



## **AGENDA DESIGN ADVISORY PANEL MEETING**

July 25, 2019, 5:00 PM

Board Room, Service and Resource Centre,  
411 Dunsmuir Street, Nanaimo, BC

Pages

**1. CALL THE MEETING OF THE DESIGN ADVISORY PANEL TO ORDER:**

**2. ADOPTION OF AGENDA:**

**3. ADOPTION OF MINUTES:**

**a. Minutes of Meeting held 2019-JUL-11**

3 - 4

Minutes of the Design Advisory Panel meeting held in the Boardroom of the Service and Resource Centre, 411 Dunsmuir Street, Nanaimo BC on Thursday, 2019-JUL-11.

**4. PRESENTATIONS:**

**a. Development Permit Application No. DP1142 - 135,139,147,151 Haliburton Street/940 Milton Street**

5 - 28

A development permit application was received from Matthew T. Hansen Architect on behalf of Prospect Living Ltd, Blue Lotus Development Ltd, and Parkshore Projects Ltd., for the development of two, five-storey, multi-family residential buildings with a combined total of 76 units and a shared underground parkade. The subject properties are legally described as: Lot 1, Block 7, Section 1, Nanaimo District, Plan 584, except the easterly 10 feet and except pratt shown outlined in red on Plan 711-R; Lots 2, 3, 4, Block 7, Section 1, Nanaimo District, Plan 584; and, The westerly 35 feet of the easterly 45 feet of Lot 1, Block 7, Section 1, Nanaimo District, Plan 584, as shown outlined in red on Plan 71R.

**b. Development Permit Application No. DP1147 - 1005 Farquhar Street**

29 - 43

A development permit application was received from Matthew T. Hansen Architect on behalf of Swiftsure Taxi Co. Ltd., for the development of two-storey (183m<sup>2</sup>) commercial building to be used a taxi dispatch office. The subject property is legally described as North 1/2 of Lot 10, Block A, Section 1, Nanaimo District, Plan 584.

**c. Development Permit Application No. DP1143 - 2560 Bowen Road**

44 - 57

A development permit application was received from Island West Coast Development Ltd., on behalf of Bowen Road Developments Ltd. (Wheaton Properties) for the development of a car dealership (566m<sup>2</sup>). The subject property is legally described as Lot 1, Section 20, Ranges 6 and 7, Mountain District, Plan EPP67724.

**5. ADJOURNMENT:**

## MINUTES

DESIGN ADVISORY PANEL MEETING  
BOARDROOM, SERVICE AND RESOURCE CENTRE, 411 DUNSMUIR STREET, NANAIMO, BC  
THURSDAY, 2019-JUL-11, AT 5:00 P.M.

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PRESENT:   Members:   Kevin Krastel, Chair  
                              Tyler Brown, Councillor  
                              Martin Hagarty  
                              Charles Kierulf  
                              Kate Stefiuk

                 Absent:   Steve Johnston  
                              Marie Leduc  
                              Gur Minhas

                 Staff:     C. Horn, Planner, Current Planning Section  
                              G. Stevenson, Planner, Current Planning Section  
                              L. Nielsen, Recording Secretary

1.    CALL THE DESIGN ADVISORY PANEL MEETING TO ORDER:

The Design Advisory Panel Meeting was called to order at 5:00 p.m.

2.    ADOPTION OF AGENDA:

It was moved and seconded that the Agenda, be adopted. The motion carried unanimously.

3.    ADOPTION OF MINUTES:

It was moved and seconded that the Minutes of the Regular Meeting of the Design Advisory Panel, held in the Boardroom, Nanaimo, BC, on Thursday, 2019-JUN-27 at 4:58 p.m. be adopted as circulated. The motion carried unanimously.

4.    PRESENTATIONS:

(a)   Development Permit Application No. DP1141 – 215 Sabiston Street

Introduced by Caleb Horn, Planner, Current Planning Section. Mr. Horn spoke regarding the proposed 5-unit townhouse development and the requested front yard setback and building height variances.

Presentations:

1.    Jerry Ellins, Architect, Ellins Architect Inc., spoke regarding site history, building siting, site and neighbourhood context, architectural features the proposed site lighting plan; and, explained the proposed building height variance.

2. Victoria Drakeford, Landscape Architect, Victoria Drakeford Landscape Architect, spoke regarding the proposed landscape plan. Features include: a small playground, a bioswale, and mixed plantings (edibles and flowering plants).

It was moved and seconded that the Development Permit Application No. DP1141 be accepted as presented with support for the proposed variances. The following recommendations were provided:

- Consider ways to add individual identities to each unit,
- Consider squaring off the front porch.
- Look at the articulation/form and character of the east elevation.

The motion carried unanimously.

5. ADJOURNMENT:

It was moved and seconded at 5:35 p.m. that the meeting terminate. The motion carried unanimously.

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CHAIR

CERTIFIED CORRECT:

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CORPORATE OFFICER



DESIGN ADVISORY PANEL MEETING

Thursday, July 25, 2019

DEVELOPMENT PERMIT APPLICATION NO. DP1142

135, 139, 147 and 151 Haliburton Street / 940 Milton Street

## STAFF DESIGN COMMENT

### DEVELOPMENT PERMIT APPLICATION NO. DP001142 135, 139, 147 and 151 Haliburton Street, and 940 Milton Street

**Applicant / Architect:** MATTHEW T. HANSEN ARCHITECT

**Landscape Architect:** TOPGRAPHICS LANDSCAPE ARCHITECTURE

**Subject Property:**

<i>Zoning</i>	R8 – Medium Density Residential; R1 – Single Dwelling Residential
<i>Location</i>	The subject properties are located on the northeast corner of Haliburton Street and Milton Street.
<i>Total Area</i>	3,235m <sup>2</sup>
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Neighbourhood; Map 3 – Development Permit Area DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial / Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines; and South End Neighbourhood Plan Urban Design Guidelines

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Site Context

The subject site is located in the South End Neighbourhood and slopes slightly downhill from west to east. The site includes six existing lots including three lots with single residential dwellings, one vacant lot, one containing a taxi dispatch office, and the sixth lot is used as driveway access. Surrounding uses include single dwelling residential, commercial properties across Haliburton Street to the west, and Deverill Square Park across Milton Street to the south. A five-storey, 36-unit multi-family building (by the same developer) is currently under construction at 119 Haliburton Street, just 20m north of the site.

## PROPOSED DEVELOPMENT

The applicant is proposing to construct two five-storey multi-family residential buildings (76 units) with shared underground parking. The north building will face Haliburton Street and the south building will face the intersection of Haliburton and Milton Streets.

The proposed unit composition is as follows:

	<b>2-Bedroom</b>	<b>1-Bedroom</b>	<b>Studio</b>	<b>Total</b>
North Building	8	28	-	36
South Building	6	28	6	40
Total	14	56	6	<b>76</b>

The buildings will have a combined gross floor area is 5,982m<sup>2</sup> and the Floor Area Ratio (FAR) is equal to 1.85. The applicant is proposing to increase the maximum allowable FAR in the R8 zone from 1.25 to 1.85 by providing all required parking underground and by meeting the Zoning Bylaw's Tier 2 'Schedule D'-Amenity Requirements for Additional Density. Some of the proposed amenities include:

- public art at the corner of Haliburton and Milton Streets;
- 50% of the site featuring permeable surfaces, including a green roof on both buildings;
- living walls on the north and south elevations;
- car share parking spaces; and
- onsite signage regarding sustainable transportation alternatives, sustainable energy management practices, sustainable water management practices, and heritage signage illustrating the history of the area.

### Site Design

The site design takes advantage of its location by orienting the buildings along Haliburton Street and providing views toward the ocean. The pedestrian entrance to the north building is from Haliburton Street; and, to the south building is from the corner of Haliburton and Milton Street. Proposed vehicular access to the underground parking area is from Milton Street which is located in the southeast corner of the site. All required parking will be on a single underground parking level to be shared between both buildings. The garbage receptacle area will be provided in the underground parking at the bottom of the driveway ramp.

Staff comments:

- The intersection of Milton Street and Haliburton Street is envisioned as a small-scale public open space in the South End Neighbourhood Plan. Explore options to open up the space and allow public interaction at this corner particularly with the proposed public art.

### Building Design:

The design of the buildings incorporates large projecting features and prominent front entryways. The vertical massing is broken up with articulation above the third storey on each building and prominent rooflines. The horizontal massing is broken up by porches, columnar features, and a rhythm of material changes. Each unit is provided with outdoor space, either as porches on upper floors or patios at ground level. Exterior materials include brick, sandstone, and reclaimed wood.

Staff comments:

- The South End Neighbourhood Plan Urban Design Guidelines recommend stepping back upper floors above the third storey at least 2.2m from the front face of buildings. Consider ways to set back the vertical massing of both buildings on street-facing elevations above the third floor.
- Explore opportunities to reduce the area of blank walls on the north elevation of the north building and the south elevation of the south building.
- Consider bringing brick exterior materials down to the ground level adjacent to the entryways for both buildings, especially at the base of entryway supports.
- Consider differentiating the ground floor of the south building on the south elevation facing Milton Street.

- Better integrate the rooftop access into the design of the north building.
- Clarify the location of different exterior materials and the types of cladding proposed.

### Landscape Design

The landscape design features a variety of vegetation around the buildings and green roofs on both buildings. An outdoor view terrace is proposed on the east side of the site, accessed via a gated pathway through a courtyard between the two buildings. Street-facing units at ground-level will have private garden areas and individual patio accesses from the street. A raingarden is proposed along the Milton Street frontage and a waterfall feature at the corner of Haliburton and Milton.

Trees proposed for the site include London plane along the Milton Street frontage, magnolia at the corner entryways, and Japanese maple alternating with katsura in patio gardens. swordfern, Nootka rose, and lilac shrubs will buffer the development from the east lot line. The green roofs will include meadow plantings with species such as sedum, blue fescue, heather, and lavender.

### Staff Comments:

- Applicant to provide fencing details for the site perimeter.
- Applicant to confirm the minimum 1.8m landscape buffer is provided along the east lot line.
- Consider larger shrubs between the exterior wall of the underground parking structure and the east lot line.
- Look at improving pedestrian circulation around the rear of the buildings.
- Incorporate public seating features into the open space at corner of Milton and Haliburton.

## **PROPOSED VARIANCES**

### *Projections Into Yards*

A setback variance is requested to reduce the minimum front yard setback for underground parking structures from 1.8m to 0.75m, a proposed variance of 1.05m.

### *Minimum Flanking Side Yard Setback*

A setback variance is requested to reduce the minimum flanking side yard setback along Milton Street from 4m to 3.65m, a proposed variance of 0.35m.

### *Maximum Building Height*

A height variance is requested to increase the maximum building height from 14m to 14.95m for the north building and from 14m to 14.90m for the South Building, proposed variances 0.95m and 0.90m respectively.

### *Maximum Lot Coverage*

A lot coverage variance is requested to increase the maximum allowable lot coverage from 40% to 41.6%. This represents a variance of 1.6%, or approximately 51m<sup>2</sup>.

# PROSPECT DESIGN RATIONAL

**MATTHEW T. HANSEN**  
a r c h i t e c t

## **Context**

Located in the South End of Nanaimo in the R8 zone, just a few blocks away from the Downtown core, the project site is made up of five properties on the East side of the 100 Block of Haliburton Street. Most of the site is surrounded by a well established neighbourhood of older single family homes. There is a slight slope from West to East and terrific view opportunities to the water front and harbour to the east. Four older homes presently occupy the site. None of which have any historical or architectural merit. The property at the corner of Haliburton St. and Milton St. is occupied by the Yellow Cab company which will be relocated.

The Zoning By-Laws, OCP and South End Neighbourhood Plan support the redevelopment of this area into higher density, Multi-family residential use. The intension of this application to stay within the guidelines of these documents and avoid variances where possible. Two five storey buildings are proposed to stand over a common underground parkade that is accessed off Milton Street.

## **OCP and Neighbourhood Objectives**

Some key goals established by the OCP are to 'Manage Urban Growth' and 'Build a more Sustainable Community'. The South End Neighbourhood Plan speaks to more specific needs of the neighbourhood. For example, development must keep up with the increased demand in population and be centered close to Urban Cores with a focus on cyclist and pedestrians.

Other guiding Principles relevant to this neighbourhood and project include, development of mixed use density with a range of housing choices and affordability. Single family homes continue to become less affordable as the demand for smaller more cost effective housing increases.

Haliburton Street is singled out as a neighbourhood greenway for Pedestrian Connectivity with the Milton St corner identified as a 'small scale public open space'. The proposed Street Design and Landscape solution is consistent with the neighbourhood guidelines and builds off the excellent precedent established by the 'Outlook' development approved for 119 Haliburton St. Including, but not limited to, enhanced lighting, street trees, on-street parking, and boulevard planting with drought resistant native planting.

Haliburton Street will be re-established as a pedestrian-oriented street. A variety of small fences, retaining walls and landscape buffers will ensure the privacy and enjoyment of the street level units with direct access to Haliburton St.

## **Building Design Guidelines**

The massing and density is consistent with the current zoning by-laws and guiding principles of the South End Neighbourhood Plan. Following the precedent established by our neighbours at 119 Haliburton St., the buildings will be set back from the Street 6m as per R8 zoning. The massing will be managed by reducing the floor area of the upper 2 levels and stepping back the building form from Haliburton St. helping to keep the visual scale down to 3 levels. Articulation of the roof lines creates further visual interest. Massing toward the east side increases slightly to ensure the best possible access to views.

Each unit will have access to outdoor space with a small balcony or ground floor patio. This ensures a visual interest and a balance between solid and transparent massing. A slight change of materials but with a consistent rhythm, will ensure Architectural interest in an organized and disciplined fashion.

Pedestrian Entrances to both buildings are easily identifiable and celebrated as a focal point of the design. The north building centered off Haliburton St. and the South building focused at the Milton Street corner.

Quality, sustainable materials such as brick and sandstone (found locally) and reclaimed wood make up some the material theme throughout the project respecting the traditional heritage of the South End. Colour choices are also consistent with the overall earth tone palette.

Underground parking is accessed off the safer and quieter environment of Milton Street taking the curb cut off Haliburton St. Parking is designed to meet the required spaces as per the current zoning By-laws. Facilities are also proposed for bike storage and electric vehicle charging.

## **CPED Strategies (crime prevention)**

Variation in street patterns and traffic calming hubs along Haliburton Street will assist in neighbourhood safety and guide visitors away from private spaces. Ground floor patios are separated with low level retaining walls and shrubs to clearly identify private space but still allow neighbours to interact. Street lighting along Haliburton St. provide and added layer of surveillance and safety. Building entrance are clearly identifiable with easy access.

