



**AGENDA
BOARD OF VARIANCE MEETING**

July 16, 2020, 5:30 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING OF THE BOARD OF VARIANCE TO ORDER:

2. INTRODUCTION OF LATE ITEMS:

3. ADOPTION OF AGENDA:

4. ADOPTION OF MINUTES:

2 - 4

Minutes of the Open Board of Variance Meeting held in the Boardroom, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo BC on Thursday, 2020-JUN-18 at 5:30 P.M.

5. PRESENTATIONS:

a. Board of Variance No. BOV737 - 140 Canterbury Crescent

5 - 11

Legal description: Lot 29, Section 15A, Wellington District, Plan 33755

The applicant is requesting to reduce the front yard setback from 4.5m to 3.0m in order to construct an accessory building. This represents a variance of 1.5m.

Zoning Bylaw No. 4500 requires a minimum front yard setback of 4.5m in the R1 zone.

b. Board of Variance No. BOV738 - 6462 Thornwood Place

12 - 18

Legal description: Lot 7, District Lot 53, Wellington District, Plan VIP77640

The applicant is requesting to increase the permitted projection for an open deck within the required rear yard setback from 2m to 3.8m. This represents a variance of 1.8m.

Zoning Bylaw No. 4500 permits an open deck to project 2m into the required rear yard setback.

6. OTHER BUSINESS:

7. ADJOURNMENT:

MINUTES
BOARD OF VARIANCE MEETING
BOARDROOM, SERVICE AND RESOURCE CENTRE
411 DUNSMUIR STREET, NANAIMO, BC
THURSDAY, 2020-JUN-18 AT 5:30 P.M.

PRESENT: Members: Jessica Kaman, Chair
 Nelson Allen
 Allan Dick
 Kenneth Hample
 Ron Nadeau

 Staff: L. Rowett, Current Planning, Manager
 L. Nowak, Planning Assistant
 K. Berke, Community Development Clerk (Recording Secretary)

1. CALL THE BOARD OF VARIANCE COMMITTEE MEETING TO ORDER:

The Open Board of Variance Meeting was called to order at 5:33 p.m.

2. ADOPTION OF AGENDA:

 It was moved and seconded that the Agenda be adopted. The motion carried unanimously.

3. ADOPTION OF MINUTES:

 It was moved and seconded that the Minutes of the Board of Variance Meeting held in the Boardroom, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC on Thursday, 2020-FEB-20, be adopted as circulated. The motion carried unanimously.

4. PRESENTATIONS:

Jessica Kaman, Chair, read a list of guidelines to ensure physical distancing in the Board Room.

(a) Board of Variance No. BOV735 – 2032 Forest Drive

The Chair read the application requesting a variance to locate a heat pump on the front face of the principal building at 2032 Forest Drive. “City of Nanaimo Zoning Bylaw 2011 No. 4500” requires that a heat pump or central air conditioning unit be located to the rear or side of a principal building.

The applicant, Raymond Matthews, spoke to the rationale for the application. He stated that there is no place other than the front of the house to install the heat

pump. The rear of the house already has a heat pump for the main upper floor, a door and windows also occupy space at the rear of the house and there is a fireplace which protrudes at the side of the house.

Discussion took place regarding:

- Whether the house is a single family dwelling or a duplex, whether the suite is an upper or a lower and whether the suite is legal
- The heat pump being the second heat pump on the property
- Whether the current heat pump at the back of the house follows the Zoning Bylaw No. 4500
- Windows and suite door placement leave no room for a second heat pump at rear of house
- Placing heat pump to the side of the house. Chimney/fireplace on side of house. Zoning bylaw No. 4500 requires a minimum 4.5m from side yard setback otherwise requires a variance
- Existing screening at the front of the house
- Impact to and support of neighbours

It was moved and seconded that application BOV735 for 2032 Forest Drive to vary the provisions of “City of Nanaimo Zoning Bylaw No. 4500” to locate a heat pump on the front face of the principal building be approved. The motion carried.

Opposed: *Kenneth Hample*

(b) Board of Variance Application No. BOV736 – 6178 McGirr Road

The Chair read the application requesting to reduce the rear yard setback from 7.5m to 6.34m in order to construct a staircase that will project a further 2m into the rear yard setback as permitted by the Zoning Bylaw. This represents a variance of 1.16m. The Zoning Bylaw requires a minimum rear yard setback of 7.5m in the R1 zone. Steps and landings are permitted to project up to 2m into the rear yard setback.

The applicants, Thomas and Brenda McDermitt, spoke to the rationale for the application. They stated that there is currently no staircase off the sundeck. The sundeck is off the main living area and in the event of an emergency if they had to exit from this level to the sundeck there would be no way down to the ground level. Other exits are on the ground/basement level only and they primarily use the top area of the house.

Discussion took place regarding:

- The location of the property near Dover Bay School
- The current exit situation. The main entrance/exit is on the ground level and a second exit is on a lower level (which the applicants never use). There is currently no exit on the main living area on the upper level
- Whether applicants will be replacing the sundeck as well as adding a new staircase

- Retaining wall on right side prevents them from putting stairs to ground level
- Impact to neighbours

It was moved and seconded that application BOV736 for 6178 McGirr Road to vary the provisions of “City of Nanaimo Zoning Bylaw No. 4500” to reduce the rear yard setback from 7.5m to 6.34m in order to construct a staircase that will project a further 2m into the rear yard setback be approved. The motion carried unanimously.

5. ADJOURNMENT:

It was moved and seconded at 5:59 p.m. that the meeting adjourn. The motion carried unanimously.

CHAIR

CERTIFIED CORRECT:

CORPORATE OFFICER



COMMUNITY DEVELOPMENT

BOARD OF VARIANCE

NOTICE OF MEETING

A meeting of the Board of Variance will be held on Thursday, 2020-JUL-16, at 5:30 p.m. in the Board Room, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC to hear the following appeal:

APPEAL NO: BOV00737

Applicants: LORNE HILL

Civic Address: 140 CANTERBURY CRESCENT

Legal Description: LOT 29, SECTION 15A, WELLINGTON DISTRICT, PLAN 33755

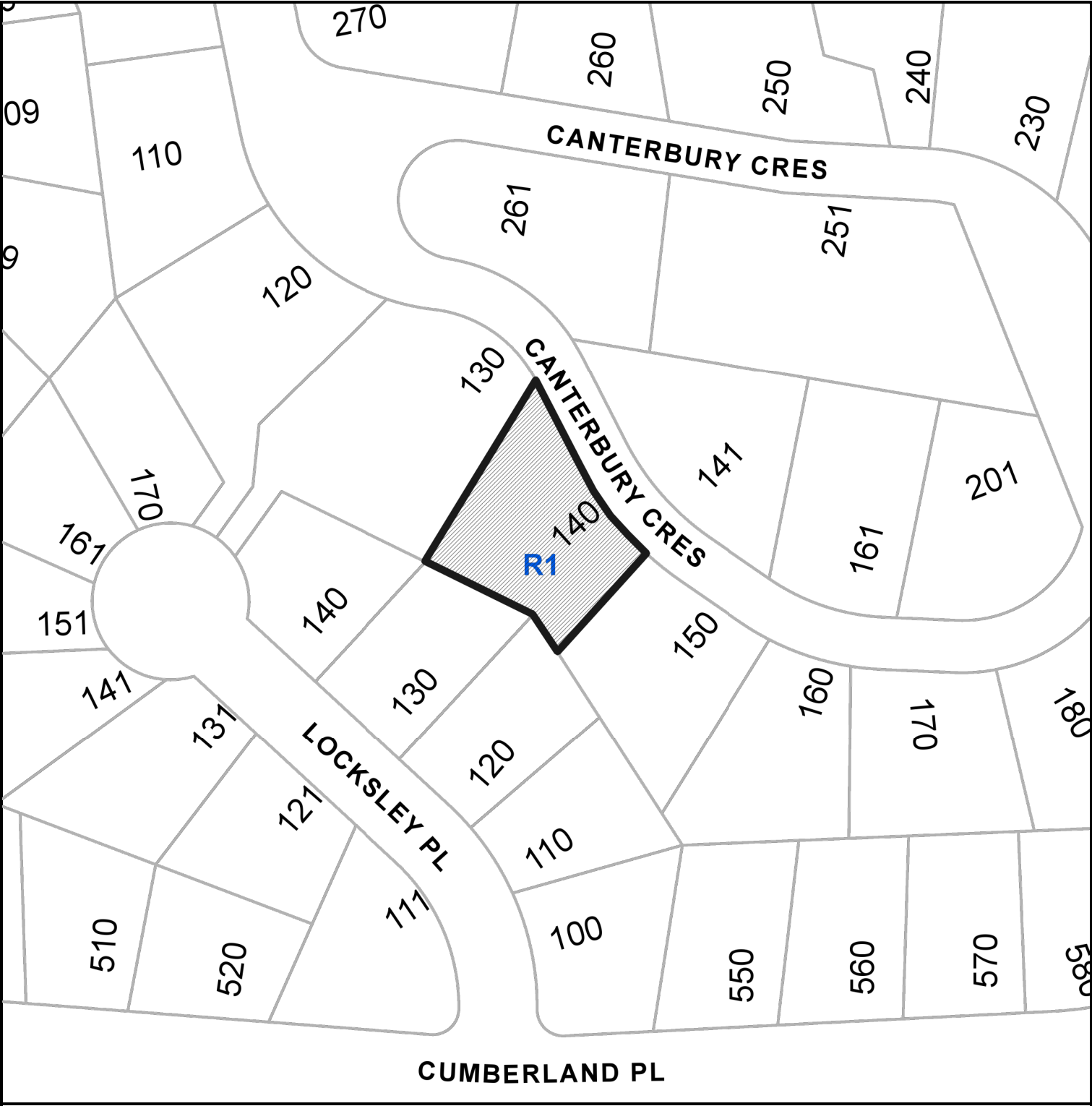
Purpose: Zoning Bylaw No. 4500 requires a minimum front yard setback of 4.5m in the R1 zone. The applicant is requesting to reduce the front yard setback from 4.5m to 3.0m in order to construct an accessory building. This represents a variance of 1.5m.

