



AGENDA
DESIGN ADVISORY PANEL MEETING

June 11, 2020, 5:00 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING TO ORDER:

[Note: This meeting will be video recorded for the public.]

2. ADOPTION OF AGENDA:

3. ADOPTION OF MINUTES:

a. Minutes

2 - 5

Minutes of the Design Advisory Panel meeting held in the Boardroom of the Service and Resource Centre, 411 Dunsmuir Street, Nanaimo BC, on Thursday 2020-MAY-28.

4. PRESENTATIONS:

a. Development Permit Application No. DP001184 - 558 Medea Way

6 - 22

A development permit application was submitted by Kenco Enterprises Ltd., for a 6-unit multi-family residential townhouse development, which consists of two 2-storey buildings. Proposed variances include: front yard setback, lot coverage, off-street and small car parking and landscape buffer. The subject property is legally described as Section C, Lot 2, Block V, Section 1, Nanaimo District, Plan 584.

5. ADJOURNMENT:

MINUTES
DESIGN ADVISORY PANEL MEETING
BOARDROOM, SERVICE AND RESOURCE CENTRE,
411 DUNSMUIR STREET, NANAIMO, BC
THURSDAY, 2020-MAY-28, AT 5:00 P.M.

Present: Gur Minhas, Chair
Tyler Brown, Councillor (joined electronically)
Tony James (joined electronically)
Steve Johnston (joined electronically)
Charles Kierulf (joined electronically)
Kevin Krastel (joined electronically)
Marie Leduc (joined electronically)
Kate Stefiuk (joined electronically)

Staff: J. Holm, Director, Development Approvals (joined electronically)
L. Rowett, Manager, Current Planning Section
L. Brinkman, Planner, Current Planning Section
C. Horn, Planner, Current Planning Section
J. Vanderhoef, Steno, Legislative Services
L. Nielsen, Recording Secretary

1. CALL THE DESIGN ADVISORY PANEL MEETING TO ORDER:

The Design Advisory Panel Meeting was called to order at 5:08 p.m. This meeting was conducted in accordance with Ministerial Order No. MO139.” This order allows for electronic meetings.

2. APPROVAL OF THE AGENDA:

It was moved and seconded that the Agenda be adopted. The motion carried unanimously.

3. ADOPTION OF THE MINUTES:

It was moved and seconded that the Minutes of the Regular Meeting of the Design Advisory Panel Meeting, held in the Boardroom, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC, on Thursday, 2020-MAR-12 at 5:30 p.m. be adopted as circulated. The motion carried unanimously.

4. PRESENTATIONS:

(a) Development Permit Application No. DP1183 – 2124 Northfield Road

Introduced by Lisa Brinkman, Planner, Current Planning Section.

Presentations:

1. Brian Kapuscinski, Architect of BJK Architecture Inc., presented the project, and spoke regarding site context, pedestrian links, siting lighting, architectural features, floor plans, under-the-building parking, and exterior materials.
2. Brad Forth, Landscape Architect of 4-Site Landscape Architecture and Site Planning presented the Landscape Plan and spoke regarding site features, vehicle access and movement, perimeter fencing (chain link and wood), rain gardens, and overviewed the proposed tree and plant species.
3. Scott Jensen, EIT of Herold Engineering, presented the civil site servicing plan for the project.

Panel discussions took place regarding:

- Plans to screen rooftop equipment
- Garbage enclosure locations and screening
- The possible enhancement of the main entrance/lobby of Building 3
- The removal of western red cedar and pacific dogwood from the proposed landscape plan
- The addition of wayfinding signage to improve pedestrian connectivity.
- Vehicle access and movement within the site
- Possible enhancements to the main drive aisle

It was moved and seconded that Development Permit Application No. DP1183 be accepted as presented with support for the proposed variances. The following recommendations were provided:

- Consider ways to provide further articulation to the west wall of Building 1;
- Provide more detail regarding the garbage enclosures and screening;
- Look at ways to enhance the entrance of Building 3 by way of materials, glazing, colour, and lighting;
- Consider alternate species to replace western red cedar and pacific dogwood within the landscape plan;
- Consider ways to provide wayfinding for the public walkway through the site;
- Consider a feature treatment to accent the main drive aisle;
- Review the vehicle turning radius at Building 1 to ensure it is not too tight; and,
- Ensure rooftop equipment is screened with materials that work well with the proposed buildings.

The motion carried unanimously.

(b) Development Permit Application No. DP1185 – 338 Machleary Street

Introduced by Caleb Horn, Planner, Current Planning Section.

Presentations:

1. Jeff Christianson, Project Manager of IBI Group presented the project, accompanied by David Thom, Architect and President of IBI Group. Mr. Christianson spoke regarding site context, slope, history, zoning, the proposed architectural plans, underground parking, site access and neighbourhood connectivity.
2. Catherine Offenberg, Landscape Architect and principal at IBI Group presented the landscape plan and spoke regarding site topography, perimeter wall features, the planting plan, outdoor amenity spaces (including rooftop), pedestrian connectivity, accessibility and wayfinding; and remaking the old staircase for integration into the landscape plan.

Panel discussions took place regarding:

- The need for a pick up/drop off area off Machleary Street
- The architectural dominance of the central pavilion building
- Visitor parking
- The openness of proposed pool and lack of weather protection
- The plant palette and suggestion to re-evaluate the proposed tree species to be more specific to Vancouver Island
- Garbage enclosure and rooftop equipment screening
- The possibility of adding something to reference site/neighbourhood history

It was moved and seconded that Development Permit Application No. DP1185 be accepted as presented with support for the proposed variances. The following recommendations were provided:

- Look at ways to provide a stronger mix and rhythm of materials to better define the residential wings of the building;
- Consider re-evaluating the proposed planting plan and trees to be more reflective of Vancouver Island;
- Consider incorporating elements to the site to reflect the history of the site;
- Look at ways to incorporate the existing old stairs and/or columns into the project;
- Work with Staff to establish a pick up/drop off area along Machleary Street; and,
- Provide details of garbage enclosure and materials used for rooftop screening.

The motion carried unanimously.

5. OTHER BUSINESS:

It was moved and seconded that Mr. Charles Kierulf be appointed as Chair of the Design Advisory Panel for a one year term, commencing 2020-JUN-11. The motion carried unanimously.

6. ADJOURNMENT:

It was moved and seconded at 7:10 p.m. that the meeting terminate. The motion carried unanimously.

C H A I R

CERTIFIED CORRECT:

CORPORATE OFFICER

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001184 – 558 MEDEA WAY

Applicant/Owner: KENCO ENTERPRISES (1982) LTD.

Architect: ELLINS ARCHITECT INC.

Landscape Architect: MYSTIC WOODS LANDSCAPE DESIGN

SUBJECT PROPERTY AND SITE CONTEXT

<i>Zoning</i>	R15 – Old City Medium Density Residential
<i>Location</i>	The subject property is located on the north side of Medea Way, west of Hecate Street.
<i>Total Area</i>	873m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Neighbourhood Map 3 – Development Permit Area DPA No. 8 – Old City Neighborhood
<i>Old City Neighbourhood Plan</i>	Sub Area 4 – Multi-Family Medium Density Residential
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines; and Old City Multiple Family Residential Design Guidelines

The subject property is located on Medea Way, a short dead-end street in the Nob Hill neighbourhood, connected to Hecate Street. The property also abuts a lane to the north and Asteria Place, a private road to the west. The site is largely flat but slopes slightly downhill from north to south.

Surrounding properties include a 3-unit multi-family residential development to the southeast, the Chinese Freemasons Centre on Hecate Street to the east, single residential dwellings across the lane to the north, a 15-unit townhouse development along Asteria Place to the west, and undeveloped City-owned lands surrounding Cat Stream across Medea Way to the south.

