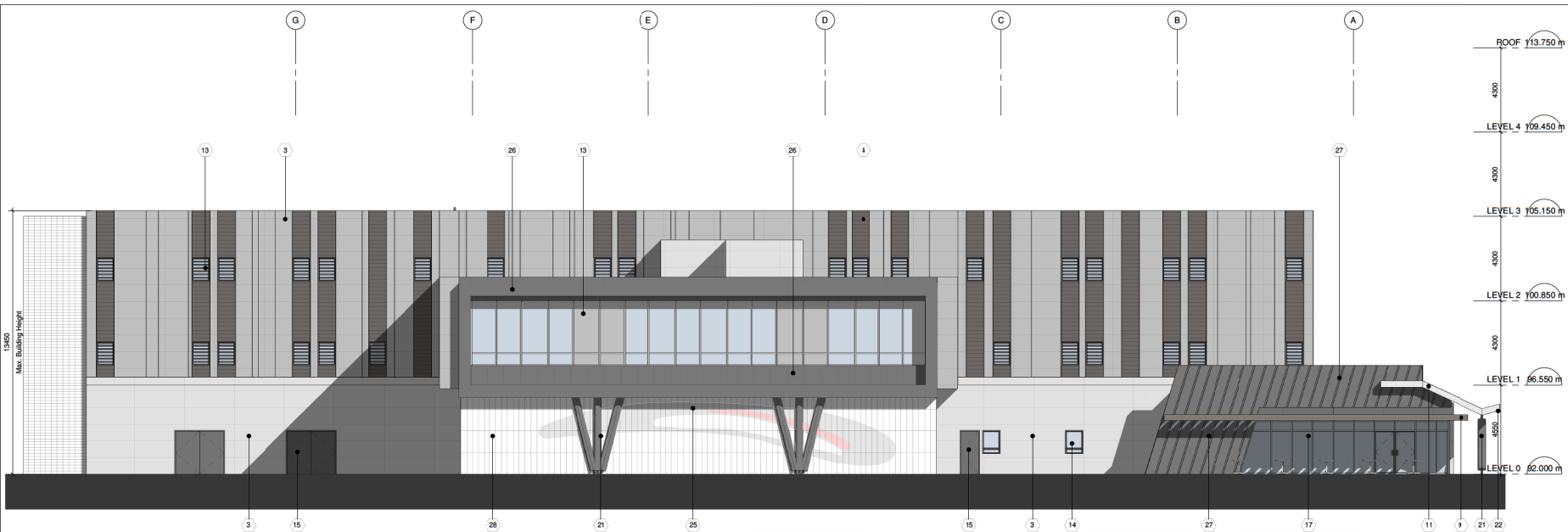
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AE-A3000 Scale: 1:200

2 BLOCK AE NORTH ELEVATION
AE-A3000 Scale: 1:200



3 BLOCK AE EAST ELEVATION
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<table border="1"> <thead> <tr> <th>ISSUES</th> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR TECHNICAL SUBMISSION</td> <td>2021-01-05</td> </tr> <tr> <td>2</td> <td>ISSUED FOR REVIEW</td> <td>2021-01-25</td> </tr> <tr> <td>3</td> <td>ARCHITECTURAL BACKGROUND</td> <td>2021-02-04</td> </tr> <tr> <td>4</td> <td>ARCHITECTURAL BACKGROUND</td> <td>2021-02-15</td> </tr> <tr> <td>5</td> <td>FINANCIAL SUBMISSION 2</td> <td>2021-02-15</td> </tr> <tr> <td>6</td> <td>WFP - ISSUED FOR REVIEW</td> <td>2021-01-05</td> </tr> <tr> <td>7</td> <td>SCHEMATIC DESIGN SUBMITTAL</td> <td>2021-01-15</td> </tr> <tr> <td>8</td> <td>DP SUBMISSION</td> <td>2021-02-03</td> </tr> </tbody> </table>		ISSUES	NO.	DESCRIPTION	DATE	1	ISSUED FOR TECHNICAL SUBMISSION	2021-01-05	2	ISSUED FOR REVIEW	2021-01-25	3	ARCHITECTURAL BACKGROUND	2021-02-04	4	ARCHITECTURAL BACKGROUND	2021-02-15	5	FINANCIAL SUBMISSION 2	2021-02-15	6	WFP - ISSUED FOR REVIEW	2021-01-05	7	SCHEMATIC DESIGN SUBMITTAL	2021-01-15	8	DP SUBMISSION	2021-02-03
ISSUES	NO.	DESCRIPTION	DATE																										
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CONSULTANTS																													
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<p>PRIME CONSULTANT</p> <p>IBI GROUP ARCHITECTS (CANADA) INC. 1075-1050 West Pender Street Vancouver, BC V6E 4B1, Canada Tel: 604 683-8787 Fax: 604 683-2462 ibi@ibi.com</p>																													
<p>PROJECT</p> <p>NANAIMO CORRECTIONAL CENTRE 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA</p>																													
<p>PROJECT NO: 122747</p> <p>DRAWN BY: NEWMSP</p> <p>PROJECT MGR: TED</p> <p>CHECKED BY: OS</p> <p>APPROVED BY: TG</p>																													
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SHEET NUMBER	ISSUE																												
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ISSUES	NO.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2020-05-05	
2	ISSUED FOR REVIEW	2020-07-20	
3	ARCHITECTURAL MODIFICATIONS	2020-08-05	
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6	W.P. ISSUED FOR REVIEW	2021-01-05	
7	SCHEMATIC DESIGN SUBMITTAL	2021-01-15	
8	IF SUBMISSION	2021-03-05	

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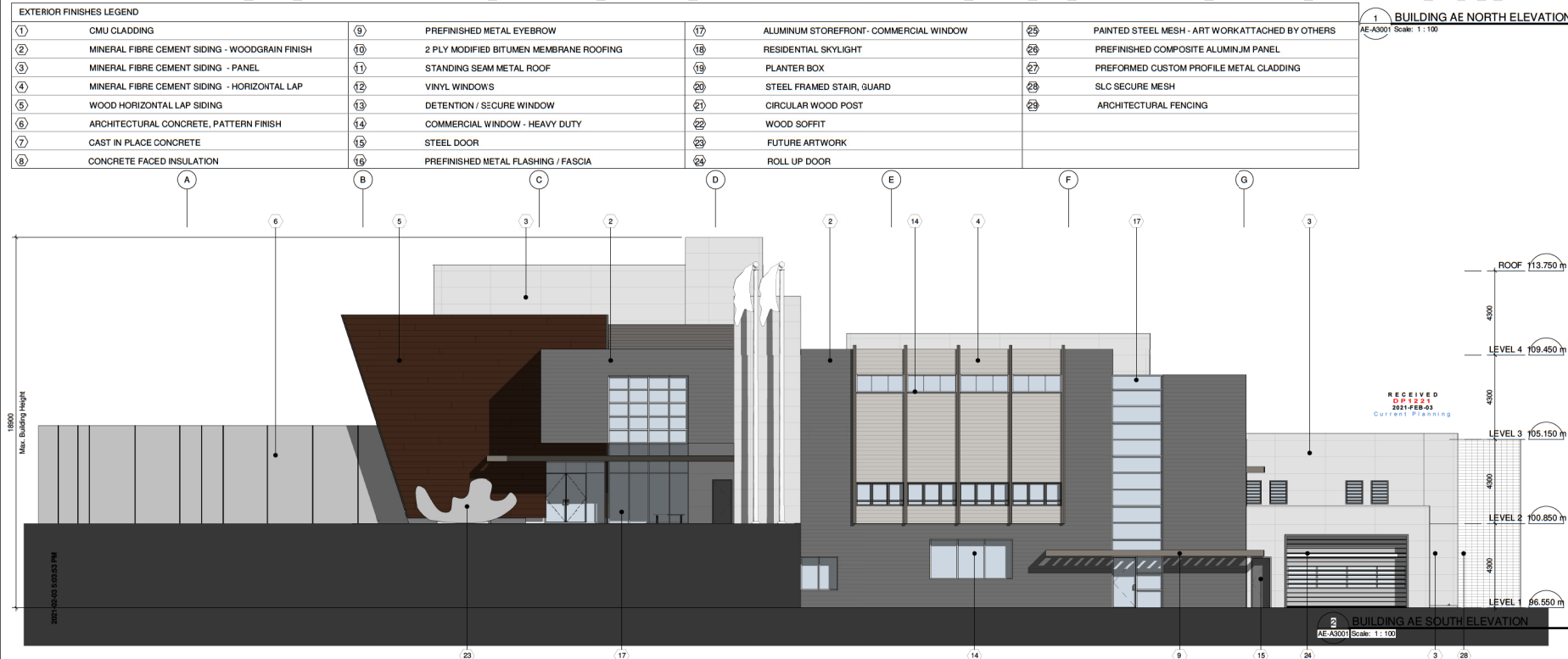
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NANAIMO CORRECTIONAL CENTRE
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO:
122747
DRAWN BY:
MURRAY
PROJECT MGR:
TED
CHECKED BY:
GS
APPROVED BY:
TG

SHEET TITLE
BLOCK AE - BUILDING ELEVATIONS NORTH & SOUTH

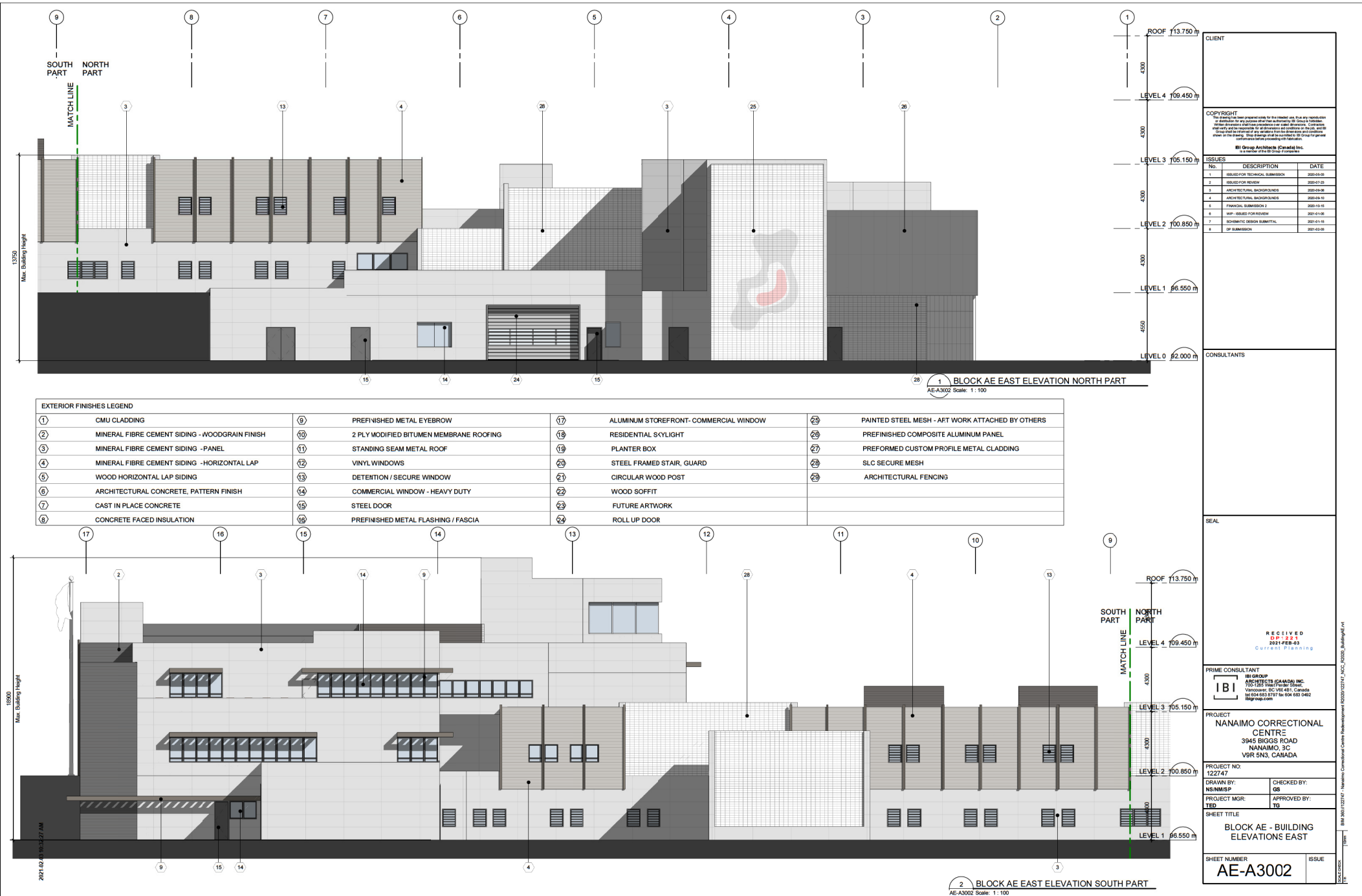
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AE-A3001