Zoning Regulations: Single Family Residential – R1. The applicant requests a variance to the “City of Nanaimo Zoning Bylaw No. 4500”:

*Section 7.5.1 – Siting of Buildings
A minimum front yard setback of 4.5m is required*

You are being notified as an owner or tenant of land that is adjacent to land that is the subject of this application. If you deem your property is affected by the proposed variance, you will be given the opportunity to be heard by the Board of Variance. In light of COVID-19, members of the public may submit comments in writing, or pre-register to attend in-person or call-in to speak to the Board directly. **If you wish to provide a written response, attend in-person, or call-in to speak to this application, you must contact the Planning Department no later than 4:00 p.m., July 16th, 2020 by emailing planning@nanaimo.ca or calling 250-755-4429 (x4220).** The Board of Variance decision will apply to subsequent owners of the land.

LOCATION PLAN



BOARD OF VARIANCE NO. BOV00737



Subject Property

CIVIC: 140 CANTERBURY CRESCENT
LEGAL: LOT 29, SECTION 15A, WELLINGTON DISTRICT, PLAN 33755

B.C. LAND SURVEYOR'S SITE PLAN OF PROPOSED WORKSHOP ON:
LOT 29, SECTION 15-A, WELLINGTON DISTRICT, PLAN 33755.



NOTES:

CIVIC ADDRESS: 140 CANTERBURY CRES.

LOT DIMENSIONS ARE DERIVED FROM FIELD SURVEY AND REGISTERED PLANS.

ELEVATION DATUM IS GEODETIC AND DERIVED FROM INTEGRATED SURVEY CONTROL TRAVERSE.

CONTOURS SHOWN ARE DERIVED FROM CITY OF NANAIMO LIDAR DATA DATED 2009.

DETACHED WORKSHOP DESIGN FROM SKYLINE DRAFTING & DESIGN LTD. PLANS DATED MAY 17, 2020.

THE UNDERSIGNED CONFIRMS THAT HE HAS BEEN RETAINED BY LORNE HILL TO PROVIDE FOUNDATION LAYOUT IN ACCORDANCE WITH THE FOUNDATION LOCATION SHOWN ON THIS PLAN.

- STANDARD IRON POST FOUND.
- X 114.24 EXISTING GRADE AS PER 2020 FIELD SURVEY.
- FG 114.3 DENOTES TYPICAL SPOT ELEVATION OF PROPOSED FINISHED GRADE (FG).
- NG 114.2 DENOTES TYPICAL SPOT ELEVATION OF NATURAL GRADE (NG) IN CONFORMANCE WITH THE CITY OF NANAIMO BYLAW INTERPOLATED FROM CONTOURS.

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S).

THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S).

THIS PLAN IS NOT TO BE USED TO RE-ESTABLISH BOUNDARY LINES.

THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

WILLIAMSON & ASSOCIATES
PROFESSIONAL SURVEYORS © 2020

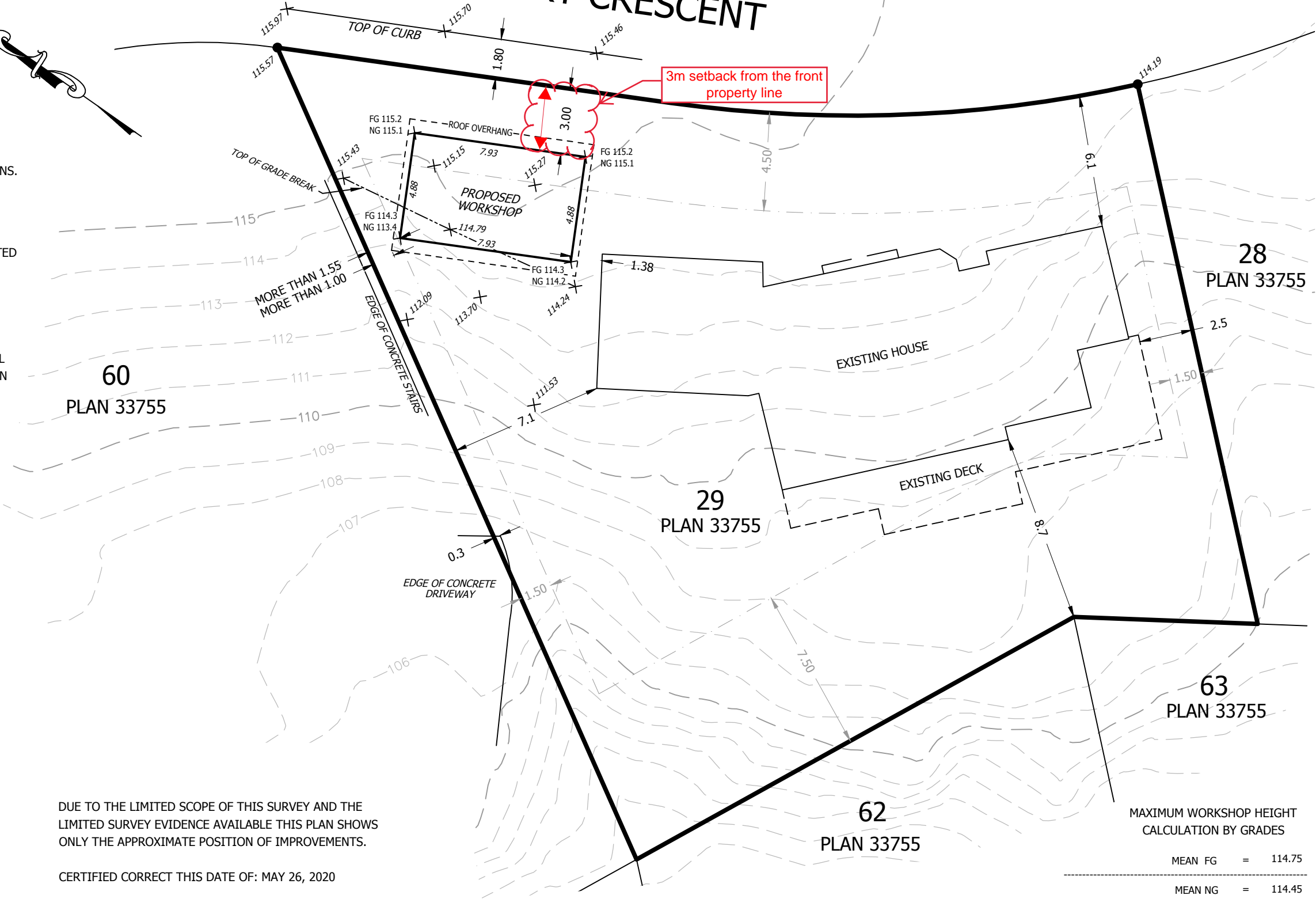
3088 BARONS ROAD NANAIMO B.C. V9T 4B5
PHONE: 250-756-7723 FAX: 250-756-7724
EMAIL: WAPS@VIBCLS.CA
FILE: 20009-1 SITE (BASE PLAN 08048)

DUE TO THE LIMITED SCOPE OF THIS SURVEY AND THE LIMITED SURVEY EVIDENCE AVAILABLE THIS PLAN SHOWS ONLY THE APPROXIMATE POSITION OF IMPROVEMENTS.

CERTIFIED CORRECT THIS DATE OF: MAY 26, 2020

Tyler J. Hansen B.C.L.S.
THIS DOCUMENT IS NOT VALID UNLESS DIGITALLY SIGNED.