PROPOSED DEVELOPMENT

The applicant is proposing a 6-unit townhouse development comprised of two 2-storey buildings with three units in each building. Building 1 will face the parking area to the north and Building 2 will face Medea Way to the south, with a courtyard separating the two buildings. The four end units will be 2-bedroom units and the centre unit in each building will be 1-bedroom plus den.

The total gross floor area of 565m² equals a Floor Area Ratio (FAR) of 0.65, which is less than the maximum permitted FAR of 0.85 in the R15 zone.

Site Design

Vehicle access for the proposed development will be from the lane in the rear. Covered carports are proposed for 6 of the 8 parking stalls. The three units in Building 2 will have front doors with access directly to Medea Way. The three units in Building 1 will have front doors facing the parking area and will be connected by a 1.5m-wide concrete pedestrian walkway to Medea Way along the east side of the property. Each unit is designed to include an outdoor patio facing the

central courtyard to promote social interaction between residents. Utility rooms, bicycle parking, storage, and garbage/recycling rooms will be provided along the east side of each building, facing the pedestrian walkway. Bollard lighting is proposed along the pedestrian walkway.

Staff Comments:

- Consider opportunities for further programming within the central courtyard, perhaps with shared seating areas or a small play structure.
- Review location of access doors to storage rooms to avoid conflicts with the pedestrian walkway.

Building Design

The proposed building design reflects the City of Nanaimo's Old City Multiple Family Residential Design Guidelines (the "Old City Design Guidelines"). Each unit will have kitchen and living space on the ground floor and bedrooms on the second floor. The exterior elevations of the two buildings reflect their residential nature, with gable roofs, projecting second-floor windows, and covered front entryways.

An alternating material composition and colour scheme will create unique exteriors for each unit with a mix of vinyl shingles and siding.

Staff Comments:

- Review the use of vinyl siding which is discouraged by the Old City Design Guidelines.
- While the individual units are differentiated, the elevations may benefit from a more consistent rhythm in the use of materials.
- Focus stronger materials (e.g. shingles or stone accents) on the ground floors, as recommended by the Old City Design Guidelines.
- Consider opportunities for further detailing on gable ends or window trims, as recommended by the Old City Design Guidelines.

Landscape Design

A mix of vine maple trees and smaller shrubs are proposed along the Medea Way frontage. Rows of Oregon grape, holly and snowberry will be provided along the east and west property lines. Small individualized front and rear gardens are proposed for each unit. The central courtyard will be primarily lawn with landscape buffers between common lawn and private patios. A dogwood tree is proposed on each end of the courtyard. The carports will feature green roofs with a mix of small groundcover species.

Staff Comments:

- Ensure that the Minimum Landscape Treatment Level is met along the Medea Way frontage.
- Clarify fence details along the west property line.

PROPOSED VARIANCES

Front Yard Setback

A variance to reduce the front yard setback from 6m to 1.09m is requested, a proposed variance of 4.91m. The variance is proposed in order to site the buildings closer to the street, similar to the adjacent building, and to maximize the area of the courtyard between the two proposed buildings.

Lot Coverage

The maximum lot coverage in the R15 zone is 40%, and the applicant is proposing a lot coverage of 43.4%, a proposed variance of 3.4%. The additional lot coverage is for the purpose of providing covered carports which will feature green roofs and will increase the permeable surfaces on-site.

Minimum Landscape Treatment Level

The required front yard landscape buffer is 1.8m. In order to site Building 2, a reduction from 1.8m to 1.09m is requested, a proposed variance of 0.71m.

Off-Street Parking

A variance to reduce the required parking from 9 parking stalls to 8 parking stalls is requested, a proposed variance of 1 parking stall.

The applicant is also requesting to increase the maximum percentage of small car parking stalls from 40% to 50% to accommodate the parking stalls on-site, a proposed 10% variance.

January 28, 2020

Design Rationale for 558 Medea Way, Nanaimo, BC.

Project Overview

The subject property is located within the DPA-8 area, Old City Neighbourhood and is zoned R15 Medium Density Residential. This zoning allows for redevelopment consistent with a heritage style. The DPA area encourages new multi-family development that incorporates some of the design features of the character homes in the downtown area and reinforces a residential feel. The designation also refers to Nanaimo's Old City Multiple Family Residential Design Guidelines which cites traditional building forms and detailing such as inclusion of pitched roofs and porches. A pedestrian focus with links to the street and an orientation to take advantage of any water views.

The property is located on the north side of Medea Way on a partial corner as the street curves along the western side of the site. There is an existing single-family residence on the property which will be redeveloped into 2, 3-unit townhouses. The neighbour to the east is a 2 storey single family residence in a non-heritage style. Across the road and on the corner of Hecate is a newer 3-storey multi-family building with some heritage elements.

Project Siting & Organization

The site is 873.4 sq. metres or 9,401.5 sq. feet, rectangular in shape and relatively flat. There is lane access at the rear of the property..

The re-development is comprised of 2, 2 storey, 3-unit Townhouses. These have a lot coverage of 34.4%, lower than the maximum of 40%. There are 2 carports proposed at the lane side of the development. These will feature green roofs. Including their square footage, the coverage is over by 3.4% or 30 square metres. (Variance #1)

The gross floor area is 6,080 sq. ft or 564.8 square metres and well below the allowed FAR of .85, coming in at 64.

Vehicular access is from the lane into a small parking lot for 8 spaces where 6 are covered. (See Variances #2 & 3) A pedestrian sidewalk separates the parking area from the front doors of Building 1 which faces the lane. Another sidewalk connects the parking area to the street where the front doors of Building 2 face Medea Way.

The garbage enclosure is built in to the utility structure at the east side of Building 1. Private pick up will be provided and the operators will wheel the bins into the parking area.

The 3 unit buildings are sited so that the rear patio's face each other and open onto a common landscaped courtyard. The front yard setback is 6 metres. Building 2 is set close to Medea Way at 1.14 m back, in keeping with the streetscape. (Variance #4) This setback is also short of the 1.8 metre landscape buffer. (Variance #5)

The rear yard setback is 7.5 metres. The green roof carports are set against the lane widening buffer so their support posts encroach by 5.66 metres. (Variance #6)

Site lighting will be addressed with low oriented bollards along the eastern pathway and soffit lighting in the carports. Each unit will have a light at the front and rear entry.

Building Design

The buildings are 2-storey and designed with sloped roof lines and feature gables on both the front and rear elevations. The cladding is vinyl in a variety of profiles including horizontal, board and batten, panel and batten and shake. This creates an appealing small scaled heritage look.

The main floor of each suite has entry, storage, kitchen, powder and living dining room as well as stairs to the upper floor. The second floor outside units have a master and second bedroom, a bathroom and a laundry room / computer area. The centre units are similar but with a den instead of a 2nd bedroom. Each unit totals about 970 square feet of living space.

Along the eastern side of both buildings is a row of utility rooms including general and bike storage for tenants as well as the mechanical/electrical utility room and the garbage/ recycling area.

Rationale for Variances

#1 Coverage: The buildings alone are under the maximum coverage. Only when size of the green roof carports is added, does the coverage figure go slightly over; 3.4%. The permeability of the roof material minimizes otherwise hard surface paving exposed. Without the carports there is more pressure on ground water drainage.

#2 Number of Parking Stalls: 9 stalls are required and only 8 are provided. The property falls within Area 2 but is adjacent Area 3 where the requirement would be for 7 cars. The development is targeting affordable housing and is situated within the 600m buffer of the downtown mobility hub. The property abuts the 200 m buffer. This hub provides easy access to public transit and is within bicycle and walking distance to shops and services. We provide more than the required bike storage. Additionally we are providing green roof carports for 6 of the 8 vehicles, an amenity that improves the neighbourhood view from the lane.