ISSUE



1 BUILDING AE NORTH ELEVATION
AE-A3001 Scale: 1:100

2 BUILDING AE SOUTH ELEVATION
AE-A3001 Scale: 1:100



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ISSUES

No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2021-01-05
2	ISSUED FOR REVIEW	2021-01-25
3	ARCHITECTURAL BACKGROUND	2021-02-04
4	ARCHITECTURAL BACKGROUND	2021-02-15
5	FINANCIAL SUBMISSION 2	2021-02-15
6	WFP - ISSUED FOR REVIEW	2021-01-05
7	SCHEMATIC DESIGN SUBMITTAL	2021-01-15
8	1P SUBMISSION	2021-01-05

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Vancouver, BC V6E 4B1, Canada
Tel: 604 683 8787 Fax: 604 683 5062
ibi@ibi.com

PROJECT
NANAIMO CORRECTIONAL
CENTRE
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO:
122747

DRAWN BY:
NEM/SP

CHECKED BY:
OS

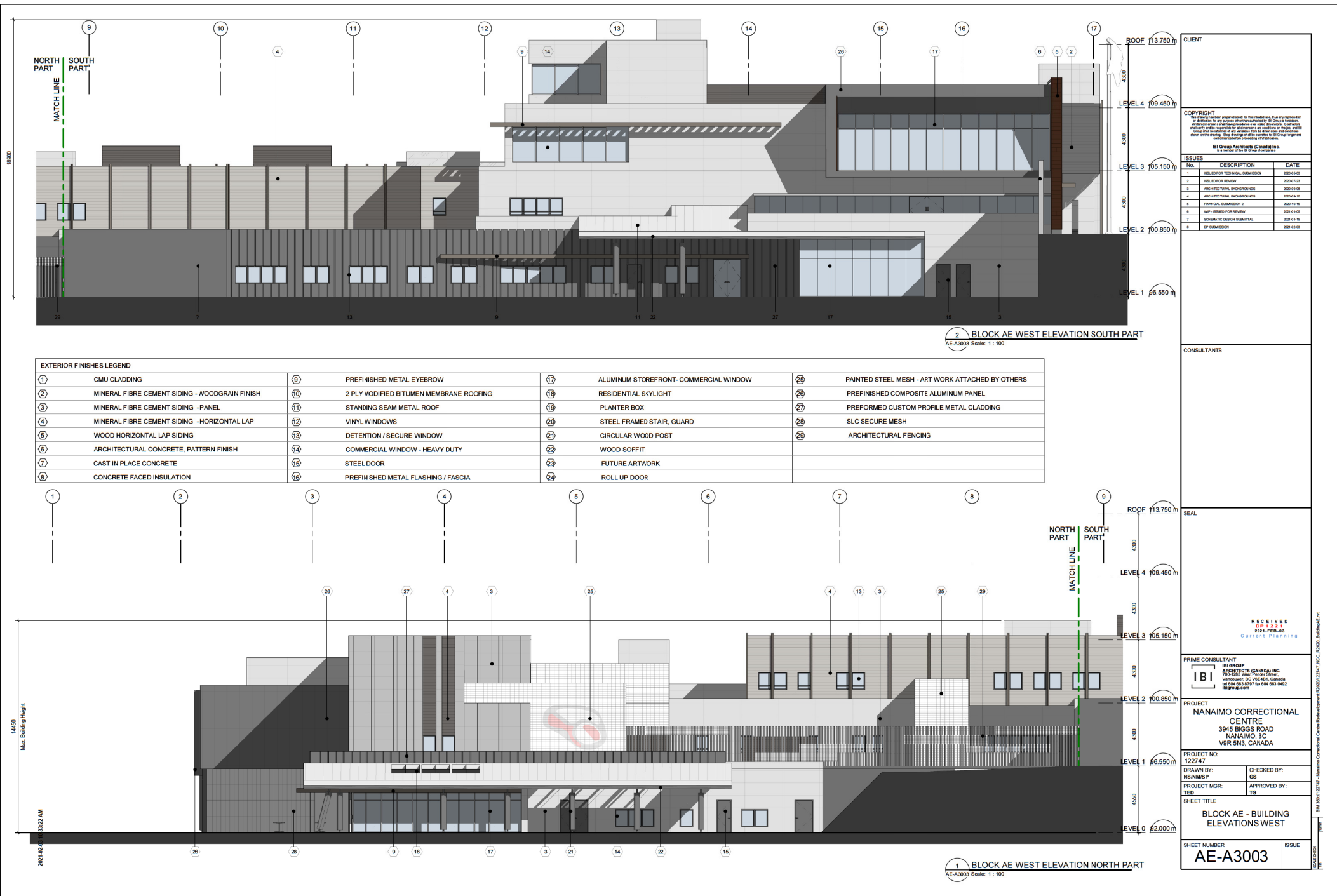
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APPROVED BY:
TG

SHEET TITLE
BLOCK AE - BUILDING
ELEVATIONS EAST

SHEET NUMBER
AE-A3002

ISSUE



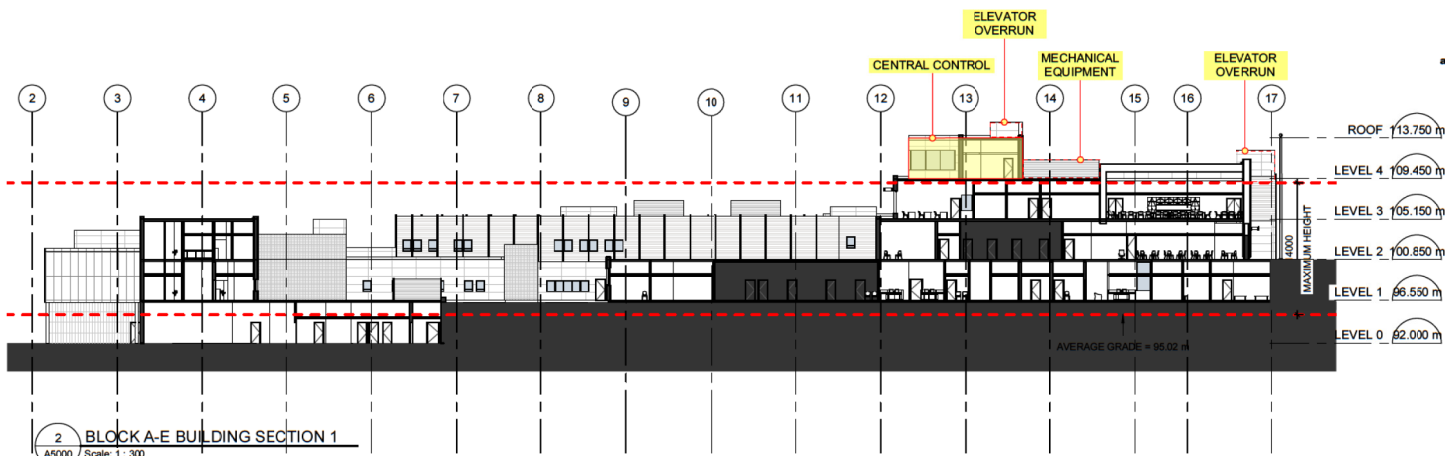
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No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2020-05-05
2	ISSUED FOR REVIEW	2020-07-20
3	ARCHITECTURAL BACKGROUND	2020-08-04
4	ARCHITECTURAL BACKGROUND	2020-08-15
5	FINANCIAL SUBMISSION 2	2020-10-15
6	WFP - ISSUED FOR REVIEW	2021-01-05
7	SCHEMATIC DESIGN SUBMITTAL	2021-01-15
8	1P SUBMISSION	2021-02-05
CONSULTANTS		
SEAL		
RECEIVED 2021-02-23 Current Planning		
PRIME CONSULTANT		
IBI GROUP ARCHITECTS (CANADA) INC. 1075 LEXINGTON AVENUE, SUITE 1000 VANCOUVER, BC V6E 4B1, Canada Tel: 604 683 3707 Fax: 604 683 3962 ibi@ibi.com		
PROJECT		
NANAIMO CORRECTIONAL CENTRE 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA		
PROJECT NO.		
122747		
DRAWN BY:		CHECKED BY:
HEINRICH		OS
PROJECT MGR:		APPROVED BY:
TED		TG
SHEET TITLE		
BLOCK AE - BUILDING ELEVATIONS WEST		
SHEET NUMBER		ISSUE
AE-A3003		

3 BLOCK AE L0 L1 PLAN
A5000 Scale: 1 : 300

AVERAGE GRADE CALCULATION

segment	formula	elev A	elev B1	elev B2	elev C1	elev C2	elev D2	avr grade	length	grade by segment
A B1	$(\text{elev A} + \text{elev B1}) / 2 \times (\text{A B1 length})$	92	96.55	96.55	100.85	92	92	94.275	108000	10181700
B1 B2	$(\text{elev B1} + \text{elev B2}) / 2 \times (\text{B1 B2 length})$							96.55	11850	1144117.5
B2 C1	$(\text{elev B2} + \text{elev C1}) / 2 \times (\text{B2 C1 length})$							98.7	45375	4478512.5
C1 C2	$(\text{elev C1} + \text{elev C2}) / 2 \times (\text{C1 C2 length})$							96.425	107970	10411007.25
C2 D1	$(\text{elev C2} + \text{elev D1}) / 2 \times (\text{C2 D1 length})$							92	12030	1106760
D1 D2	$(\text{elev D1} + \text{elev D2}) / 2 \times (\text{D1 D2 length})$							92	33350	3068200
D A	$(\text{elev D2} + \text{elev A}) / 2 \times (\text{D A length})$							92	39690	3651480

totals: 3582656 34041777.25
average grade: 95.02



2 BLOCK A-E BUILDING SECTION 1
A5000 Scale: 1 : 300

SEAL	
PRIME CONSULTANT IBI GROUP ARCHITECTS (CANADA) INC. 100-125 West Pender Street, Vancouver, BC V6E 4B1, Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com	
PROJECT NANAIMO CORRECTIONAL CENTRE 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA	
PROJECT NO: 122747	
DRAWN BY: Author	CHECKED BY: Checker
PROJECT MGR: Designer	APPROVED BY: Approver
SHEET TITLE BUILDING AE HEIGHT CALCULATION	
SHEET NUMBER A5000	ISSUE

RECEIVED
DP1221
2021-FEB-03
Current Planning

The drawing is a detailed architectural section of a building facade. It shows a multi-story structure with a sloped roofline on the left side, indicated by a dashed line labeled 'CEILING LINE'. The building has several windows and a central staircase. Key elevation markers on the right side include 'F LEVEL ROOF' at 62.250 m, 'F LEVEL 1' at 68.250 m, and 'F LEVEL 0' at 64.250 m. Vertical dimensions show a 'Max. Building Height' of 6.50 m and floor-to-floor heights of 4.00 m. Various points are labeled with numbers (3, 12, 20, 15, 9, 19, 15, 3, 9) and letters (A, M, 16, 4, 14). The drawing is a technical representation of the building's structure and elevation.

Architectural elevation drawing of the building facade. The drawing shows a two-story building with a gabled roof and a lower section. Key vertical dimensions and level markers are indicated:

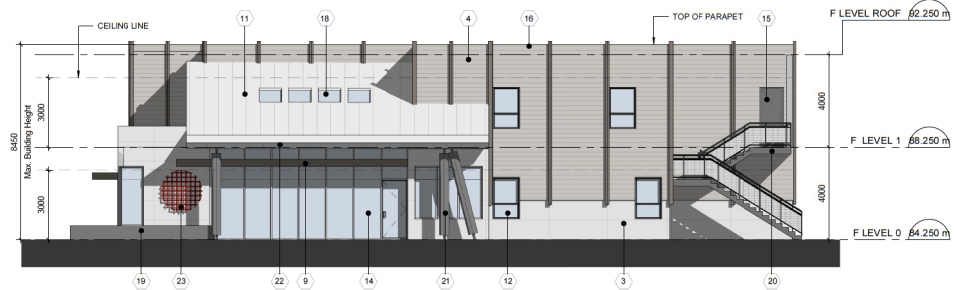
- CEILING LINE**: Indicated at the top of the main building section.
- Max. Building Height**: Indicated on the left side, showing a total height of 6000 mm (3000 mm + 3000 mm).
- TOP OF PARAPET**: Indicated on the right side of the main building section.
- F LEVEL ROOF**: Indicated on the right side, with a height of 82.250 m.
- F LEVEL 1**: Indicated on the right side, with a height of 88.250 m.
- F LEVEL 0**: Indicated on the right side, with a height of 84.250 m.
- Level Markers**: Numbered markers (16, 4, 11, 20, 14, 3, 9, 19, 21, 22) are placed along the facade to indicate specific vertical levels or points of interest.

