



AGENDA
DESIGN ADVISORY PANEL MEETING

June 11, 2020, 5:00 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING TO ORDER:

[Note: This meeting will be video recorded for the public.]

2. ADOPTION OF AGENDA:

3. ADOPTION OF MINUTES:

a. Minutes

2 - 5

Minutes of the Design Advisory Panel meeting held in the Boardroom of the Service and Resource Centre, 411 Dunsmuir Street, Nanaimo BC, on Thursday 2020-MAY-28.

4. PRESENTATIONS:

a. Development Permit Application No. DP001184 - 558 Medea Way

6 - 22

A development permit application was submitted by Kenco Enterprises Ltd., for a 6-unit multi-family residential townhouse development, which consists of two 2-storey buildings. Proposed variances include: front yard setback, lot coverage, off-street and small car parking and landscape buffer. The subject property is legally described as Section C, Lot 2, Block V, Section 1, Nanaimo District, Plan 584.

5. ADJOURNMENT:

MINUTES
DESIGN ADVISORY PANEL MEETING
BOARDROOM, SERVICE AND RESOURCE CENTRE,
411 DUNSMUIR STREET, NANAIMO, BC
THURSDAY, 2020-MAY-28, AT 5:00 P.M.

Present: Gur Minhas, Chair
Tyler Brown, Councillor (joined electronically)
Tony James (joined electronically)
Steve Johnston (joined electronically)
Charles Kierulf (joined electronically)
Kevin Krastel (joined electronically)
Marie Leduc (joined electronically)
Kate Stefiuk (joined electronically)

Staff: J. Holm, Director, Development Approvals (joined electronically)
L. Rowett, Manager, Current Planning Section
L. Brinkman, Planner, Current Planning Section
C. Horn, Planner, Current Planning Section
J. Vanderhoef, Steno, Legislative Services
L. Nielsen, Recording Secretary

1. CALL THE DESIGN ADVISORY PANEL MEETING TO ORDER:

The Design Advisory Panel Meeting was called to order at 5:08 p.m. This meeting was conducted in accordance with Ministerial Order No. MO139." This order allows for electronic meetings.

2. APPROVAL OF THE AGENDA:

It was moved and seconded that the Agenda be adopted. The motion carried unanimously.

3. ADOPTION OF THE MINUTES:

It was moved and seconded that the Minutes of the Regular Meeting of the Design Advisory Panel Meeting, held in the Boardroom, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC, on Thursday, 2020-MAR-12 at 5:30 p.m. be adopted as circulated. The motion carried unanimously.

4. PRESENTATIONS:

(a) Development Permit Application No. DP1183 – 2124 Northfield Road

Introduced by Lisa Brinkman, Planner, Current Planning Section.

Presentations:

1. Brian Kapuscinski, Architect of BJK Architecture Inc., presented the project, and spoke regarding site context, pedestrian links, siting lighting, architectural features, floor plans, under-the-building parking, and exterior materials.
2. Brad Forth, Landscape Architect of 4-Site Landscape Architecture and Site Planning presented the Landscape Plan and spoke regarding site features, vehicle access and movement, perimeter fencing (chain link and wood), rain gardens, and overviewed the proposed tree and plant species.
3. Scott Jensen, EIT of Herold Engineering, presented the civil site servicing plan for the project.

Panel discussions took place regarding:

- Plans to screen rooftop equipment
- Garbage enclosure locations and screening
- The possible enhancement of the main entrance/lobby of Building 3
- The removal of western red cedar and pacific dogwood from the proposed landscape plan
- The addition of wayfinding signage to improve pedestrian connectivity.
- Vehicle access and movement within the site
- Possible enhancements to the main drive aisle

It was moved and seconded that Development Permit Application No. DP1183 be accepted as presented with support for the proposed variances. The following recommendations were provided:

- Consider ways to provide further articulation to the west wall of Building 1;
- Provide more detail regarding the garbage enclosures and screening;
- Look at ways to enhance the entrance of Building 3 by way of materials, glazing, colour, and lighting;
- Consider alternate species to replace western red cedar and pacific dogwood within the landscape plan;
- Consider ways to provide wayfinding for the public walkway through the site;
- Consider a feature treatment to accent the main drive aisle;
- Review the vehicle turning radius at Building 1 to ensure it is not too tight; and,
- Ensure rooftop equipment is screened with materials that work well with the proposed buildings.

The motion carried unanimously.

(b) Development Permit Application No. DP1185 – 338 Machleary Street

Introduced by Caleb Horn, Planner, Current Planning Section.

Presentations:

1. Jeff Christianson, Project Manager of IBI Group presented the project, accompanied by David Thom, Architect and President of IBI Group. Mr. Christianson spoke regarding site context, slope, history, zoning, the proposed architectural plans, underground parking, site access and neighbourhood connectivity.
2. Catherine Offenbergh, Landscape Architect and principal at IBI Group presented the landscape plan and spoke regarding site topography, perimeter wall features, the planting plan, outdoor amenity spaces (including rooftop), pedestrian connectivity, accessibility and wayfinding; and remaking the old staircase for integration into the landscape plan.

Panel discussions took place regarding:

- The need for a pick up/drop off area off Machleary Street
- The architectural dominance of the central pavilion building
- Visitor parking
- The openness of proposed pool and lack of weather protection
- The plant palette and suggestion to re-evaluate the proposed tree species to be more specific to Vancouver Island
- Garbage enclosure and rooftop equipment screening
- The possibility of adding something to reference site/neighbourhood history

It was moved and seconded that Development Permit Application No. DP1185 be accepted as presented with support for the proposed variances. The following recommendations were provided:

- Look at ways to provide a stronger mix and rhythm of materials to better define the residential wings of the building;
- Consider re-evaluating the proposed planting plan and trees to be more reflective of Vancouver Island;
- Consider incorporating elements to the site to reflect the history of the site;
- Look at ways to incorporate the existing old stairs and/or columns into the project;
- Work with Staff to establish a pick up/drop off area along Machleary Street; and,
- Provide details of garbage enclosure and materials used for rooftop screening.

The motion carried unanimously.

5. OTHER BUSINESS:

It was moved and seconded that Mr. Charles Kierulf be appointed as Chair of the Design Advisory Panel for a one year term, commencing 2020-JUN-11. The motion carried unanimously.

6. ADJOURNMENT:

It was moved and seconded at 7:10 p.m. that the meeting terminate. The motion carried unanimously.