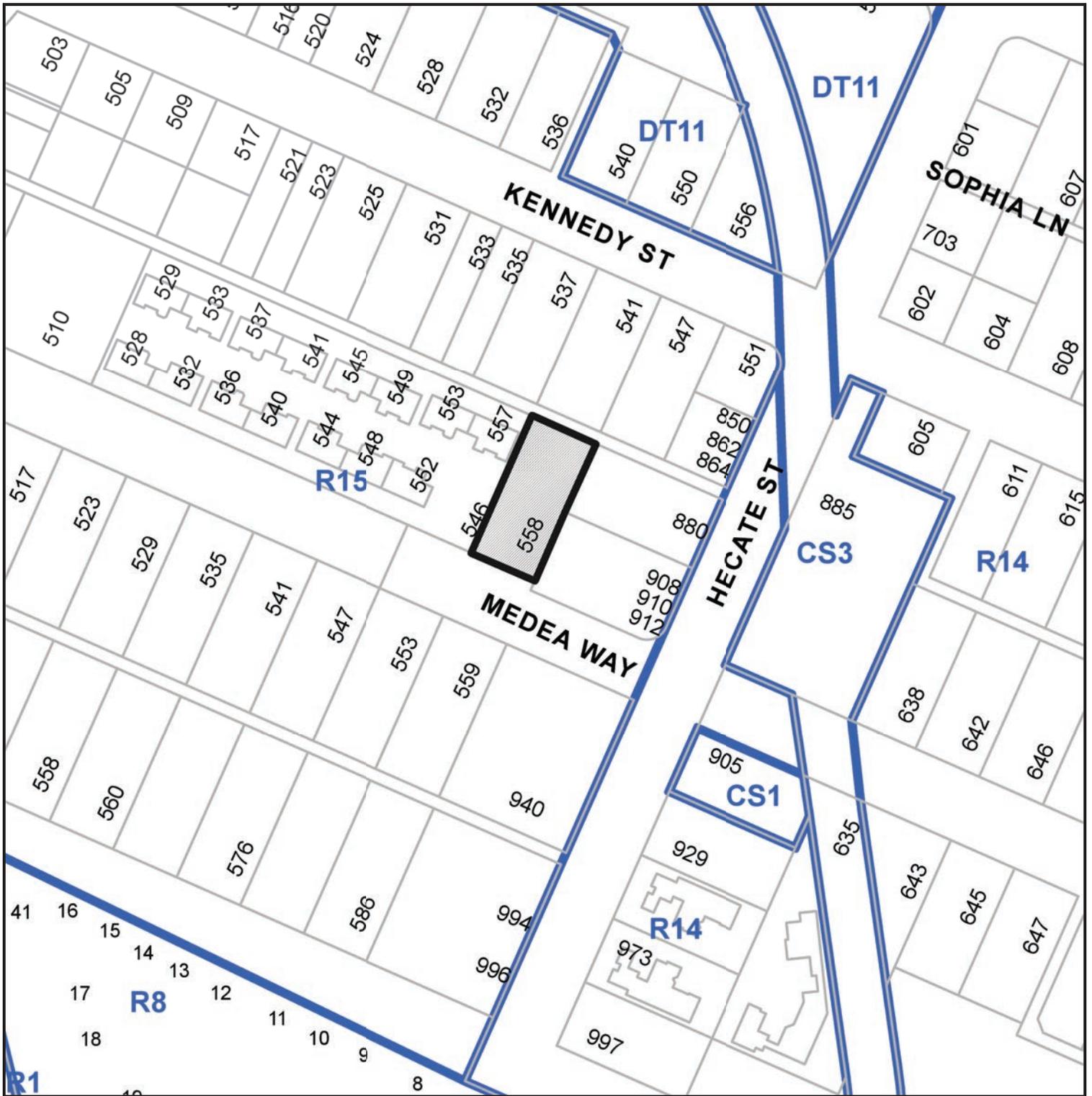
#3 Mix of Stall Size: The parking bylaw allows for a mix of 40% small car and 60% large car. The proposed mix here for a 50% split. We believe that the type and location of the housing will have more residents following the trend to smaller vehicles.

#4 Front Yard Setback: The zoning asks for 6metres but in this particular area the existing dwellings are very close to the street. As shown on the site plan, the existing house has a garden largely on the boulevarde and the steps from the house also fall into the boulevarde. Our proposed siting is 3'-9" (1.14m) back from the property line.

#5 Landscape Buffer: As noted above this particular site has a very large boulevarde which provides greenspace buffer from the street. We are trying to maximize the common amenity space for the residents by keeping the two buildings set apart.

#6 Rear Yard Setback: Posts for the two carports are the only encroachment on the rear yard. We see the green roof aspect as being a neighbourhood amenity versus open parking and the permeability of the roof material minimizes otherwise hard surface paving exposed.