Architectural elevation drawing of the building facade. The drawing shows a multi-story building with a sloped roof on the left side and a flat roof on the right. Key vertical dimensions and level markers are indicated:

- CEILING LINE**: Indicated at the top of the building.
- Max. building height 8450**: Total height from the ground level to the ceiling line.
- 3000**: Height from the ground level to the base of the sloped roof section.
- 4000**: Height from the ground level to the top of the parapet.
- F LEVEL ROOF @2.250 m**: Level marker at the top of the building.
- F LEVEL 1 @8.250 m**: Level marker at the first floor.
- F LEVEL 0 @4.250 m**: Level marker at the ground level.
- TOP OF PARAPET**: Indicated at the top of the building.
- 15**: Level marker at the top of the parapet.
- 4**: Level marker at the top of the parapet.
- 12**: Level marker at the top of the parapet.
- 20**: Level marker at the top of the parapet.
- 21**: Level marker at the top of the parapet.
- 22**: Level marker at the top of the parapet.

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ISSUES		
NO.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2020-03-09
2	ISSUED FOR REVIEW	2020-07-23
3	ARCHITECTURAL BACKGROUND	2020-09-06
4	ARCHITECTURAL BACKGROUND	2020-09-10
5	FUNCTIONAL SUBMISSION #1	2020-09-16
6	APP. ISSUED FOR REVIEW	2021-01-05
7	SCHEMATIC DESIGN SUBMITTAL	2021-01-16
8	DP SUBMISSION	2021-02-09
CONSULTANTS		
SEAL		
PRIME CONSULTANT		
B1 GROUP B1 GROUP ARCHITECTS (CANADA) INC. 700-1265 West/Fender Street Vancouver, BC V6E 4B5, Canada Tel: 604.683.8799 Fax: 604.683.0462 b1gm@b1.com		
PROJECT		
NANAIMO CORRECTIONAL CENTRE 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA		
PROJECT NO: 122747		
DRAWN BY: NSM/MS		CHECKED BY: GS
PROJECT MGR: TSD		APPROVED BY: TSD
SHEET TITLE		
BLOCK F1+ SUPPORT - BUILDING ELEVATIONS		
SHEET NUMBER		ISSUE
F1-A3000		

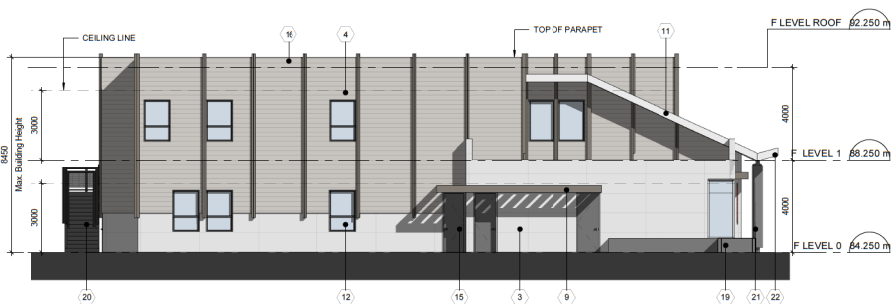
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①	CMU CLADDING
②	MINERAL FIBRE CEMENT SIDING - WOODGRAIN FINISH
③	MINERAL FIBRE CEMENT SIDING - PANEL
④	MINERAL FIBRE CEMENT SIDING - HORIZONTAL LAP
⑤	WOOD HORIZONTAL LAP SIDING
⑥	ARCHITECTURAL CONCRETE, PATTERN FINISH
⑦	CAST IN PLACE CONCRETE
⑧	CONCRETE FACED INSULATION
⑨	PREFINISHED METAL EYEBROW
⑩	2 PLY MODIFIED BITUMEN MEMBRANE ROOFING
⑪	STANDING SEAM METAL ROOF
⑫	VINYL WINDOWS
⑬	DETENTION / SECURE WINDOW
⑭	COMMERCIAL WINDOW - HEAVY DUTY
⑮	STEEL DOOR
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⑰	ALUMINUM CURTAINWALL - COMMERCIAL WINDOW
⑱	RESIDENTIAL SKYLIGHT
⑲	PLANTER BOX
⑳	STEEL FRAMED STAIR, GUARD
㉑	CIRCULAR WOOD POST
㉒	WOOD SOFFIT
㉓	FUTURE ARTWORK
㉔	ROLL UP DOOR
㉕	PAINTED STEEL MESH - ART WORK ATTACHED BY OTHERS
㉖	PREFINISHED COMPOSITE ALUMINUM PANEL
㉗	PREFORMED CUSTOM PROFILE METAL CLADDING
㉘	SLC SECURE MESH
㉙	ARCHITECTURAL FENCING



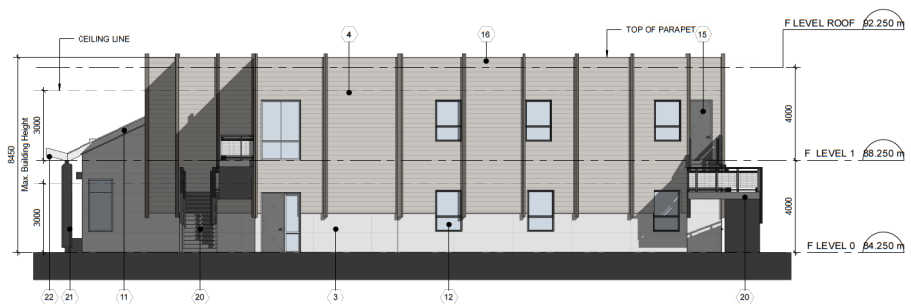
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F-A3000/ Scale: 1: 100



2 BLOCK F2-F3 SOUTH ELEVATION
F-A3000/ Scale: 1: 100



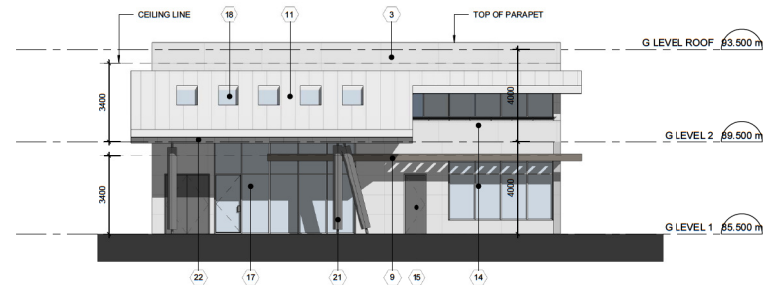
3 BLOCK F2-F3 EAST ELEVATION
F-A3000/ Scale: 1: 100



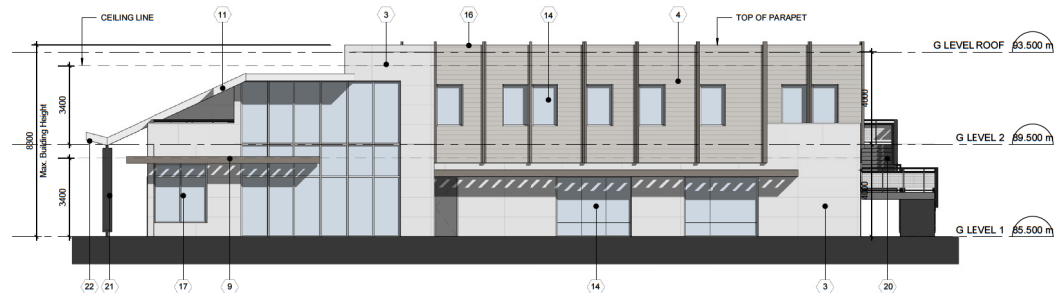
4 BLOCK F2-F3 WEST ELEVATION
F-A3000/ Scale: 1: 100

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ISSUES		
No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2021-01-05
2	ISSUED FOR REVIEW	2021-01-23
3	ARCHITECTURAL RECORDS/ISSUE	2021-01-26
4	ARCHITECTURAL RECORDS/ISSUE	2021-01-26
5	FINANCIAL SUBMISSION 1	2021-01-15
6	WPP - ISSUED FOR REVIEW	2021-01-15
7	SCHEMATIC DESIGN SUBMITTAL	2021-01-15
8	DP SUBMISSION	2021-02-09
CONSULTANTS		
SEAL		
PRIME CONSULTANT		
<div><div>IBI GROUP ARCHITECTS (CANADA) INC. 101-102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000</div></div>		
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PROJECT NO: 122747		
DRAWN BY: OS		
PROJECT MGR: TG		
SHEET TITLE BLOCK F2-F3 - BUILDING ELEVATIONS		
SHEET NUMBER F-A3000		
ISSUE		

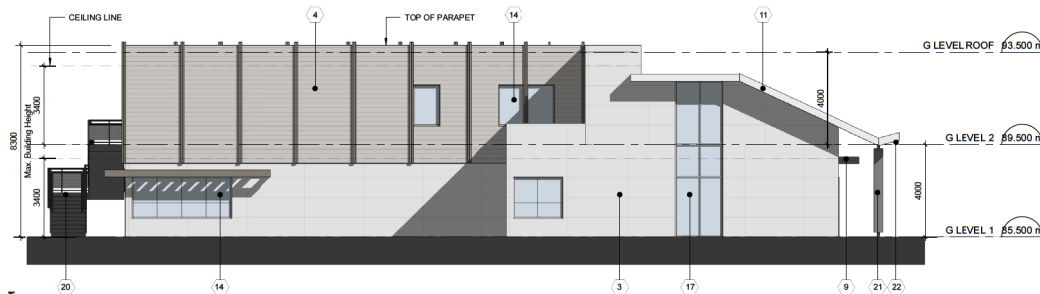
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④	MINERAL FIBRE CEMENT SIDING - HORIZONTAL LAP
⑤	WOOD HORIZONTAL LAF SIDING
⑥	ARCHITECTURAL CONCRETE, PATTERN FINISH
⑦	CAST IN PLACE CONCRETE
⑧	CONCRETE FACED INSULATION
⑨	PREFINISHED METAL EYEBROW
⑩	2 PLY MODIFIED BITUMEN MEMBRANE ROOFING
⑪	STANDING SEAM METAL ROOF
⑫	VINYL WINDOWS
⑬	DETENTION / SECURE WINDOW
⑭	COMMERCIAL WINDOW - HEAVY DUTY
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⑰	ALUMINUM CURTAINWALL - COMMERCIAL WINDOW
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⑲	PLANTER BOX
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㉔	ROLL UP DOOR
㉕	PAINTED STEEL MESH - ART WORK ATTACHED BY OTHERS
㉖	PREFINISHED COMPOSITE ALUMINUM PANEL
㉗	PERFORMED CUSTOM PROFILE METAL CLADDING
㉘	SLC SECURE MESH
㉙	ARCHITECTURAL FENC'VG



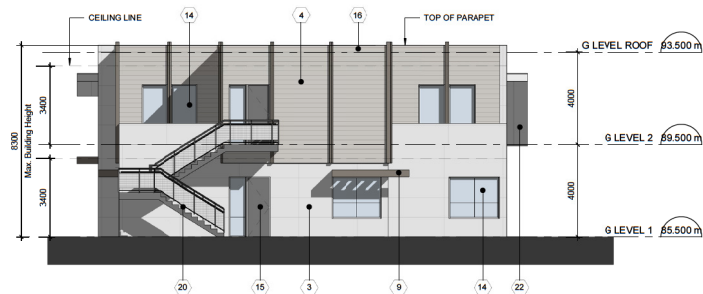
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GS-A3000 Scale: 1:100



2 BLOCK GS WEST ELEVATION
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3 BLOCK GS EAST ELEVATION
GS-A3000 Scale: 1:100