C H A I R

CERTIFIED CORRECT:

CORPORATE OFFICER

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT APPLICATION NO. DP001184 – 558 MEDEA WAY

Applicant/Owner: KENCO ENTERPRISES (1982) LTD.

Architect: ELLINS ARCHITECT INC.

Landscape Architect: MYSTIC WOODS LANDSCAPE DESIGN

SUBJECT PROPERTY AND SITE CONTEXT

<i>Zoning</i>	R15 – Old City Medium Density Residential
<i>Location</i>	The subject property is located on the north side of Medea Way, west of Hecate Street.
<i>Total Area</i>	873m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Neighbourhood Map 3 – Development Permit Area DPA No. 8 – Old City Neighborhood
<i>Old City Neighbourhood Plan</i>	Sub Area 4 – Multi-Family Medium Density Residential
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines; and Old City Multiple Family Residential Design Guidelines

The subject property is located on Medea Way, a short dead-end street in the Nob Hill neighbourhood, connected to Hecate Street. The property also abuts a lane to the north and Asteria Place, a private road to the west. The site is largely flat but slopes slightly downhill from north to south.

Surrounding properties include a 3-unit multi-family residential development to the southeast, the Chinese Freemasons Centre on Hecate Street to the east, single residential dwellings across the lane to the north, a 15-unit townhouse development along Asteria Place to the west, and undeveloped City-owned lands surrounding Cat Stream across Medea Way to the south.

PROPOSED DEVELOPMENT

The applicant is proposing a 6-unit townhouse development comprised of two 2-storey buildings with three units in each building. Building 1 will face the parking area to the north and Building 2 will face Medea Way to the south, with a courtyard separating the two buildings. The four end units will be 2-bedroom units and the centre unit in each building will be 1-bedroom plus den.

The total gross floor area of 565m² equals a Floor Area Ratio (FAR) of 0.65, which is less than the maximum permitted FAR of 0.85 in the R15 zone.

Site Design

Vehicle access for the proposed development will be from the lane in the rear. Covered carports are proposed for 6 of the 8 parking stalls. The three units in Building 2 will have front doors with access directly to Medea Way. The three units in Building 1 will have front doors facing the parking area and will be connected by a 1.5m-wide concrete pedestrian walkway to Medea Way along the east side of the property. Each unit is designed to include an outdoor patio facing the

central courtyard to promote social interaction between residents. Utility rooms, bicycle parking, storage, and garbage/recycling rooms will be provided along the east side of each building, facing the pedestrian walkway. Bollard lighting is proposed along the pedestrian walkway.

Staff Comments:

- Consider opportunities for further programming within the central courtyard, perhaps with shared seating areas or a small play structure.
- Review location of access doors to storage rooms to avoid conflicts with the pedestrian walkway.

Building Design

The proposed building design reflects the City of Nanaimo's Old City Multiple Family Residential Design Guidelines (the "Old City Design Guidelines"). Each unit will have kitchen and living space on the ground floor and bedrooms on the second floor. The exterior elevations of the two buildings reflect their residential nature, with gable roofs, projecting second-floor windows, and covered front entryways.

An alternating material composition and colour scheme will create unique exteriors for each unit with a mix of vinyl shingles and siding.

Staff Comments:

- Review the use of vinyl siding which is discouraged by the Old City Design Guidelines.
- While the individual units are differentiated, the elevations may benefit from a more consistent rhythm in the use of materials.
- Focus stronger materials (e.g. shingles or stone accents) on the ground floors, as recommended by the Old City Design Guidelines.
- Consider opportunities for further detailing on gable ends or window trims, as recommended by the Old City Design Guidelines.

Landscape Design

A mix of vine maple trees and smaller shrubs are proposed along the Medea Way frontage. Rows of Oregon grape, holly and snowberry will be provided along the east and west property lines. Small individualized front and rear gardens are proposed for each unit. The central courtyard will be primarily lawn with landscape buffers between common lawn and private patios. A dogwood tree is proposed on each end of the courtyard. The carports will feature green roofs with a mix of small groundcover species.

Staff Comments:

- Ensure that the Minimum Landscape Treatment Level is met along the Medea Way frontage.
- Clarify fence details along the west property line.

PROPOSED VARIANCES

Front Yard Setback

A variance to reduce the front yard setback from 6m to 1.09m is requested, a proposed variance of 4.91m. The variance is proposed in order to site the buildings closer to the street, similar to the adjacent building, and to maximize the area of the courtyard between the two proposed buildings.

Lot Coverage

The maximum lot coverage in the R15 zone is 40%, and the applicant is proposing a lot coverage of 43.4%, a proposed variance of 3.4%. The additional lot coverage is for the purpose of providing covered carports which will feature green roofs and will increase the permeable surfaces on-site.

Minimum Landscape Treatment Level

The required front yard landscape buffer is 1.8m. In order to site Building 2, a reduction from 1.8m to 1.09m is requested, a proposed variance of 0.71m.

Off-Street Parking

A variance to reduce the required parking from 9 parking stalls to 8 parking stalls is requested, a proposed variance of 1 parking stall.

The applicant is also requesting to increase the maximum percentage of small car parking stalls from 40% to 50% to accommodate the parking stalls on-site, a proposed 10% variance.

January 28, 2020

Design Rationale for 558 Medea Way, Nanaimo, BC.

Project Overview

The subject property is located within the DPA-8 area, Old City Neighbourhood and is zoned R15 Medium Density Residential. This zoning allows for redevelopment consistent with a heritage style. The DPA area encourages new multi-family development that incorporates some of the design features of the character homes in the downtown area and reinforces a residential feel. The designation also refers to Nanaimo's Old City Multiple Family Residential Design Guidelines which cites traditional building forms and detailing such as inclusion of pitched roofs and porches. A pedestrian focus with links to the street and an orientation to take advantage of any water views.

The property is located on the north side of Medea Way on a partial corner as the street curves along the western side of the site. There is an existing single-family residence on the property which will be redeveloped into 2, 3-unit townhouses. The neighbour to the east is a 2 storey single family residence in a non-heritage style. Across the road and on the corner of Hecate is a newer 3-storey multi-family building with some heritage elements.

Project Siting & Organization

The site is 873.4 sq. metres or 9,401.5 sq. feet, rectangular in shape and relatively flat. There is lane access at the rear of the property..

The re-development is comprised of 2, 2 storey, 3-unit Townhouses. These have a lot coverage of 34.4%, lower than the maximum of 40%. There are 2 carports proposed at the lane side of the development. These will feature green roofs. Including their square footage, the coverage is over by 3.4% or 30 square metres. (Variance #1)

The gross floor area is 6,080 sq. ft or 564.8 square metres and well below the allowed FAR of .85, coming in at 64.