## **Summary**

This proposal has been reviewed and supported by the South End Community Association (SECA). Parkshore Projects is committed to working with the City of Nanaimo and SECA in creating positive and sustainable change to this well established neighbourhood. We believe this development is an early indication of the exciting Urban growth coming to Nanaimo. Thank you for considering our application.

**RECEIVED**  
**DP1142**  
**2019-JUN-04**

Current Planning

## **Variance Rational**

### **Height:**

Application includes a 'Green Roof' accessible by the occupants as outdoor gathering space. One stairwell per building extends to provide access to the roof gardens.

These Structures along with the elevator machine rooms are exempt from the height By-Law. At application time the required guardrails that are mandatory by the BCBC, are not included as an exemption to height. Therefore we are asking for a 1.07m height variance to accommodate the required guardrails. These 'structures' will not be visible from the Street.

### **Flanking Sideyard:**

Our proposed 'South Building' facing Milton Street conforms to the required 4m setback as illustrated by Gridline K of the floor plans. Only a small section of the plan projects 0.4m beyond this gridline and identifies as a 'Bay window' on the South elevation. This feature was added as visual relief for the South elevation to create Architectural interest. This 'Bay Window' feature represents a very small portion of the elevation and we hope staff can support it as a small variance.

### **Lot Coverage:**

A fairly minor deviation from the required 40.0%. As advised by Staff in the early days of Planning there was a suggestion that some leeway in this regard could be supported. In efforts to maximize the Site potential, we are asking for a 1.5% variance to the Lot Coverage.

### **Parkade Setback:**

In effort to ensure minimum stall length and driving aisles a Variance is requested for the required Front Yard Setback for the Underground Parkade.

A setback less than the required 1.8m was approved for the Outlook building at 119 Haliburton so the expectation was for a certain level of tolerance in this regard.

A revision could be made to bring into conformance with the approved setback of the outlook building but the maneuvering works better as proposed.

Thank you and Staff for considering our rational.

*Matt*

**MATTHEW T. HANSEN ARCHITECT**

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# LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001142

## LOCATION PLAN

Civic: 135, 139, 147, 151 HALIBURTON STREET & 940 MILTON STREET  
 Legal: THE WESTERLY 35 FEET OF THE EASTERLY 45 FEET OF LOT 1,  
 LOT 2 AND THE EASTERLY 10 FEET OF LOT 1, LOTS 3 & 4, & LOT 1,  
 EXCEPT THE EASTERLY 10 FEET AND EXCEPT PART SHOWN  
 OUTLINED IN RED ON PLAN 711-R  
 BLOCK 7, SECTION 1, NANAIMO DISTRICT, PLAN 584

N



Subject Properties

# SITE PLAN

## PARKSHORE PROJECTS LTD.

THE EASTERLY 10 FT.  
OF LOT 1, THE  
WESTERLY 35 FT. OF  
THE EASTERLY  
45 FT. OF LOT 1, THE  
REMAINDER OF LOT 1,  
LOTS 2, 3, AND 4,  
BLOCK 7, SECTION 1,  
NANAIMO DISTRICT,  
PLAN 584

ADDRESS: 135, 139, 147 AND 151,  
HALBURTON STREET AND  
340 MILTON STREET,  
NANAIMO, B.C.

PROJECT SURVEYOR: D.G. WALLACE  
DRAWN BY: DAW DATE: SEPT. 11/18  
OUR FILE: 09207 REVISION:



10, 1411 BURNTHORPE ROAD NANAIMO B.C. V9T 2H1  
TEL: 250-750-4031 FAX: 250-750-4000  
EMAIL: jordan@jea.bc.ca  
NANAIMO VICTORIA PRINCEGEORGE CAMPBELL RIVER

## LEGEND

ALL DIMENSIONS ARE IN METRES  
DATUM FOR ELEVATIONS, IN METRES,  
IS CGCGD83

CONTOUR INTERVAL = 0.30

SUBJECT TO CHARGES SHOWN ON TITLE NO. E0431792

(P.I.D. 008-825-841) AS TO THE EASTERLY 10 FEET OF LOT 1

SUBJECT TO CHARGES SHOWN ON TITLE NO. C4526797

(P.I.D. 005-758-386) AS TO THE WESTERLY 35 FEET OF THE EASTERLY 45 FEET OF LOT 1

SUBJECT TO CHARGES SHOWN ON TITLE NO. E041070

(P.I.D. 001-045-250) AS TO THE REMAINDER OF LOT 1

SUBJECT TO CHARGES SHOWN ON TITLE NO. E0431792

(P.I.D. 008-825-823) AS TO AS TO LOT 2

SUBJECT TO CHARGES SHOWN ON TITLE NO. C45713245

(P.I.D. 000-000-223) AS TO LOT 3

SUBJECT TO CHARGES SHOWN ON TITLE NO. C45710579

(P.I.D. 008-825-947) AS TO

DIMENSIONS ARE DERIVED FROM

LAND TITLE OFFICE RECORDS

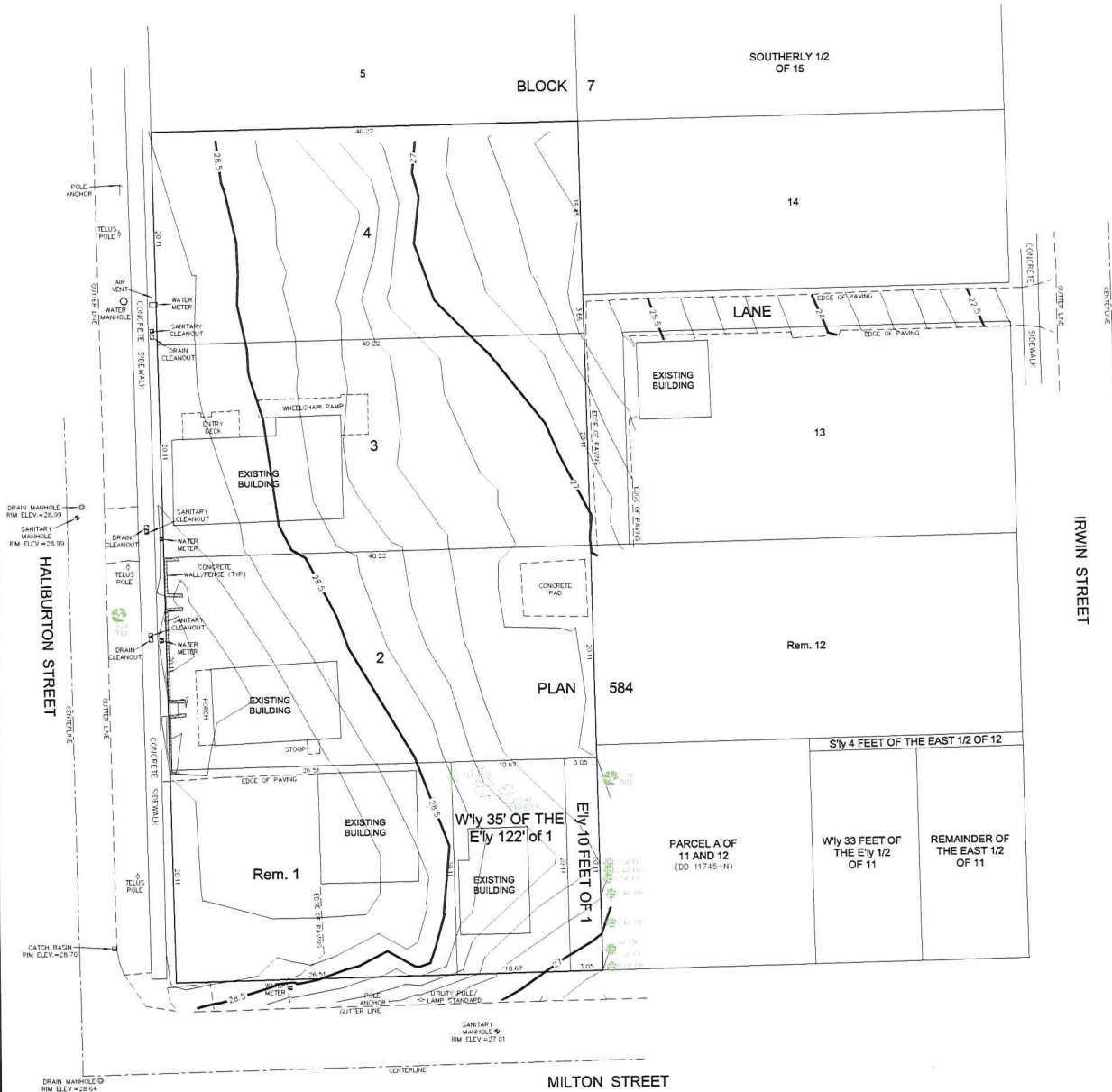
THIS PLAN HAS BEEN PREPARED IN

ACCORDANCE WITH THE PROFESSIONAL

REFERENCE MANUAL



DRAIN MANHOLE  
P.M. ELEV = 23.38  
WATER VALVE  
HYDRANT  
SANITARY MANHOLE  
P.M. ELEV = 23.52



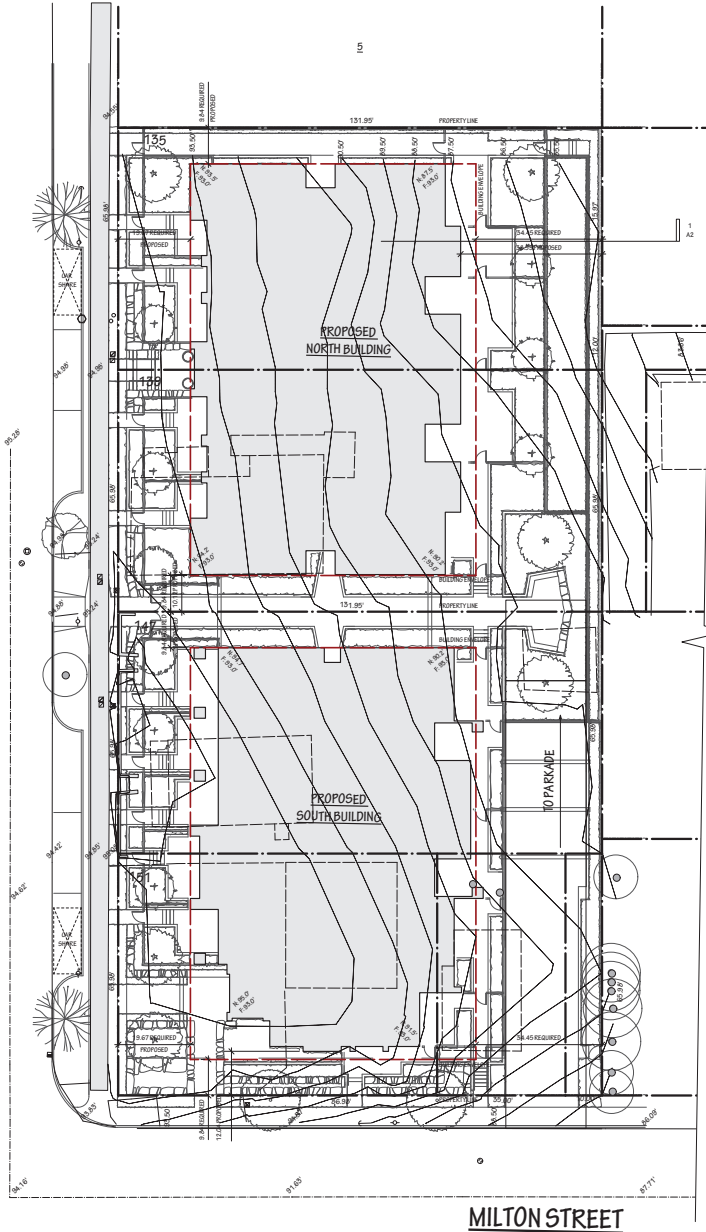
DRAIN MANHOLE  
P.M. ELEV = 23.54  
SANITARY MANHOLE  
P.M. ELEV = 23.66  
WATER VALVE  
HYDRANT  
MANHOLE IN SIDEWALK  
PURPOSE UNKNOWN  
WATER VALVE

0 2 4 6 8 10 12 14 16 18 20  
The intended plot size of this plan is 564mm in width by 864mm in height. D size when plotted at a scale of 1:200

MILTON STREET



HALIBURTON STREET



### SITE PLAN

SCALE: 1/16"=1'0"



#### STATISTICS:

PROJECT: PROSPECT BUILDING  
CLIENT: PARKSHORE PROJECTS LTD

CIVIC ADDRESS: HALIBURTON ST. NANAIMO, BC  
LEGAL DESCRIPTION: T.B.D.  
P.L.D.: T.B.D.  
ZONING: RS-B - MEDIUM DENSITY RESIDENTIAL  
SITE AREA: 34804.00 sq.ft.

#### BUILDING COVERAGE:

MAX ALLOWED: 40%	13929.60 sq.ft.
NORTH BUILDING	7517 sq.ft.
SOUTH BUILDING	6962 sq.ft.
TOTAL	14479 sq.ft.

#### FSR:

MAX ALLOWED W/ ADDITIONAL DENSITY: 185% (MEETING TIER REQUIREMENTS)	64124.40 sq.ft.
NORTH BUILDING	32503 sq.ft.
SOUTH BUILDING	31691 sq.ft.
TOTAL	64194 sq.ft.

#### HMH:

MAX ALLOWED: 42' (HEIGHT RELAXATION TO 47')	
NORTH BUILDING	
Avg. GRADE	91.37'
PROPOSED HEIGHT	48.00'
SOUTH BUILDING	
Avg. GRADE	92.87'
PROPOSED HEIGHT	48.80'

#### STAKES:

	REQUIRED	PROPOSED
NORTH BUILDING		
FRONT YARD SETBACK	19.67'	NO CHANGE
REAR YARD SETBACK	34.40'	38.89'
SIDEYARD NORTH SETBACK	9.84'	NO CHANGE
SIDEYARD SOUTH SETBACK	9.84'	10.84'
SOUTH BUILDING		
FRONT YARD SETBACK	19.67'	NO CHANGE
REAR YARD SETBACK	34.40'	T.B.D.
SIDEYARD NORTH SETBACK	9.84'	NO CHANGE
SIDEYARD SOUTH SETBACK	9.84'	12.04'
PARKADE		
FRONT YARD SETBACK	N/A	2.50'
REAR YARD SETBACK	N/A	3.42'
SIDEYARD NORTH SETBACK	N/A	7.80'
SIDEYARD SOUTH SETBACK	N/A	9.84'

#### NORTH BUILDING UNITS

STUDIO	1
1 BED	21
1 BED & DEN	8
2 BED	7
TOTAL	37

#### FSR BREAKDOWN

GROUND FLOOR	7517 sq.ft.
2ND LEVEL	7376 sq.ft.
3RD LEVEL	7371 sq.ft.
4TH LEVEL	5182 sq.ft.
5TH LEVEL	5047 sq.ft.
TOTAL	32503 sq.ft.