4 BLOCK GS SOUTH ELEVATION
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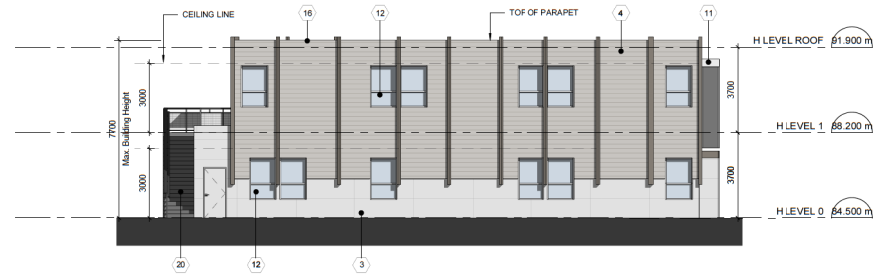
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<p>ISSUES</p> <table border="1"> <thead> <tr> <th>No.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR TECHNICAL SUBMISSION</td> <td>2021-01-05</td> </tr> <tr> <td>2</td> <td>ISSUED FOR REVIEW</td> <td>2021-01-05</td> </tr> <tr> <td>3</td> <td>ARCHITECTURAL BACKGROUND</td> <td>2021-01-05</td> </tr> <tr> <td>4</td> <td>ARCHITECTURAL BACKGROUND</td> <td>2021-01-05</td> </tr> <tr> <td>5</td> <td>FINANCIAL SUBMISSION 2</td> <td>2021-01-05</td> </tr> <tr> <td>6</td> <td>WFP - ISSUED FOR REVIEW</td> <td>2021-01-05</td> </tr> <tr> <td>7</td> <td>SCHEMATIC DESIGN SUBMITTAL</td> <td>2021-01-05</td> </tr> <tr> <td>8</td> <td>1P SUBMISSION</td> <td>2021-01-05</td> </tr> </tbody> </table>		No.	DESCRIPTION	DATE	1	ISSUED FOR TECHNICAL SUBMISSION	2021-01-05	2	ISSUED FOR REVIEW	2021-01-05	3	ARCHITECTURAL BACKGROUND	2021-01-05	4	ARCHITECTURAL BACKGROUND	2021-01-05	5	FINANCIAL SUBMISSION 2	2021-01-05	6	WFP - ISSUED FOR REVIEW	2021-01-05	7	SCHEMATIC DESIGN SUBMITTAL	2021-01-05	8	1P SUBMISSION	2021-01-05
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CONSULTANTS																												
SEAL																												
<p>PRIME CONSULTANT</p> <p>BSA</p> <p>BSA GROUP ARCHITECTS (CANADA) INC. 1075 LEXINGTON AVENUE, SUITE 1000 VANCOUVER, BC V6E 4B1, CANADA TEL: 604-683-8700 FAX: 604-683-8802 bsagroup.com</p>																												
<p>PROJECT</p> <p>NANAIMO CORRECTIONAL CENTRE 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA</p>																												
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GS-A3000																												

2021-02-02 10:04:05 PM

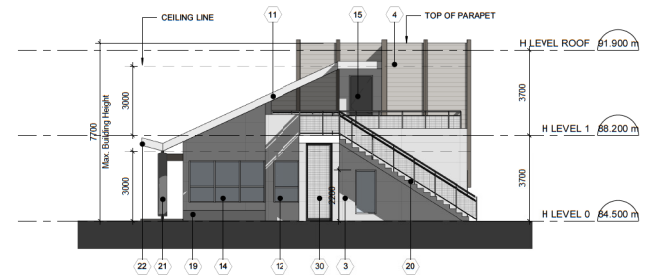
RECEIVED
DP 122747
2021-FEB-03
Current Planning

BSA 3001-122747 - Nanaimo Correctional Centre Redevelopment (2020122747_2020_0202_Building.dwg)

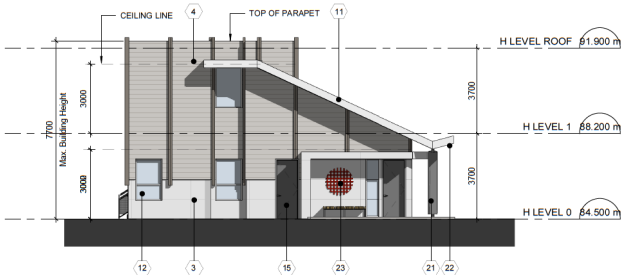
EXTERIOR FINISHES LEGEND	
①	CMU CLADDING
②	MINERAL FIBRE CEMENT SIDING - WOODGRAIN FINISH
③	MINERAL FIBRE CEMENT SIDING - PANEL
④	MINERAL FIBRE CEMENT SIDING - HORIZONTAL LAP
⑤	WOOD HORIZONTAL LAF SIDING
⑥	ARCHITECTURAL CONCRETE, PATTERN FINISH
⑦	CAST IN PLACE CONCRETE
⑧	CONCRETE FACED INSULATION
⑨	PREFINISHED METAL EYEBROW
⑩	2 PLY MODIFIED BITUMEN MEMBRANE ROOFING
⑪	STANDING SEAM METAL ROOF
⑫	VINYL WINDOWS
⑬	DETENTION / SECURE WINDOW
⑭	COMMERCIAL WINDOW - HEAVY DUTY
⑮	STEEL DOOR
⑯	PREFINISHED METAL FLASHING / FASCIA
⑰	ALUMINUM CURTAINWALL - COMMERCIAL WINDOW
⑱	RESIDENTIAL SKYLIGHT
⑲	PLANTER BOX
⑳	STEEL FRAMED STAIR, GUARD
㉑	CIRCULAR WOOD POST
㉒	WOOD SOFFIT
㉓	FUTURE ARTWORK
㉔	ROLL UP DOOR
㉕	PAINTED STEEL MESH - ART WORK ATTACHED BY OTHERS
㉖	PREFINISHED COMPOSITE ALUMINUM PANEL
㉗	PREFORMED CUSTOM PROFILE METAL CLADDING
㉘	SLC SECURE MESH
㉙	ARCHITECTURAL FENCING
㉚	TRELLIS



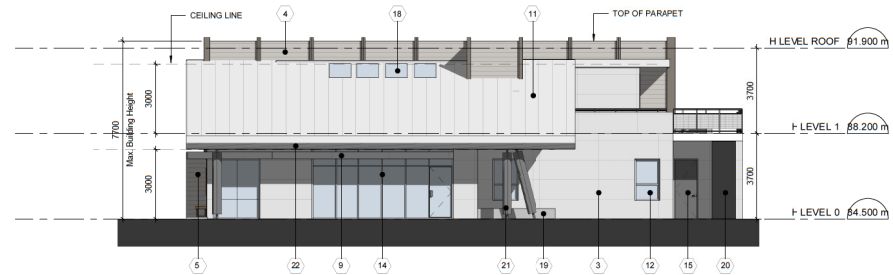
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2 BLOCK H WEST ELEVATION
H-A3000/ Scale: 1:100

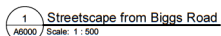


3 BLOCK H EAST ELEVATION
H-A3000/ Scale: 1:100



4 BLOCK H SOUTH ELEVATION
H-A3000/ Scale: 1:100

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SHEET NUMBER	ISSUE	
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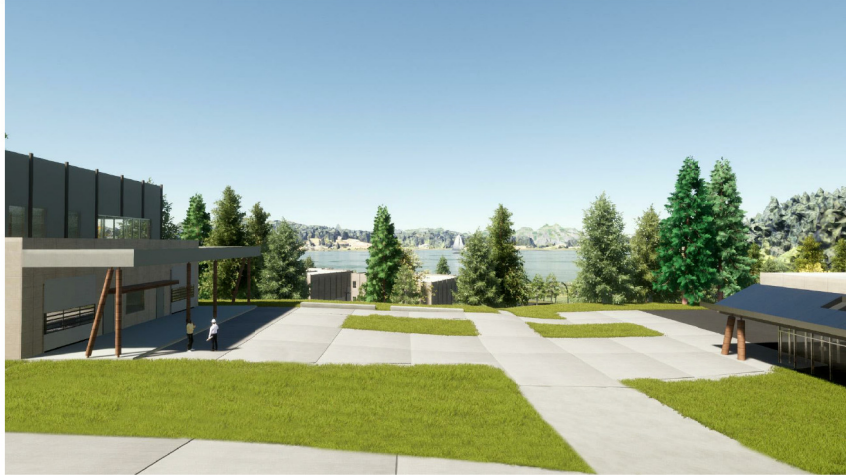
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RENDERS		
SHEET NUMBER		ISSUE
A7000		



BUILDING D1 / BUILDING AE



BLOCK GS / BLOCK H



BLOCK F



BLOCK GS

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SOUTHWEST VIEW

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EXTERIOR FINISHES LEGEND					
①	CMU CLADDING	⑨	PREFINISHED METAL EYEBROW	⑰	ALUMINUM CURTAINWALL - COMMERCIAL WINDOW
②	MINERAL FIBRE CEMENT SIDING - WOODGRAIN FINISH	⑩	2 PLY MODIFIED BITUMEN MEMBRANE ROOFING	⑱	RESIDENTIAL SKYLIGHT
③	MINERAL FIBRE CEMENT SIDING - PANEL	⑪	STANDING SEAM METAL ROOF	⑲	PLANTER BOX
④	MINERAL FIBRE CEMENT SIDING - HORIZONTAL LAP	⑫	VINYL WINDOWS	⑳	STEEL FRAMED STAIR, GUARD
⑤	WOOD HORIZONTAL LAP SIDING	⑬	DETENTION / SECURE WINDOW	㉑	CIRCULAR WOOD POST
⑥	ARCHITECTURAL CONCRETE, PATTERN FINISH	⑭	COMMERCIAL WINDOW - HEAVY DUTY	㉒	WOOD SOFFIT
⑦	CAST IN PLACE CONCRETE	⑮	STEEL DOOR	㉓	FUTURE ARTWORK
⑧	CONCRETE FACED INSULATION	⑯	PREFINISHED METAL FLASHING / FASCIA	㉔	ROLL UP DOOR



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10	FINANCIAL SUBMISSION 4

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PROJECT

NANAIMO CORRECTIONAL CENTRE

3945 BIGGS ROAD

NANAIMO, BC

V9R 5N3, CANADA

PROJECT NO.

122747

DRAWN BY:

Author

CHECKED BY:

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PROJECT MGR:

Designer

APPROVED BY:

Approver

SHEET TITLE

EXTERIOR FINISH MATERIALS PALETTE

SHEET NUMBER

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Landscape Architecture
Site Planning

R. Kim Perry & Associates Inc.
112 E Broadway
Vancouver, BC V5T 1V9

604 738 4118
www.perryandassociates.ca

February 03, 2021

NCCR Landscape Rationale – Issued for DP

The landscape design for the project aims to provide impactful exterior spaces that support the modern, progressive approach of the facility and create safe and secure outdoor spaces. A normalized, campus like design is supporting an atmosphere of learning and growth while being grounded in the natural landscape character of the site offering opportunities for daily interaction with the natural world.

Distinct landscape spaces are created throughout the site in response to the building program areas and existing site features, promoting diverse uses and positive human interaction. The Site plan aims to retain existing trees where possible and aims to respect the existing topography and character of the site. Views onto the facility and views from the facility onto Brennan Lake and the forest edge are carefully considered.

The site is organized into four quadrants with distinct uses and characters.

Quadrant 1 located at the NW corner of the site adjacent the lake riparian landscape contains the Guthrie Community, support building and neighbourhood plaza. This quadrant is somewhat secluded from other areas by the existing mature woodland to the south and a proposed wetland and planted berm to the east.

Quadrant 2 located at the NE corner of the site contains the Medium residences organized around a shared Commons with filtered views through stands of mature trees of Brennan Lake and views of open meadow and forest edge to the east.

The Guthrie and Medium communities are linked to the Main Building with accessible walkway and stair connections across a sloped open grassland area with stands of mature trees.

Quadrant 3 located in the SE portion of the site contains the Main Building, is characterized by a structured campus landscape typology in responding to the adjacent building program spaces and Institutional character of the architecture. The Commons Plaza is a central hub for pedestrian circulation that connects the Main and Program Services buildings, offers outdoor dining, seating and gathering spaces and an outdoor workshop plaza space. A small amphitheater is located north of the Program Services building offering views over the lower buildings onto Brennan Lake. A flex-use plaza located south of the Program Services building offers space for large group gatherings and outdoor basketball. The Common Green is a further extension of the athletic functions located within the Program Services and adjacent plaza. A gravel running and walking loop is circling a generous flex-use grass area which can be used for a variety of sports and recreational programming.