Vehicular access is from the lane into a small parking lot for 8 spaces where 6 are covered. (See Variances #2 & 3) A pedestrian sidewalk separates the parking area from the front doors of Building 1 which faces the lane. Another sidewalk connects the parking area to the street where the front doors of Building 2 face Medea Way.

The garbage enclosure is built in to the utility structure at the east side of Building 1. Private pick up will be provided and the operators will wheel the bins into the parking area.

The 3 unit buildings are sited so that the rear patio's face each other and open onto a common landscaped courtyard. The front yard setback is 6 metres. Building 2 is set close to Medea Way at 1.14 m back, in keeping with the streetscape. (Variance #4) This setback is also short of the 1.8 metre landscape buffer. (Variance #5)

The rear yard setback is 7.5 metres. The green roof carports are set against the lane widening buffer so their support posts encroach by 5.66 metres. (Variance #6)

Site lighting will be addressed with low oriented bollards along the eastern pathway and soffit lighting in the carports. Each unit will have a light at the front and rear entry.

Building Design

The buildings are 2-storey and designed with sloped roof lines and feature gables on both the front and rear elevations. The cladding is vinyl in a variety of profiles including horizontal, board and batten, panel and batten and shake. This creates an appealing small scaled heritage look.

The main floor of each suite has entry, storage, kitchen, powder and living dining room as well as stairs to the upper floor. The second floor outside units have a master and second bedroom, a bathroom and a laundry room / computer area. The centre units are similar but with a den instead of a 2nd bedroom. Each unit totals about 970 square feet of living space.

Along the eastern side of both buildings is a row of utility rooms including general and bike storage for tenants as well as the mechanical/electrical utility room and the garbage/ recycling area.

Rationale for Variances

#1 Coverage: The buildings alone are under the maximum coverage. Only when size of the green roof carports is added, does the coverage figure go slightly over; 3.4%. The permeability of the roof material minimizes otherwise hard surface paving exposed. Without the carports there is more pressure on ground water drainage.

#2 Number of Parking Stalls: 9 stalls are required and only 8 are provided. The property falls within Area 2 but is adjacent Area 3 where the requirement would be for 7 cars. The development is targeting affordable housing and is situated within the 600m buffer of the downtown mobility hub. The property abuts the 200 m buffer. This hub provides easy access to public transit and is within bicycle and walking distance to shops and services. We provide more than the required bike storage. Additionally we are providing green roof carports for 6 of the 8 vehicles, an amenity that improves the neighbourhood view from the lane.

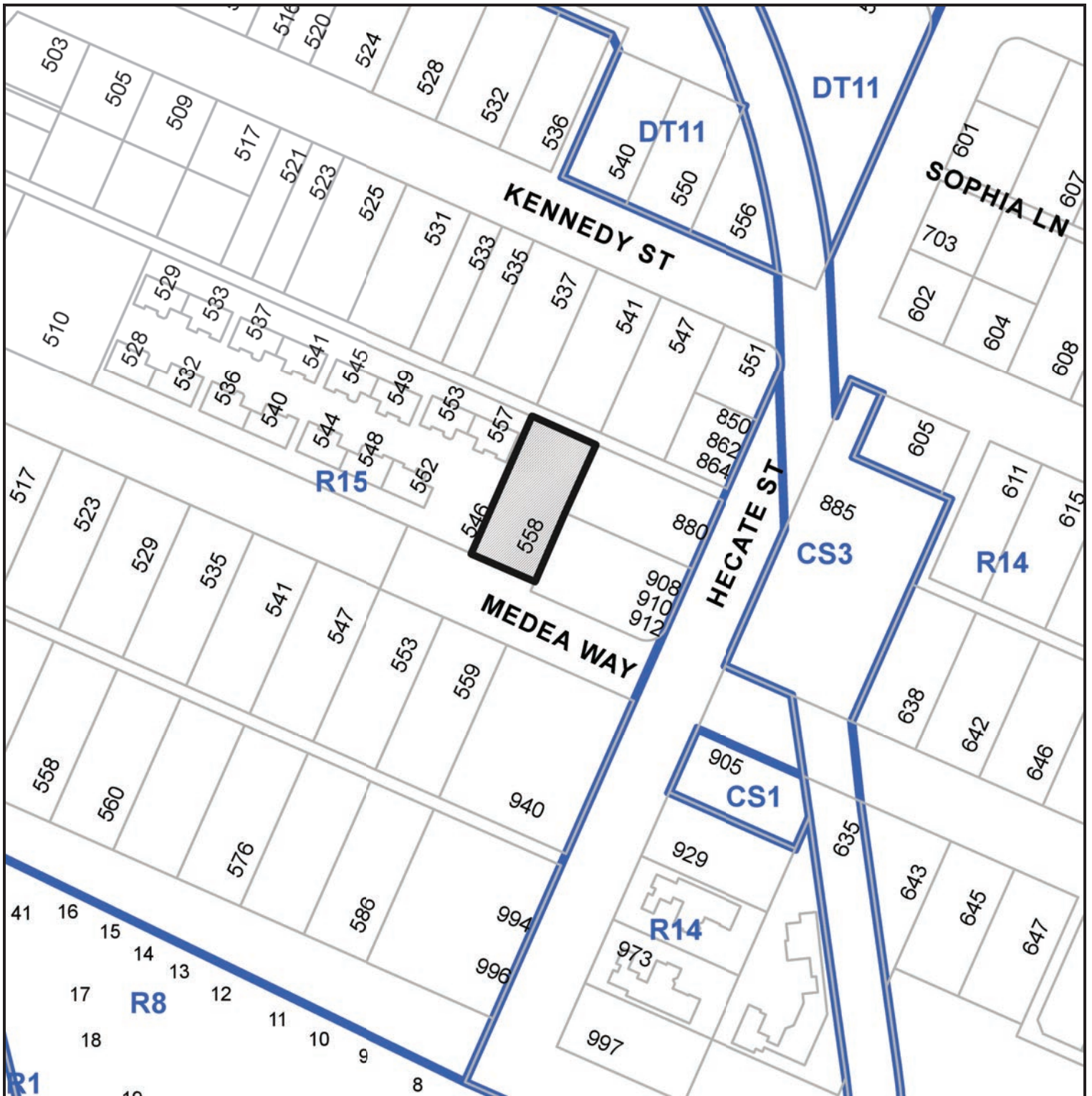
#3 Mix of Stall Size: The parking bylaw allows for a mix of 40% small car and 60% large car. The proposed mix here for a 50% split. We believe that the type and location of the housing will have more residents following the trend to smaller vehicles.