LOCATION PLAN

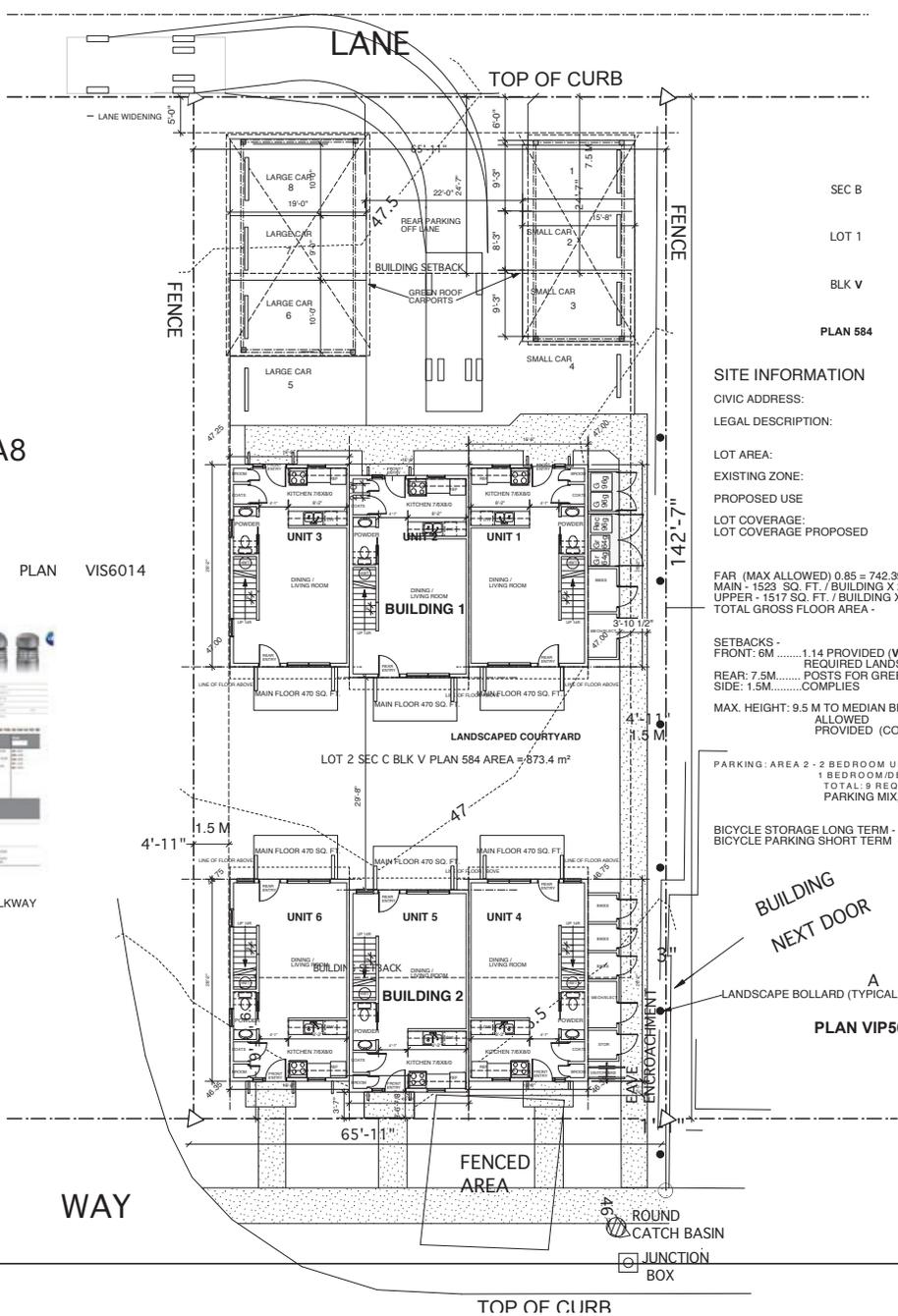


DEVELOPMENT PERMIT NO. DP001184

CIVIC: 558 MEDEA WAY

LEGAL: SECTION C, LOT 2, BLOCK V, SECTION 1, NANAIMO DISTRICT, PLAN 584





DPA8

STRATA PLAN VIS6014

GARDCO by **GRANITY**

Balance

NO.	DESCRIPTION	AMOUNT	TOTAL
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36" HIGH BOLLARDS ALONG WALKWAY

MEDEA WAY

SEC B
LOT 1
BLK V
PLAN 584

SITE INFORMATION

CIVIC ADDRESS: 558 MEDEA, NANAIMO
 LEGAL DESCRIPTION: SECTION C, LOT 2, BLOCK V, SECTION 1, NANAIMO DIST. PLAN 584
 LOT AREA: 873.4 SQ. M. (9401.5 SQ. FT)
 EXISTING ZONE: R15 OLD CITY MEDIUM DENSITY RESIDENTIAL
 PROPOSED USE: 2 - 3 UNIT TOWNHOUSES
 LOT COVERAGE: 40% ALLOWED = 349.36 SQ. M (3,760.6 SQ. FT.)
 LOT COVERAGE PROPOSED: 34.4% W/O CARPORTS = 300.86 SQ. M (3238.68 SQ. FT.)
 43.44% INCL. GREEN ROOF CARPORTS = 379 SQ. M (4079.67 SQ. FT.)
VARIANCE REQ. FOR COVERAGE - 30 SQ. M. OVER INCL CARPORTS
 FAR (MAX ALLOWED) 0.85 = 742.39 SQ. M.
 MAIN - 1523 SQ. FT. / BUILDING X 2 = 3,046 SQ. FT.
 UPPER - 1517 SQ. FT. / BUILDING X 2 = 3,034 SQ. FT.
 TOTAL GROSS FLOOR AREA = 6,080 SQ. FT. (564.8 SQ. M)
 FAR PROVIDED 0.84 COMPLIES
 SETBACKS -
 FRONT: 6M 1.14 PROVIDED (**VARIANCE** OF 4.86 M REQUIRED)
 REAR: 7.5M POSTS FOR GREEN ROOF CARPORTS ENCROACH (5.66 M **VARIANCE** REQ'D)
 SIDE: 1.5M COMPLIES
 MAX. HEIGHT: 9.5 M TO MEDIAN BETWEEN RIDGE & EAVES AND AVERAGE NATURAL GRADE @ CORNERS.
 ALLOWED
 PROVIDED (COMPLIES, REFER TO ELEVATIONS)
 PARKING: AREA 2 - 2 BEDROOM UNITS = 4 X 1.62 = 6.48
 1 BEDROOM/DEN = 2 X 1.26 = 2.52
 TOTAL: 8 REQ. PROVIDED: 8 (1 CAR **VARIANCE** REQUIRED)
 PARKING MIX, 40% SMALL CAR. 50% PROVIDED (**VARIANCE** REQUIRED)
 BICYCLE STORAGE LONG TERM - .5UNIT = 3 REQUIRED - 6 PROVIDED (EA. BLDG HAS BIKE RM)
 BICYCLE PARKING SHORT TERM -.1UNIT = 1 REQUIRED - 2 PROVIDED (SPACE ADJACENT MECH RMS)

PLAN VIP56696

SITE PLAN
SCALE 1/8"=1'-0"

NO:	DATE:
REVISION:	
FEB 6 2019,	
JULY 29, 2019	REVISE SITE/PLAN/ ELEV.
AUG 6, 2019	REVISE SITE
AUGUST 2019	REVISE CLADDING / COLOUR
SEPT 6, 2019	REVISE SITE/COVERED PARKING
NOV 12, 2019	REVERSE PARKING
DEC02, 2019	CARPORTS/ SHFT BLDG.1 6"
JAN 7, 2020	FOR MEETING W/ CITY
JAN 28, 2020	PRELIMINARY DP APPLICATION

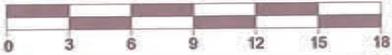
RESIDENTIAL DEVELOPMENT
MEDEA WAY
NANAIMO, B. C.

RECEIVED
DP 1184
 2020-APR-22
 Curtin Planning

DRAWING:	
SITE PLAN	
DRAWN BY:	
DATE: NOVEMBER 2018	
SCALE: NOTED	
PROJECT NO.	DRAWING NO.
2018-06	A1.0

SITE PLAN OF:

SECTION C, LOT 2, BLOCK V, SECTION 1, NANAIMO DISTRICT, PLAN 584.



ALL DISTANCES AND ELEVATIONS ARE IN METRES AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.

THE INTENDED PLOT SIZE OF THIS PLAN IS 356 mm IN WIDTH BY 216 mm IN HEIGHT (LEGAL SIZE) WHEN PLOTTED AT A SCALE OF 1:300.

LOT DIMENSIONS ARE DERIVED FROM FIELD SURVEY.

CIVIC ADDRESS: 558 MEDEA WAY, NANAIMO.