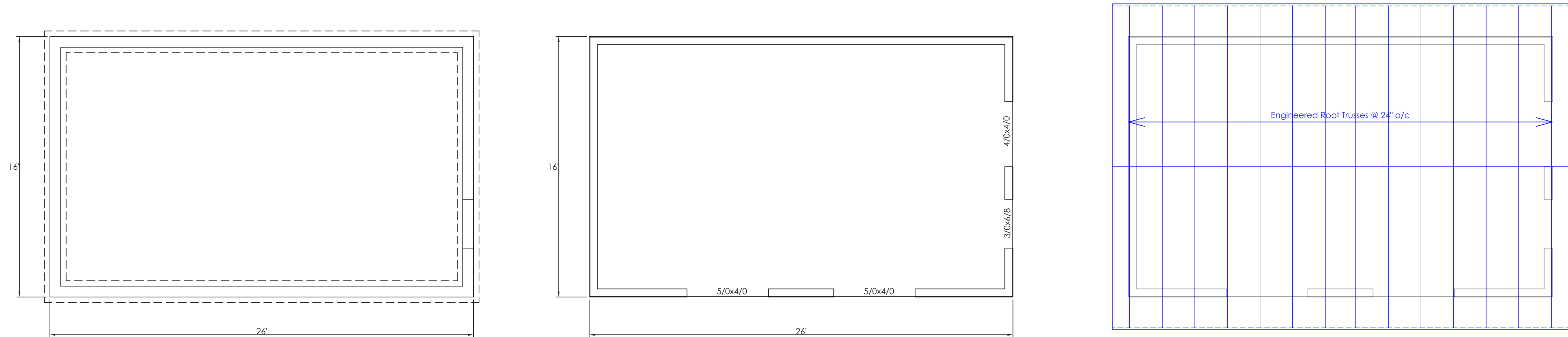
CANTERBURY CRESCENT



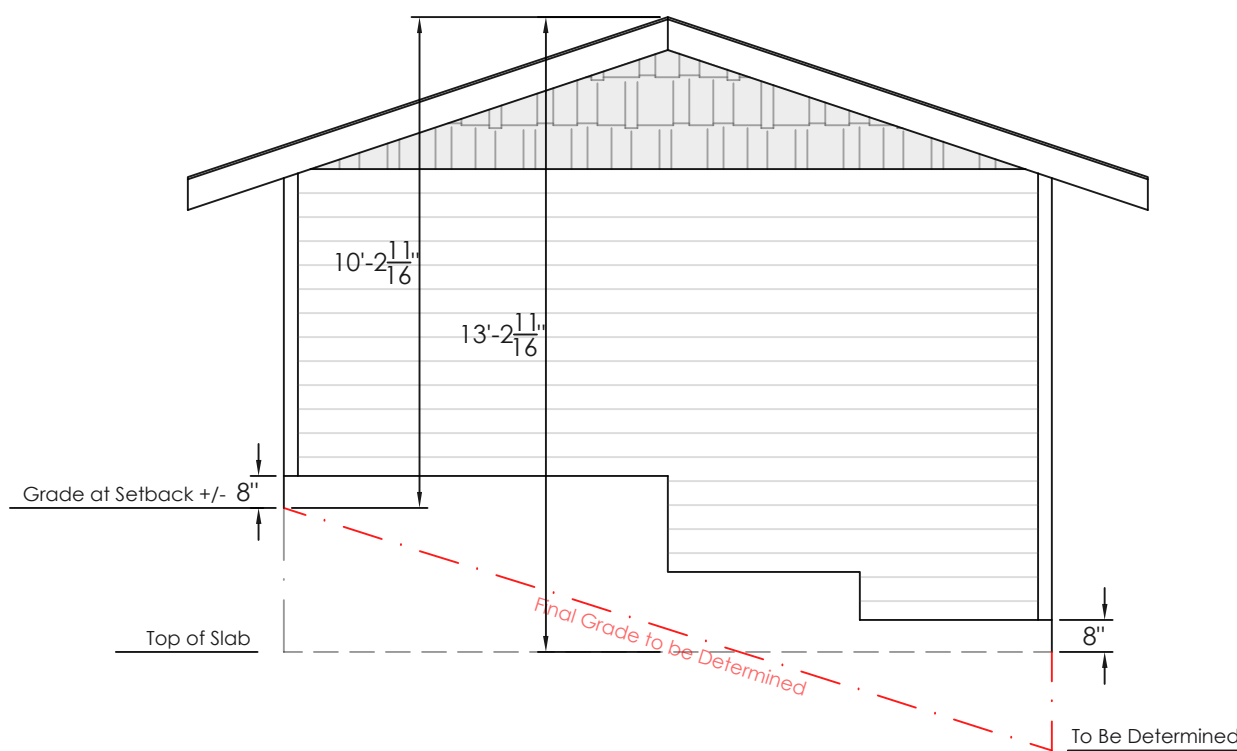
MAXIMUM WORKSHOP HEIGHT
CALCULATION BY GRADES

MEAN FG	=	114.75
MEAN NG	=	114.45
MAXIMUM HEIGHT	+	4.50
CON MAXIMUM ROOF PEAK	=	118.95
PROPOSED TOP OF SLAB	=	114.30
APPROX. HEIGHT TO PEAK	+	4.03
PROPOSED ROOF PEAK	=	118.33

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BOV737
2020-MAY-27
Current Planning



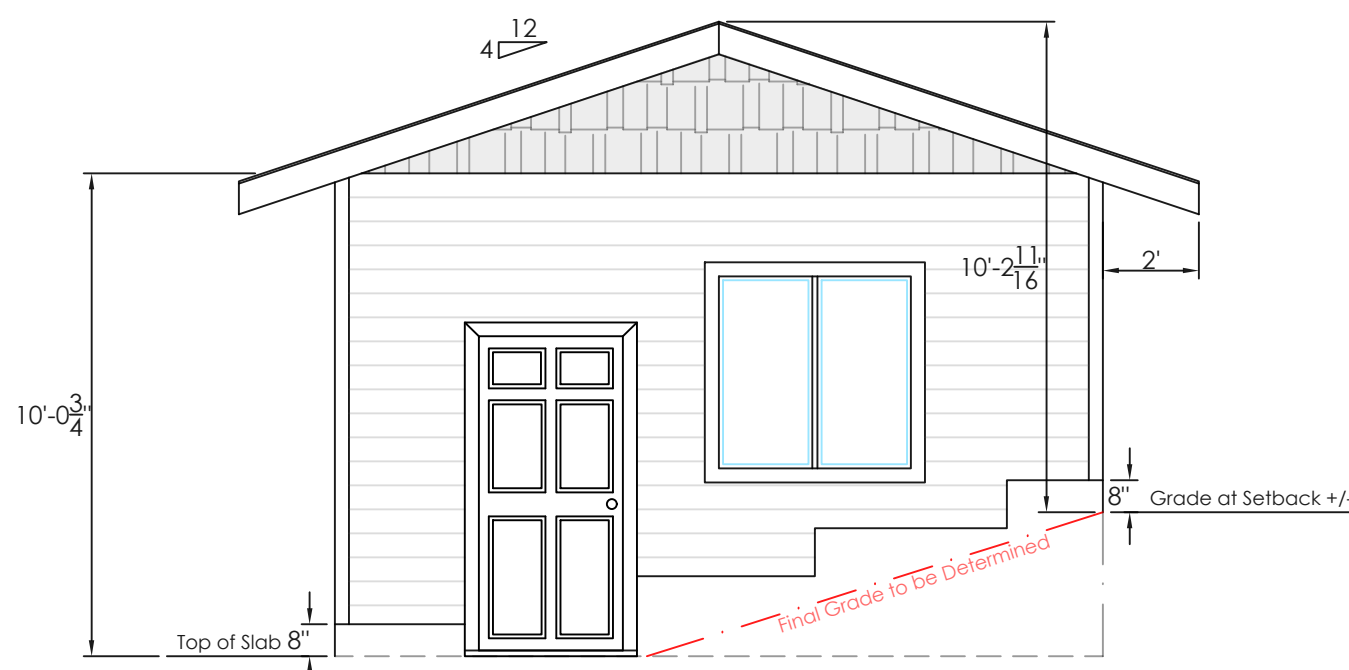
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

- Roof truss system is to be designed by professional and sealed by their engineer in accordance with applicable design standards
- Contractor is responsible to provide cladding and/or exterior finishes details demonstrating compliance with BCBC 2018 9.27
- Heating and/or HVAC system to be designed and installed by a professional contractor in that field in compliance with BCBC 2018 9.32
- Insulation contractor is to provide Effective R Value calculations and ensure installation to minimum code standards per BCBC 2018 9.36
- Client to provide window type, orientation, etc. to window supplier when ordering window products. Only window size is shown on plan

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2020-MAY-27
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Engineers Seal is for structural capacity of components of the building, including anchorage and seismic restraint.



Providing Quality Design Services Since 2003

445 Hillcrest Avenue
Nanaimo, BC V9R 3M2
(250) 709-0490

Project Description:
PROPOSED WORKSHOP

Client Name:	Lorne Hill
Site Address:	140 Canterbury Cres.
City:	Nanaimo, BC
Municipality:	City of Nanaimo
Telephone No:	250-802-4101

Drawing Description:
DETAILS FOR VARIANCE

Drawn By:	W. Porter
Checked By:	
Dated:	17/05/2020
Issued For:	Preliminary
Scale:	As Noted Below
File Number:	560-20

Scale: 1/4" = 1' - 0"
Sheet No. Page 1

Building to Code:

The contractor/home owner assumes all responsibility for construction of this dwelling, these plans and the notes and details herein upon commencing construction of the structure described herein. This is to include but is not limited to confirmation of and complying with all local bylaws, restrictions, regulations, setbacks, covenants, driveway access and structure to lot orientation and coverage.

- Our home designs and plans are prepared in accordance to the current edition British Columbia Building Code (based on the design date shown on these plans). Any subsequent changes to the building code must be complied with during construction and must meet the minimum standards of the current building code, municipal and/or provincial, and to the satisfaction of local authorities having jurisdiction
- Construction is to adhere to requirements of 'GOOD BUILDING PRACTICES' by qualified trades during all aspects of construction
- Never scale plan dimensions, written dimensions will always take precedence over any scaled dimension
- Conditions on site can vary and any changes to, deviations from or on-site alterations to these plans or the structure herein during construction due to site conditions are the sole responsibility of the contractor/home owner
- Increased loads upon components of the structure during construction due to temporary storage of equipment and/or construction materials can not exceed the intended design loads of any of the structural components
- Footings and foundation walls are to be of a minimum 25 MPa compressive strength concrete (at 28 days) bearing on solid, undisturbed, inorganic bearing or licensed geo-tech approved materials
- Roof truss system is to be designed by professional and sealed by their engineer in accordance with applicable design standards
- Contractor is responsible to provide cladding and/or exterior finishes details demonstrating compliance with BCBC 2018 9.27
- Heating and/or HVAC system to be designed and installed by a professional contractor in that field in compliance with BCBC 2018 9.32
- Insulation contractor is to provide Effective R Value calculations and ensure installation to minimum code standards per BCBC 2018 9.36

Errors and/or Omissions:

Every effort has been made by 'Skyline Drafting and Design' to ensure accuracy and sufficient detail(s) in its home designs. We cannot, however, assume any responsibility for unintended errors or omissions that may affect construction. The contractor/home owner must assume the responsibility to completely review plans, notes and details of any inaccuracies or discrepancies prior to construction and advise our office immediately to make plan revisions/replacement should it be warranted.

Structural Design and Engineering:

Design of components not specified by Part 9 of BCBC 2018 are to be certified and sealed by a certified structural engineer registered in the province of British Columbia. All residential designs and their components meet or exceed current minimum residential seismic design standards and requirements and are designed using the latest design software.