Quadrant 4 located at the SW corner of the site contains the agriculture and landscape storage buildings. This area offers opportunities for food production and orchard planting as part of the operational programming of the facility. Indigenous and spiritual programming is supported by the addition of a council circle, Shkode-Kaan, Sweat Lodge and healing garden in proximity to a large stand of mature conifers. The addition of a future longhouse is anticipated within this quadrant and schematically illustrated if the landscape site plan.

The wide variety of landscape spaces provided within the facility creates opportunities for positive interaction, organized group activities, outdoor classroom programming, personal reflection, physical activity and recreation. Careful placement of gathering spaces, walkways and stair connections is aiming to offer freedom of movement and intuitive wayfinding throughout the site while respecting the requirements for efficient and secure pedestrian travel routes and required inmate population separations. Although the site is sloped, the design provides universal access to all major program areas. Where possible existing pathways and roads are retained to minimize site disturbance.

The planting strategy for the project relies heavily on the existing landscape typologies within the site and it's immediate context. The current facility features large open grass areas which are retained, however transformed from a more manicured lawn aesthetic towards a rougher, more drought tolerant grassland typology. The lakefront and riparian plant typologies present along Brennan Lake are reflected in the Wetland and meadow planting areas within the secure perimeter. A 'hedgerow and thicket' plant typology is borrowed from the site's agricultural context and is utilized to provide separation between uses where required and limit views onto the facility from Biggs Road. The retention of existing mature trees and addition of deciduous and coniferous tree clusters is connecting the on site landscape to the surrounding woodland and forest edge typologies.

Street trees at a regular spacing are provided along the Commons and the lower road alongside the Guthrie and Medium communities. This aims to evoke normalized environments of a campus mews and typical streetscape with a familiar rhythm of buildings, trees and entrance walkways. Large deciduous trees are provided along staff and visitor parking areas to provide canopy shade and reduce the heat island effect.

The plant palette relies heavily on native and adaptive plant material, drought tolerant, resilient and low maintenance species. The planting strategy follows biophilic design principles aiming to provide seasonal interest, connection to nature and creation of habitat.

Sustainable stormwater management practices include retention of soil permeability, rainwater infiltration and retention within landscape areas which is reflected in the Civil consultant's stormwater management plan.

The site lighting plan has been developed in coordination with the Electrical consultant and aims to provide safe, secure and well lit conditions in all relevant areas of the site.



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PROJECT NO: 19-080	SCALE: 1:750	
DRAWN BY: JB	CHECKED BY: MP	
PROJECT MGR: JP	APPROVED BY: MP	
SHEET TITLE Landscape Key Plan		
SHEET NUMBER L1.0	ISSUE	

LEGEND

— Pedestrian Circulation

— Vehicular Circulation



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2	Financial Submission 2	2020/10/15
3	Issued for Development Permit	2021/02/25

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705-1088 West Fraser Street
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Tel: 604 683 8707 Fax: 604 683 8462
ibi-group.com

PROJECT

NANAIMO CORRECTIONAL CENTRE REPLACEMENT
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO: 19-080	SCALE: 1:750
DRAWN BY: JB	CHECKED BY: MP
PROJECT MGR: JP	APPROVED BY: MP

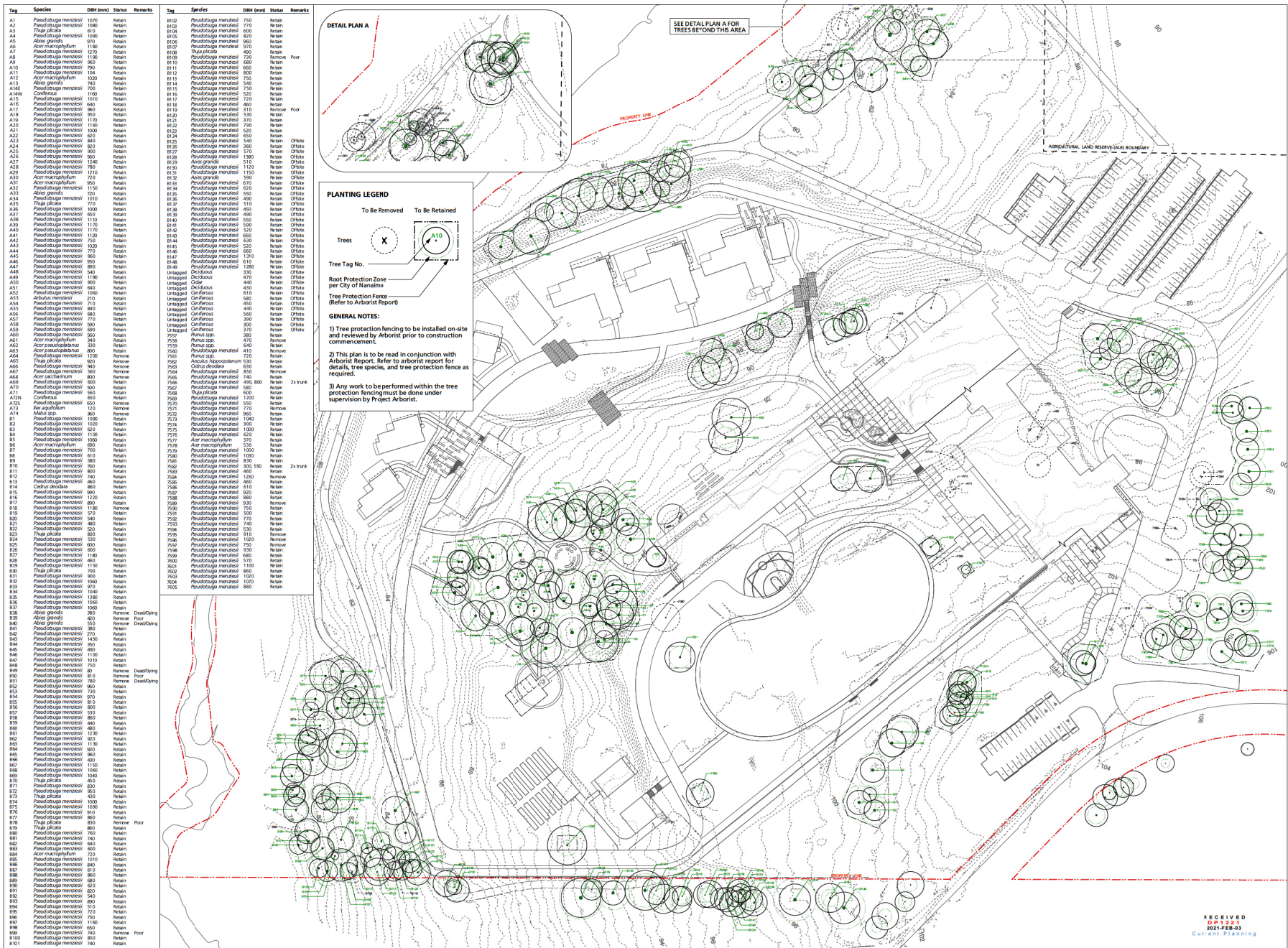
SHEET TITLE

Landscape Site Circulation Diagram

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Site Circulation Diagram
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<p>PROJECT</p> <p>NANAIMO CORRECTIONAL CENTRE REPLACEMENT 3945 BIGGS ROAD NANAIMO, BC V9R 5N8, CANADA</p>								
<p>PROJECT NO: 19-080</p>		<p>SCALE: 1:750</p>						
<p>DRAWN BY: JP</p>		<p>CHECKED BY: MP</p>						
<p>PROJECT MGR: JP</p>		<p>APPROVED BY: MP</p>						
<p>SHEET TITLE</p> <p>Tree Management: Plan</p>								
<p>SHEET NUMBER</p> <p>L0.2</p>		<p>ISSUE</p> <p>RECEIVED IBI 2021-FEB-03 Current Drawing</p>						



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Tel: 604 683 0707 Fax: 604 683 0482
ibi@ibi.com

PROJECT

NANAIMO CORRECTIONAL
CENTRE REPLACEMENT
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO:

19-080

SCALE:

1:200

DRAWN BY:

JP

CHECKED BY:

JP

PROJECT MGR:

JP

APPROVED BY:

MP

SHEET TITLE

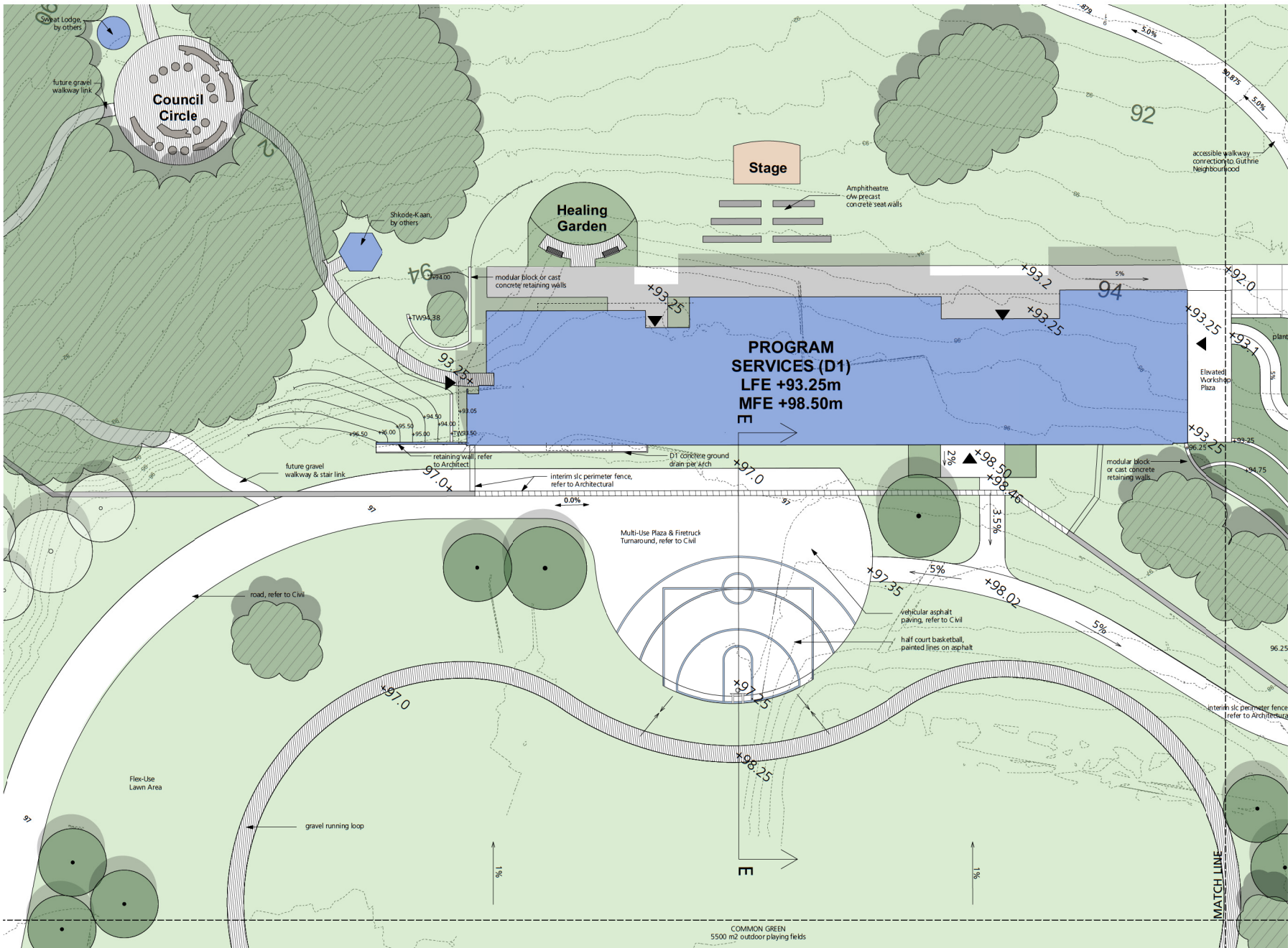
Landscape Detail Plan
Guthrie Neighbourhood