#4 Front Yard Setback: The zoning asks for 6metres but in this particular area the existing dwellings are very close to the street. As shown on the site plan, the existing house has a garden largely on the boulevarde and the steps from the house also fall into the boulevarde. Our proposed siting is 3'-9" (1.14m) back from the property line.

#5 Landscape Buffer: As noted above this particular site has a very large boulevarde which provides greenspace buffer from the street. We are trying to maximize the common amenity space for the residents by keeping the two buildings set apart.

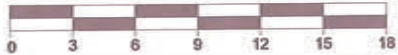
#6 Rear Yard Setback: Posts for the two carports are the only encroachment on the rear yard. We see the green roof aspect as being a neighbourhood amenity versus open parking and the permeability of the roof material minimizes otherwise hard surface paving exposed.

LOCATION PLAN



SITE PLAN OF:

SECTION C, LOT 2, BLOCK V, SECTION 1, NANAIMO DISTRICT, PLAN 584.



ALL DISTANCES AND ELEVATIONS ARE IN METRES AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.

THE INTENDED PLOT SIZE OF THIS PLAN IS 356 mm IN WIDTH BY 216 mm IN HEIGHT (LEGAL SIZE) WHEN PLOTTED AT A SCALE OF 1:300.

LOT DIMENSIONS ARE DERIVED FROM FIELD SURVEY.

CIVIC ADDRESS: 558 MEDEA WAY, NANAIMO.

PID: 008-812-691 ZONING: R15.

LEGEND:

- DENOTES LEGAL POST FOUND.
- ▲ DENOTES SPIKE SET.

ELEVATION DATUM IS DERIVED FROM OBSERVATION TO GEODETIC MONUMENT 77H5092.
MONUMENT ELEVATION = 46.182.

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S). THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S). THIS PLAN IS NOT TO BE USED TO RE-ESTABLISH BOUNDARY LINES.

Harbour City Land Surveying Ltd.

1825 LATIMER ROAD
NANAIMO BC V9S 5H2
PHONE: 250-758-4180

© 2018

DRAWING: 17091-SITE PLAN.DWG
LAYOUT: 1



THIS PARCEL MAY BE SUBJECT TO REGISTERED CHARGES, INTERESTS AND LEGAL NOTATIONS AS SHOWN ON TITLE NO: FA72753.

THIS PLAN DOES NOT PURPORT TO VERIFY COMPLIANCE WITH THE RESTRICTIONS THEREIN.

THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

THIS SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE AND IS CERTIFIED CORRECT THIS DATE OF : JAN 30, 2018.

Andre
McNicoll
FD1VLK

Digitally signed by Andre
McNicoll FD1VLK
DN: cn=CA, cn=Andre
McNicoll FD1VLK, o=BC
Land Surveyor, ou=Vally ID
at www.julicart.com
USUP:dnid=FD1VLK
Date: 2018.01.30 10:11:22
+0800

ANDRÉ MCNICOLL
THIS DOCUMENT IS INVALID UNLESS ELECTRONICALLY SIGNED.

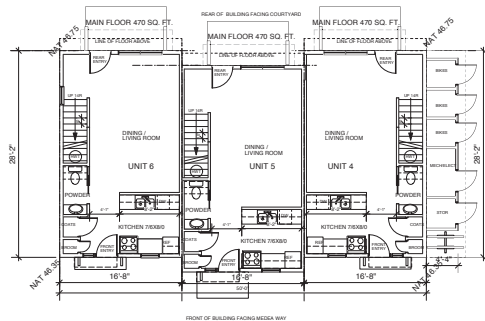
B.C.L.S.

NO:	DATE:	
REVISION:		
FEB 6 2019,		
JUL 29, 2019	REVISE SITE/PLAN/ ELEV.	
AUG 6, 2019	REVISE SITE	
AUGUST 2019	REVISE CLADDING / COLOUR	
SEPT 6, 2019	REVISE SITE/COVERED PARKING	
NOV 12, 2019	REVERSE PARKING	
DEC 02, 2019	CARPORTS/ SHIFT BLDG.1 6"	
JAN 7, 2020	FOR MEETING W/ CITY	
JAN 28, 2020	PRELIMINARY DP APPLICATION	

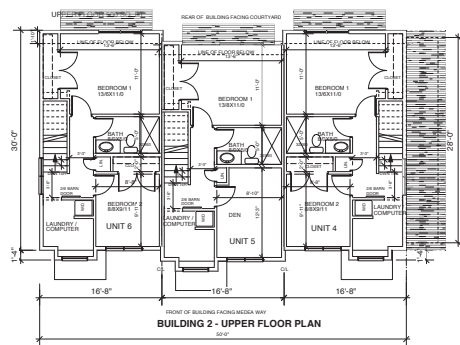


RECEIVED
DP 1184
2020-APR-22
Current Planning

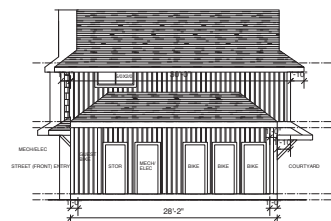
DRAWN BY:	
DATE:	NOVEMBER 2018
SCALE:	NOTED
PROJECT NO. 2018-06	DRAWING NO. A2.0