Material and Grades:

- No finger jointed lumber is allowed in structural applications
- Lumber is to be SPF Grade #2 or better
- Headers and lintels are to be 2 Ply 2x10 SPF unless noted otherwise
- Beams are to be of continuous material and may NOT be spliced
- Engineered beams to be LVL, PSL, LSL or Glulam and minimum Grade 2.0e
- Connectors, sizes and types herein are Simpson Strong Tie (SST) products
- Sheathing material to be Plywood or OSB nailed to code
- Product substitutions are at the contractor/owners' expense and must include sealed shop drawings from the designer
- The contractor must have a copy of all installation drawings, shop drawings and layouts necessary for the project available on site at all times
- All suppliers must have a copy of and follow structural layouts provided by P. Eng and supply installation guides for products they provide to the contractor

Posts and Beams:

- Posts to be a minimum SPF Grade #2 or better
- Mechanical post to beam and post to pier connections are required.
- Posts must be restrained from movement in four directions using SST "AC and ACE" or equal at the top and SST "CB or BC" or equal at the bottom. Toe nailing is NOT an acceptable restraint method
- Built up posts to be nailed with two rows of 3" common nails @ 12" o/c
- Minimum bearing is to be equal to or more than the width of the member that it carries or as noted on the plans by P. Eng
- Beams must be restrained from lateral rotation by either blocking on both sides or full height studs on both sides
- Deflection limits to code minimum: L/360 for spans under 16' and L/480 is highly recommended for spans over 16'
- Built up beam nailing requirements:
 - 2 and 3 ply members up to 18" in depth to be nailed with 3 rows of 3" nails @ 12" o/c and 4 rows of nails for members over 18" in depth
 - Nail 4 ply members as above and bolt with 2 rows @ 24" o/c or screwed with full depth Simpson SDS screws @ 16" o/c. Add 6 - SDS screws on either side of a hangered beam connection
 - (Bolts to be a minimum ½" Grade A305 with nuts and heavy flat washers)
 - Refer to member shop drawing for specific details during nailing

Floors and Joists:

- Floor assemblies as described in BCBC 2018 sections:
 - 9.23.9 Floor joists
 - 9.23.12 Framing over openings
 - 9.23.15 Sub-flooring
 - 9.23.3 Fasteners
- Mechanical connectors required at all flush mount connections
- Sub-floors to be glued as well as mechanically fastened to code
 - Mid-span blocking or bridging at 7' o/c or less
 - Block last (2) joist spaces where joists are parallel to walls at a maximum spacing of 48" o/c including I-Joist floor systems

Nailing and Fastening:

- Connections as noted as above, by P. Eng or to BCBC 2018 Section 9.23.3
- Increase nailing by 20% for gun nails and DO NOT overdrive nails
- Plate to concrete bolts to be ½" x 8" cast in place @ 48" o/c maximum
 - Concrete epoxies to be either Simpson "SET XP" or Hilti "HIT RE-500"
- All trusses, jacks and/or rafters are to be mechanically fastened to exterior wall using SST "H1 or H3" tie downs or as specified on plan

Concrete Specifications:

- Must meet minimum CSA A23.1 and A23.2 requirements
- Typical concrete mixes:

Use	Strength	Aggregate	Water Ratio	Air Content	Slump	Exposure Class
Footings	25 mPa	2"	0.55 (max)	5-6%	3" +/- 3/4"	B
Foundations	25 mPa	2"	0.55 (max)	5-7%	3" +/- 3/4"	B
Interior Floor Slabs	25 mPa	2"	0.55 (max)	5-6%	3" +/- 3/4"	B
Exterior Walls	25 mPa	2"	0.55 (max)	5-6%	3" +/- 3/4"	B
Exterior Walls & Retaining	25 mPa	2"	0.55 (max)	5-6%	3" +/- 3/4"	B

1. Concrete Reinforcing:

Typical Slab:
15m or #4 @ 12"
15m or #4 @ 12"
15m or #4 @ 12"

Minimum Concrete cover over Rebar:
a. Exposed to earth = 3"
b. Exposed to Air = 2"
c. Dampproofed walls = 1.5"
d. " Do Not Call "

- Grade 60 Imperial reinforcing bar minimum
- A minimum 24" lap at splices w/ ties at each end of splice
- All corners must be formed with 24"x24" bent bars

2. Crack Control in Slabs:

- Control joints must not exceed 20' o/c spacing
- Perimeter must have a ½" compressible joint material
- Reinforcing: 1) 10m rebar mat @ 10" o/c or 2) 6x6 - 8 ga welded wire mesh or 3) Fibermesh admix (1.5 lb/cu. Yd.)

3. Protection from Freezing:

- DO NOT pour concrete if temperature is below 5 degrees Celsius
- If concrete must be poured at temperatures below 5 degrees Celsius, it must be protected from freezing for a minimum 10 days by insulating or tenting with heat

4. Soil Bearing Capacity:

- A minimum 150 kPa (3000 psf) soil bearing capacity is required. Refer to BCBC 2018 Part 9.9.4.4.1 for methods to confirm soil capacity or retain the services of a Geo-Technical Engineer licensed in the Province of British Columbia

5. Inspections by P. Eng.:

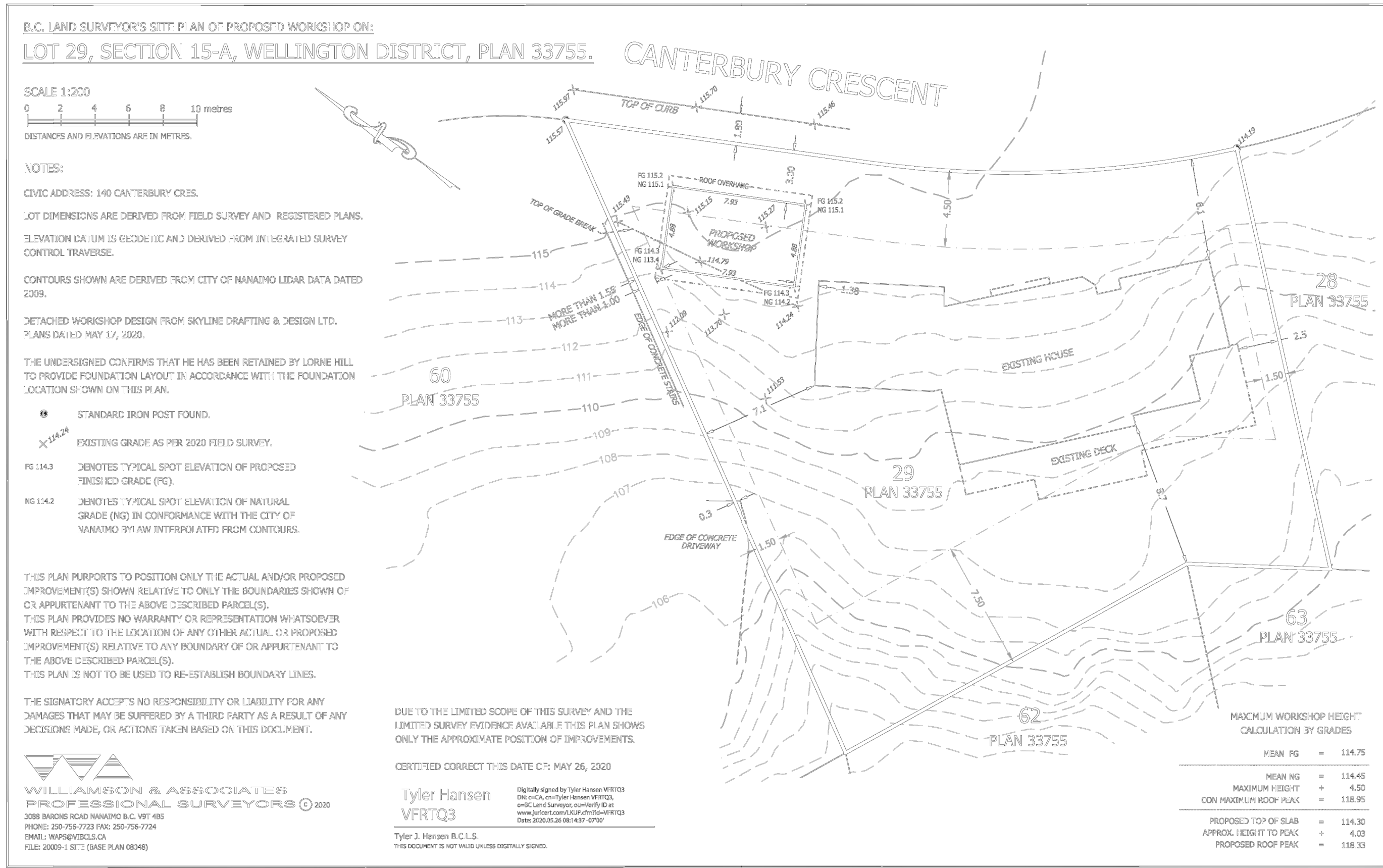
- All forming and reinforcing steel placement is to be confirmed/verified by P. Eng via on site reviews/inspections prior to pouring concrete

6. Backfilling:

- DO NOT backfill until a minimum 28 days after pour to ensure proper concrete curing. Clean, free draining, granular backfill to code must be used within 12" of walls.