#### SOUTH BUILDING UNITS

STUDIO	6
1 BED	20
1 BED & DEN	8
2 BED	6
TOTAL	40

#### FSR BREAKDOWN

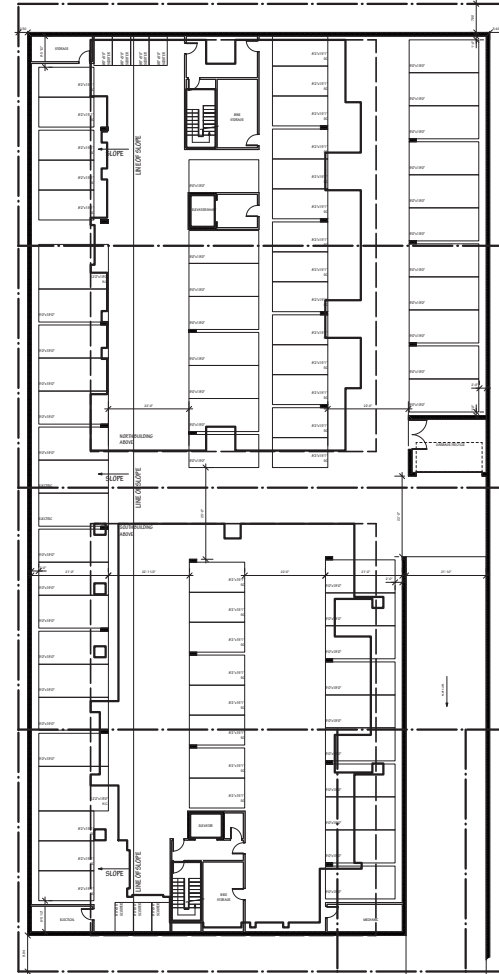
GROUND FLOOR	6965 sq.ft.
2ND LEVEL	6066 sq.ft.
3RD LEVEL	6043 sq.ft.
4TH LEVEL	5671 sq.ft.
5TH LEVEL	5669 sq.ft.
TOTAL	31691 sq.ft.

#### DRAWING LIST:

A00	COVER SHEET
A01	SITE, STATISTICS & PARKADE PLANS
A02	NORTH & SOUTH BUILDING SECTIONS
A02.1	SOLAR STUDY
A02.2	SOLAR STUDY - ELEVATIONS
A03	NORTH BUILDING - GROUND FLOOR & 2ND LEVEL PLANS
A04	NORTH BUILDING - 3RD & 4TH LEVEL PLANS
A05	NORTH BUILDING - 5TH LEVEL & ROOF PLANS
A05.1	NORTH BUILDING - UNIT TYPE & FSR
A06	NORTH BUILDING - WEST & SOUTH ELEVATIONS
A07	NORTH BUILDING - PERSPECTIVES & COLOR ELEVATIONS
A08	SOUTH BUILDING - GROUND FLOOR & 2ND LEVEL PLANS
A09	SOUTH BUILDING - 3RD & 4TH LEVEL PLANS
A10	SOUTH BUILDING - 5TH LEVEL & ROOF PLANS
A10.1	SOUTH BUILDING - UNIT TYPE & FSR
A11	SOUTH BUILDING - WEST & NORTH ELEVATIONS
A12	SOUTH BUILDING - EAST & SOUTH ELEVATIONS
A13	SOUTH BUILDING - PERSPECTIVES & COLOR ELEVATIONS

#### PARKADE SPACES:

TYPE	SIZE	PROVIDED	% OF SPACES
REGULAR	9'0" x 19'0"	43	57.3%
SMALL	8'2" x 15'1"	30	40%
HANDICAP	12'2" x 19'0"	2	2.7%
TOTAL		75	100%



### PARKADE PLAN

SCALE: 1/16"=1'0"

04	
03	
02	
01	
NO.	DATE
	REVISION

**MATTHEW T. HANSEN**  
architect

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and area projections are based on drawings. Contractors shall  
verify and shall be responsible for all dimensions and conditions  
on the job and the Architect shall be relieved of any liability  
from the dimensions and conditions as shown on this drawing.

#### PROJECT TITLE:

PROSPECT

HALIBURTON AND MILTON ST.  
NANAIMO, BC

DRAWING TITLE  
SITE, STATISTICS &  
PARKADE PLANS

DATE: MAY 2019

DRAWN: DB

SCALE: AS NOTED

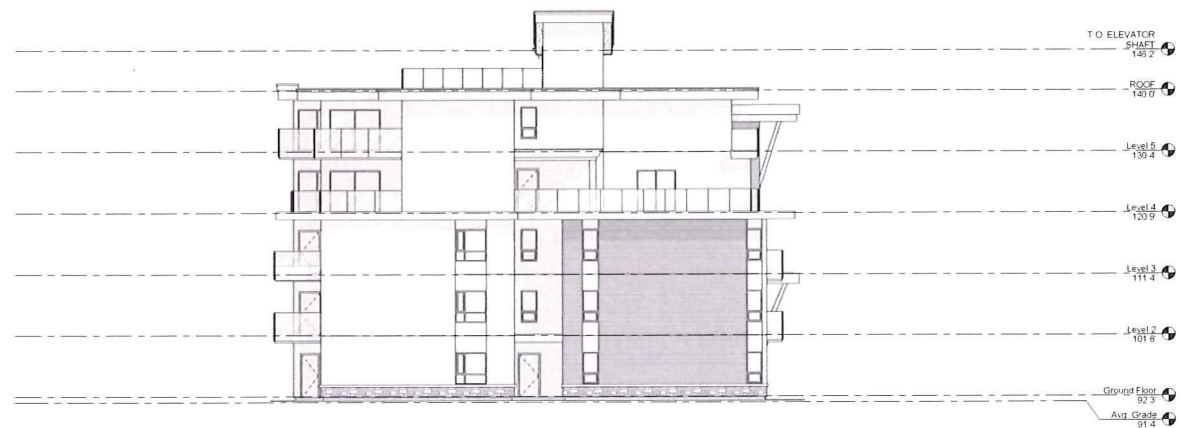
DRAWING NO.

A01



### WEST ELEVATION

NORTH BUILDING  
1/8" = 1'-0"



### NORTH ELEVATION

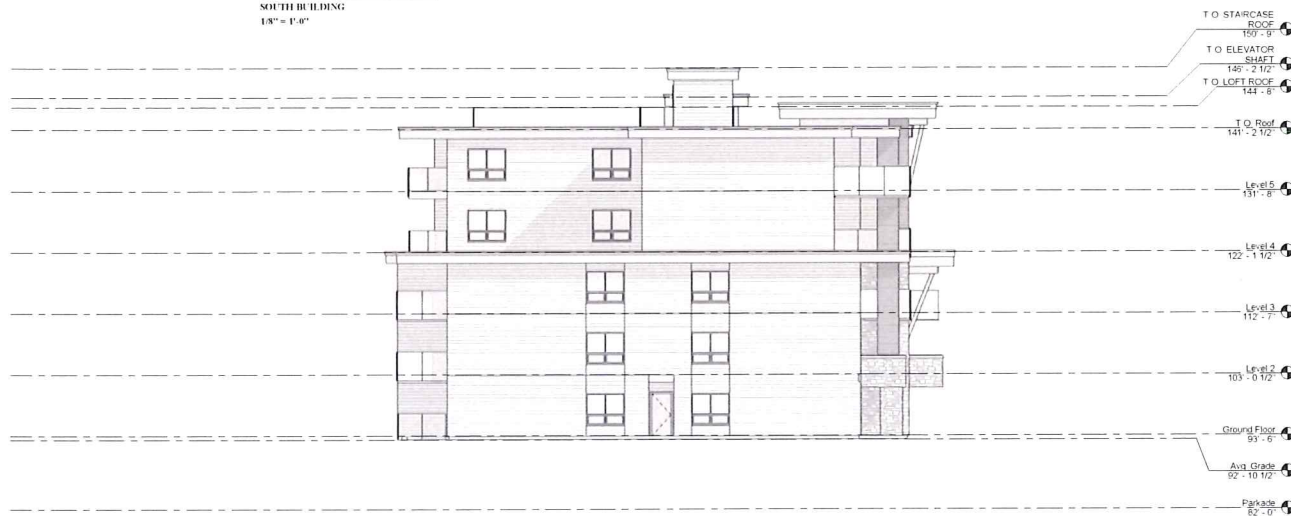
NORTH BUILDING  
1/8" = 1'-0"

No.	Description	Date
<b>MATTHEW T. HANSEN</b> <b>architect</b>		
1572 Kilmer Rd. Inverness, BC V2X 1K1 E. mhansen@mtarchitect.ca T. 604.683.3723 F. 604.683.8723 C. 604.671.2353		
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<b>PROSPECT</b>		
HANSEN & HANSEN LTD. 1572 KILMER RD.		
<b>NORTH BUILDING WEST &amp; NORTH ELEVATIONS</b>		
DATE	11-11-11	<b>A06</b>
DRAWING	11-11-11	
SCALE	1/8" = 1'-0"	





**WEST ELEVATION**  
SOUTH BUILDING  
1/8" = 1'-0"



**NORTH ELEVATION**  
SOUTH BUILDING  
1/8" = 1'-0"

No.	Description	Date
<b>MATTHEW T. HANSEN</b> <b>architect</b>		
1372 Wilmer Pk. M. HANSEN, P.E. V.P.E. 184		
E. mhansen@mtarchitect.ca T. 804.583.3373 F. 804.583.8723 C. 804.581.2333		
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www.mtarchitect.ca		
Project Title <b>PROSPECT</b>		
Drawing Title <b>SOUTH BUILDING WEST &amp; NORTH ELEVATIONS</b>		
Drawn	10-11-17	A 12
Checked	11-01-17	
Date	10-11-17	



[illegible]



**PERSPECTIVE**  
NORTH BUILDING



**PERSPECTIVE 2**  
NORTH BUILDING



**NORTH ELEVATION**  
NORTH BUILDING  
1/16" = 1'-0"



**EAST ELEVATION**  
NORTH BUILDING  
1/16" = 1'-0"



**SOUTH ELEVATION**  
NORTH BUILDING  
1/16" = 1'-0"



**WEST ELEVATION**  
NORTH BUILDING  
1/16" = 1'-0"

No.	Description	Date

**MATTHEW T. HANSEN**  
architect

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Barnesville, BC  
V7K 1P4  
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Project Title  
**PROSPECT**

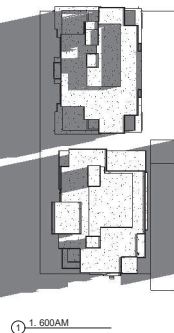
Location  
WILSON BLVD, CHILLI  
VANCOUVER, BC

Drawing Title  
**NORTH BUILDING  
RENDERINGS**

Scale	1/16" = 1'-0"	<b>A08</b>
Date		
Drawn By		

[illegible]





① 1:00AM



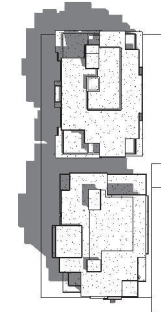
② 2:00AM



③ 3:00AM



④ 4:00AM



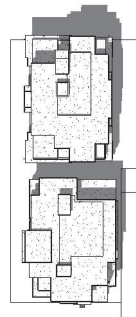
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⑥ 6:00AM



⑦ 7:00AM



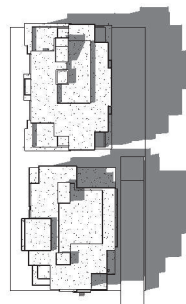
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⑨ 9:00AM



⑩ 10:00AM



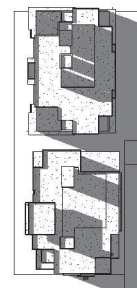
⑪ 11:00AM



⑫ 12:00PM



⑬ 1:00PM



⑭ 2:00PM

No.	Description	Date

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Project Title:  
**PROSPECT**

Location: BC

Drawing Title:  
**SOLAR STUDY  
MAY, 07, 2019**

Date: MAY 07, 2019  
Drawing No.:  
Scale:  
**A02.1**

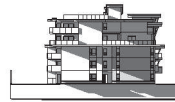


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**DP1142**  
**2019-JUN-04**