BUILDING 2 - MAIN FLOOR PLAN



BUILDING 2 - UPPER FLOOR PLAN

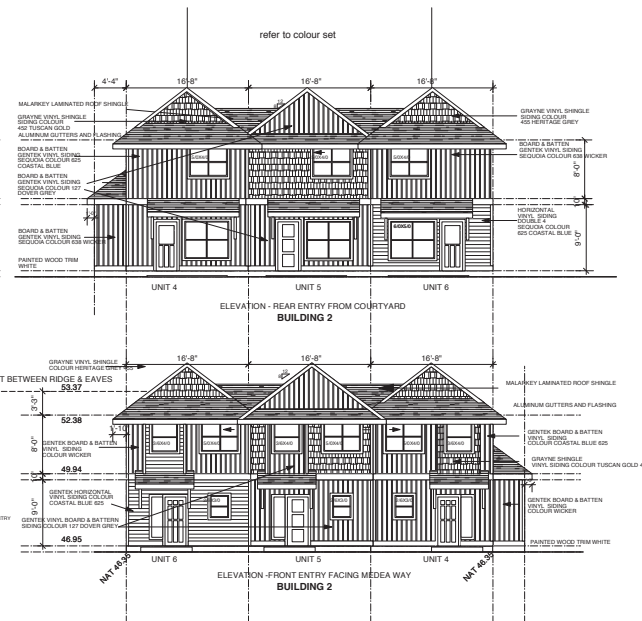


ELEVATION - BUILDING 2 - RIGHT SIDE

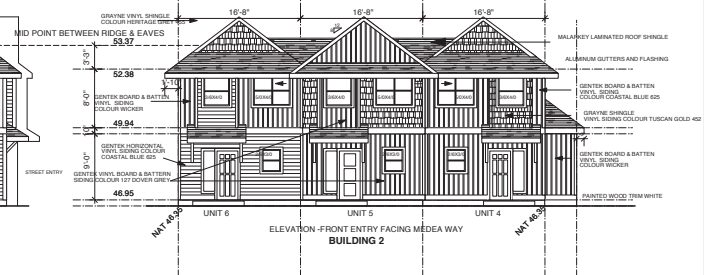


ELEVATION - BUILDING 2 - LEFT SIDE

AVERAGE NATURAL GRADE = 46.55
ALLOWED HEIGHT = 9.5 M = MAXIMUM HEIGHT = 56.05M
MID POINT RIDGE AND EAVE = 53.37M (COMPLIES)



ELEVATION - REAR ENTRY FROM COURTYARD
BUILDING 2



ELEVATION - FRONT ENTRY FACING MEADE WAY
BUILDING 2

NO:	DATE:
REVISION:	
FEB 6 2019,	
JULY 29, 2019	REVISE SITE/PLAN/ ELEV.
AUG 6, 2019	REVISE SITE
AUGUST 2019	REVISE CLADDING / COLOUR
SEPT 6, 2019	REVISE SITE/COVERED PARKING
NOV 12, 2019	REVERSE PARKING
DEC 02, 2019	CARPORITS/ SHFT BLDG.1 6"
JAN 7, 2020	FOR MEETING W/ CITY
JAN 28, 2020	PRELIMINARY OF APPLICATION

RESIDENTIAL DEVELOPMENT MEADE WAY NANAIMO, B. C.

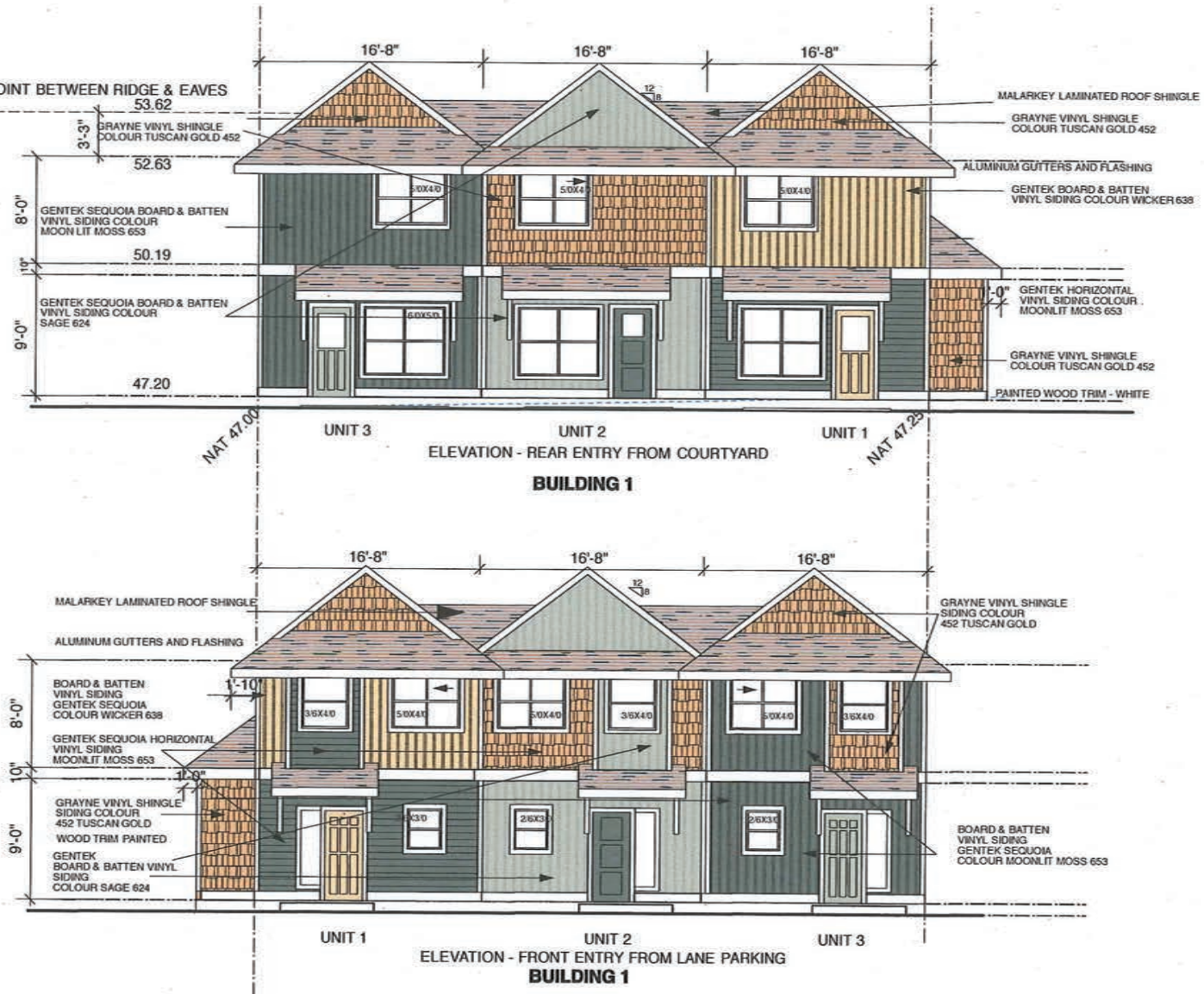
RECEIVED
DP1184
2020-APR-22
Current Planning