GENERAL NOTES and INFORMATION

ANY DETAILS, NOTES, REQUIREMENTS OR CONDITIONS DESCRIBED ON THIS PAGE WILL BE SUPERCEDED BY ANY INSTRUCTION OR DETAIL NOTED AS PART OF THE SEALED DRAWING SET BY P. ENG



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445 Hillcrest Avenue
Nanaimo, BC V9R 3M2
(250) 709-0490

Project Description:

PROPOSED WORKSHOP

Client Name:	Lorne Hill
Site Address:	140 Canterbury Cres.
City:	Nanaimo, BC
Municipality:	City of Nanaimo
Telephone No:	250-802-4101

Drawing Description:

NOTES/LAYOUTS

Drawn By:	W. Porter
Checked By:	
Dated:	17/05/2020
Issued For:	Preliminary
Scale:	As Noted Below
File Number:	560-20

Scale:
¼" = 1' - 0"

Sheet No.
COVER

May 26, 2020

To: Board of Variance
City of Nanaimo

From: Lorne and Doreen Hill
140 Canterbury Cres
Nanaimo, BC
V9T 4S4

Re: Front Yard Setback Variance at 140 Canterbury Cres

We are requesting a front yard setback variance in order to build a 16 by 26' workshop. We are asking for a variance of 1.5m so that the resulting front yard setback would be 3m.

Our lot has extreme slopes that result in undue hardship. The cost to build a workshop becomes prohibitive if the zoned setbacks are enforced due to the tall retaining walls that would be required.

A front yard setback variance of 1.5m would mean that building the workshop would become possible. We still have to account for the slope but the foundation is more typical, without large retaining walls being required.

There should be no impact to site lines for our neighbours. If anything, their views will be expanded due to some trees being removed. We feel the streetscape is not duly impacted as the building will fit with the neighbourhood.

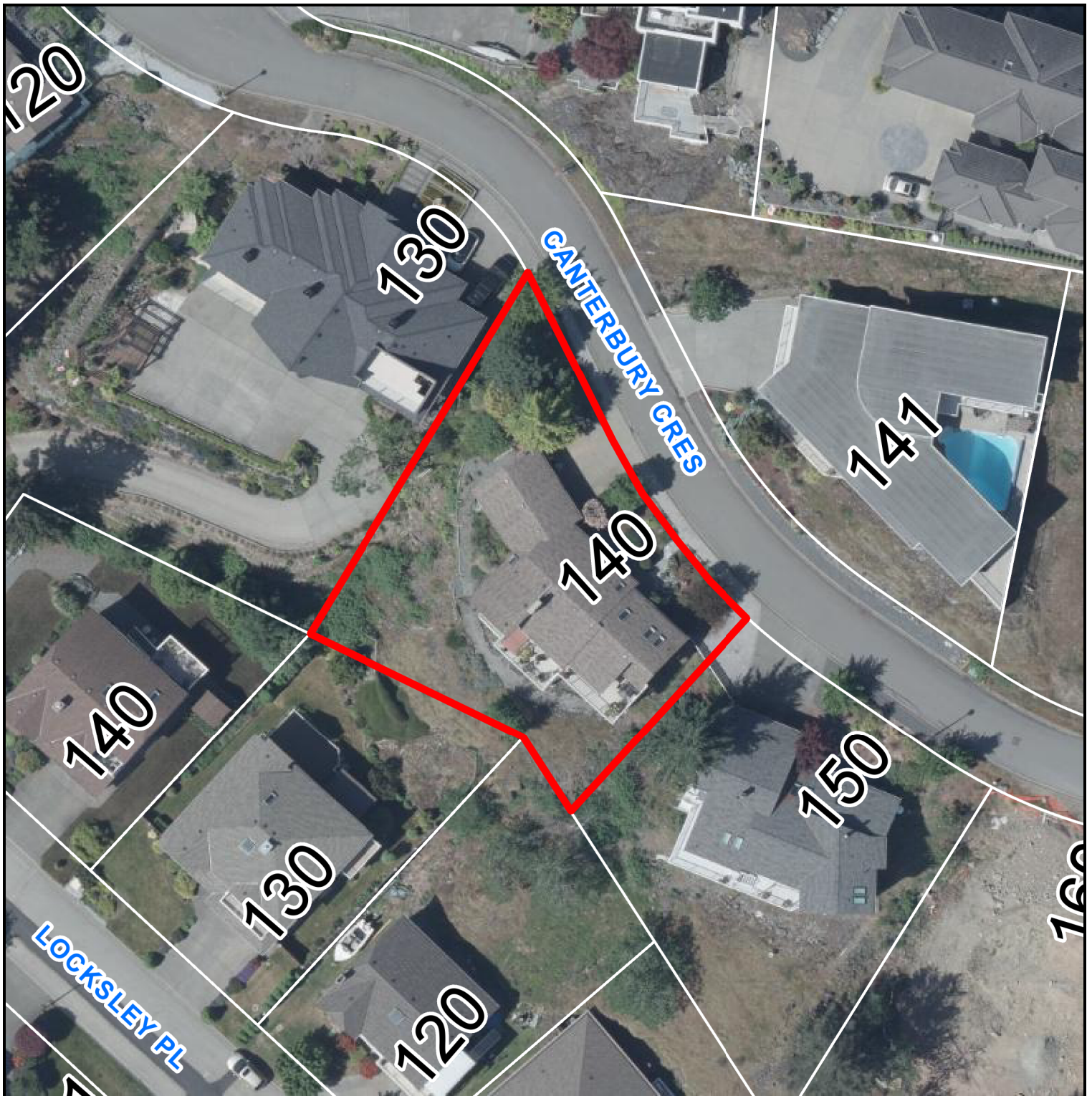
Thank you for considering our application.

Yours sincerely,

Lorne and Doreen Hill

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2020-MAY-27
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AERIAL PHOTO



BOARD OF VARIANCE NO. BOV00737



140 CANTERBURY CRESCENT



COMMUNITY DEVELOPMENT

BOARD OF VARIANCE

NOTICE OF MEETING

A meeting of the Board of Variance will be held on Thursday, 2020-JUL-16, at 5:30 p.m. in the Board Room, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC to hear the following appeal:

APPEAL NO: **BOV00738**

Applicants: JAMIE KUHN

Civic Address: 6462 THORNWOOD PLACE

Legal Description: LOT 7, DISTRICT LOT 53, WELLINGTON DISTRICT, PLAN VIP77640

Purpose: Zoning Bylaw No. 4500 permits an open deck to project 2m into the required rear yard setback. The applicant is requesting to increase the permitted projection for an open deck within the required rear yard setback from 2m to 3.8m. This represents a variance of 1.8m.

Note: The required rear yard setback is 7.5m in the R1 zone.

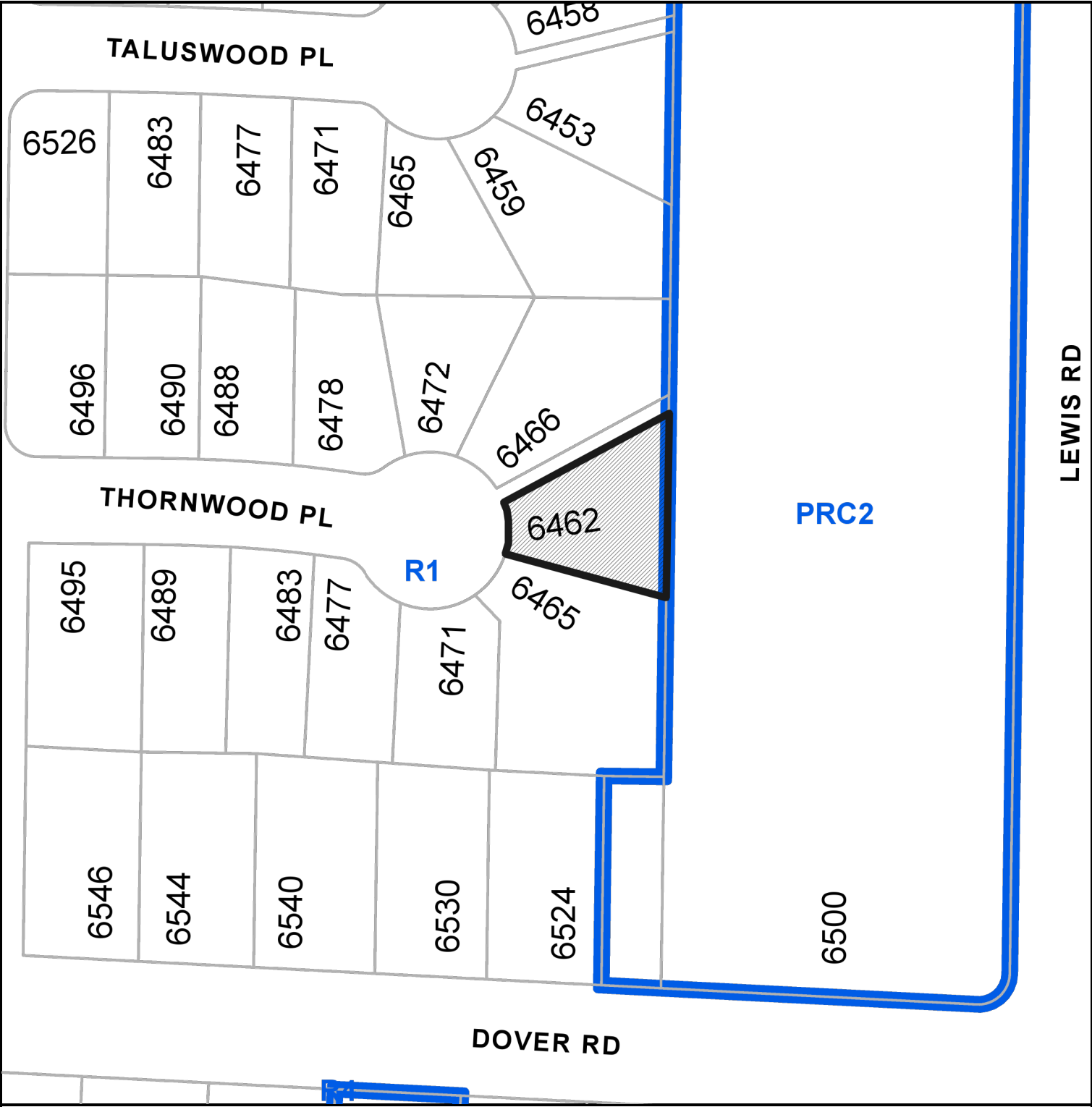
Zoning Regulations: Single Family Residential – R1. The applicant requests a variance to the “City of Nanaimo Zoning Bylaw No. 4500”:

Section 6.5.1 – Projections into yards

An open deck is permitted to project up to 2m into the required rear yard setback

You are being notified as an owner or tenant of land that is adjacent to land that is the subject of this application. If you deem your property is affected by the proposed variance, you will be given the opportunity to be heard by the Board of Variance. In light of COVID-19, members of the public may submit comments in writing, pre-register to attend in-person, or call-in to speak to the Board directly. **If you wish to provide a written response, attend in-person, or call-in to speak to this application, you must contact the Planning Department no later than 4:00 p.m., July 16th, 2020 by emailing planning@nanaimo.ca or calling 250-755-4429 (x4220).** The Board of Variance decision will apply to subsequent owners of the land.