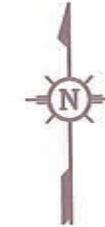
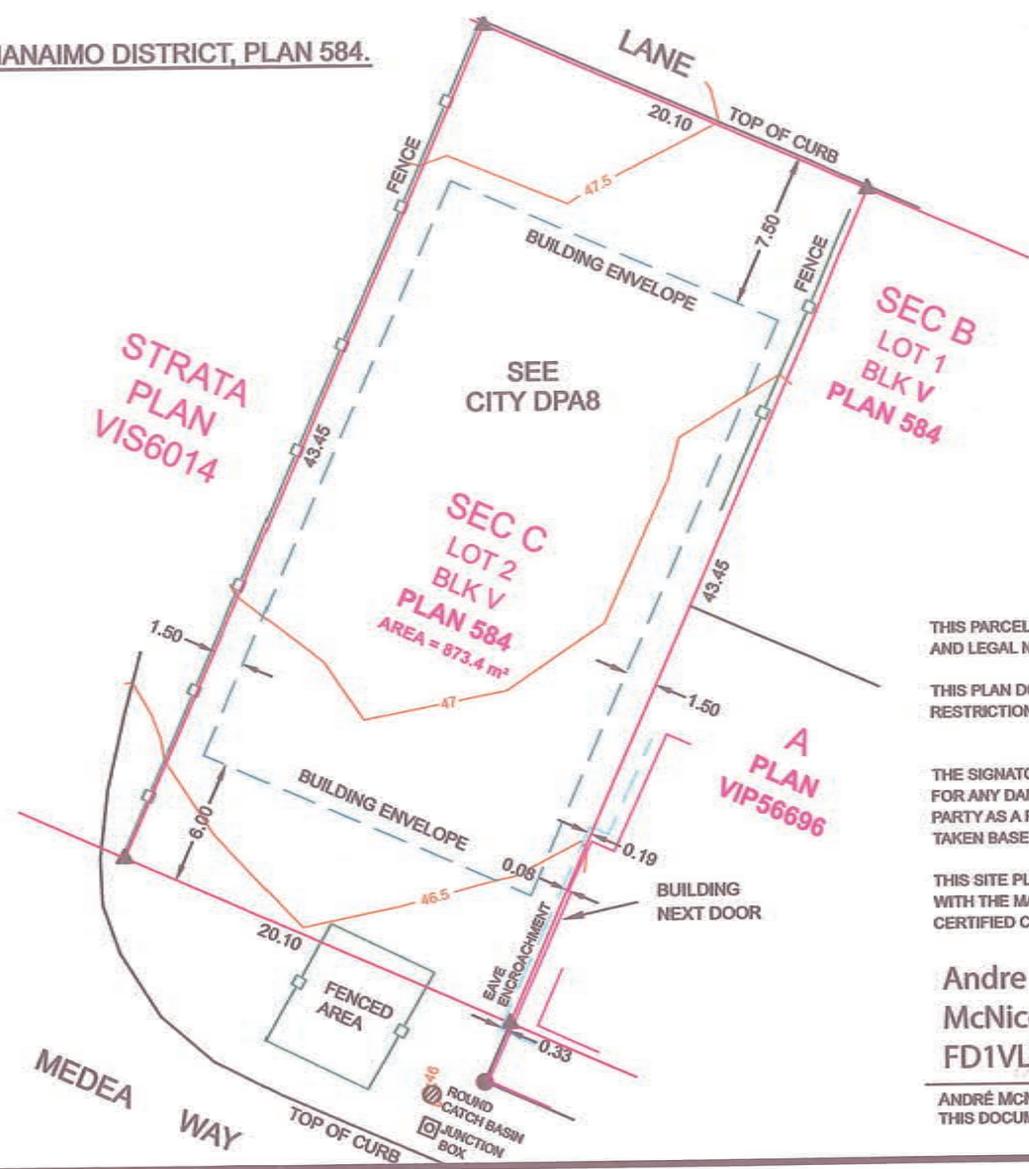
PID: 008-812-691 ZONING: R15.

LEGEND:

- DENOTES LEGAL POST FOUND.
- ▲ DENOTES SPIKE SET.

ELEVATION DATUM IS DERIVED FROM OBSERVATION TO GEODETIC MONUMENT 77H5092. MONUMENT ELEVATION = 46.182.

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S). THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S). THIS PLAN IS NOT TO BE USED TO RE-ESTABLISH BOUNDARY LINES.



THIS PARCEL MAY BE SUBJECT TO REGISTERED CHARGES, INTERESTS AND LEGAL NOTATIONS AS SHOWN ON TITLE NO: FA72753.

THIS PLAN DOES NOT PURPORT TO VERIFY COMPLIANCE WITH THE RESTRICTIONS THEREIN.

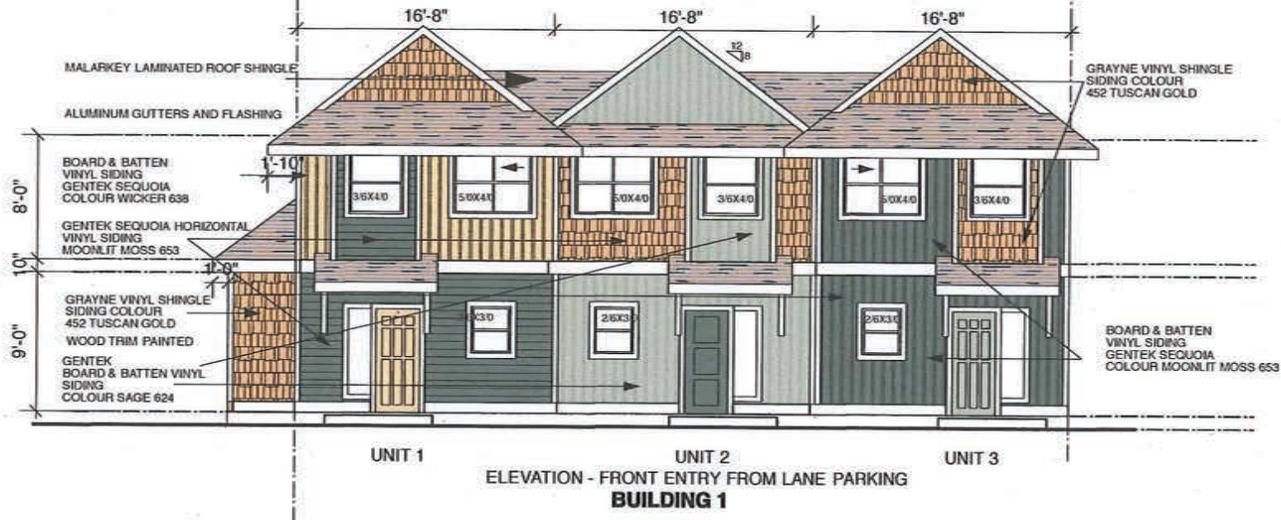
THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

THIS SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE AND IS CERTIFIED CORRECT THIS DATE OF : JAN 30, 2018.

Harbour City Land Surveying Ltd.
 1825 LATIMER ROAD © 2018
 NANAIMO BC V9S 5H2
 PHONE: 250-758-4180
 DRAWING: 17091-SITE PLAN.DWG
 LAYOUT: 1

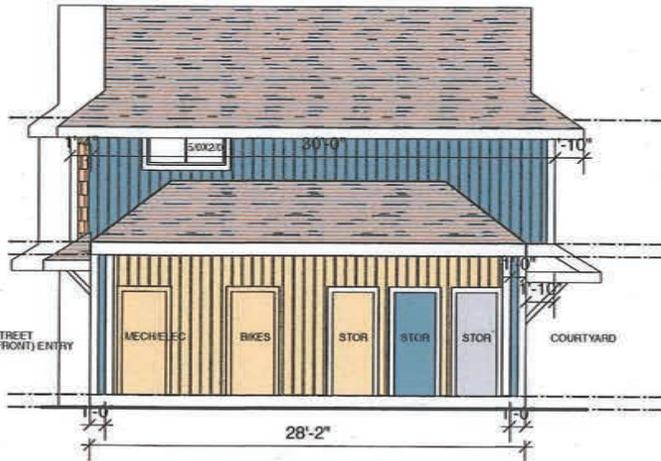
Andre McNicoll
 FD1VLK
Digitally signed by Andre McNicoll FD1VLK DN: cn=CA, ou=Andre McNicoll FD1VLK, o=BC Land Surveyor, ou=Vitality ID at www.judicest.com/USLP, c=nl, email=Andre.McNicoll@FD1VLK.com Date: 2018.01.30 16:11:22 -0500
 ANDRÉ MCNICOLL B.C.L.S.
 THIS DOCUMENT IS INVALID UNLESS ELECTRONICALLY SIGNED.