SHEET NUMBER

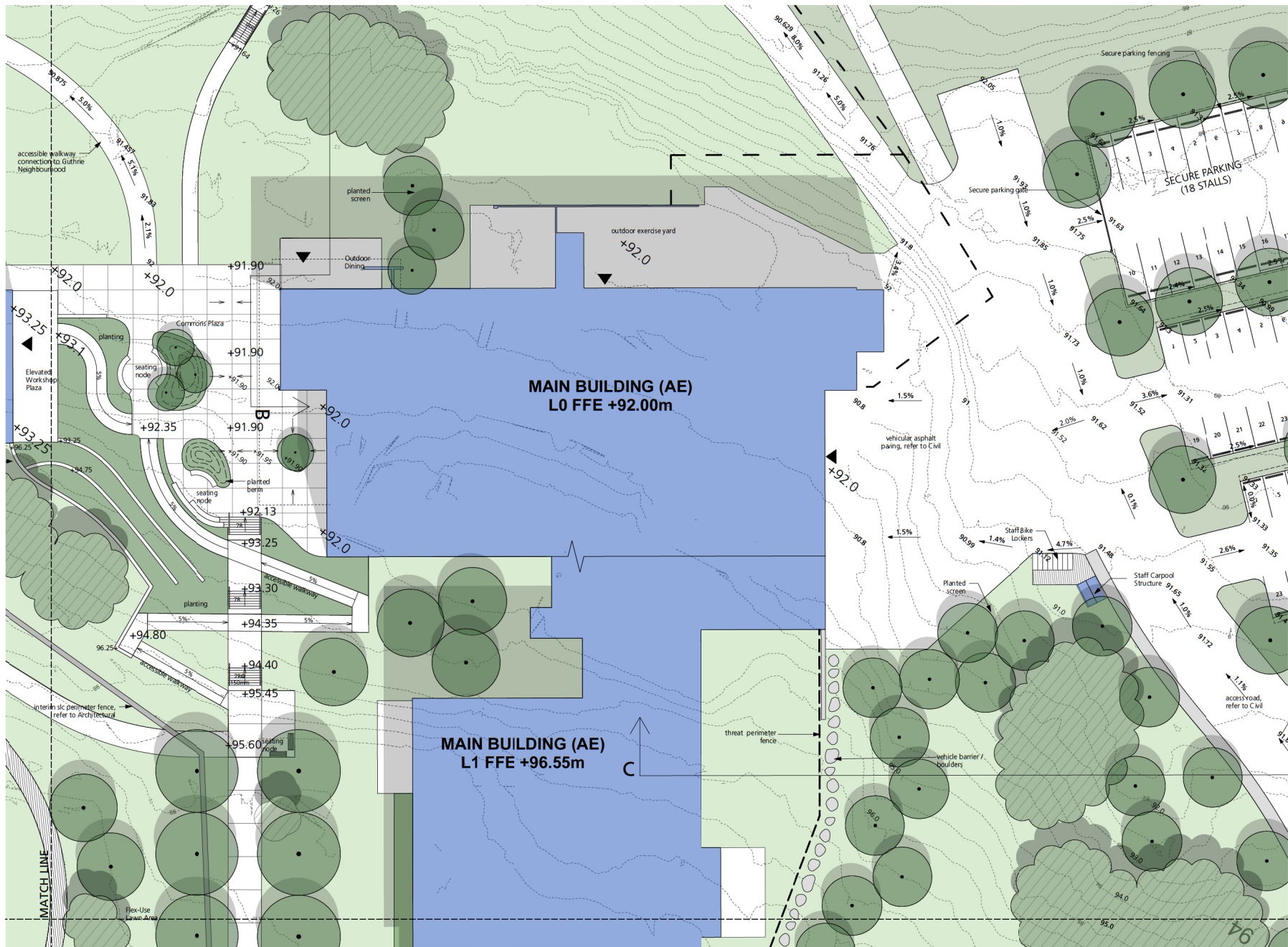
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ISSUE

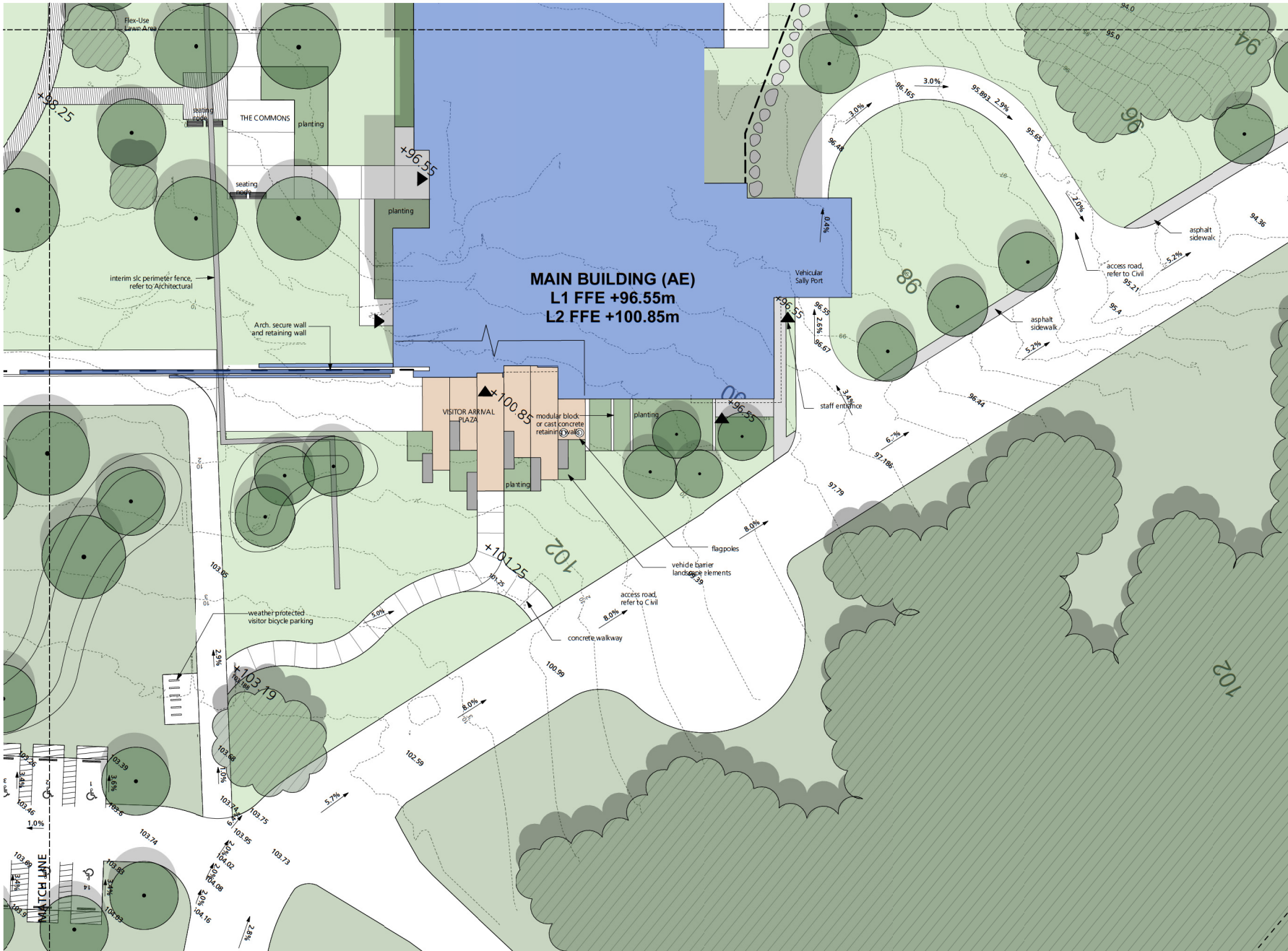
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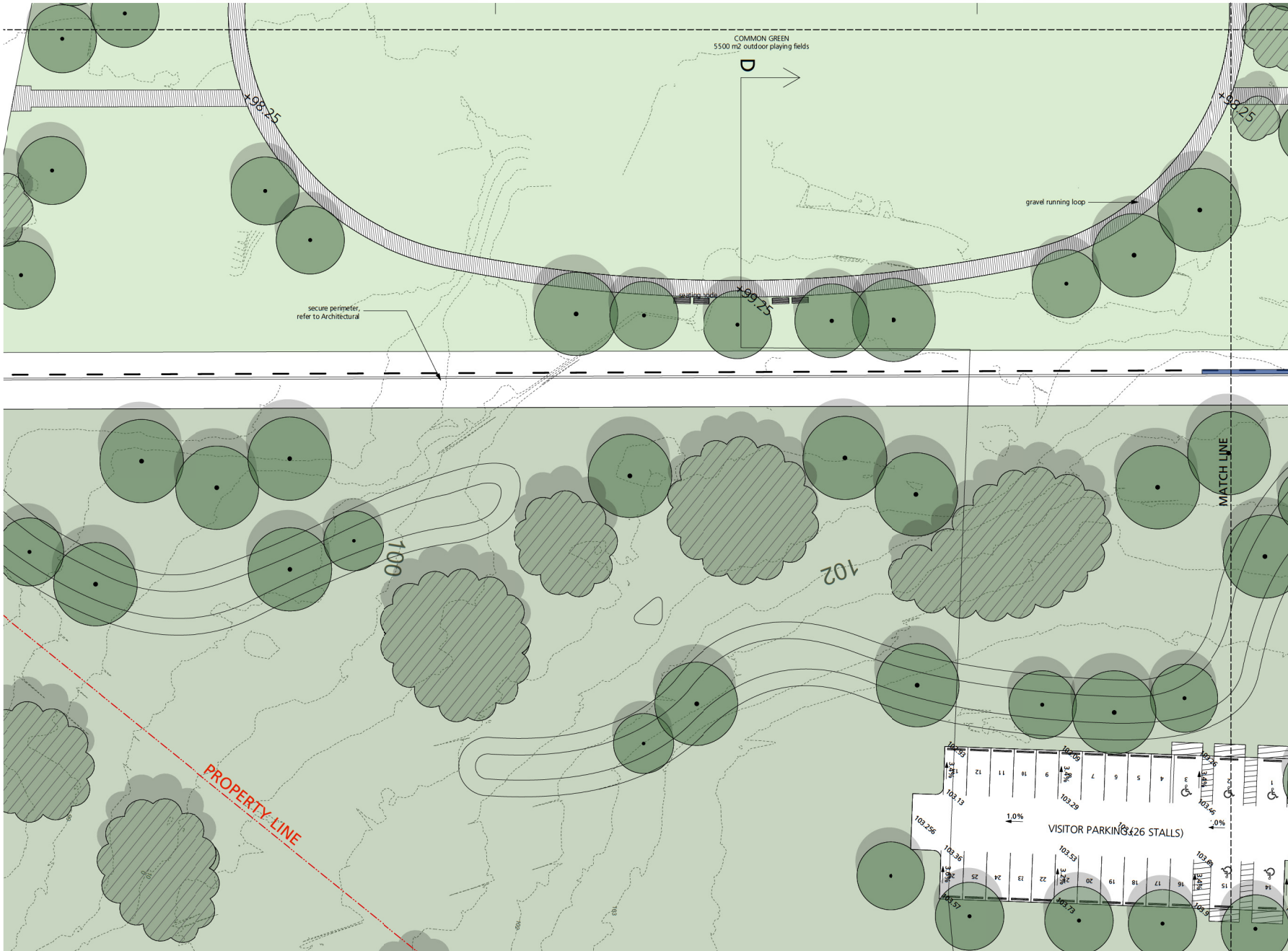
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<p>PROJECT</p> <p>NANAIMO CORRECTIONAL CENTRE REPLACEMENT 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA</p>								
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<p>SHEET TITLE</p> <p>Landscape Detail Plan Program Services Bldg</p>								
<p>SHEET NUMBER</p> <p>L1.3</p>		<p>ISSUE</p>						



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DRAWN BY: JP	CHECKED BY: JP	
PROJECT MGR: JP	APPROVED BY: MP	
SHEET TITLE Landscape Detail Plan Main Building (North)		
SHEET NUMBER L1.4	ISSUE	



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SHEET NUMBER		ISSUE						
L1.5								