② 2. 700AM WEST ELEVATIONS



⑧ 2. 700AM NORTH ELEVATION



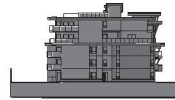
⑩ 2. 700AM EAST ELEVATIONS



⑬ 2. 700AM SOUTH ELEVATION



④ 4. 900AM WEST ELEVATIONS



⑪ 4. 900AM NORTH ELEVATION



⑫ 4. 900AM EAST ELEVATION



⑭ 4. 900AM SOUTH ELEVATION



⑦ 6. 1100AM WEST ELEVATIONS



⑯ 6. 1100AM NORTH ELEVATION



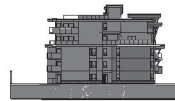
⑰ 6. 1100AM EAST ELEVATIONS



⑮ 6. 1100AM SOUTH ELEVATION



⑨ 8. 100PM WEST ELEVATIONS



⑫ 8. 100PM NORTH ELEVATION



⑱ 8. 100PM EAST ELEVATIONS



⑯ 8. 100PM SOUTH ELEVATION



⑩ 10. 300PM WEST ELEVATIONS



⑬ 10. 300PM NORTH ELEVATION



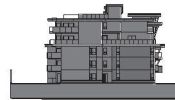
⑲ 10. 300PM EAST ELEVATIONS



⑰ 10. 300PM SOUTH ELEVATION



⑪ 12. 500PM WEST ELEVATIONS



⑭ 12. 500PM NORTH ELEVATION



⑳ 12. 500PM EAST ELEVATIONS



⑱ 12. 500PM SOUTH ELEVATION



⑫ 14. 700PM WEST ELEVATIONS



⑮ 14. 700PM NORTH ELEVATION



㉑ 14. 700PM EAST ELEVATIONS



㉒ 14. 700PM SOUTH ELEVATION

No.	Description	Date

**MATTHEW T. HANSEN**  
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Project Title: **PROSPECT**

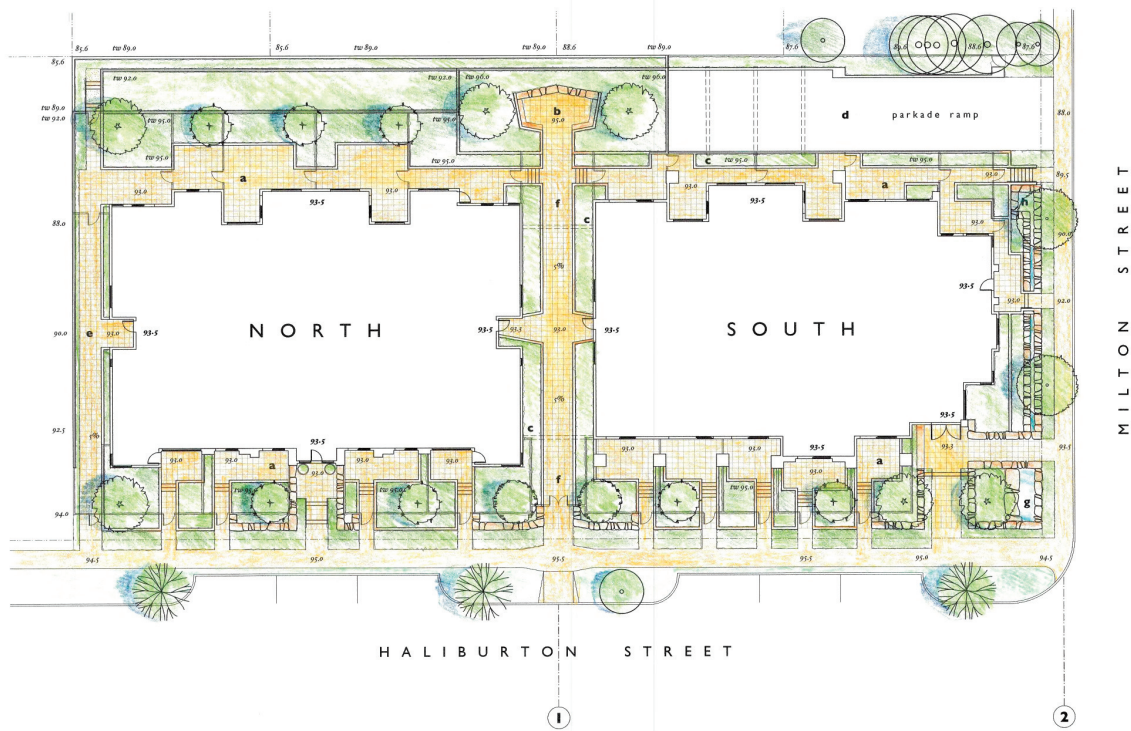
Location: BC

Drawing Title: **SOLAR STUDY - ELEVATIONS - MAY, 07, 2019**

Date: MAY 2019

Drawing: **A02.2**

Scale: **A02.2**



## Key

- a garden patio
- b view terrace
- c vine trellis
- d driveway ramp 5.5%
- e north walkway
- f garden courtyard
- g waterfall
- h raingarden
- permeable pavers
- 2 section line refer to L.A.s



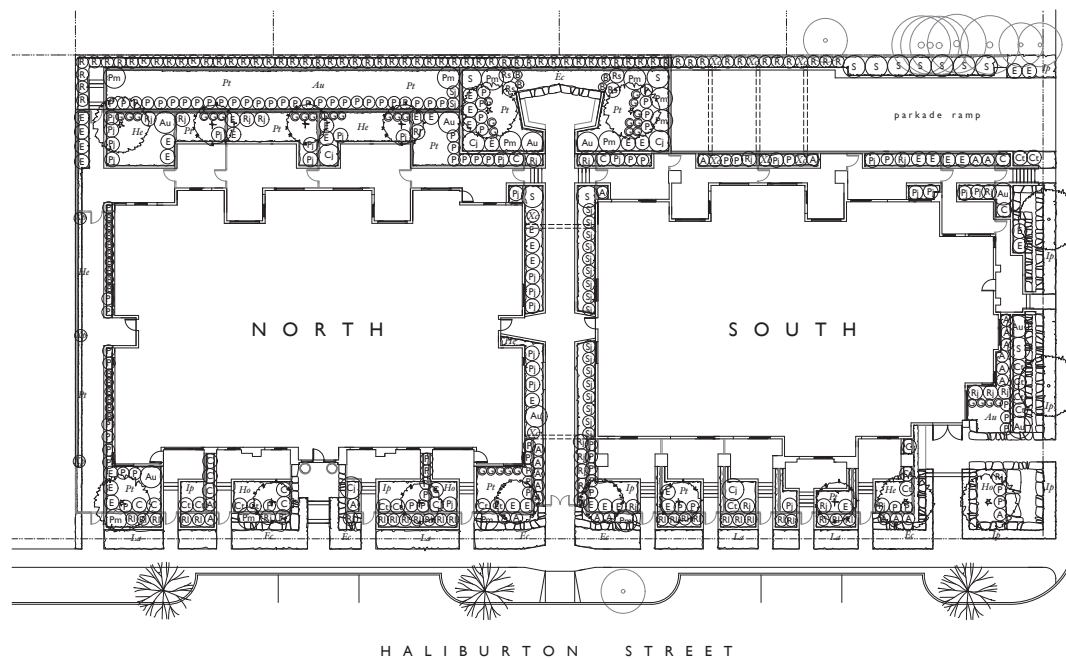
May 12, 2019  
 April 20, 2019 revised  
 February 20, 2019 conceptual plan  
**PROSPECT**  
 151 Haliburton Street, Nanaimo, BC

**Level One**  
**Grading Plan**  
 Scale 1/16"=1'-0"

**TOPOGRAPHICS**  
 landscape architecture  
 250 247 9720

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 DP1142  
 2019-JUN-04  
 C:\Users\j\Documents\2019-JUN-04

**LA I**



Symbol	Qty	Botanical Name	Common Name	Size	Note
<b>TREES</b>					
	7	<i>Acer palmatum</i> Senkaki	Japanese Maple	6' ht	multistem
	2	<i>Cercidiphyllum japonica</i>	Katsura	5' cal	
	6	<i>Magnolia soulangeana</i>	Magnolia	5' cal	
	2	<i>Platanus x acerifolia</i>	London Plane	5' cal	6' standard
	3	<i>Prunus serrulata</i> Kwanzan	Flowering Cherry	5' cal	
<b>SHRUBS</b>					
	8	<i>Arbutus unedo</i>	Strawberry Tree	#1	
	26	<i>Asalea japonica</i> Blue Danube	Asalea	#2	
	19	<i>Blechnum spicant</i>	Bacwood	#2	
	5	<i>Camellia japonica</i> Elegans Champagne	Camellia	#1	
	17	<i>Canthorus thyriflorus</i> Victoria	California Lilac	#2	
	12	<i>Choisyia ternata</i>	Mexican Mockorange	#2	
	40	<i>Eucymus alatus</i> Compactus	Burningbush	#2	
	34	<i>Gaultheria shallon</i>	Salal	#2	
	22	<i>Pieris japonica</i> Compacta	Pieris	#1	
	12	<i>Pinus mugo</i> Pumilio	Mugo Pine	#1	
	84	<i>Polystichum munizianum</i>	Swordfern	#2	
	24	<i>Rhododendron</i> Jean Marie de Montague	Rhododendron	#1	
	4	<i>Rhododendron</i> Snow Lady	Rhododendron	#1	
	24	<i>Rosa meidland</i> La Seviliana	Rose	#2	
	62	<i>Rosa mathana</i>	Notho Rose	#2	
	17	<i>Skinemia japonica</i>	Skinemia	#2	
	11	<i>Syringa vulgaris</i> Edith Cavell	Lilac	#1	
<b>GROUNDCOVERS</b>					
	30	<i>Arctostaphylos uva ursi</i>	Kinnikinnick	4"	
	120	<i>Erica carnea</i> Springwood White	Heather	#1	
	120	<i>Lavandula angustifolia</i> Munstead	Lavender	#1	
	240	<i>Pachysandra terminalis</i>	Japanese Spurge	4"	
<b>PERENNIALS</b>					
	60	<i>Hemerocallis Stella d'Oro</i>	Daylily	#1	
	60	<i>Hosta sieboldiana</i> Elegans	Hosta	#1	
	120	<i>Iris pumilla</i>	Iris	#1	
<b>VINES</b>					
	8	<i>Clematis armandii</i>	Evergreen Clematis	#1	staked
	3	<i>Parthenocissus tricuspidata</i>	Boston Ivy	#1	staked
All Plants to meet BCSLA / BCNTA Standards					
Drip irrigation to be provided for all planting areas					



May 12, 2019  
April 26, 2019  
February 20, 2019 conceptual plan

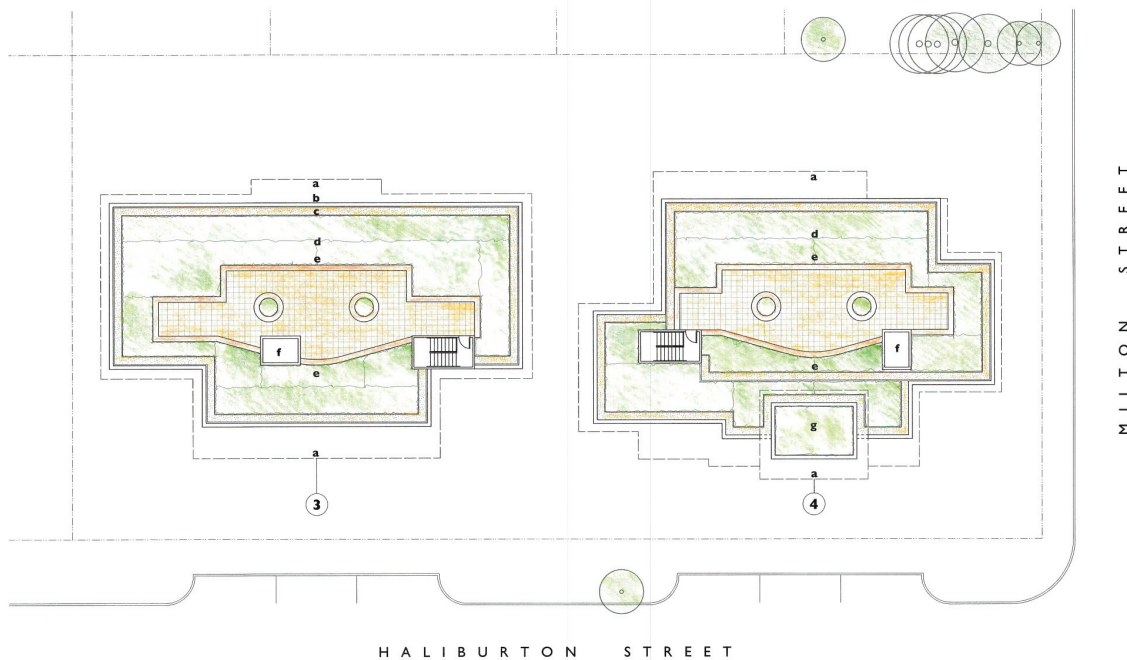
**PROSPECT**  
151 Haliburton Street, Nanaimo, BC

**Level One**  
**Planting Plan**  
Scale 1/16"=1'-0"

**TOPOGRAPHICS**  
landscape architecture  
250 247 9720

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2019-JUN-04  
CITY OF NANAIMO

**LA 2**



## Key

- a roofline  
refer to architecture
- b parapet  
12" height
- c guardrail  
glazed 42" height
- d drain rock  
3" min diameter
- e meadow planting  
refer to LA4
- f sitting wall  
18" height
- g permeable pavers  
18" square, texada desert sand
- h elevator mechanical  
refer to architecture
- i upper garden  
refer to architecture
- 3 section line  
refer to LA6



May 12, 2019  
April 20, 2019 revision  
February 26, 2019 conceptual plan

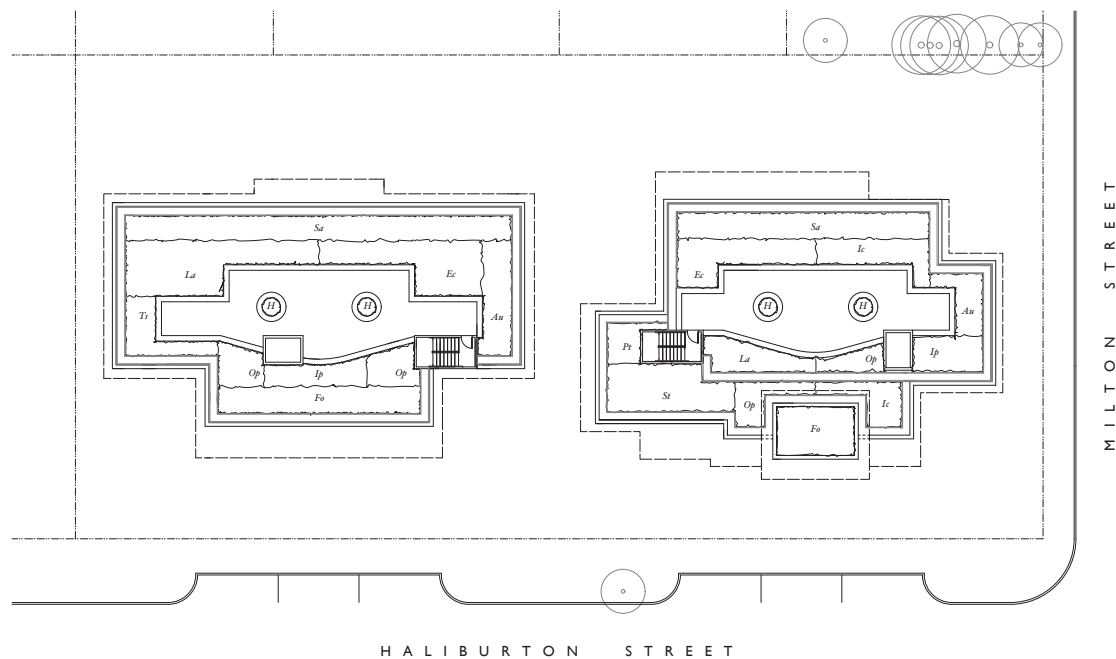
**PROSPECT**  
151 Haliburton Street, Nanaimo BC

**Level Six**  
**Grading Plan**  
Scale 1/16" = 1'-0"

**TOPOGRAPHICS**  
landscape architecture  
2 5 0 2 4 7 9 7 2 0

**LA 3**

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2019-JUN-04  
COURTESY PLANNING