AVERAGE NATURAL GRADE = 47.06
 ALLOWED HEIGHT = 9.5 M = MAXIMUM HEIGHT = 56.56M
 MID POINT RIDGE AND EAVES = 53.62M (COMPLIES)

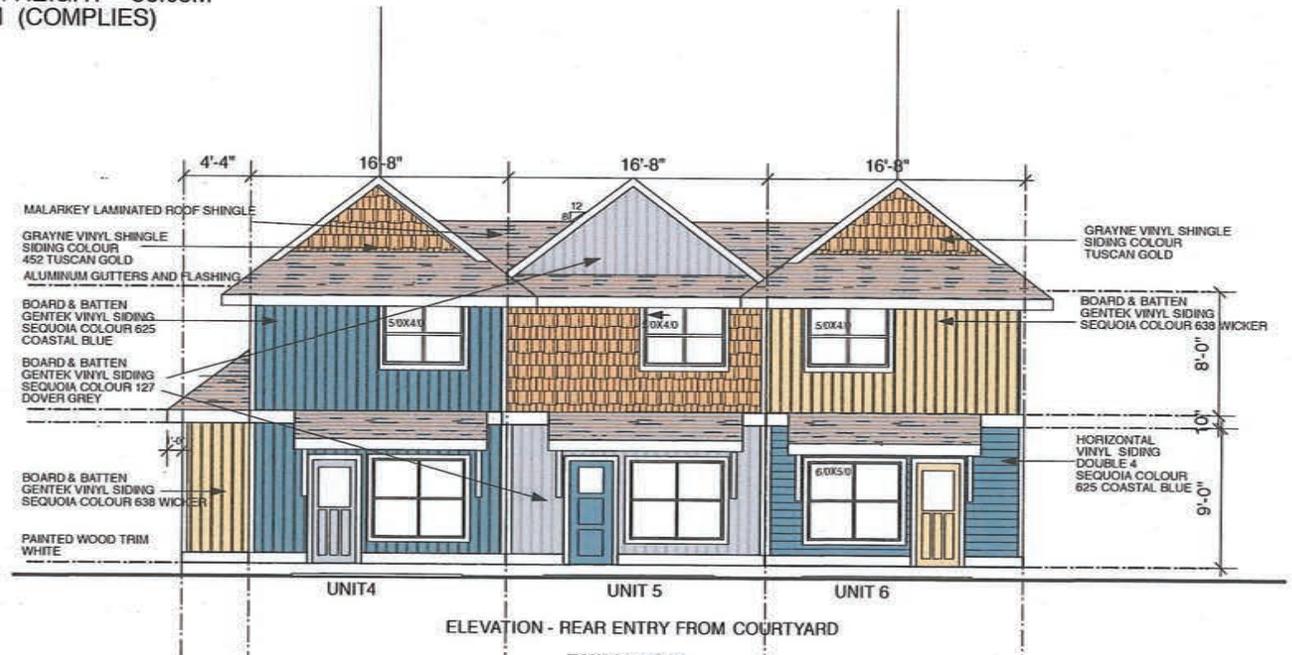


MEDEA WAY BUILDING 1 - UNITS 1, 2 & 3
COLOUR SCHEME GREEN (SEPT 19, 2019)

AVERAGE NATURAL GRADE = 46.55
 ALLOWED HEIGHT = 9.5 M = MAXIMUM HEIGHT = 56.05M
 MID POINT RIDGE AND EAVE = 53.37M (COMPLIES)



ELEVATION - BUILDING 2 - RIGHT SIDE

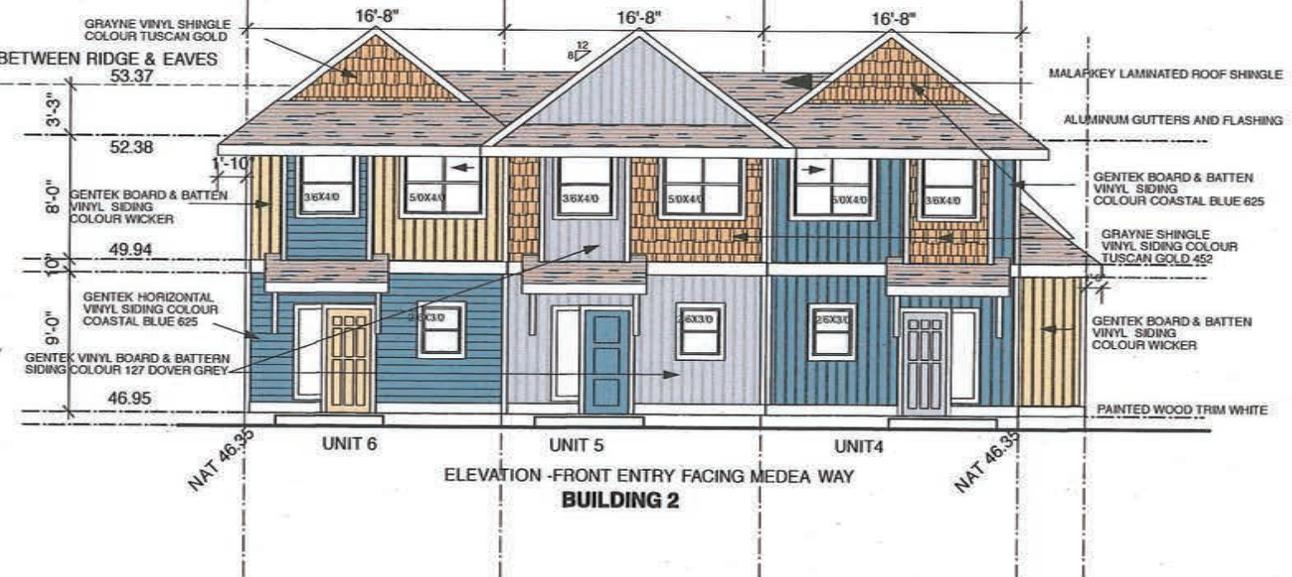


ELEVATION - REAR ENTRY FROM COURTYARD

BUILDING 2



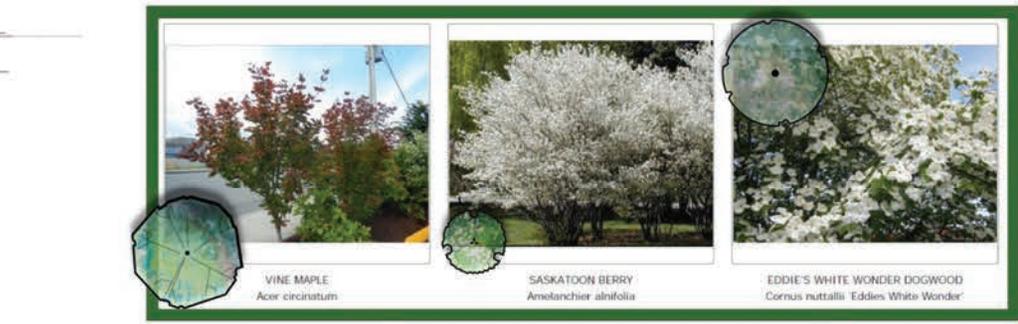
ELEVATION - BUILDING 2 - LEFT SIDE



ELEVATION - FRONT ENTRY FACING MEDEA WAY

BUILDING 2

MEDEA WAY BUILDING 2 - UNITS 4, 5 & 6
COLOUR SCHEME BLUE / GREY (SEPT 19, 2019)



BC LANDSCAPE STANDARDS
 All construction to meet the requirements as set out in the BC Landscape Standards, 2002 edition, prepared by the BC Society of Landscape Architects and the BC Landscape and Nursery Association jointly. Copies of the BC Landscape Standards are available through the BC LNA office at 1-604-674-7772. Contractor to consult with designer regarding any discrepancies.
 Contractor is responsible for obtaining written confirmation of utility locations prior to commencing digging.
 Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.
 Refer to landscape specifications supplied with this plan. If you did not receive the specifications, please contact the designer.

TOP SOIL REQUIREMENTS:
 Minimum depth for shrub beds: 450mm (18")
 Minimum depth for groundcover: 100mm (4")
 Minimum depth for lawn areas: 100mm (4")
 Minimum depth for mulch: 75mm (3")
 Trees as per detail on these drawings.