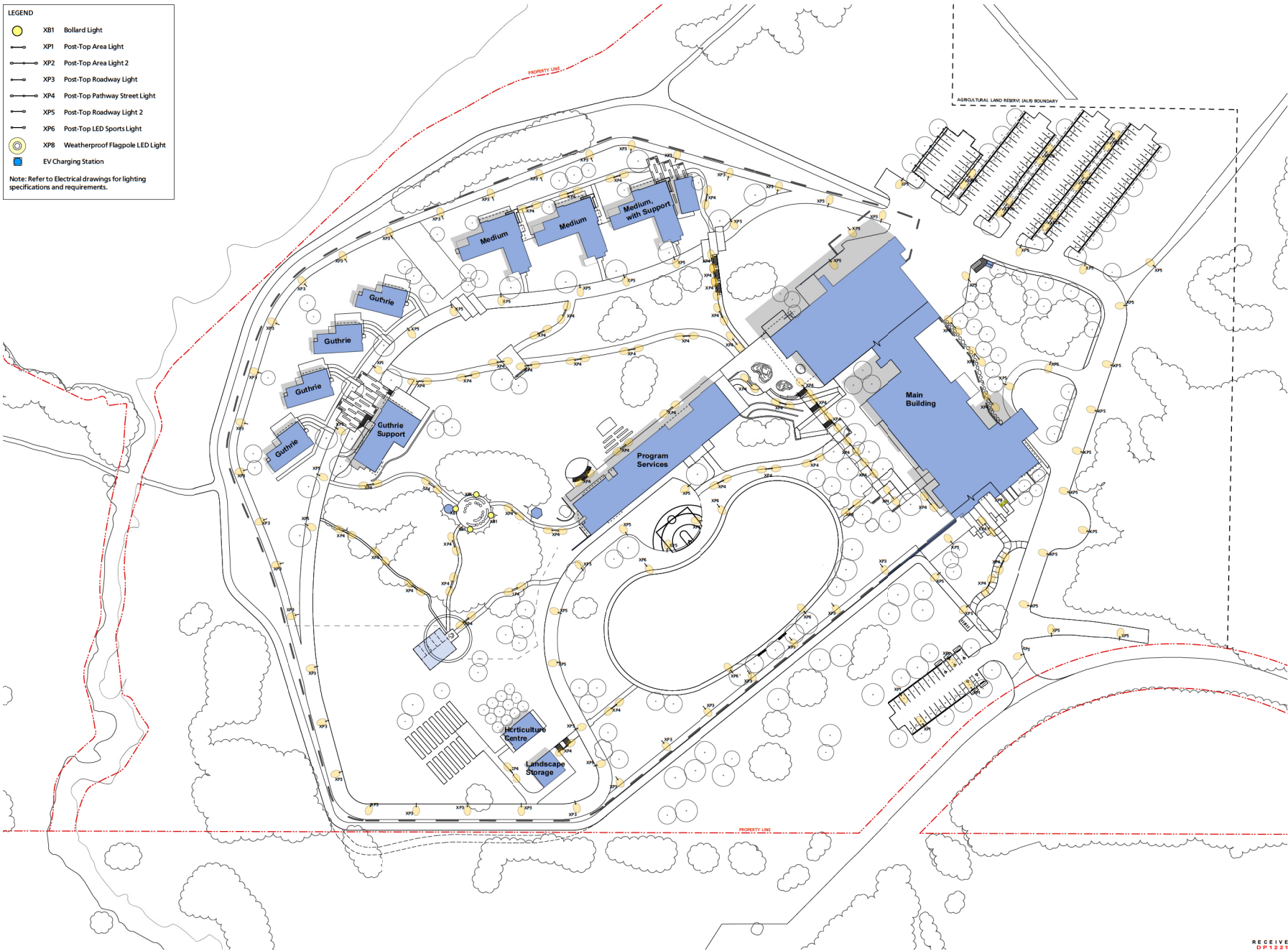


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<p>SHEET TITLE</p> <p>Landscape Detail Plan Visitor Parking and Commons</p>								
<p>SHEET NUMBER</p> <p>L1.6</p>		<p>ISSUE</p> <p>2021-02-03</p>						

LEGEND

- XB1 Bollard Light
- XP1 Post-Top Area Light
- XP2 Post-Top Area Light 2
- XP3 Post-Top Roadway Light
- XP4 Post-Top Pathway Street Light
- XP5 Post-Top Roadway Light 2
- XP6 Post-Top LED Sports Light
- XP8 Weatherproof Flagpole LED Light
- EV Charging Station

Note: Refer to Electrical drawings for lighting specifications and requirements.



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PROJECT
NANAIMO CORRECTIONAL CENTRE REPLACEMENT
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

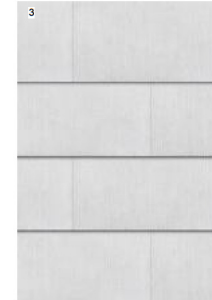
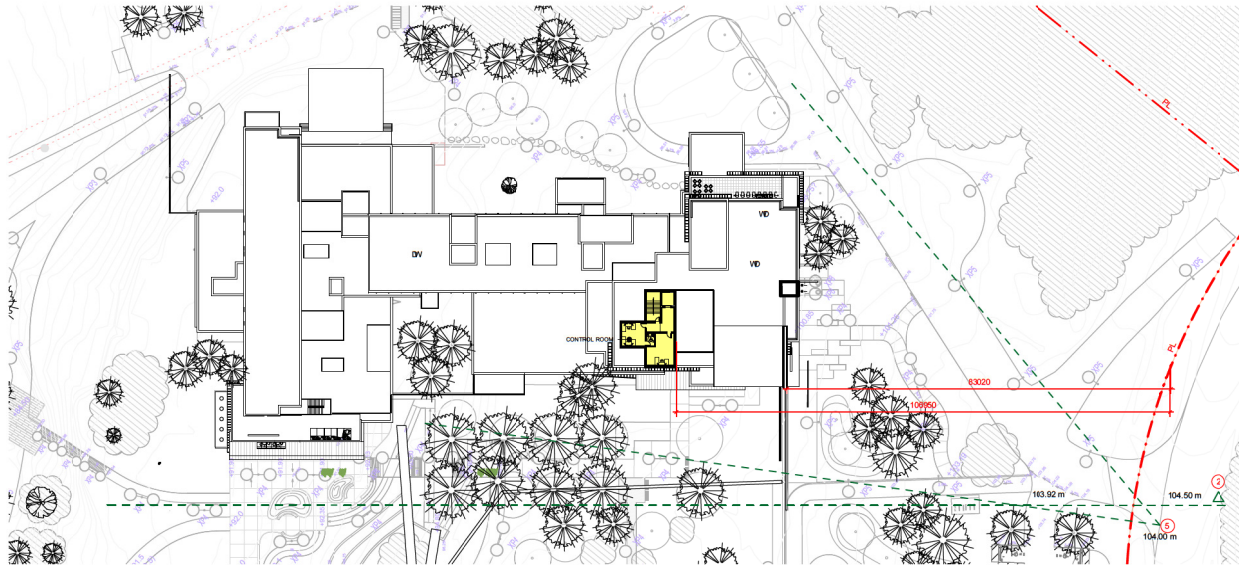
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DRAWN BY: JB	CHECKED BY: MP
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SHEET TITLE
Landscape
Site Lighting Plan

SHEET NUMBER L2.0	ISSUE
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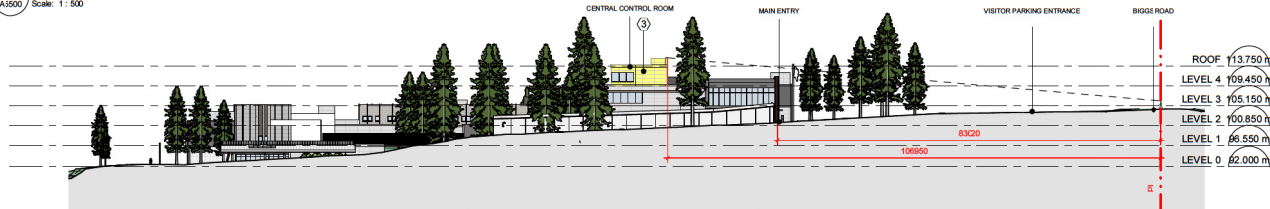
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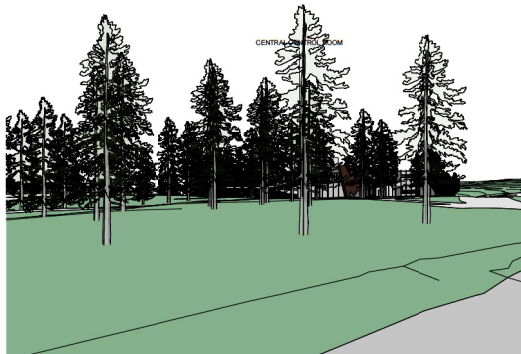


3. MINERAL FIBRE CEMENT PANEL

1. PARTIAL SITE PLAN - BUILDING AE LEVEL 4
A5500 Scale: 1: 500



2 Site Section from Biggs Road to AE South Façade
A3500 Scale: 1: 500



3 VIEW FROM BIGGS ROAD 1
A5500 Scale:



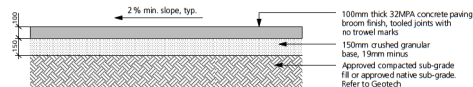
4 VIEW FROM BIGGS ROAD 2
A5500 Scale:



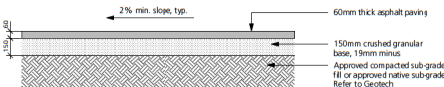
5 VIEW FROM BIGGS ROAD 3
A5500 Scale:

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<p>PRIME CONSULTANT</p> <p>III GROUP ARCHITECTS (CANADA) INC. 107-1000 West Pender Street Vancouver, BC V6E 4B1, Canada Tel: 604 683 8787 Fax: 604 683 2462 biggroup.com</p>																																
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<p>PROJECT MGR: Designer</p>		<p>APPROVED BY: Approver</p>																														
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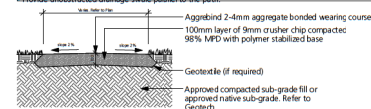
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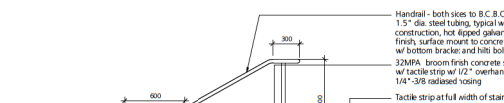
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L5.0	1:20



2	Pedestrian Asphalt Paving
L5.0	1:20



3	Pedestrian Granular Paving
L5.0	1:20



4 Cast Concrete Stairs
L5.0 1:25



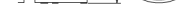
L5.0 1:20



7	Bike Rack
L5.0	1:20



6 Metal Bench
1.5.0



8	Garbage Receptacles
L5.0	nts

2. Do not cut cedar.
3. Stake trees upon approval of the landscape architect, wrap tree trunks upon the approval of the landscape architect.
3. Protect tree from danger during planting, ensure rootball is protected from sun, frost or desiccation.
4. Tree selection, handling, planting and maintenance must be to local standards, be in good health and condition without wounds, have normal form, and be free of disease and insects.
5. Site preparation must include provision for soil placement, replacement or enhancement to meet project specifications.
6. Planting holes must be free draining to the extent that rainwater and supplemental water does not accumulate and drain the roots. If necessary, the French drain must be graded with positive slope and drainage services such as but not limited to perforation holes, biodegradable or drain pipes and/or drainage systems.
7. Watering of the root ball must be undertaken immediately after planting and then for the first growing season so that the root ball is thoroughly wetted once per week (minimum).
8. The mulched root zone should be refreshed annually to replace the mulch. This area must be weeded by hand to prevent weeds and root damage from string trimmers or mowers.
9. The tree should be pruned and groomed according to established standards and from time to time to be suitable for use in the form of the species and to be exposed to growing conditions, all pruning must be undertaken by or performed under the direction of a qualified arborist certified by the International Society of Arboriculture.



9 Tree Planting
L5.0 1:25



[Return to top](#)

[illegible]

- Fasten trunk to stake with tree ring as necessary

- Locate anchor stake 450mm away from tree trunk on side of prevailing wind. Nail iron stake or

- Set root ball flush to grade or 25-50mm higher in poorly draining soils. Do not cover the top of the root ball with soil.