PLANT LIST				
Symbol	Qty	Botanical Name	Common Name	Size
<b>GROUND COVER</b>				
An	180	<i>Aristaophylus uva ursi</i>	Kinnikinnick	#1
Ec	300	<i>Erica carnea Springwood White</i>	Heather	#1
La	320	<i>Lavandula angustifolia Munstead</i>	Lavender	#1
Pt	40	<i>Pachysandra terminalis</i>	Japanese Spurge	#1
<b>PERENNIAL</b>				
Ip	160	<i>Iris pansilla</i>	Iris	#1
Su	460	<i>Sedum alba</i>	Sedum	4"
St	160	<i>Sedum tenuissimum</i>	Sedum	4"
Ti	100	<i>Thymus serpyllum</i>	Thyme	#1
<b>GRASS</b>				
Fo	260	<i>Festuca ovina</i>	Blue Fescue	#1
Ic	140	<i>Imperata cylindrica Red Baron</i>	Japanese Bloodgrass	#1
Op	180	<i>Ophiopogon plantiscarpus Arabicus</i>	Black Mondo Grass	#1
<b>HERB</b>				
H	20	<i>to be selected</i>		#1
All Plants to meet BCSLA / BCNTA Standards				
Drip irrigation to be provided for all planting areas				



May 12, 2019  
April 26, 2019 revision  
February 20, 2019 conceptual plan

PROSPECT  
151 Haliburton Street, Nanaimo BC

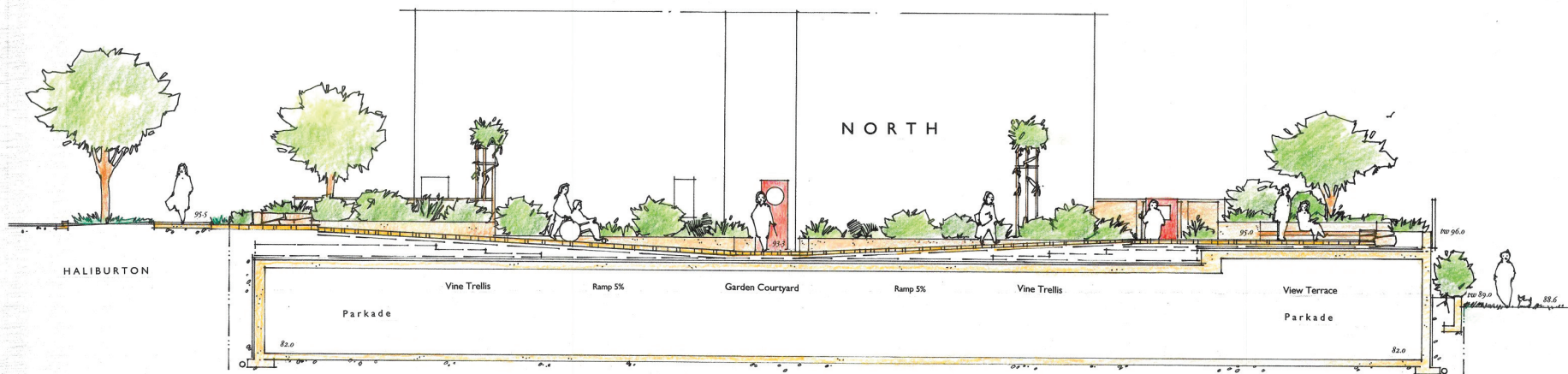
Level Six  
Planting Plan  
Scale 1/16"=1'-0"

TOPOGRAPHICS  
landscape architecture  
250 247 9720

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2019-JUN-04  
CITY OF NANAIMO

LA 4





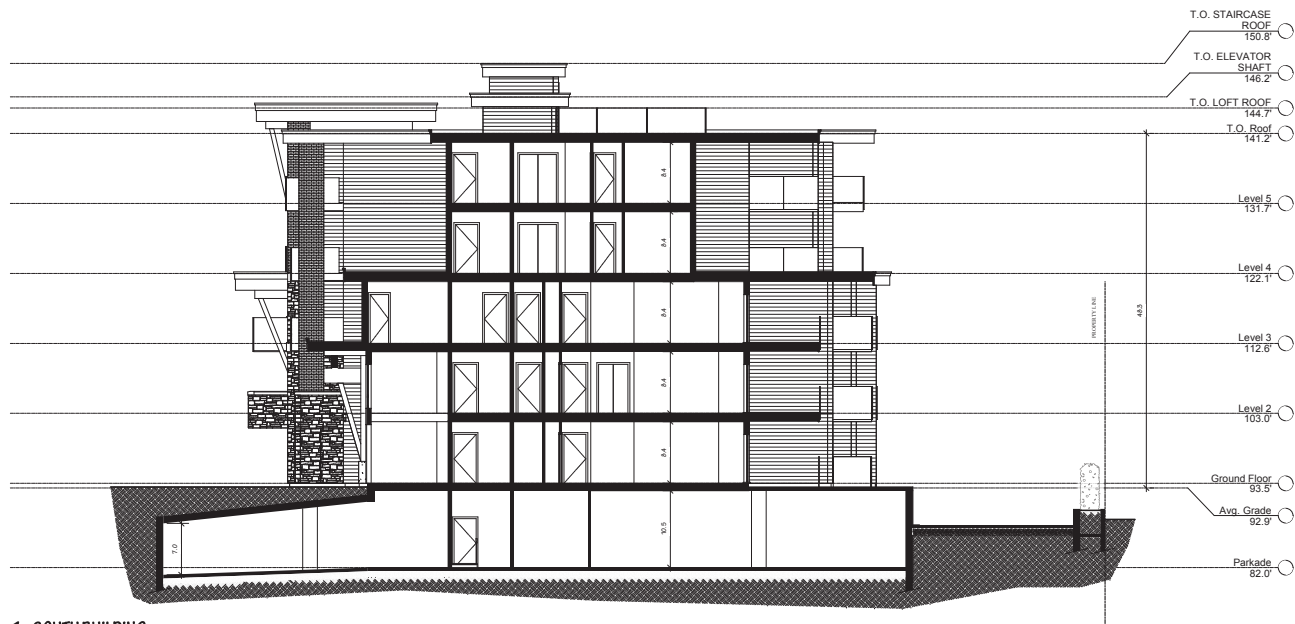
Section 1



Section 2

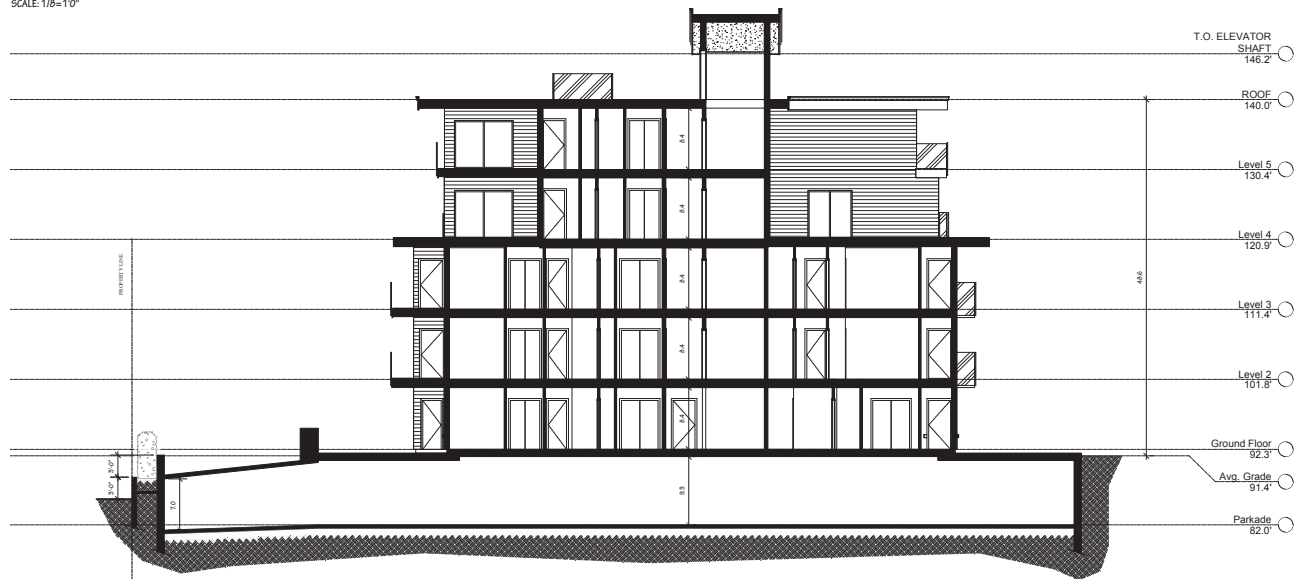
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 151 Haliburton Street, Nanaimo BC  
**Level One**  
 Landscape Sections  
 Scale 3/16" = 1'-0"  
**TOPOGRAPHICS**  
 landscape architecture  
 250.247.9720  
**LA5**

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 2019-JUN-04



**1 - SOUTH BUILDING**

SCALE: 1/8"=1'0"



**1 - NORTH BUILDING**

SCALE: 1/8"=1'0"

NO.	DATE	REVISION
04		
03		
02		
01		

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PROJECT TITLE

PROSPECT

HAUBERTON AND MELSON OF  
NANAIMO, BC

DRAWING TITLE

NORTH & SOUTH BUILDING  
SECTIONS

DATE

MAY 2019

DRAWN

BB

SCALE

AS NOTED

DRAWING NO.

A02

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DP 1142  
2019-JUN-04

Critical Planning



# AERIAL PHOTO



## Legend

 Subject Properties

DEVELOPMENT PERMIT NO. DP001142



DESIGN ADVISORY PANEL MEETING

Thursday, July 25, 2019

DEVELOPMENT PERMIT APPLICATION NO. DP1147

1005 Farquhar Street

## STAFF DESIGN COMMENT

### DEVELOPMENT PERMIT NO. DP001147 – 1005 Farquhar Street

**Applicant / Architect:** MATTHEW HANSEN ARCHITECT

**Landscape Architect:** TOPGRAPHICS LANDSCAPE ARCHITECTURE

**Subject Property:**

<i>Zoning</i>	COR3 – Community Corridor
<i>Location</i>	The subject properties are located on the southeast corner of Farquhar Street and Irwin Street.
<i>Total Area</i>	809m <sup>2</sup>
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Corridor; Map 3 – Development Permit Area DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial / Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines; and South End Neighbourhood Plan Urban Design Guidelines

---

Site Context

The site is located in a transitioning area of the South End Neighbourhood. Surrounding land uses are primarily industrial and single dwelling residential with a personal care facility on the northwest corner of Farquhar and Irwin Streets. The subject property is currently vacant and used as a storage yard. A residential home previously existed on the property and was demolished in 2003.

### PROPOSED DEVELOPMENT

The applicant is proposing to construct a two-storey 183m<sup>2</sup> taxi dispatch centre. The development will include offices and a garage. The proposed Floor Area Ratio (FAR) is equal to 0.23, below the maximum allowable FAR of 0.75 in the COR3 zone.

Site Design

The proposed building is sited in the northwest portion of the property, closest to the intersection of Farquhar and Irwin Streets. Driveway access will be provided from Farquhar Street and will lead to the parking area in the rear of the property. The front entrance to the building is facing the driveway and an outdoor patio is proposed in the front of the building. A concrete sidewalk connects the building and Farquhar Street.

Staff Comments:

- Applicant to provide a more detailed parking plan and consider incorporating landscaped islands to break up the surface parking area.

**Building Design:**

The proposed building is commercial in appearance with a flat-roof two-storey massing. The building steps down in the rear to the garage. Projecting rooflines provide for visual interest. Exterior materials are primarily Hardi panel board, with horizontal Hardi siding to break up the elevations.

**Staff Comments:**

- Look at ways to provide more articulation along the west elevation.
- The building entrance on the side lacks street presence. Consider a main building entrance on the north elevation facing Farquhar Street.
- Consider more diversity of building materials and textures to complement the proposed office use.

**Landscape Design**

Landscaping on the site will retain the existing cherry and Douglas fir trees along the west property line facing Irwin Street. New vegetation will include two sweetgum trees to frame the driveway entrance, a cluster of shrubs in the front of the building, a row of wild rose along Irwin Street, and honey locust along the east property line. A fence will surround the property, 1.8m high along the east and south lot lines and 1.2m high along the north and west lot lines.

**Staff Comments:**

- Applicant to confirm that the minimum landscape treatment levels are met on both street frontages.
- Applicant to confirm fencing material and provision of refuse receptacle onsite.
- Site lighting details to be provided.

**PROPOSED VARIANCES**

There are no proposed variances.

# YELLOW CAB DESIGN RATIONAL

**MATTHEW T. HANSEN**  
architect

## Context

Property is located in the South End of Nanaimo in the COR 3 zone. It is a transitional neighbourhood surrounded by a variety of zones that include R1 (Single Family) to the North, CSI (School) to the North-West, I1 (Industrial) to the West, R1 to the South-West, and more COR 3 to the immediate South and East. The site is relatively flat with a slight slope from the north-west corner to the south-east corner and potential view corridor to the East.

The site is presently undeveloped and is being used for the storage of a variety of large trucks and campers. Our intension is to relocate the Cab Company from it's present location just a couple blocks away at 151 Haliburton Street. The program for the building consists of a large two car garage supported by dispatch, office and storage space. This complies with the permitted property use and no variances are required.

## Design Objectives

Working with the proprietors of the Yellow Cab company gave the opportunity to develop a design solution that meets the requirements of the business model while fitting in with the context of the neighbourhood. Vehicle and pedestrian access off Farquhar Street ensure safer access rather than the busier Irwin Street. The primary entrance to the building and the garage doors will face east ensuring safe and easy access to the building in addition to overflow parking at the South end of the property.

The parking area will be screened from Irwin Street with a combination of existing trees and proposed hedging. The entire property will be fenced for security purposes. The proposed two storey structure will have a low impact on the existing Streetscape and fits into the context of the neighbourhood in terms of scale. The design and scale of the building are intended to blend with the surrounding mix of uses. Proposed material list is made up of durable, sustainable products designed for lasting quality. Colours will be a modest blend of natural earth tones.

## Form & Character

In terms of form, this solution is compatible with the existing scale of the neighbourhood with modest and thoughtful design solution that solves the Yellow Cab needs and ensures a positive upgrade to this site. Consultation with the Neighbourhood Groups were met with enthusiastic support. We hope the District shares in our opinion that this development will improve the aesthetics of the site and fits within the context of the neighbourhood.