LANDSCAPE AREA	804 sqm	1/63 sqft
TREE/SHRUB AREA	193 sqm	1/00 sqft
GREENROOF AREA	183 sqm	1/77 sqft
LAWN AREA	500 sqm	1/36 sqft
ORNAMENTAL ROCK		
TOTAL LANDSCAPE	443 sqm	4,764 sqft

PROJECT: RESIDENTIAL DEVELOPMENT
 555 MEDEA STREET
 NANAIMO, BC

CLIENT: Kenco Enterprises
 Alvin Ken Riddell
 kencoenterprises.com

ARCHITECT: Elve Architect
 Jerry Elve
 250-247-4926
 elvearchitect@kenco.com

LANDSCAPE DESIGNER: MYSTIC WOODS
 LANDSCAPE DESIGN
 4737 Gordon Rd
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DRAWN BY: Corinne Matheson CLD, HT
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SCALE: 1:100 SCALE IN METERS

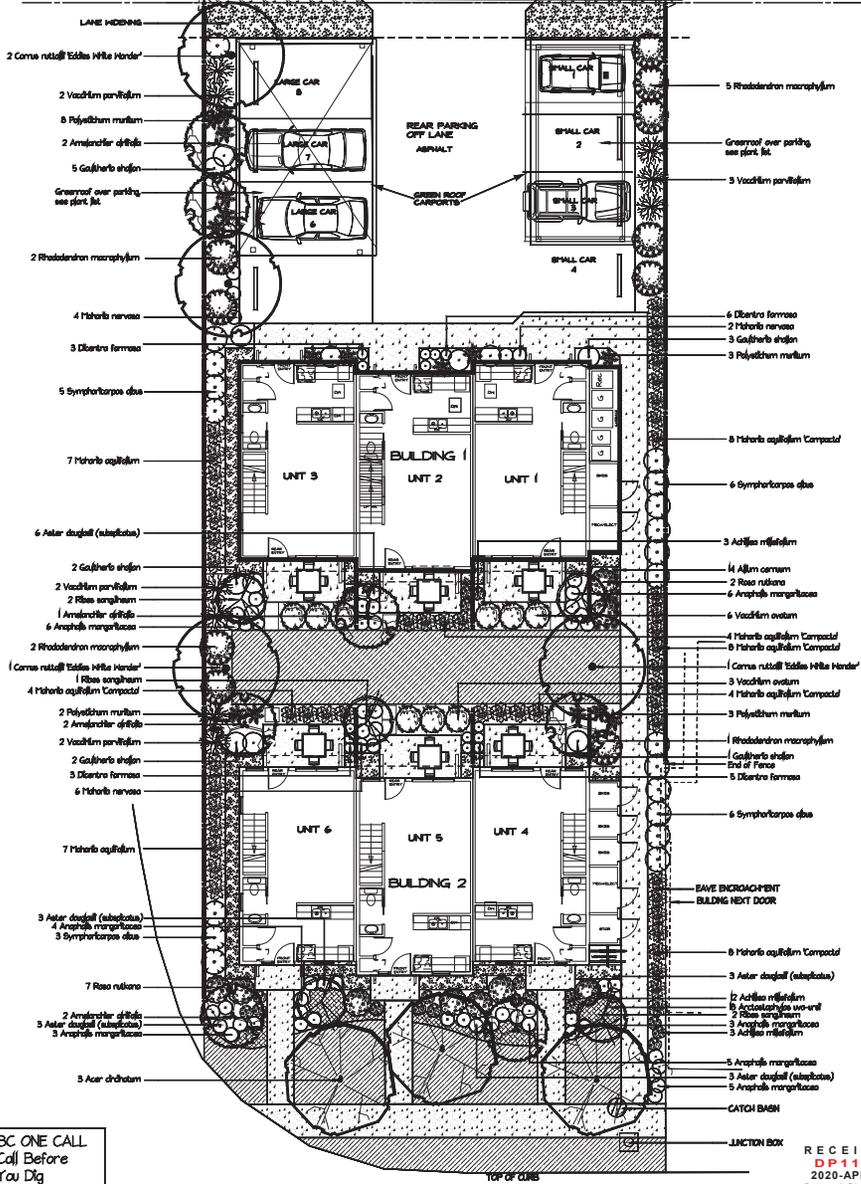
DATE: November 8, 2019
 Issued for: November 12, 2019 For review
 Issued for: Nov 20, 2019 For Development Permit
 Issued for: March 2, 2020 For Development Permit

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DP 1184
2020-APR-22
 COUNTRY PLANNING

DRAWING: LANDSCAPE MASTER PLAN
DRAWING # U of 5

LANE

TOP OF CURB



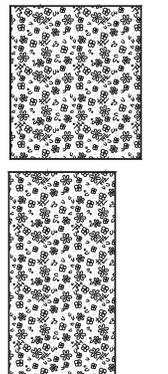
MEDEA WAY

Qty	Botanical Name	Common Name	Size/Condition
3	Acer drabastrum	WE MAPLE	26 FT DBD or pot
6	Amelanchier alnifolia	SASKATOON BERRY	# 7 pot
4	Cornus rotundifolia	ROUNDER WHITE HENDER DOGWOOD	4 cm db/ 8' or pot
Shrubs			
15	Galium aparine	SALAL	# 1 pot
15	Hibiscus aquilifolius	OREGON GRAPE HOLLY	# 2 pot
15	Hibiscus aquilifolius	COMPACT OREGON GRAPE HOLLY	# 2 pot
10	Rhododendron macrophyllum	PACIFIC RHODODENDRON	# 2 pot
5	Ribes sanguinum	RED FLOWERING CURRANT	# 5 pot
4	Rosa nutkana	NOTICIA ROSE	# 2 pot
20	Symphoricarpos alba	NATIVE SMOKEBERRY	# 1 pot
1	Vaccinium parvifolium	EVERGREEN HUCKLEBERRY BUSH	# 2 pot
1	Vaccinium parvifolium	RED HUCKLEBERRY BUSH	# 1 pot
Flowering and Annuals			
15	Achillea millefolium	COFFIN YARROW	SP4 - 10m pot
14	Allium caernum	MILD ONIONS	SP4 - 10m pot
32	Anaphalis margaritacea	PEARLY EVERLASTING	SP4 - 10m pot
15	Aster douglasii (subsp. alba)	DOUGLAS NATIVE ASTER	SP4 - 10m pot
17	Diandra ferriana	NATIVE BLEEDING HEART	SP4 - 10m pot
15	Polystichum maritimum	SHARD FERN	# 1 pot
Groundcovers			
15	Arctostaphylos uva-ursi	KINKYNOX	# 1 pot
12	Hibiscus parviflorus	LOW OREGON GRAPE	# 1 pot
General Plants			
15	Allium caernum	MILD ONIONS	SP4 - 10m pot
32	Anaphalis margaritacea	PEARLY EVERLASTING	SP4 - 10m pot
15	Arctostaphylos uva-ursi	KINKYNOX	SP4 - 10m pot
15	Aster douglasii (subsp. alba)	DOUGLAS NATIVE ASTER	SP4 - 10m pot
15	Sedum spectabile	BROADLEAVED STONECROP	SP4 - 10m pot

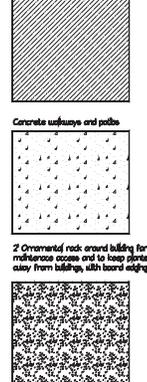
Water requirements are minimal to none, once plants have become established. Water will be required for the first two years during periods of drought, until the plants are fully rooted out.

DEER PROTECTION
Most of the plants are Deer resistant, young plants are susceptible to browsing and must be protected for the first two years until plants become established.
Any plants that show signs of browsing shall be protected.
Protect using either Bobac, Flintlock, or other proven effective remedy.