DRAWING:
BUILDING 2
FLOORPLAN &
ELEVATIONS

DRAWN BY:
DATE: NOVEMBER 2018
SCALE: NOTED

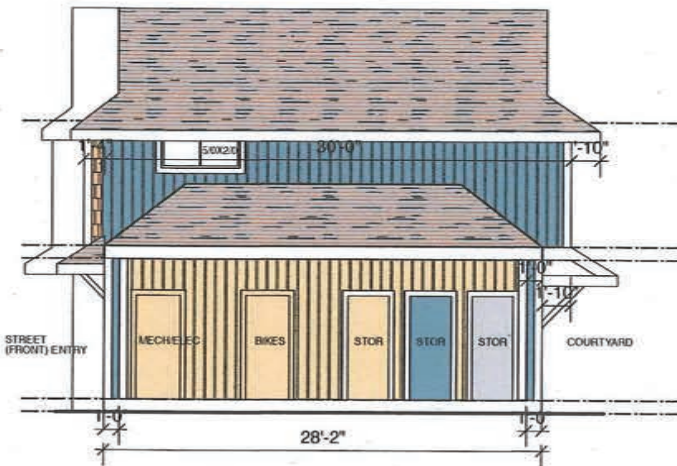
PROJECT
NO. 2018-06
DRAWING NO. A2.1

AVERAGE NATURAL GRADE = 47.06
ALLOWED HEIGHT = 9.5 M = MAXIMUM HEIGHT = 56.56M
MID POINT RIDGE AND EAVE = 53.62M (COMPLIES)



MEDEA WAY BUILDING 1 - UNITS 1, 2 & 3
COLOUR SCHEME GREEN (SEPT 19, 2019)

AVERAGE NATURAL GRADE = 46.55
 ALLOWED HEIGHT = 9.5 M = MAXIMUM HEIGHT = 56.05M
 MID POINT RIDGE AND EAVE = 53.37M (COMPLIES)



ELEVATION - BUILDING 2 - RIGHT SIDE

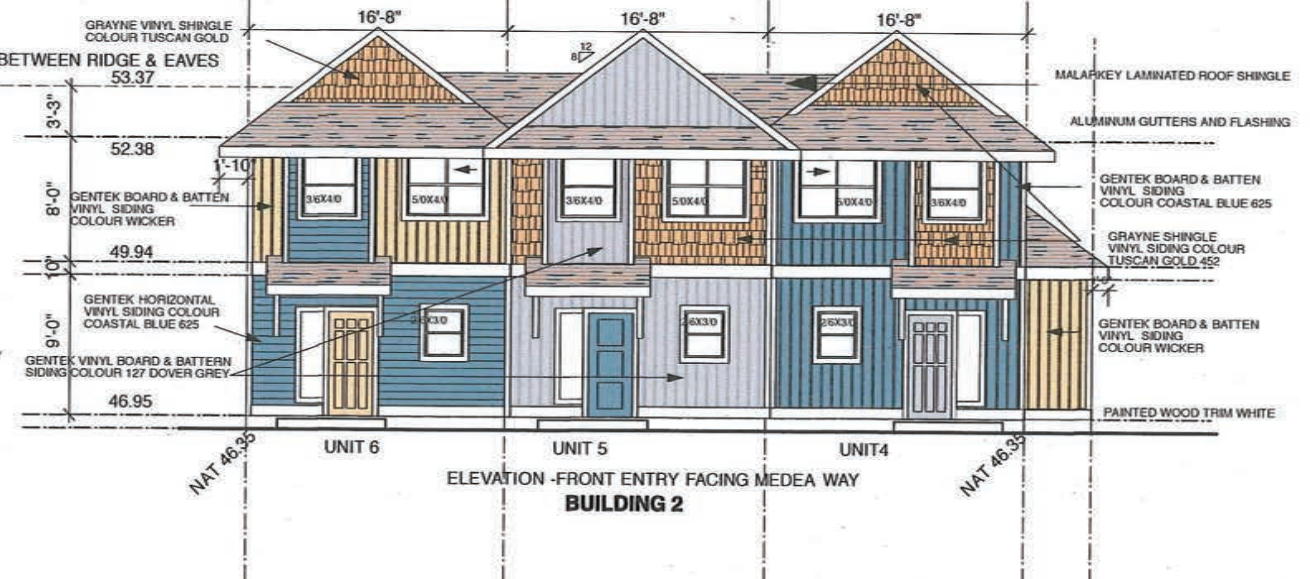


ELEVATION - REAR ENTRY FROM COURTYARD

BUILDING 2



ELEVATION - BUILDING 2 - LEFT SIDE

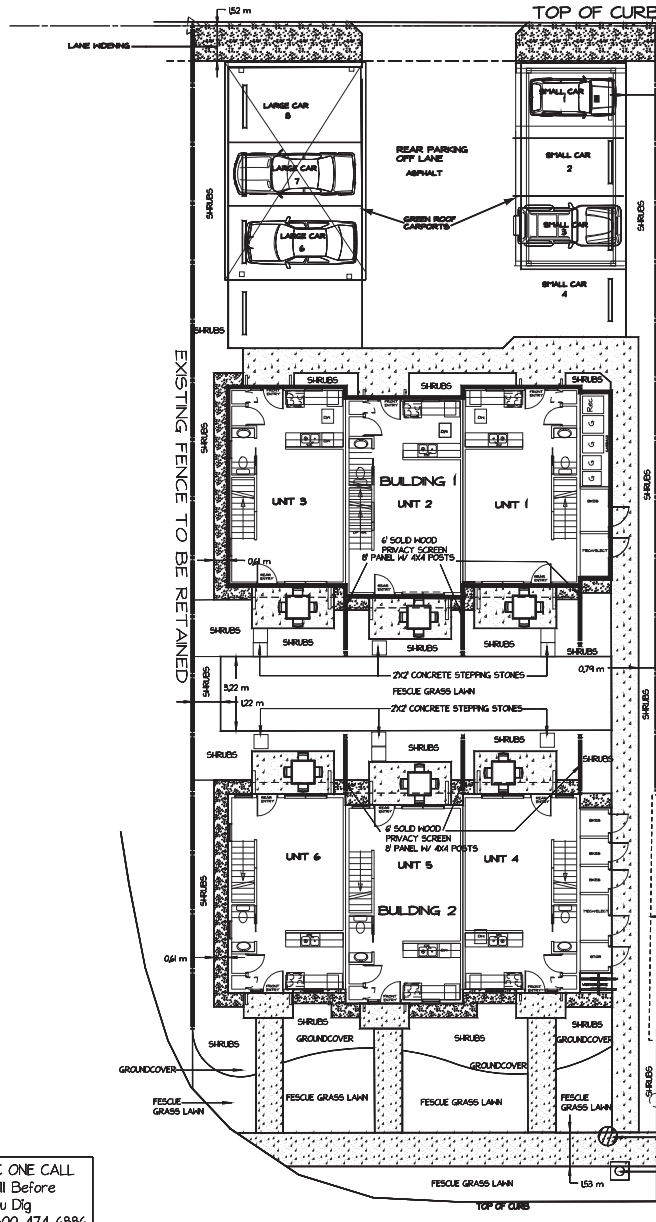


ELEVATION - FRONT ENTRY FACING MEDEA WAY

BUILDING 2

MEDEA WAY BUILDING 2 - UNITS 4, 5 & 6
 COLOUR SCHEME BLUE / GREY (SEPT 19, 2019)