NO.	DATE	REVISION
<b>MATTHEW T. HANSEN</b> architect		
1872 Kiewit Road North Vancouver, B.C. V7K 1H4 R: m.hansen@mtharchitect.ca T: 604-483-3723 F: 604-483-4723 C: 604-471-2353  www.mtharchitect.ca  Copyright reserved. This drawing and design are and shall at all times remain the exclusive property of Matthew T. Hansen Architect and cannot be used or reproduced without written consent. Written dimensions shall have precedence over verbal dimensions. Contractor shall verify and shall be responsible for all dimensions and conditions on the site and the Architect shall be deemed of any variations from the dimensions and conditions as shown on this drawing.		
PROJECT TITLE: YELLOW CAB RELOCATION PLAN  1005 FARQUHAR STREET NANAIMO, B.C.  DRAWING TITLE: YELLOW CAB DESIGN RATIONAL		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN	B.P.	A 02
SCALE	N/A	

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DP1147  
2019-JUN-19  
Current Planning

# LOCATION PLAN



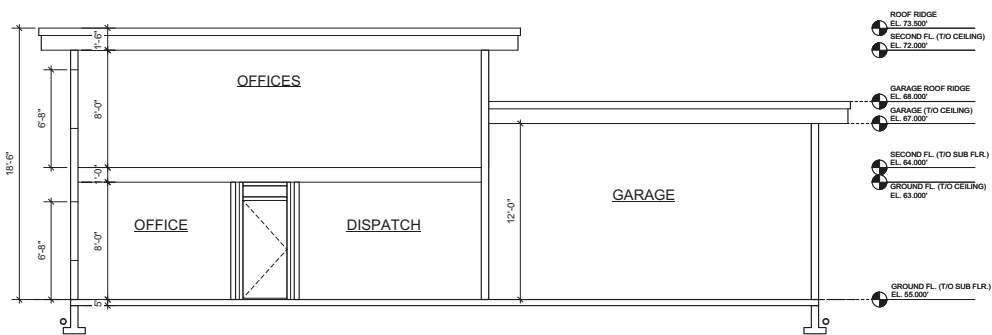
DEVELOPMENT PERMIT NO. DP001147

## LOCATION PLAN

Civic: 1005 FARQUHAR STREET

Legal: NORTH 1/2 OF LOT 10, BLOCK A, SECTION 1

NANAIMO DISTRICT, PLAN 584



**SECTION**  
Scale: 1/4" = 1'-0"

#### ADDITIONAL NOTES:

GLASS OTHER THAN SAFETY GLASS SHALL NOT BE USED FOR A SHOWER OR BATHTUB ENCLOSURE AS PER DIV.8/9.6.5.5.(1)  
WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS AS PER DIV.8/9.28.10.4.(1)  
DAMP-PROOFING MATERIAL TO BE PROVIDED BETWEEN WOOD AND CONCRETE.  
CONTINUOUS OR INTERMITTENT EXHAUST FANS ARE REQUIRED TO ALL BATHROOMS AND KITCHEN AS PER DIV.8/9.32.3.3.  
ENGINEERED ROOF TRUSS DESIGN REQUIRED PRIOR TO INSTALLATION.

#### GENERAL NOTE:

YELLOW CAB OFFICE AND GARAGE @ 1005 FARQUHAR STREET, NANAIMO  
CODES AND BY-LAWS:

THE FOLLOWING REGULATIONS GOVERN THE REQUIREMENTS FOR  
THE CONSTRUCTION OF THIS PROJECT:

1. BRITISH COLUMBIA BUILDING CODE 2012
2. NATIONAL FIRE PROTECTION ASSOCIATION
3. PROVINCIAL PLUMBING AND ELECTRICAL CODES

\* ANY PROBLEM CAUSED BY THE FAILURE TO COMPLY TO THE ABOVE  
REGULATIONS OR THE FAILURE TO INFORM THE ARCHITECT OF ANY  
DISCREPANCY CONTAINED WITHIN THIS SET OF DRAWINGS, OR ANY CHANGE  
NOTICE WILL BE THE RESPONSIBILITY OF THE GENERAL  
CONTRACTOR.

#### STATISTICS:

CIVIC ADDRESS: 1005 FARQUHAR STREET, NANAIMO  
LEGAL DESCRIPTIONS: LOT N1/2 of 10, BLOCK A, SECTION 1, PLAN 584  
P.I.D. 004-341-392  
ZONING: COR3  
SITE AREA: 8,712 SQ FT

#### SITE COVERAGE:

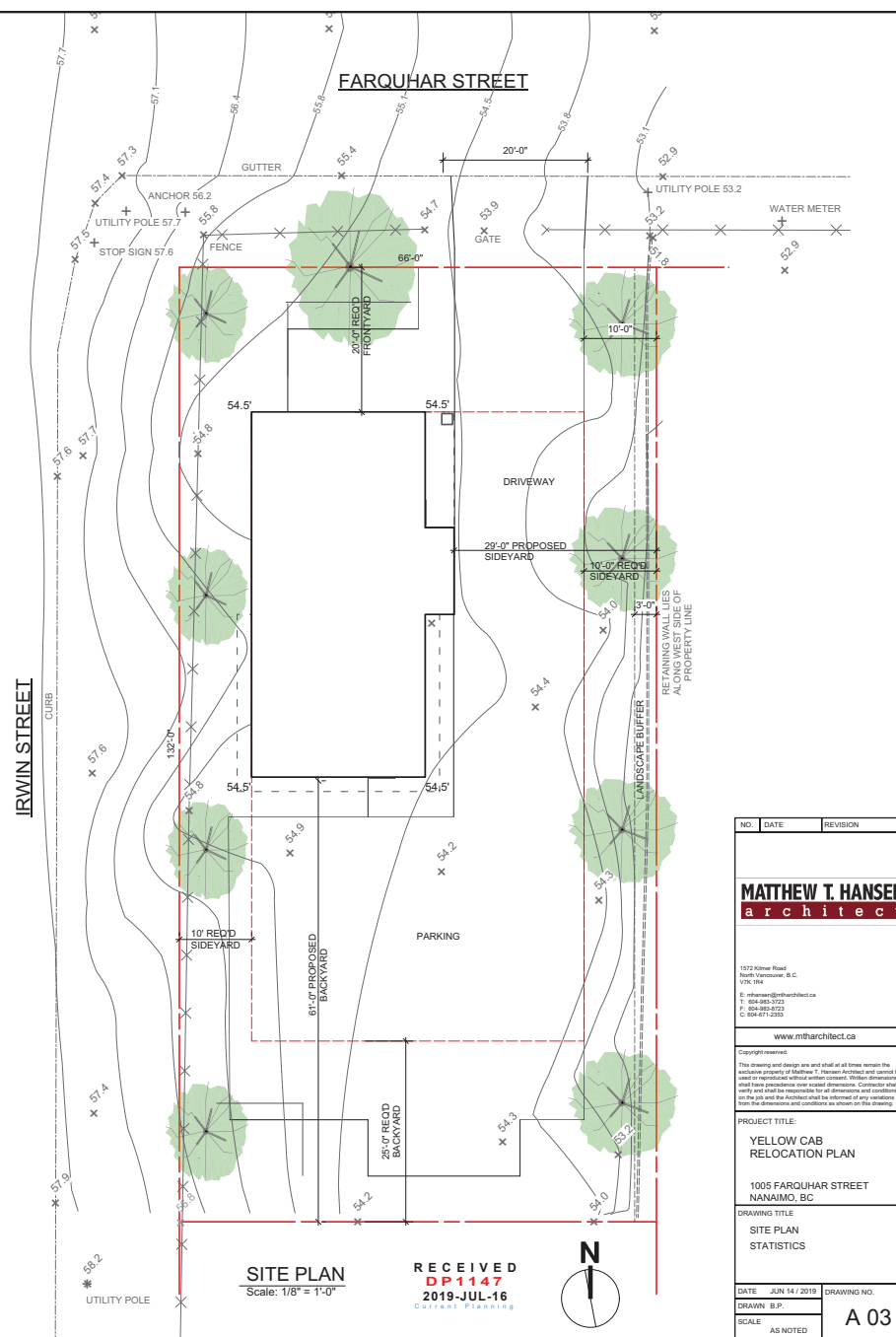
MAX. ALLOWED: 8,712 SQ FT X 35% 3,049 SQ FT  
PROPOSED: 1,350 SQ FT (15%)

#### F.S.R.:

MAX. ALLOWED:

EXEMPTIONS:

PROPOSED:  
GROUND FLOOR: 1257.7 SQ FT  
SECOND FLOOR: 716.2 SQ FT  
TOTAL: 1973.9 SQ FT



**SITE PLAN**  
Scale: 1/8" = 1'-0"

**RECEIVED**  
**DP 1147**  
**2019-JUL-16**  
C.O.A.S.T. Planning



NO.	DATE	REVISION
<b>MATTHEW T. HANSEN</b> architect		
1872 Kinsler Road Nanaimo, Vancouver, B.C. V7K 1H4 R: mhanen@mtharchitect.ca T: 804-483-3723 F: 804-483-4723 C: 804-471-2353  www.mtharchitect.ca  Copyright reserved. This drawing and design are and shall at all times remain the exclusive property of Matthew T. Hansen Architect and cannot be used or reproduced without written consent. Written dimensions shall have precedence over verbal dimensions. Contractor shall verify and shall be responsible for all dimensions and conditions on the site and the Architect shall be relieved of any liability from the dimensions and conditions as shown on this drawing.		
<b>PROJECT TITLE:</b> YELLOW CAB RELOCATION PLAN  1005 FARQUHAR STREET NANAIMO, BC  <b>DRAWING TITLE:</b> SITE PLAN STATISTICS		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN	B.P.	A 03
SCALE	AS NOTED	

# SITE PLAN

PARKSHORE  
PROJECTS LTD.

NORTH 1/2 OF LOT 10, BLOCK A,  
SECTION 1, NANAIMO DISTRICT,  
PLAN 584

ADDRESS : 1005 FARQUHAR STREET,  
NANAIMO, B.C.

PROJECT SURVEYOR : D.W. HOLME

DRAWN BY : DWH DATE : DEC. 4/18

OUR FILE : #9405 REVISION :



J.E. ANDERSON  
& ASSOCIATES  
SURVEYORS - ENGINEERS

1A - 3411 SHEVTON ROAD, NANAIMO, B.C. V9T 2H1  
TEL: 250-758-4831 FAX: 250-758-4860  
EMAIL: [dw@jeanderson.com](mailto:dw@jeanderson.com)  
NANAIMO - VICTORIA - PARKSVILLE - CAMPBELL RIVER

## LEGEND

ALL DIMENSIONS ARE IN METRES

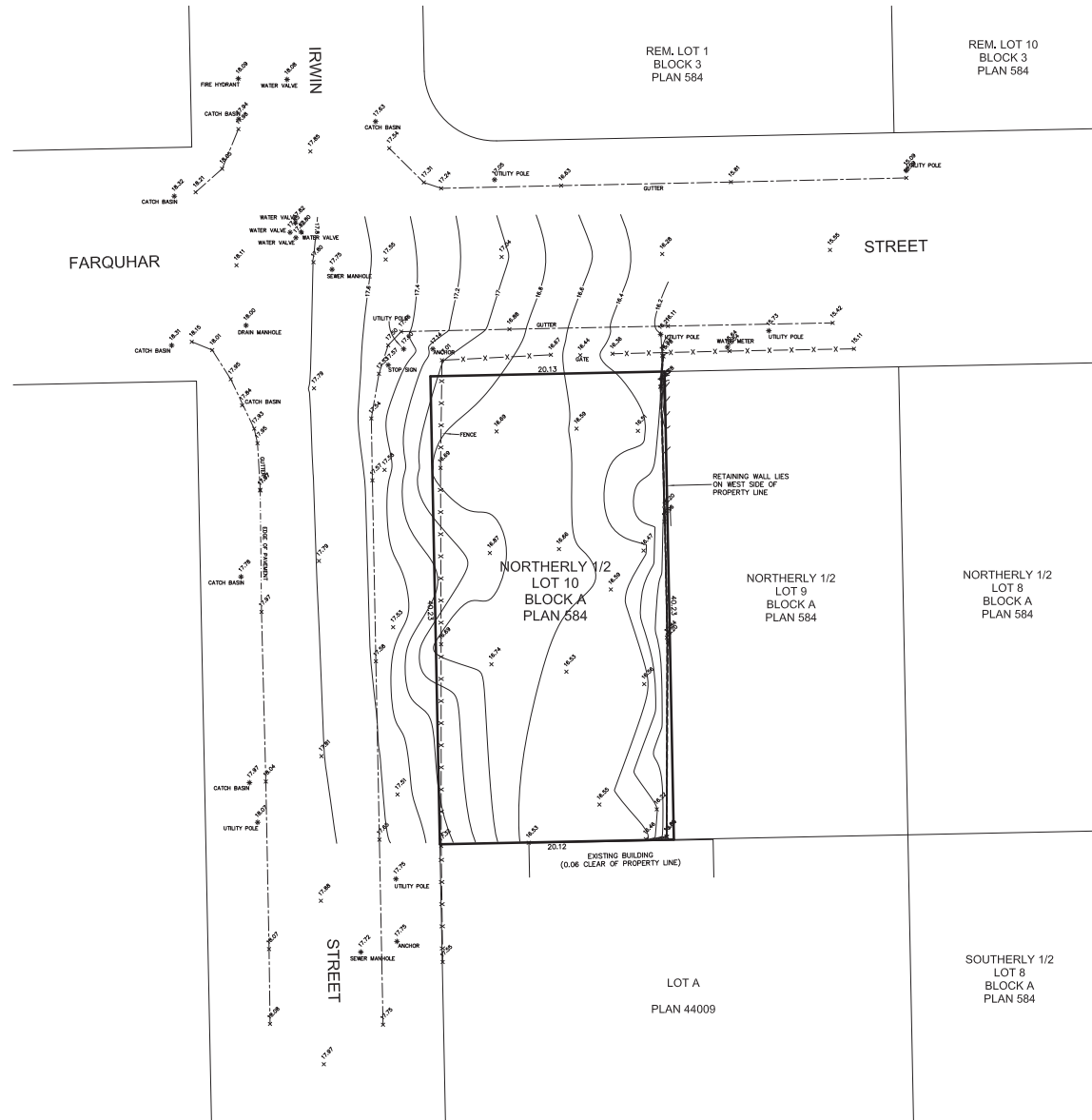
SUBJECT TO CHARGES SHOWN  
ON TITLE NO. CA4082567  
(P.L.D. 094-341-392)