LOCATION PLAN

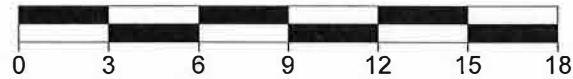


Subject Property

BOARD OF VARIANCE NO. BOV000738

CIVIC: 6462 THORNWOOD PLACE
LEGAL: LOT 7, DISTRICT LOT 53, WELLINGTON DISTRICT, PLAN VIP77640

**B.C. LAND SURVEYOR'S CERTIFICATE OF PROPOSED DECK LOCATION ON:
LOT 7, DISTRICT LOT 53, WELLINGTON DISTRICT, PLAN VIP77640.**



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.

THE INTENDED PLOT SIZE OF THIS PLAN IS 356 mm IN WIDTH BY 216 mm IN HEIGHT (LEGAL SIZE) WHEN PLOTTED AT A SCALE OF 1:300.

LOT DIMENSIONS ARE DERIVED FROM LEGAL PLANS.

CIVIC ADDRESS: 6462 THORNWOOD PLACE, NANAIMO.

PID: 026-052-334 ZONING: R1.

LEGEND:

● DENOTES LEGAL POST FOUND.

THIS PARCEL MAY BE SUBJECT TO REGISTERED CHARGES, INTERESTS AND LEGAL NOTATIONS AS SHOWN ON TITLE NO: CA6331712.

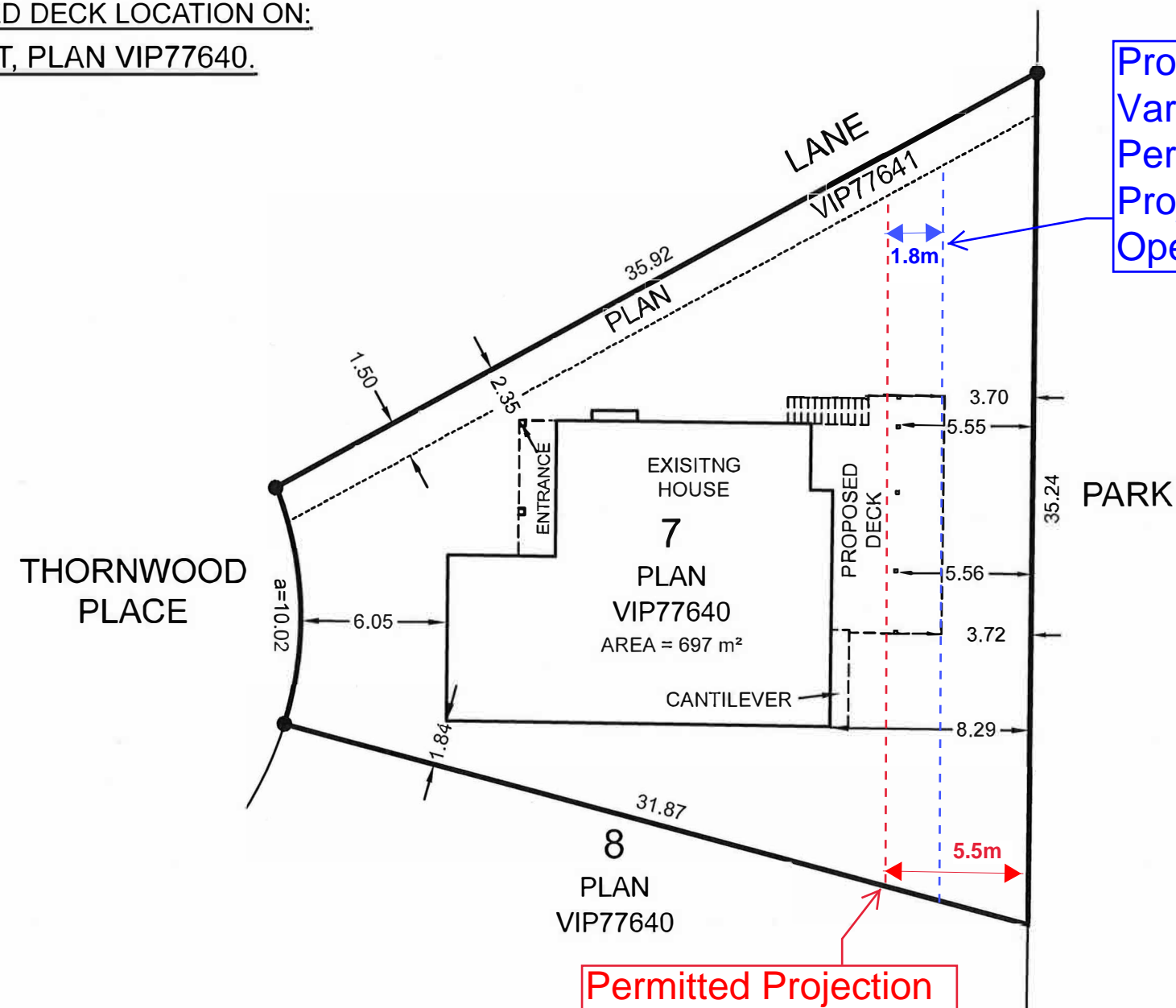
THIS PLAN DOES NOT PURPORT TO VERIFY COMPLIANCE WITH THE RESTRICTIONS THEREIN.

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S). THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S). THIS PLAN IS NOT TO BE USED TO RE-ESTABLISH BOUNDARY LINES.

Harbour City Land Surveying Ltd.
1825 LATIMER ROAD © 2020
NANAIMO BC V9S 5H2
PHONE: 250-758-4180

DRAWING: 20010-BP.DWG
LAYOUT: 1

THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.



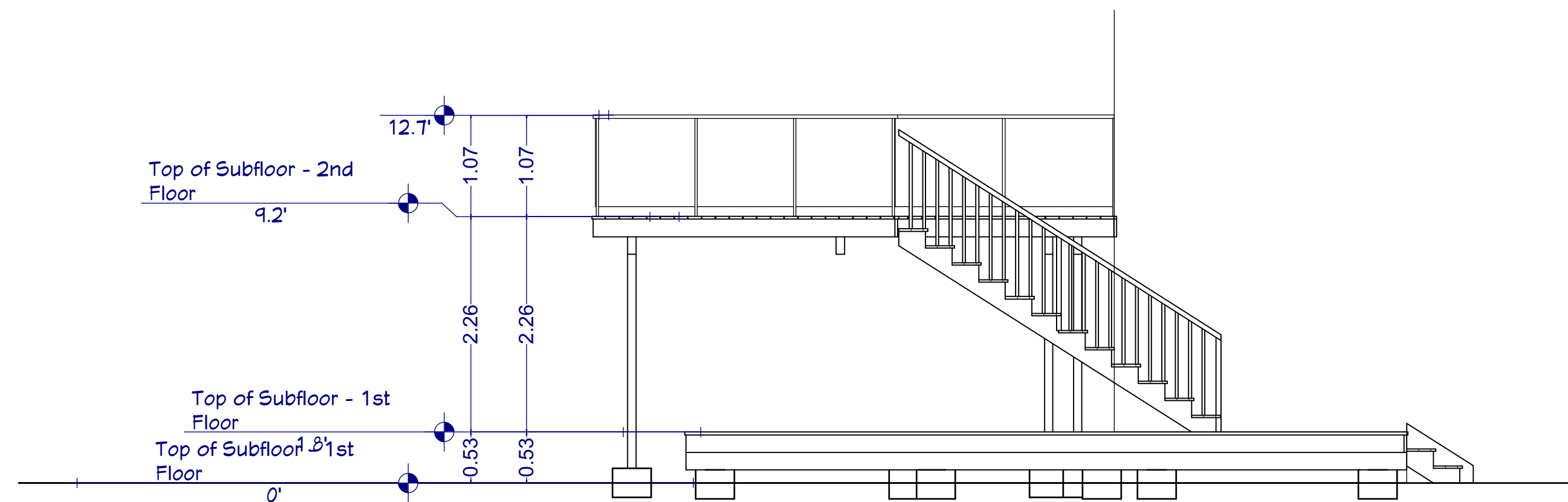
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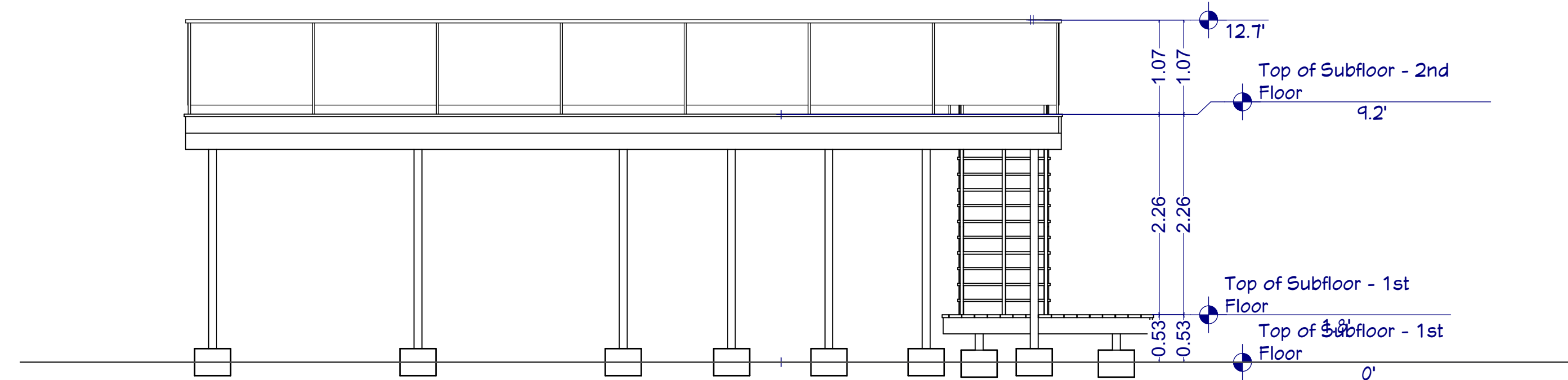
THIS BUILDING LOCATION CERTIFICATE HAS BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE AND IS CERTIFIED CORRECT THIS DATE OF : JULY 5, 2020.