LANE



LANDSCAPE DIMENSIONAL CONSTRUCTION PLAN

SCOPE OF WORK:
Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:

1. Site Preparation
2. Final grading and landscape drainage
3. Installation of underground irrigation system
4. Supply and placement of grading medium
5. Testing grading medium and supply of additives (for fillers) to meet requirements of soil test, and B.C. Landscape Standards
6. Preparation of planting beds, supply of plant materials and planting
7. Supply and placement of the composted mulch on plant beds
8. Preparation of lawn areas, supply of materials and seeding or hydroseeding (Fescue blend)
9. Provide grading medium and planting for green roofs
10. Supply and placement of ornamental rock and wall edging
11. Installation of Fence on East property line
12. Establishment Maintenance- for one year
13. Other work required to complete landscape
14. Leave site completely clean and tidy

GRADING AND DRAINAGE

The preparation of the subgrade shall, by rough grading and filling provide a base that will allow the placing of grading medium to the specified depths. Finished subgrade surfaces should be free of visible rumps and hollows and provide for grading medium depths as laid out on the landscape plans. Debris, roots, branches, stones, building materials, contaminated waste, viable weeds and anything else that may interfere with the proper growth and development of the planned finished landscaping shall be removed. Areas showing excessive compaction shall be scarified to a minimum depth of 4" (100mm) immediately before placing grading medium. All drains within landscape beds shall be surrounded by a minimum diameter of 24" (600mm) of drain rock to a depth of 4" (100mm) to prevent mulch floating into drainage system.

SITE PROTECTION

All existing and new plants, site services, curbs, parking structures, fences and all other features shall be protected against damage during the work. Damage shall be reported and shall be completely repaired to the satisfaction of the Authority / Inspector.

ESTABLISHMENT MAINTENANCE

The intent of establishment maintenance is to provide sufficient care to newly installed plant materials for a period of one year from acceptance to ensure or increase the long-term success of the planting. The objective is the adaptation of plants to a new site in order to elicit the desired effect from the planting while reducing the rate of failure and unnecessary work associated with improper establishment. Establishment maintenance procedures apply to all vegetation, including:
1. Cultivated lawns
2. New trees, shrubs, and groundcovers
Maintenance during the one-year guarantee period is essential to ensure the validity of any guarantee.

WARRANTY

The customary one year guarantee period for the construction industry is accepted as the standard for landscape work. The contractor shall guarantee all materials and workmanship for a period of one full year from the date of Substantial Performance (Acceptance). Inspections must be called for in order to achieve Substantial Performance.

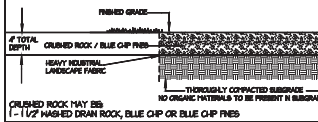
INSPECTIONS TO BE CALLED FOR

FIRST INSPECTION: to be called for after subgrade preparation, and soil has been placed.
SECOND INSPECTION: after plants have been laid out, but prior to planting.
FINAL INSPECTION: to be called for, once completed. Once the plan has been approved by the City, no changes may be made to the plan without written approval of both the designer and the City.

IRRIGATION

Irrigation to be done by hand, hoses, and soaker hoses. Water lines shall be at each patio and front entrance, to supply water as needed during periods of drought.

CRUSHED ROCK BORDER AROUND BUILDINGS



SOIL COMPOSITION FOR GROUND LEVEL PLANTING AREAS

TABLE 6-35A "GOOD" AND "MODERATE" SOIL COMPOSITION	
Percent of Dry Weight of Total Grading Medium	
Coarse Gravel larger than 19mm, smaller than 40mm	0 - 15%
All Gravel larger than 3mm, smaller than 40mm	0 - 5%
Sand larger than 25mm, smaller than 2mm	0 - 10%
Silt larger than 250mm, smaller than 75mm	0 - 25%
Clay smaller than 250mm	0 - 25%
Clay and silt combined	Maximum 35%
Organic content	10 - 20%
Acidity (pH):	4.5 - 6.5
Drainage: Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.	

SOIL COMPOSITION FOR LOW TRAFFIC LAWN AREAS

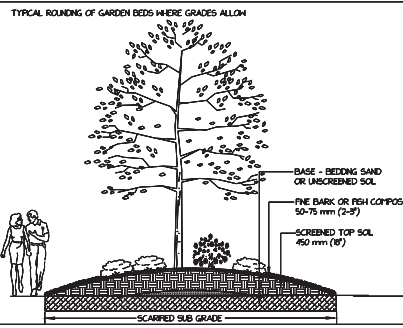
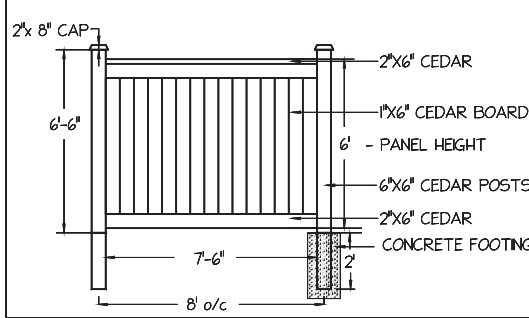
TABLE 6-35A "GOOD" AND "MODERATE" SOIL COMPOSITION	
Percent of Dry Weight of Total Grading Medium	
Coarse Gravel larger than 19mm, smaller than 40mm	0 - 15%
All Gravel larger than 3mm, smaller than 40mm	0 - 5%
Sand larger than 25mm, smaller than 2mm	0 - 10%
Silt larger than 250mm, smaller than 75mm	0 - 25%
Clay smaller than 250mm	0 - 25%
Clay and silt combined	Maximum 35%
Organic content	10 - 20%
Acidity (pH):	4.5 - 6.5
Drainage: Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.	