DIMENSIONS ARE DERIVED FROM  
LAND TITLE OFFICE RECORDS

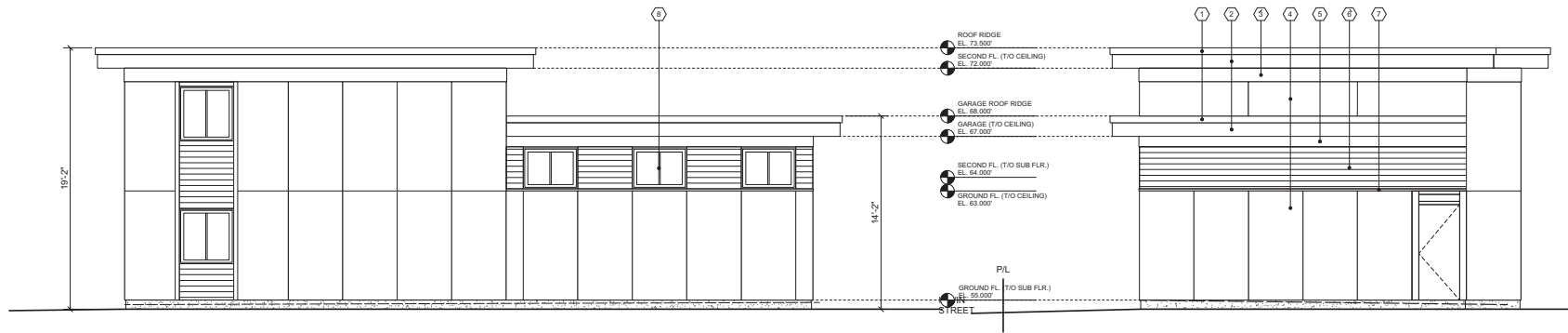
THIS PLAN HAS BEEN PREPARED IN  
ACCORDANCE WITH THE PROFESSIONAL  
REFERENCE MANUAL

ELEVATIONS ARE GEODETIC AND ARE DERIVED  
FROM CONTROL MONUMENT 77H5088  
MEASDOT ELEVATION = 17.455

0 2 4 8 12 16 20  
The intended plot size of this plan is 864mm in width by 560mm  
in height (D size) when plotted at a scale of 1:200



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DP 1147  
2019-JUN-19  
Current Planning



**WEST ELEVATION**  
Scale: 1/4" = 1'-0"

**SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"

MATERIAL LIST	
①	3" ALUMINUM FLASHING CAP
②	2X12 WOOD FASCIA
③	2X10 WOOD TRIM
④	HARDI - STUCCO SMOOTH PANEL BOARD
⑤	2X8 WOOD TRIM
⑥	HORIZONTAL HARDI SIDING (9" EXPOSURE)
⑦	2X2 HARDI TRIM
⑧	ALUMINUM CLAD WINDOWS DOUBLE PANE - BLACK
⑨	CUSTOM ALUMINUM SCREEN
⑩	18X18 BUILT-UP POST



**EAST ELEVATION**  
Scale: 1/4" = 1'-0"

**NORTH ELEVATION**  
Scale: 1/4" = 1'-0"

NO.	DATE	REVISION
<b>MATTHEW T. HANSEN</b> architect		
1872 Kiewit Road North Vancouver, B.C. V7K 1H4 E: mhanes@mtarchitect.ca T: 604-483-3723 F: 604-483-3723 C: 604-671-2353 www.mtarchitect.ca		
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<b>PROJECT TITLE:</b> YELLOW CAB RELOCATION PLAN  1005 FARQUHAR STREET NANAIMO, BC  <b>DRAWING TITLE:</b> ELEVATIONS		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN BY		A 05
SCALE	1/4"=1'-0"	

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DP1147  
2019-JUN-19  
Current Planning



# YELLOW CAB COMPANY

1005 FARQUHAR STREET, NANAIMO, B.C.

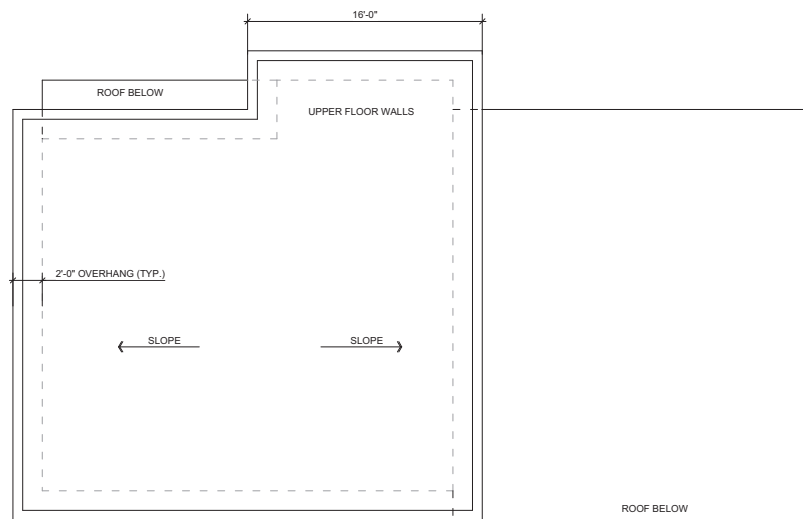


PARKSHORE PROJECTS LTD

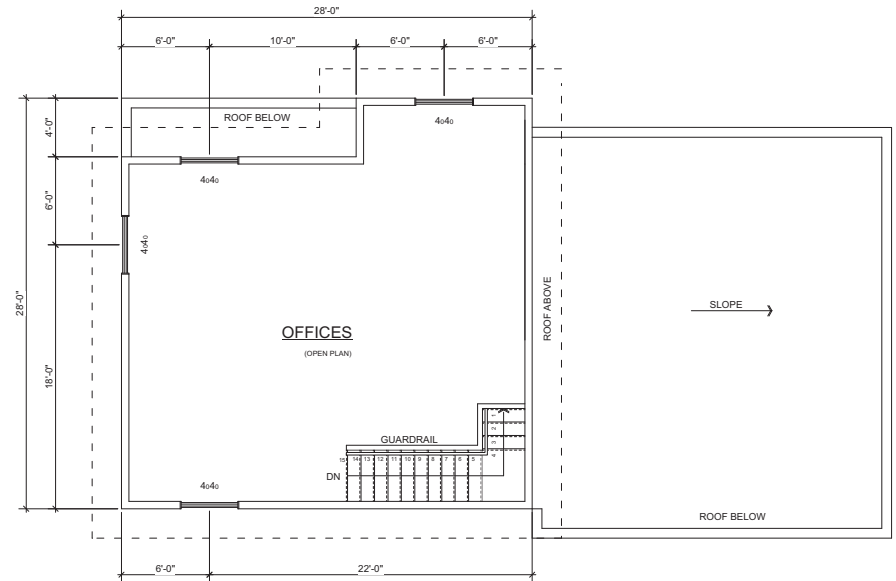
JUNE 2019

**MATTHEW T. HANSEN**  
architect

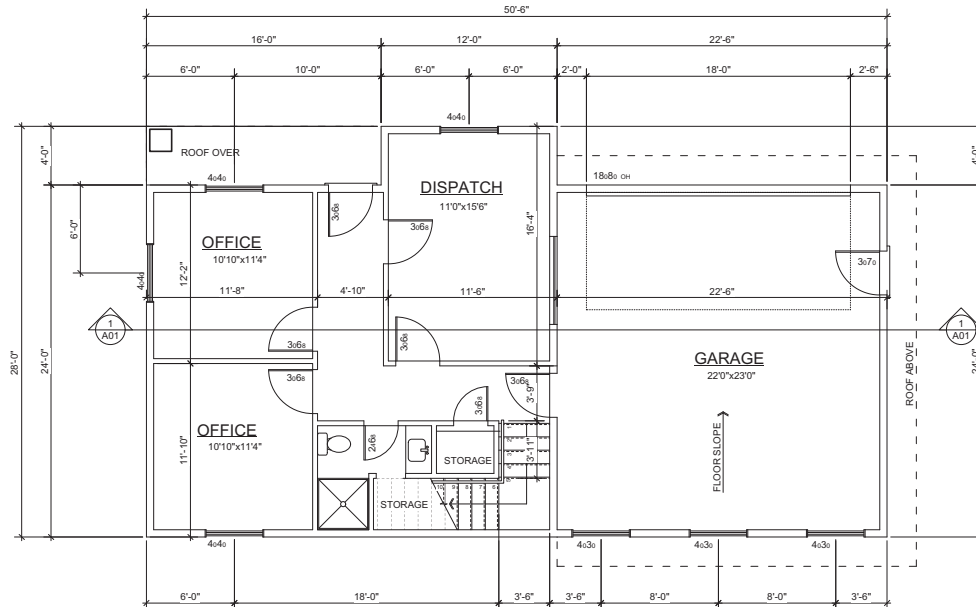
RECEIVED  
**DP1147**  
2019-JUN-19  
Current Planning



**ROOF - PLAN**  
Scale: 1/4" = 1'-0"



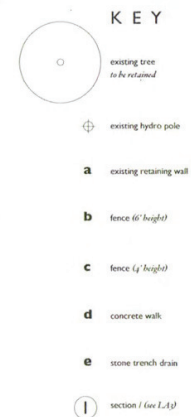
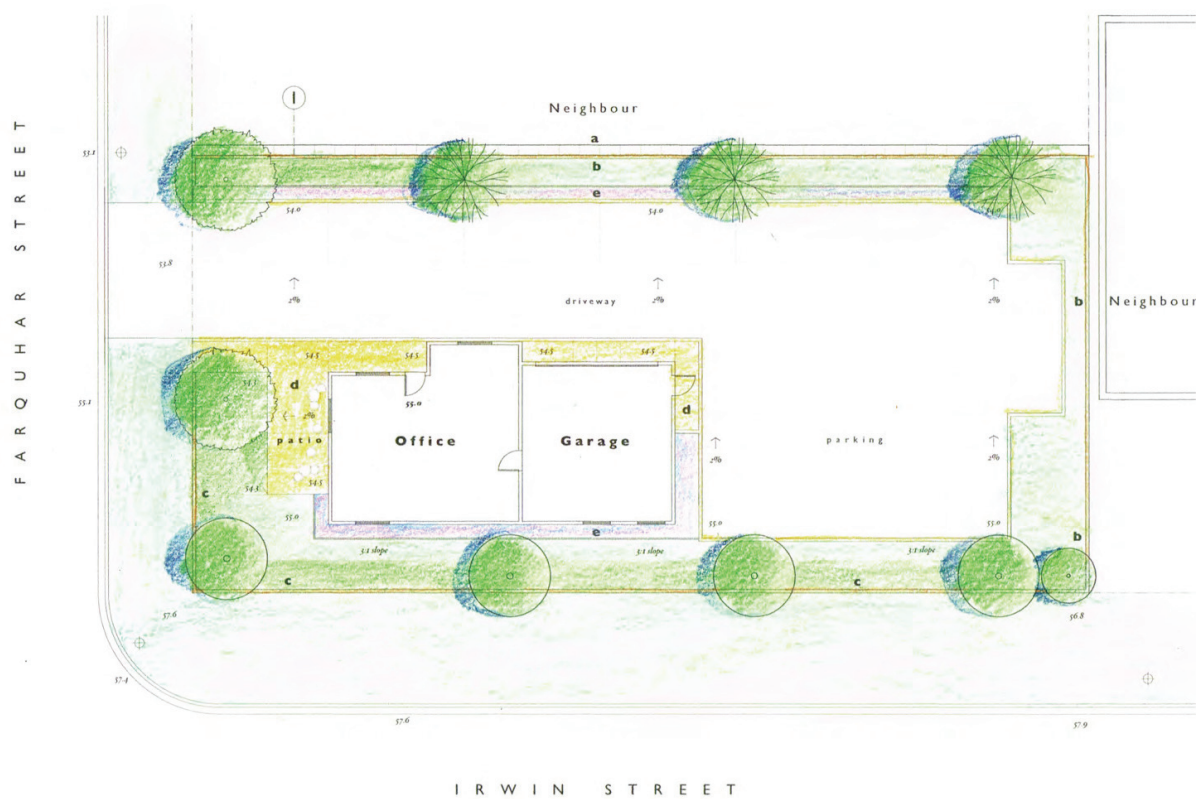
**UPPER FLOOR**  
Scale: 1/4" = 1'-0"



**MAIN FLOOR**  
Scale: 1/4" = 1'-0"



NO.	DATE	REVISION
<b>MATTHEW T. HANSEN</b> architect		
1572 Kiewit Road North Vancouver, B.C. V7K 1H4 B: mthansen@mtharchitect.ca T: 604-983-3723 F: 604-983-4723 C: 604-671-2353		
<a href="http://www.mtharchitect.ca">www.mtharchitect.ca</a>		
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<b>PROJECT TITLE:</b> YELLOW CAB RELOCATION PLAN 1005 FARQUHAR STREET NANAIMO, BC		
<b>DRAWING TITLE:</b> FLOOR PLANS		
DATE	JUN 14 / 2019	DRAWING NO.
DRAWN	DP1147	A 04
SCALE	2019-JUN-19 CURRENT PLANNING	
		1/4"=1'-0"



**TOPOGRAPHICS**  
landscape architecture  
250 247 9720

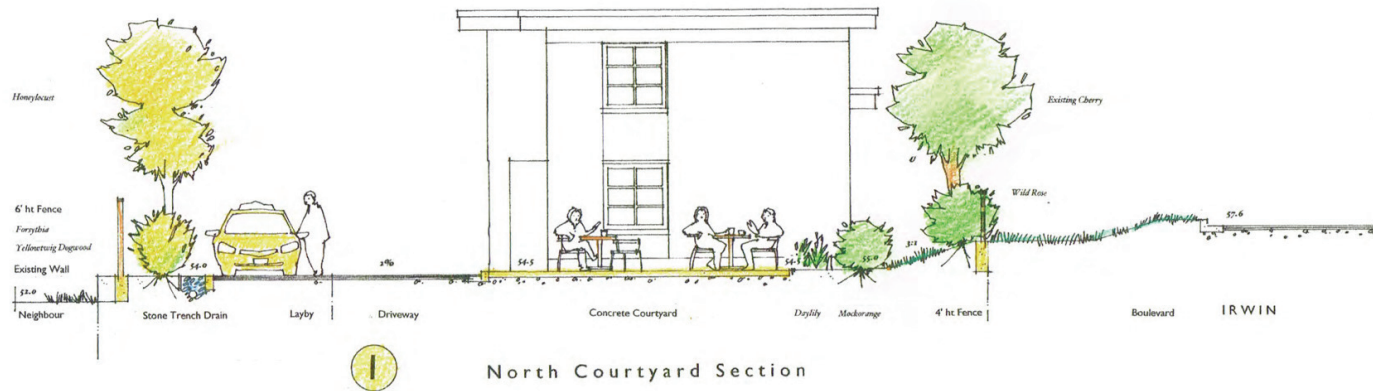
LA I

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DP1147  
2019-JUN-19  
Current Planning