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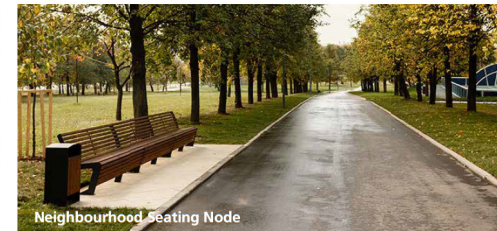
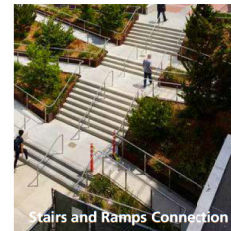
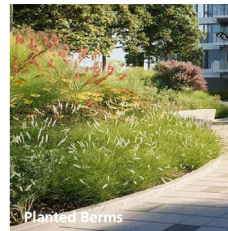
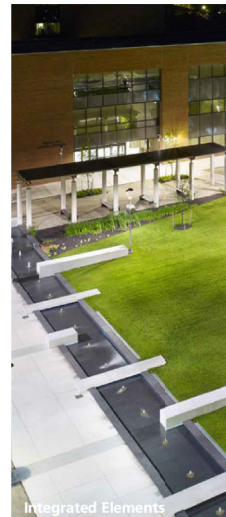
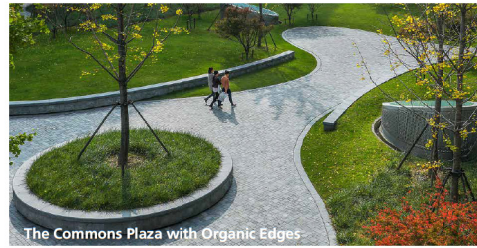
PROJECT
NANAIMO CORRECTIONAL
CENTRE REPLACEMENT
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO: 19-080	SCALE: As Shown
DRAWN BY: JP	CHECKED BY: MP
PROJECT MGR: JP	APPROVED BY: MP

SHEET TITLE
Landscape Details

SHEET NUMBER		ISSUE
L5.0		

2021-02



ARRIVAL PLAZA

COMMONS AREAS

NEIGHBOURHOOD AND GATHERING SPACES

CLIENT								
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<p>CONSULTANTS</p> <p>P+A Landscape Architecture Site Planning R. Kim Perry & Associates Inc. 112 East Broadway Vancouver, BC V5T 1V9 T 604 738 4118 F 604 738 4116 www.perryandassociates.ca</p>								
SEAL								
<p>PRIME CONSULTANT</p> <p>IBI ARCHITECTS (CANADA) INC. 1705 10th Avenue West Vancouver, BC V6H 4B1 Tel: 604 683 8777 Fax: 604 683 5462 ibi-group.com</p>								
<p>PROJECT NANAIMO CORRECTIONAL CENTRE REPLACEMENT 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA</p>								
PROJECT NO: 19-080	SCALE: 1:750							
DRAWN BY: JB	CHECKED BY: MP							
PROJECT MGR: JP	APPROVED BY: MP							
SHEET TITLE Landscape Precedents								
SHEET NUMBER L6.0		ISSUE 2021-02-03						

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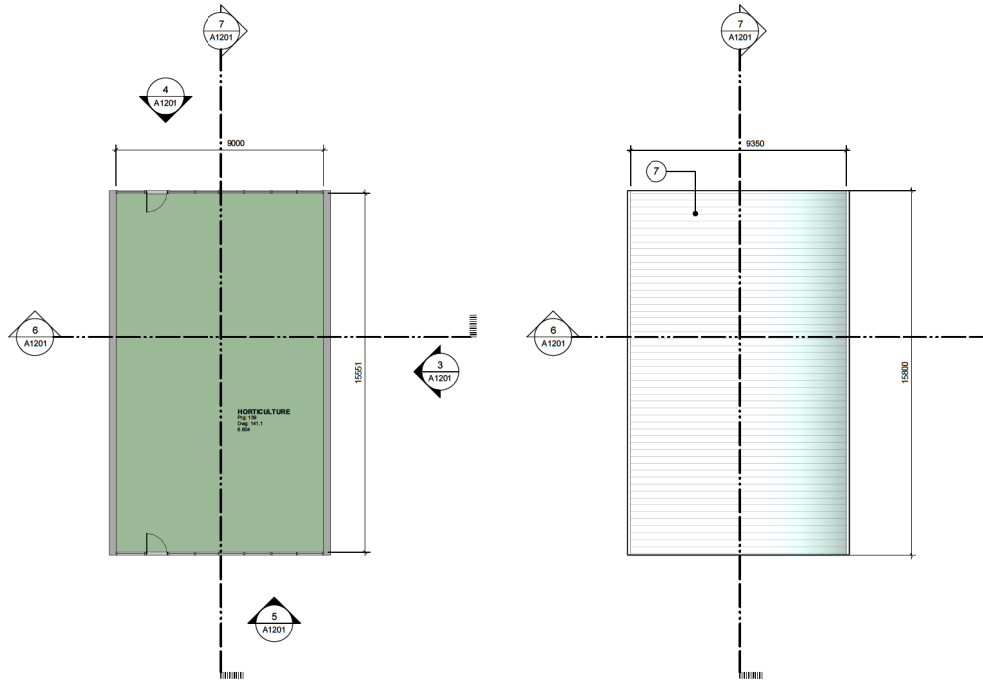


PARKING LOTS

MATERIALS AND SITE ELEMENTS

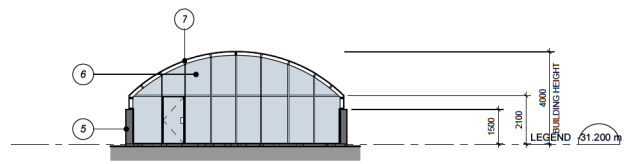
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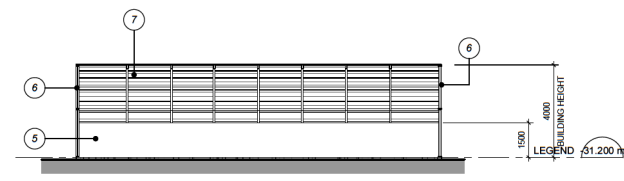


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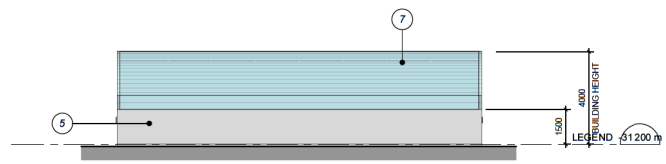
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3 TYP CAL EAST & WEST ELEVATION
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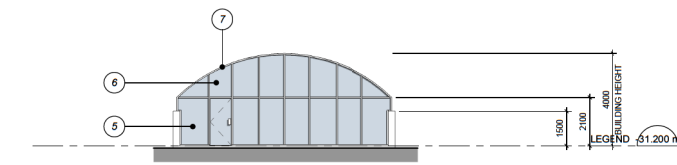
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5 SOUTH ELEVATION
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6 BUILDING SECTION
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7 BUILDING SECTION
A1201 Scale: 1:100

EXTERIOR FINISHES LEGEND	
①	EXTERIOR WALL METAL CLADDING FINISH
②	ROOF METAL CLADDING FINISH
③	ROLL UP STEEL DOOR
④	STEEL DOOR
⑤	CONCRETE KNEE WALL
⑥	GLASS SIDEWALLS
⑦	CURVE GLAZING WALL

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1	ISSUED FOR TECHNICAL SUBMISSION	2021-01-05
2	ISSUED FOR REVIEW	2021-01-20
3	ARCHITECTURAL MODIFICATIONS	2021-02-05
4	ARCHITECTURAL MODIFICATIONS	2021-02-15
5	ISSUED FOR CLIENT REVIEW	2021-02-17
6	DRAFTED FOR PERMITS	2021-02-18
7	FINANCIAL SUBMISSION 2	2021-02-18
8	PERMITS SUBMITTAL	2021-02-18
9	OF SUBMISSION	2021-02-18

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PROJECT
NANAIMO CORRECTIONAL CENTRE
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO.
122747

DRAWN BY:
Author

CHECKED BY:
Checker

PROJECT MGR:
Designer

APPROVED BY:
Approver

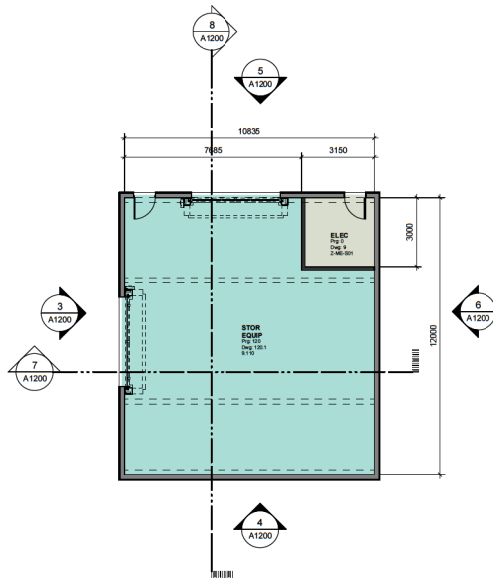
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HORTICULTURAL CENTER
PLAN, ELEVATIONS &
SECTIONS

SHEET NUMBER
A1201

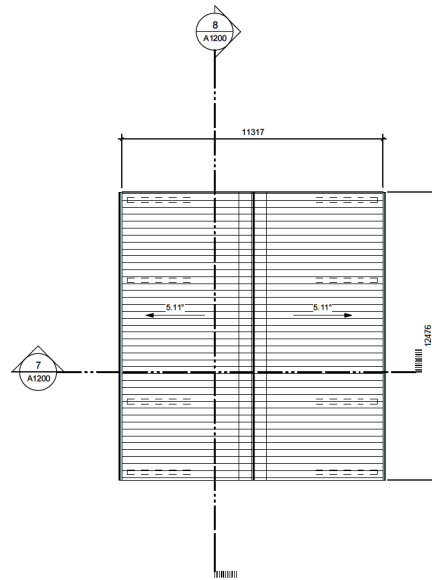
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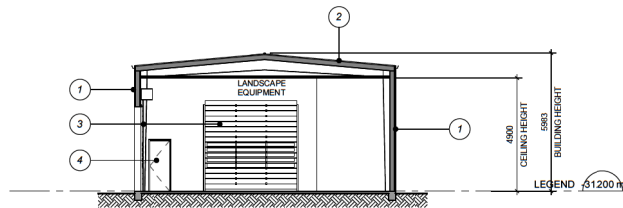
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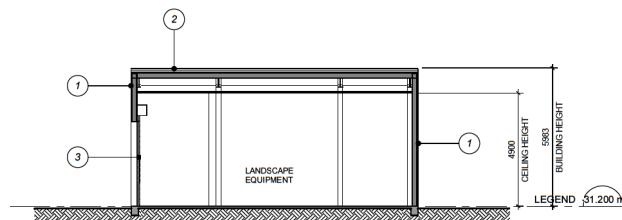
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1 MAINTENANCE BUILDING ROOF PLAN
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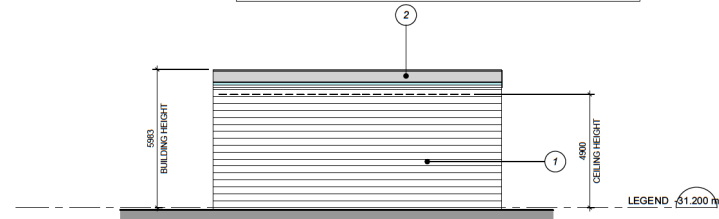


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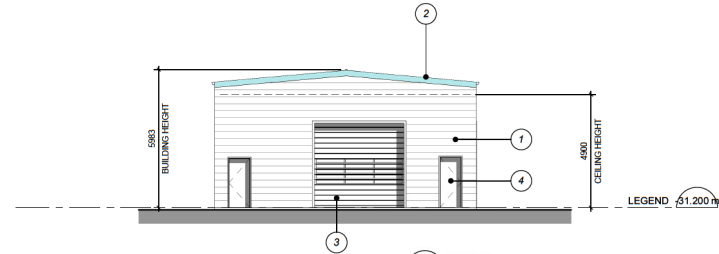


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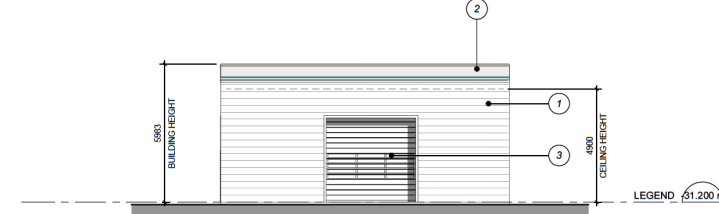
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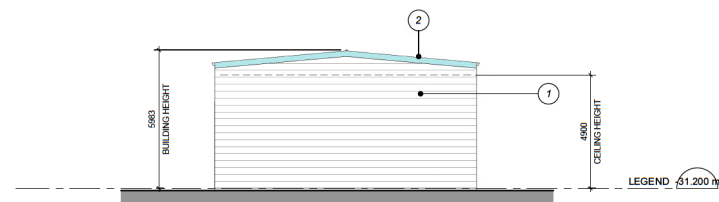
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3 WEST ELEVATION
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4 SOUTH ELEVATION
A1200 Scale: 1:100

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2021-08-17	
2021-10-08	
2021-11-15	
2021-03-05	
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PROJECT NO. 122747	
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Author	Checker
DESIGNED BY:	APPROVED BY:
Designer	Approver
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MAINTENANCE BUILDING PLAN, ELEVATIONS & SECTIONS	
SHEET NUMBER	
A1200	
ISSUE	

AERIAL PHOTO



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