Digitally signed by Andre McNicoll QHSJGW
DN: OU=Verify ID at
www.jvk.com/LKUP, email=QHSJGW@
QHSJGW, CN=Andre McNicoll
QHSJGW, C=CA
Location: Nanaimo
Reason: Final Survey
Date: 2020.07.05 14:41:50 -0700

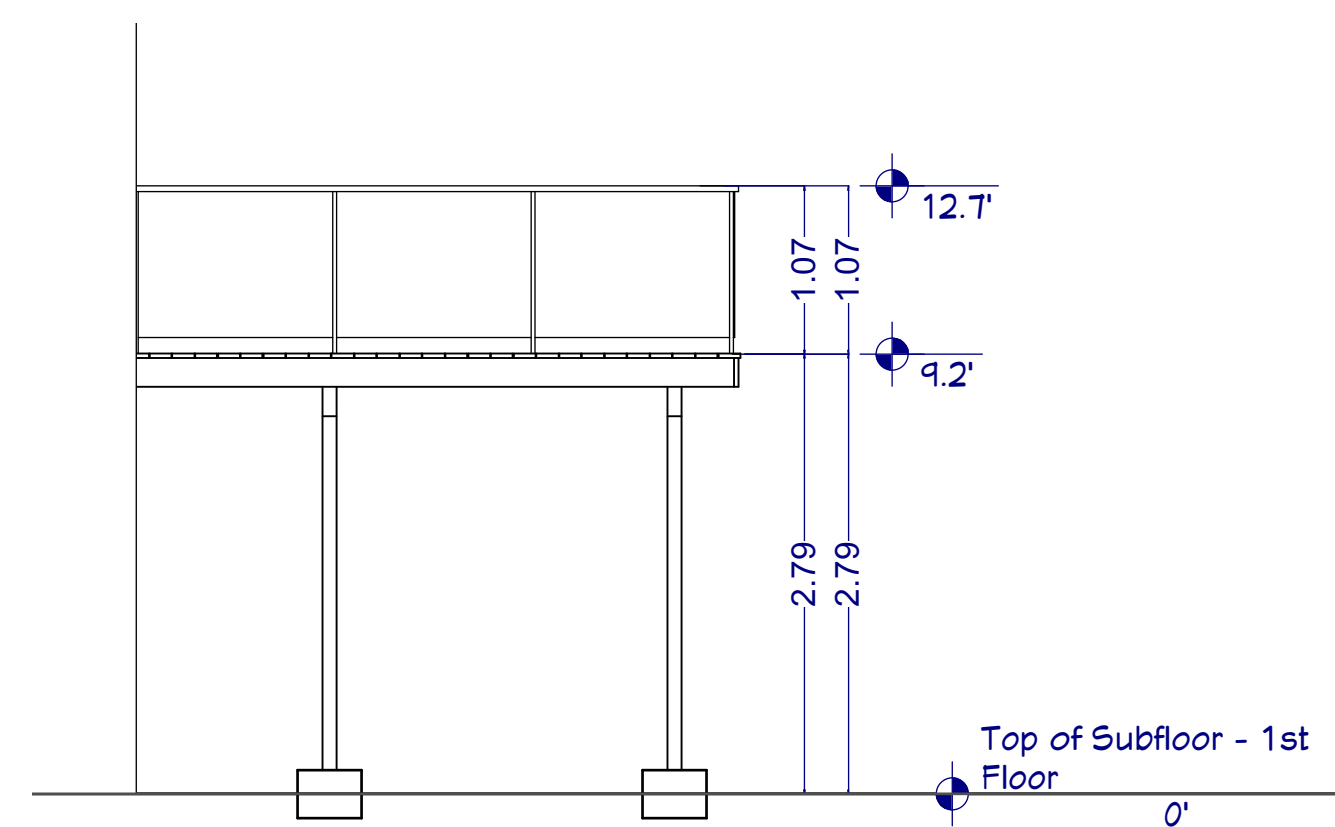
ANDRÉ MCNICOLL B.C.L.S.
THIS DOCUMENT IS INVALID UNLESS ELECTRONICALLY SIGNED .



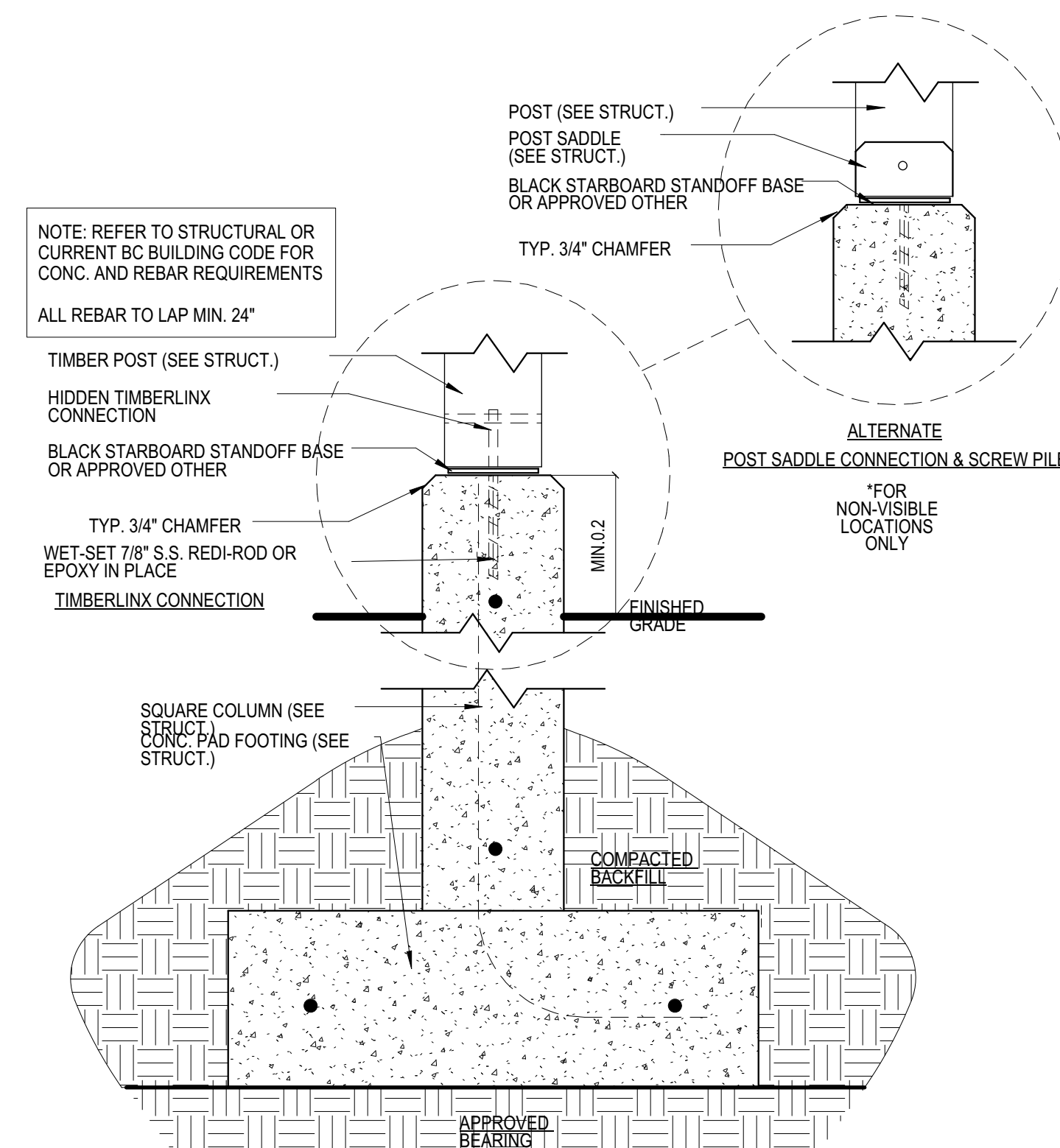
1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