2' wide ornamental rock, 150mm (6") deep around building for maintenance access and to keep plants away from building, with board edging.



33m 6' SOLID WOOD FENCE ALONG EAST PROPERTY LINE ONLY PLUS 6 - 264m PATIO PRIVACY SCREENS = 15.84m



BC LANDSCAPE STANDARDS

All construction to meet the requirements set out in the B.C. Landscape Standards, 2002 edition, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape and Nursery Association jointly.

Codes of the B.C. Landscape Standards are outside through the BCLNA office at 1-800-574-7772.

Contractor to consult with designer regarding any discrepancies.

Contractor to provide written confirmation of utility locations prior to commencing dig.

Contractor is responsible for providing one year of maintenance and one year warranty on all materials and workmanship, from acceptance of landscape.

Refer to landscape specifications supplied with this plan. If you did not receive the specifications, please contact the designer.

TOP SOIL REQUIREMENTS		
Minimum depth for shrub beds 40mm (1 1/2")		
Minimum depth for groundcover 50mm (2")		
Minimum depth for grass 100mm (4")		
Minimum depth for lawn areas 150mm (6")		
Minimum depth for mids 150-75mm (25-3")		
Trees as per detail on these drawings.		

LANDSCAPE AREA		
TREE/SHRUB AREA	154 sqm	155 sqft
GREENROOF AREA	45 sqm	100 sqft
LAWN AREA	45 sqm	100 sqft
ORNAMENTAL ROCK	500 sqm	528 sqft
TOTAL LANDSCAPE	445 sqm	479 sqft



PROJECT: RESIDENTIAL DEVELOPMENT 508 MEDEA STREET NANAIMO, B.C.

CLIENT: Keno Enterprises Alex Keno alex@keno.ca

ARCHITECT: Effe Architects Jerry Effe 250-941-8888 jerry@effe.ca

LANDSCAPE DESIGNER: MYSTIC MOODS LANDSCAPE DESIGN 4737 Gordon Rd Campbell River, B.C. V9H 1T3 phone 250-266-5271 cell phone 250-267-0610 design@mysticmoods.ca

DRAWN BY: Carina Matheson CLD, HT Certified Landscape Designer Horticulture Technician Member of the BCLNA / CLNA

SCALE: 1:100 SCALE IN METERS

DATE: November 6, 2019

Issued For: November 6, 2019 For review

Issued For: Nov 20, 2019 For Development Permit

Issued For: March 2, 2020 For Development Permit

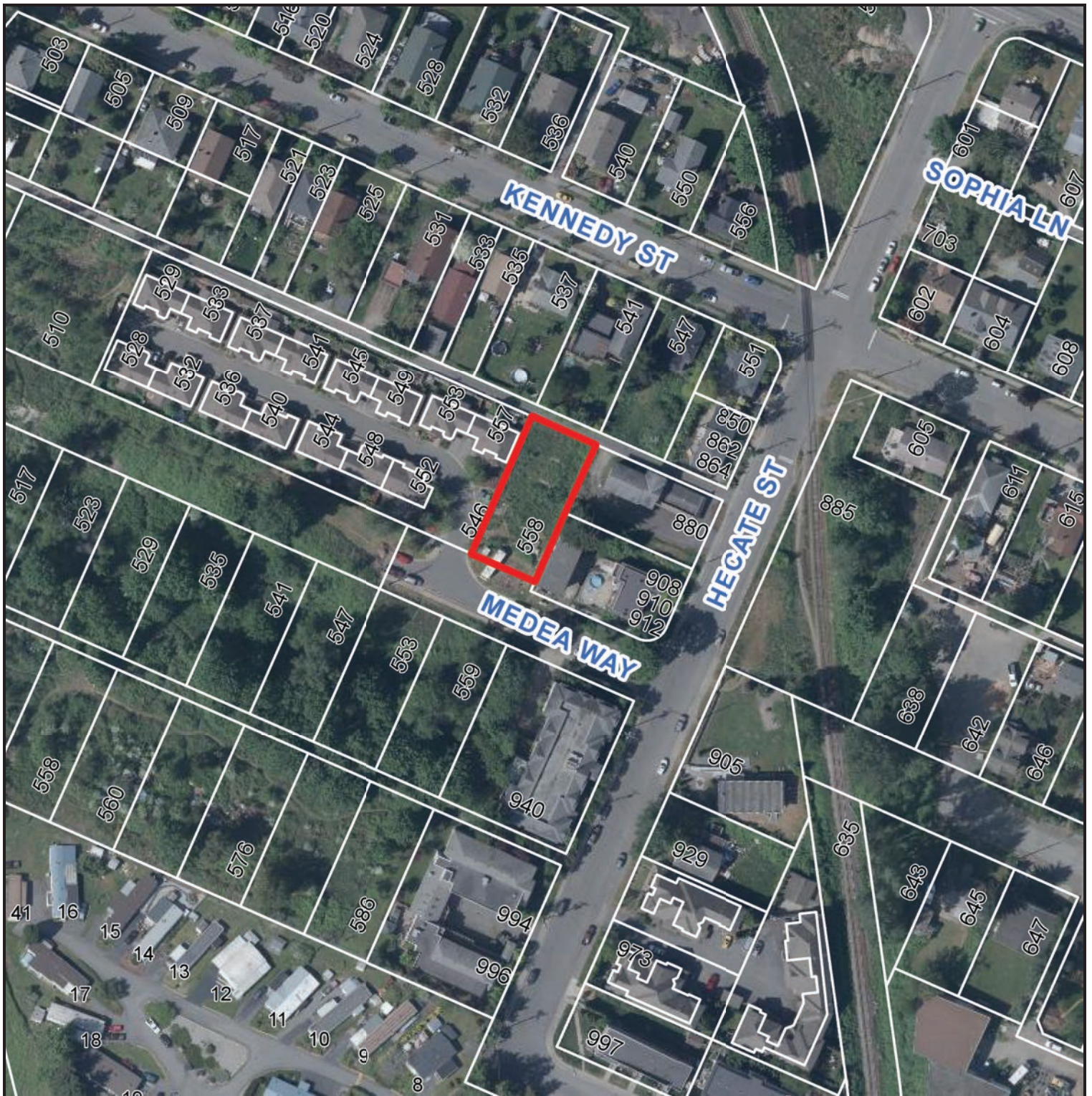
DRAWING: LANDSCAPE DIMENSION / DETAILS PLAN

DRAWING #: 13 of 3

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Call Before
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