CARPORT GREENROOF PLANTING
Mix of Sedum spectabile, Arctostaphylos, Allium caernum, Anaphalis and Aster douglasii



LANE'S FENCE (see maintenance blend)



GRASS AREAS

Lawn to be seeded with a Low Water / Maintenance Fescue Blend
Low Maintenance Fescue seed blends are a blend of carefully selected Fescue grasses, grasses in full sun, part shade and even deep shade.
Fescue blends are highly drought tolerant, once established, and so irrigation (if any) will be adjusted to once every two weeks during the summer months, in the second year.
Once well established, no additional water should be required, except in severe drought situations.
Fescue blends require less fertilizing and can be left un-mown for a free-living carpet effect.
Fertilizing could be done once every two months if required to stay up, otherwise left natural.
Reseeding the amount of reseeding and watering required by this seed blend is a huge advancement forward towards preserving our environment and natural resources.

ACCEPTABLE SEED BLENDS

TerraNova Horticulture Seed Blend of 4 Fescue Grasses, Astoria, BC, 1-800-661-6691, info@terra-nova.com
usastore@terra-nova.com

Pranier Low Maintenance Mix
Pranier Pacific Seeds Ltd., Surrey, BC, 1-800-453-8553 or 604-588-8223
info@pranierpacificseeds.com usastore@pranierpacificseeds.com

RTF Water Saver Fescue Blend
RTF Water Saver
usastore@rtfwater.com
1-800-556-2272 ext.3

BC LANDSCAPE STANDARDS

All construction to meet the requirements as set out in the BC Landscape Standards, 2002 edition, prepared by the BC Society of Landscape Architects and the BC Landscape and Nursery Association, 3814, Coles of the BC Landscape Standards are available through the BC LNA office at 1-800-574-1772
Contractor to consult with designer regarding any discrepancies.
Contractor to consult with designer if plant substitutions are required due to availability.

Contractor is responsible for obtaining written confirmation of utility locations prior to commencing dig.
Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of final scope.

Refer to landscape specifications supplied with this plan.
If you do not receive the specifications, please contact the designer.

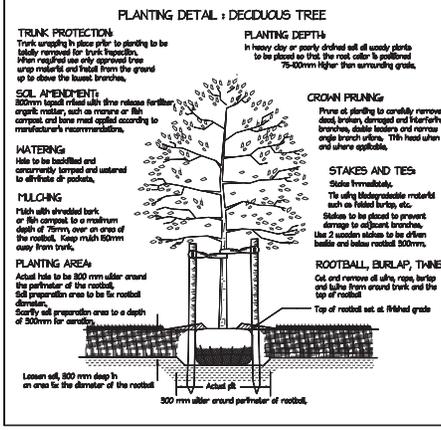
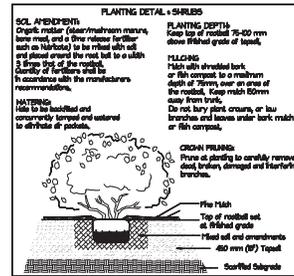
TOP SOIL REQUIREMENTS

Minimum depth for shrub beds: 400mm (16")
Minimum depth for groundcovers: 500mm (20")
Minimum depth for lawn areas: 100mm (4")
Minimum depth for paths: 60-75mm (2.5-3")

Trees as per detail on these drawings.

LANDSCAPE AREA

TREE/SHRUB AREA	154 sqm	165 sqft
GREENROOF AREA	49 sqm	104 sqft
LANE AREA	181 sqm	197 sqft
ORNAMENTAL ROCK	502 sqm	538 sqft
TOTAL LANDSCAPE	446 sqm	478 sqft



BC ONE CALL
Call Before You Dig
1-800-474-6886
Cellular #6886

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PROJECT: RESIDENTIAL DEVELOPMENT
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SCALE: 1:100 SCALE IN METERS

DATE: November 6, 2019

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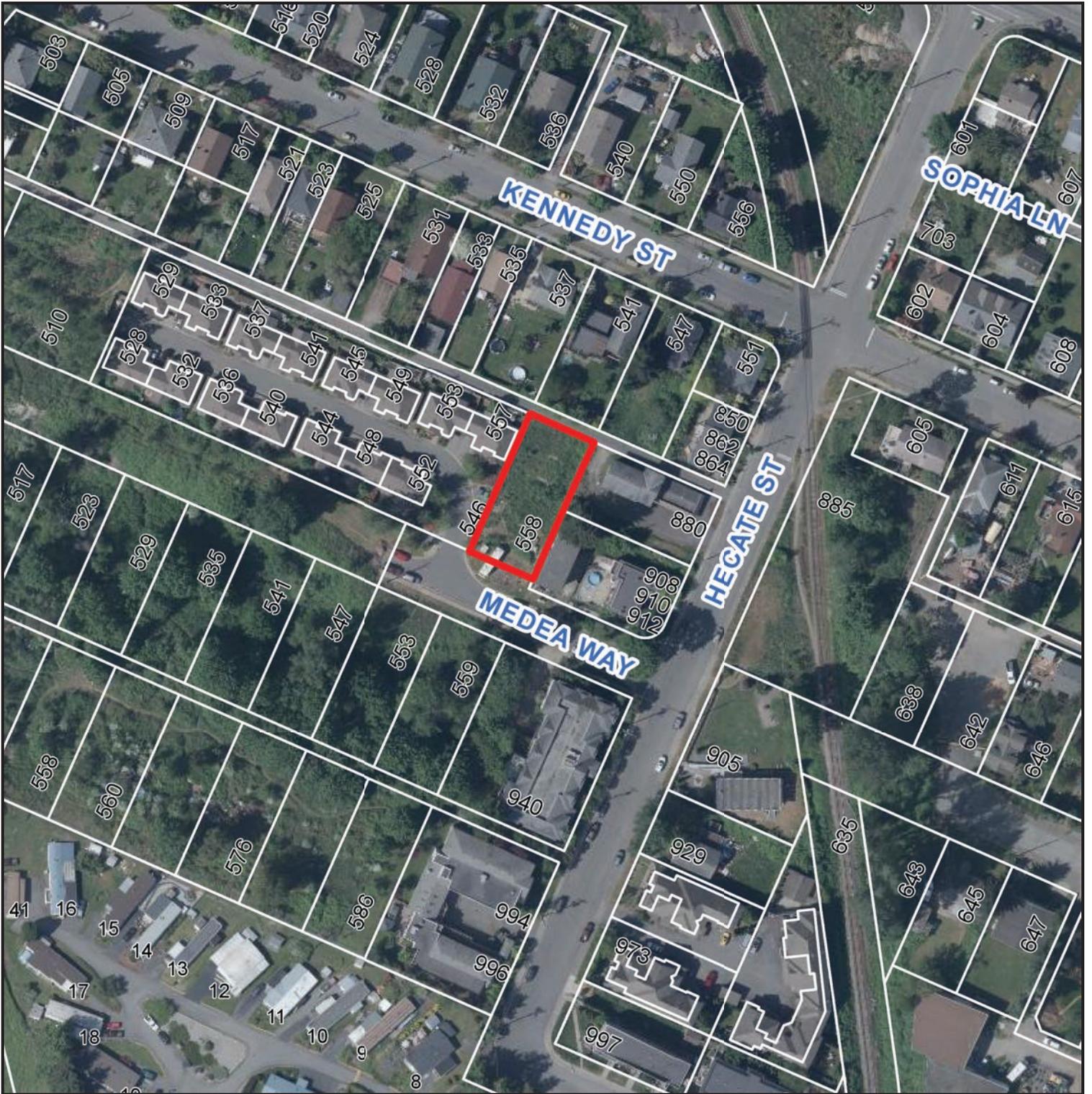
ISSUED FOR: Nov 20, 2019 For Development Permit

ISSUED FOR: March 2, 2020 For Development Permit

DRAWING: LANDSCAPE PLANTING PLAN

DRAWING #: L2 of 3

AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001184



558 MEDEA WAY