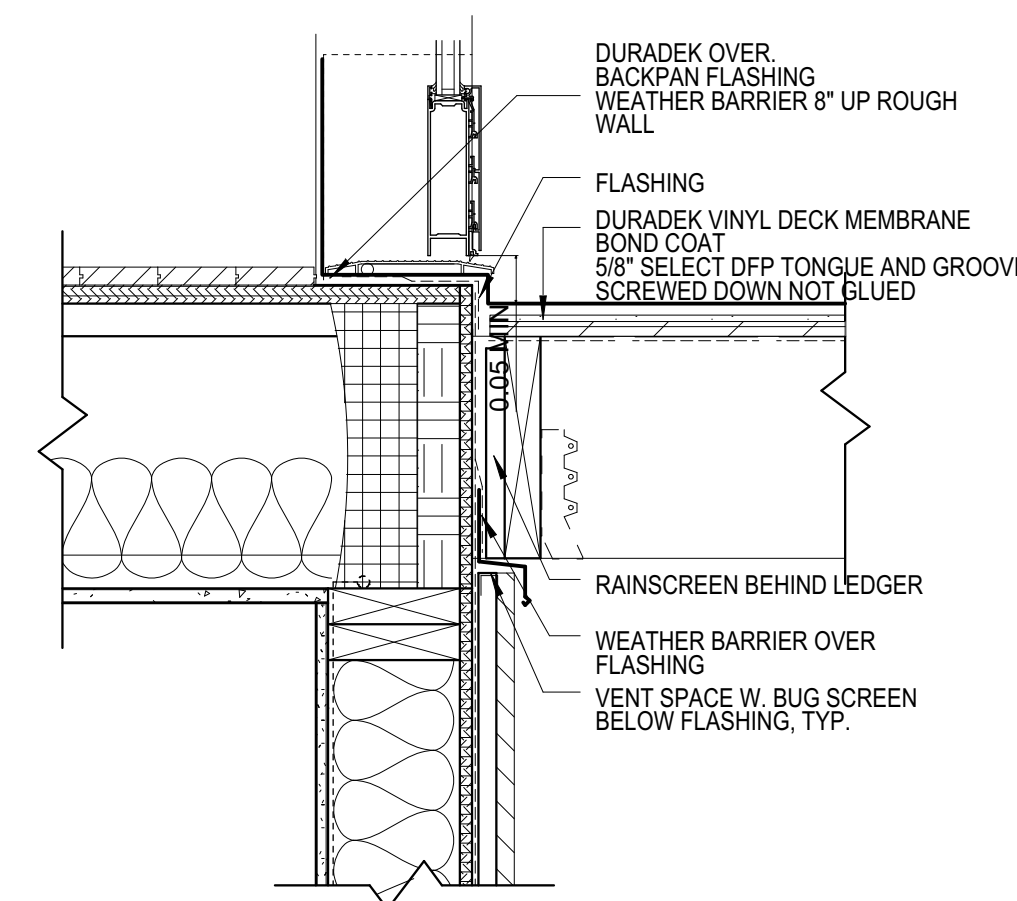
2 EAST ELEVATION
Scale: 1/4" = 1'-0"



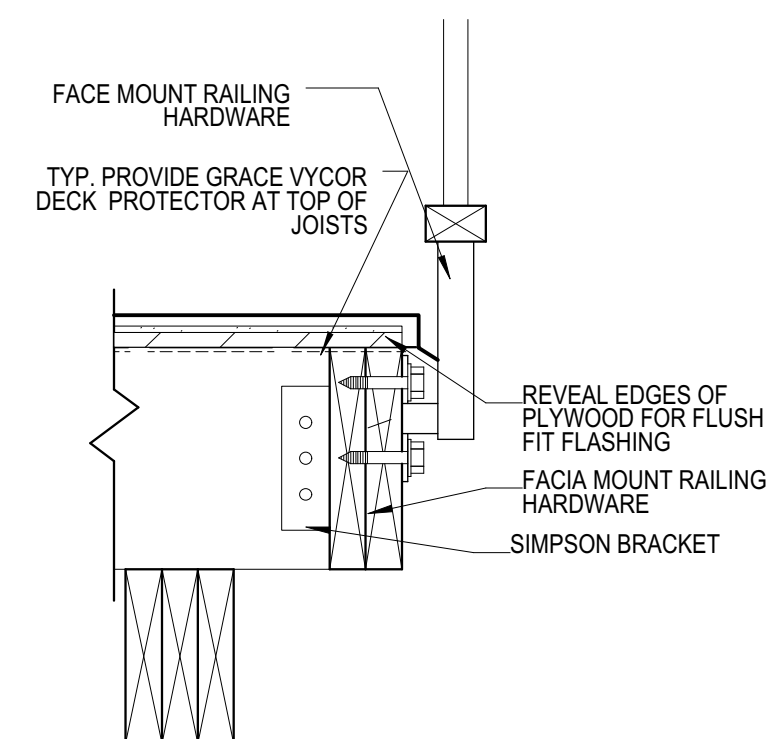
3 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



4 DECK FOOTING DETAIL
Scale: 1 1/2" = 1'-0"



5 DECK DETAIL
Scale: 1 1/2" = 1'-0"



- Notes
- ALL WORK SHALL CONFORM TO BCBC
 - DRAWINGS WILL BE USED IN CONJUNCTION WITH DESIGN SELECTIONS DOCUMENT
 - DIMENSIONS AND SITE CONDITIONS TO BE VERIFIED ON SITE. ANY DISCREPANCIES TO BE BROUGHT TO DESIGNER BEFORE PROCEEDING
 - SIMPSON ANGLE BRACKET TO SUITE JOIST HIEGHT AT NEAREST JOIST TO RAILING POST
 - BRIDGING 7'-0" ON CENTER MAX.
 - FACIA MOUNT RAILING 50" ON CENTER APROX., COORDINATE WITH RAILING SUPPLIER
 - ADDITIONAL SOLID BRIDGING AT RAILING FASTENING LOCATIONS, COORDINATE WITH RAILING SUPPLIER
 - 2X10 JOISTS 16" ON CENTER

No.	Revision/Issue	Date
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Firm Name and Address

Pheasant Hill Homes Ltd

Phone: 250 618 6880
2480 Kenworth Rd #9, Nanaimo, BC, V9T 3Y4

Project Name and Address

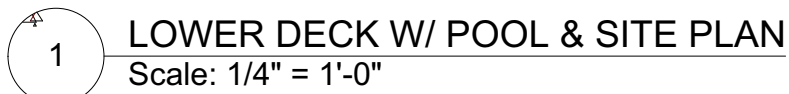
Staite/ Bryson Residence
Sheryl Staite & Travis Bryson
6462 Thornwood Place
Nanaimo BC

Drawing
ELEVATIONS & DETAILS

Drawn By SN	Sheet
Date 11/21/2019	ID-03
Scale 1/8" = 1'-0"	

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- ALL WORK SHALL CONFORM TO CBCB
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- ADDITIONAL SOLID BRIDGING AT RAILING FASTENING LOCATIONS, COORDINATE WITH RAILING SUPPLIER
- 2X10 JOISTS 16" ON CENTER



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Firm Name and Address

 **Pheasant
Hill Homes Ltd**

Phone: 250 618 6880
2480 Kenworth Rd #9, Nanaimo, BC, V9T 3Y4

Project Name and Address

Staite/ Bryson Residence
Sheryl Staite & Travis Bryson
6462 Thornwood Place
Nanaimo BC

Drawing

COVER PAGE
& EXTERIOR DECK PLANS

Drawn By SN

Date 04/07/2020

Scale
 $1/4" = 1'-0"$

D-01

June 4, 2020

City of Nanaimo
Board of Variance

Dear Sirs/Mesdames:

Re: 6462 Thornwood Place, Nanaimo, British Columbia

We write to you following our application for a permit to build a deck for our family home.

We have four children, twin girls aged 7, a 12-year old daughter and a 15-year old son. We bought this home 8 years ago anticipating living here for many years. What we liked about the home was being on a cul-de-sac and having a large backyard. Being able to spend a great deal of time outside, particularly in the backyard with the children, is very important to us because it encourages time away from screens which has become their preferred way to pass the time. Since purchasing the home in 2012, we have always dreamed of expanding the deck in order to create a usable outdoor living space for our family. Although we very much appreciate and enjoy backing onto greenspace, the trees behind us have continued to grow and shade the yard more and more every year. We have considered moving to another home however that is not only financially infeasible for us, it would also create significant upheaval for our children at a time when stability is crucial for them. After careful consideration, we made the decision to stay in our home and decided to develop a more usable outdoor living space.

Recently, the need to have a practical outdoor space has intensified with the onset of the COVID-19 pandemic. Naturally, our kids are required to spend even more time in front of computer screens as it is the primary way for them to remain engaged in their school work. We vastly prefer our children spending their spare time outside in the yard but the damp, shady grass in the backyard is not a viable alternative for them as a play area. Furthermore, our home is the largest in our immediate family. My sister and her family as well as my folks live walking distance from us and come to our home on a weekly basis for dinners and socializing. In order for us to continue to do this, we need to have a larger, useable outdoor space to adequately socially distance ourselves from each other. The smaller deck that we are currently allowed to build would not allow sufficient space between us and would greatly hinder our ability to entertain our family and friends.

We know everybody is experiencing added complexity and challenges in their lives right now. We humbly ask to be able to avoid the challenge and hardship of moving our family in the event that we cannot come up with a truly usable outdoor family space. It is a given that in the damper months, we cannot be out in the yard as often and we can accept that. But we have been promising our children for some time that there will soon be a new deck and they will be able to spend much more time outdoors because of it. We have been so looking forward to having our family and close friends over and this deck would allow us to do so safely and comfortably. We respectfully request that you allow our contractor, Pheasant Hill Homes, to extend our deck as we have asked.

Thank you for your time and consideration.

Sheryl Staite, Owner


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AERIAL PHOTO



BOARD OF VARIANCE NO. BOV000738



6462 THORNWOOD PLACE