LA 2

40



June 10, 2019 revision  
 June 10, 2019 revision  
 May 10, 2019 revision  
 April 12, 2019 conceptual plan

**Yellow Cab**  
 1005 Farquhar St, Nanaimo BC

**Landscape Sections**  
 Scale 1/4" = 1'-0"

**TOPOGRAPHICS**  
 landscape architecture  
 1 5 0 2 4 7 9 7 5 0

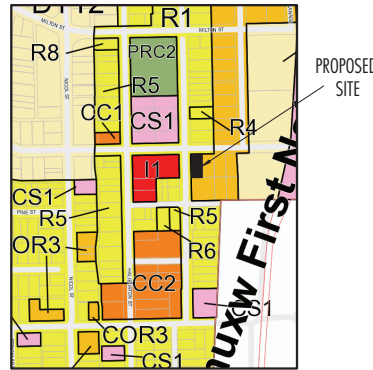
**LA 3**

**RECEIVED**  
**DP1147**  
**2019-JUN-19**  
 Current Planning





SITE LOCATION



ZONING MAP



SITE LOOKING SOUTH

# YELLOW CAB COMPANY

## RELOCATION PLAN @ 1005 FARQUHAR STREET

NO.	DATE	REVISION
<b>MATTHEW T. HANSEN</b> <b>architect</b>		
<small>1872 Kiwan Road  North Vancouver, B.C.  V7K 1H4  E: mthansen@mtharchitect.ca  T: 604-483-3723  F: 604-483-3723  C: 604-671-2353  www.mtharchitect.ca</small>		
<small>Copyright reserved.  This drawing and design are and shall at all times remain the exclusive property of Matthew T. Hansen Architect and cannot be used or reproduced without written consent. Written dimensions shall have precedence over verbal dimensions. Contractor shall verify and shall be responsible for all dimensions and conditions on the job and the Architect shall be deemed to have accepted the dimensions and conditions as shown on this drawing.</small>		
<small>PROJECT TITLE:  YELLOW CAB  RELOCATION PLAN  1005 FARQUHAR STREET  NANAIMO, BC  DRAWING TITLE:  NEIGHBOURHOOD CONTEXT  STREETSCAPE  ZONING MAP</small>		
<small>DATE  JUNE 14, 2019  DRAWN  M.T.H.  SCALE  AS NOTED</small>	<small>DRAWING NO.  A 01</small>	

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DP1147  
2019-JUN-19  
CURRENT PLANNING

# AERIAL PHOTO



## Legend



Subject Property

DEVELOPMENT PERMIT NO. DP001147

DESIGN ADVISORY PANEL MEETING

Thursday, July 25, 2019

DEVELOPMENT PERMIT APPLICATION NO. DP1143

2560 Bowen Road



## STAFF DESIGN COMMENT

### DEVELOPMENT PERMIT NO. DP001143 – 2560 BOWEN ROAD

**Applicant:** ISLAND WEST COAST DEVELOPMENTS

**Owner:** BOWEN ROAD DEVELOPMENTS LTD.

**Designer:** DELINEA DESIGNS

**Architect:** TURNER ARCHITECTURE

**Landscape Architect:** LADR LANDSCAPE ARCHITECTS

**Subject Property:**

Zoning	COR3 – Community Corridor
Location	The subject area is located between Labieux Road and the Island Highway at the proposed intersection of Labieux Road and Kenworth Road, to the west of the Province of BC offices and City Public Works yard.
Total Area	0.427 ha.
Official Community Plan (OCP)	Map 1 – Future Land Use Plan – Corridor; Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial/Residential development.
Relevant Design Guidelines	General Development Permit Area Design Guidelines

## BACKGROUND

The subject site is proposed Lot 4 within an active eight-lot subdivision (SUB1234) of 2560 Bowen Road. Kenworth Road will be extended to Labieux Road as a condition of the subdivision. The subject area is located at the intersection of Labieux Road and Kenworth Road.

The subject property was rezoned (RA288) on 2017-NOV-03 from High Tech Industrial (I3) to Community Corridor (COR3) with a site-specific use permitting Automobile Sales, Service and Rental use within some of the proposed lots, as well as commercial and residential development. A subsequent rezoning (RA378) was adopted on 2018-JUL-08 in order to permit an additional automobile dealership on the subject site, proposed Lot 4.

## PROPOSED DEVELOPMENT

The proposed development is an auto dealership with a one and a half-storey 566m<sup>2</sup> dealership office and service area.

### Site Context

The subject property is now vacant as the buildings onsite were demolished. Beban Park is located to the southeast across Labieux Road, and the City's pump house station is directly northeast of the site. Adjacent businesses include the Laird Wheaton GM car dealership (2590 Bowen Road) and St. John's Ambulance (2250 Labieux Road). The Provincial offices, temporary public housing site and City Public Works yard are also on Labieux Road to the southeast of the subject site.

The City owns the property immediately to the southeast of the subject site, which may be developed in the future as a road connection between Labieux Road, the Island Highway, and Rock City Road opposite the Highway.

### Site Design

The proposed dealership office and service building will be located approximately within the centre of the property. The dealership office faces the front property line (Kenworth Road) with the service area to the rear. Service bays are accessed from both sides of the building. A separate wash-bay and auto detailing area is located behind the building. Staff and customer parking is provided to the side.

Vehicles will be displayed facing the Island Highway and in front of the building on a scored concrete pad facing Kenworth and Labieux Roads. A covered, service area drop off will be located on the front elevation of the building, and a pedestrian connection is provided from the street to the building, between the vehicle display row and over the drive aisle.

#### Staff Comment:

- The 6m maximum setback (for at least 50% of the building face) is included in all Corridor zones in order to enhance the pedestrian scale of buildings and provide more interaction between buildings and the public realm. Consider opportunities to bring the building closer to the street and/or architectural elements that will encourage an enhanced street presence.
- The Official Community Plan (OCP) and Zoning Bylaw discourage parking between the front face of the building and the street in order to create more human scale forms of Corridor development. Consider locating the building closer to the street and reducing the amount of vehicle display between the front face of the building and the front property line.
- The northern portion of the site, which abuts the Island Highway, does not include any building, only vehicle display and minimal landscaping. Consider opportunities for site programming for this portion of the property.

### Building Design

The proposed one and half-storey building is a car dealership with an office and service area. The building includes a 529.27m<sup>2</sup> main floor and 36.7m<sup>2</sup> mezzanine office area. The proposed building is contemporary in design with a flat roof. The building façade is predominately concrete panels, broken up by score lines. The front façade (south elevation) includes prominent glazing in order to feature the interior of the show room. A projecting canopy connects to the ground and is used to break up the front façade wall face. Timber features above the windows on the south and east elevation are used to soften the façade and provide contrast with the other materials. Building and vehicle entrances are highlighted with a red canopy, with the principle pedestrian

entrance offset from the pedestrian connection. A covered vehicle drop off area is attached to the front façade and will be visible from the road.

The west elevation features a rectangular wall opening with a LED strip which will allow the building tenant to feature vehicles displayed inside. The north elevation, facing the Island Highway is predominately tilt-up concrete panels with limited detailing in finishes and articulation.

The COR3 zone requires a minimum building height of two stories. While the proposed building includes a small mezzanine and some height elements, it is not a two-storey building and, as such, a minimum height variance will be required.

Staff Comment:

- Consider a larger opening or more glazing on the west elevation on the southwest corner of the building, which faces the driveway entrance to the site.
- Consider ways to frame and accentuate the roofline of the covered drop-off area on the south elevation (eg. use similar materials and contrasting colour as used to define the entrance canopies).
- Consider further articulation, or a more textured finish and transparency on the north elevation facing the Island Highway.
- Section 2.2.12 of the OCP encourages energy efficient building design and green features in commercial buildings. Consider ways to support energy efficiency and sustainable design principles within the building and site design.
- Given the limited building height, the building itself may be overshadowed by the vehicle display lot and parking areas. Consider design strategies to emphasize the building scale and presence, and ensure the building features more predominately from the street.

Landscape Design

Given the curb of the road and the location of the vehicle display parking area, the proposed landscape design includes a variable width landscape buffer ranging from 2m to 8m adjacent to the front yard setback. The landscape buffer continues on along the east property line, to provide a buffer between the property and future road extension. A narrow drainage basin or raingarden is located within the centre of the landscape buffer. Surrounding plant material includes low height deciduous shrubs and native shrubs such as Oregon grape and Salal.

The City of Nanaimo Zoning Bylaw requires deciduous trees of at least 1.5m in height within the front landscape buffer, the spacing of trees varies by buffer width. Boulevard street trees were recently installed as part of the required road works. The applicants are requesting a variance to relax the requirement for five deciduous trees as they would be in close proximity to the street trees and, in the opinion of the applicant, are unnecessary. Trees will be provided along the east property line with two additional trees (one coniferous, one deciduous) along the west property line.

A tall and narrow evergreen shrub buffer is provided along the north property line to screen the property from the Island Highway and the City of Nanaimo pump house. The garbage enclosure will be screened with a medium height evergreen hedge.

Staff Comment:

- Consider if there is an opportunity for clustered tree planting within the front yard landscape buffer to complement the existing street trees and minimize or eliminate the variance requirement.
- Consider a more substantial landscape buffer and screen on the highway side of the property.
- Confirm if the garbage enclosure includes both landscaping and masonry walls.

## **PROPOSED VARIANCES**

### *Maximum Front Yard Setback*

The COR3 zone requires a maximum setback of 6m, for at least 50% of the building face. The building setback varies from approximately 10.8m to 23m, therefore a variance is required.

### *Location of Parking Area*

Section 9.6.1 of the City of Nanaimo Zoning Bylaw prohibits parking between the front property line and the front face of a building or within the 6m maximum front yard setback area within Corridor zones. A variance is therefore required for the proposed vehicle display between the front face of the building and front property line, including some parking within the maximum front yard setback area. All staff and customer parking will be located to the side and rear of the building.

### *Minimum Building Height*

The COR3 zone requires a minimum building height of two storeys above grade. The majority of the building is 7m in height and the building includes a small, second floor mezzanine. However, as the building is not a full two-storeys in height, a variance is necessary.

### *Minimum Landscape Treatment Level*

The City of Nanaimo Zoning Bylaw requires deciduous trees of at least 1.5m in height within the front yard landscape buffer. At least five trees are required based on the proposed landscape width. No trees are provided within the front yard landscape, therefore a variance required.

City of Nanaimo  
Development Services  
455 Wallace Street  
Nanaimo B.C.  
V9R 5J6

May 14, 2019

Attn: Lainya Rowett

**RE: DESIGN RATIONALE – PROPOSED DEVELOPMENT, LOT 4, 2560 BOWEN RD.,  
NANAIMO B.C.**

**SITE:**

This project site is located in Madill City Center subdivision. Roadworks and servicing are currently under construction. Lot 4 is in the north east portion of the parent parcel at the intersection of Kenworth Rd., Labieux Rd. and future extension of Rock City Road. The E&N Railway Corridor lies to the north as does a City of Nanaimo Utilities Building.

The site, previously supporting industrial uses is remarkably flat. A single access point is located furthest from the new traffic circle intersection.

Zoning is COR-3 with site specific use designation for automotive sales and service. This is the same designation as the parcels to the west in anticipation of new similar and compatible uses and all part of the Automotive Dealership precinct that has evolved along the Bowen Rd. and Kenworth Rd corridors.

Properties to the south are undeveloped.

**PROPOSED USE:**

This building will be home to European Specialty Automotive. Currently located on Northfield Road, E.S.A. is locally Owned and operated and has been providing automotive services to Central Island customers for 30 years. The business has grown, in terms of customers and employees in recent years and in this new location, continued growth is anticipated.

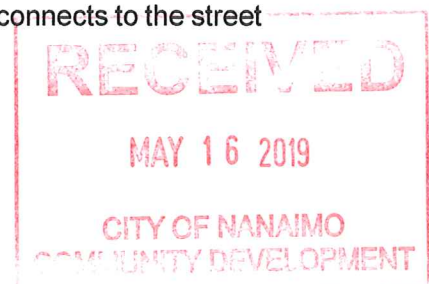
This new facility is predominately a service center for European cars but also incorporates a showroom and sales component.

**SITE ORGANIZATION:**

Criteria for positioning of the building includes exposure to the streets, site lines both into and out of the showroom, drive aisles and site circulation, product display, functional flow for service bays and separation of public and service spaces.

An abandoned water main parallel to the west wall is a physical constraint that also impacted the buildable area.

The showroom is logically placed street side with a display plaza that connects to the street by sidewalk.



Vehicle display and sales is confined to a relatively small area between street and building face.

A customer service covered drive through is strategically located adjacent to the service area and in close proximity to the site access.

Service bays are to the rear and accessed by bay doors on the west and east sides.

East and south street fronting boundaries are landscaped and integrate rain water management strategies

This site organization is consistent with conceptual site planning prepared in support of the Rezoning and Subdivision applications.

#### **FORM AND CHARACTER:**

Unlike many car dealerships with prescribed branding, European Specialty Automotive has the opportunity to distinguish itself by nature of the products and services offered and the ability to create its own identity. As such, the design can be more responsive to the site and local conditions without influence of corporate image programs and building templates.

Within the context of automotive industry related buildings this has similarities. Specifically, the transparency of the showroom and utilitarian mass of the service and repair component.

Where it differs is a reduced scale and articulation of the facades. It is less boxy, incorporates lower roof lines, strong horizontal elements, projected roof overhangs and layering of roof planes.

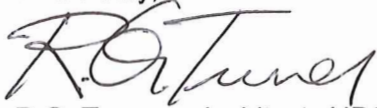
Materials are typically durable. The shop will be precast or tilt up concrete panels. EIFS cladding, and extensive use of glass form the balance the primary building components. Steel details are evident in the canopies and exposed roof structure. Timber elements soften and contrast the harshness of some of the other materials. Reveals and score lines add pattern and texture to larger wall planes and combined with colour blocking enhance and define some elements.

#### **VARIANCES:**

COR 3 Zone stipulates minimum and maximum front yard setbacks. This proposal exceeds the maximum setback to permit the display of product, a condition specific and integral to the nature of the business. We note the area designated for vehicle display is a comparatively small node. Customer and staff parking is all relegated to the side and rear of the facility.

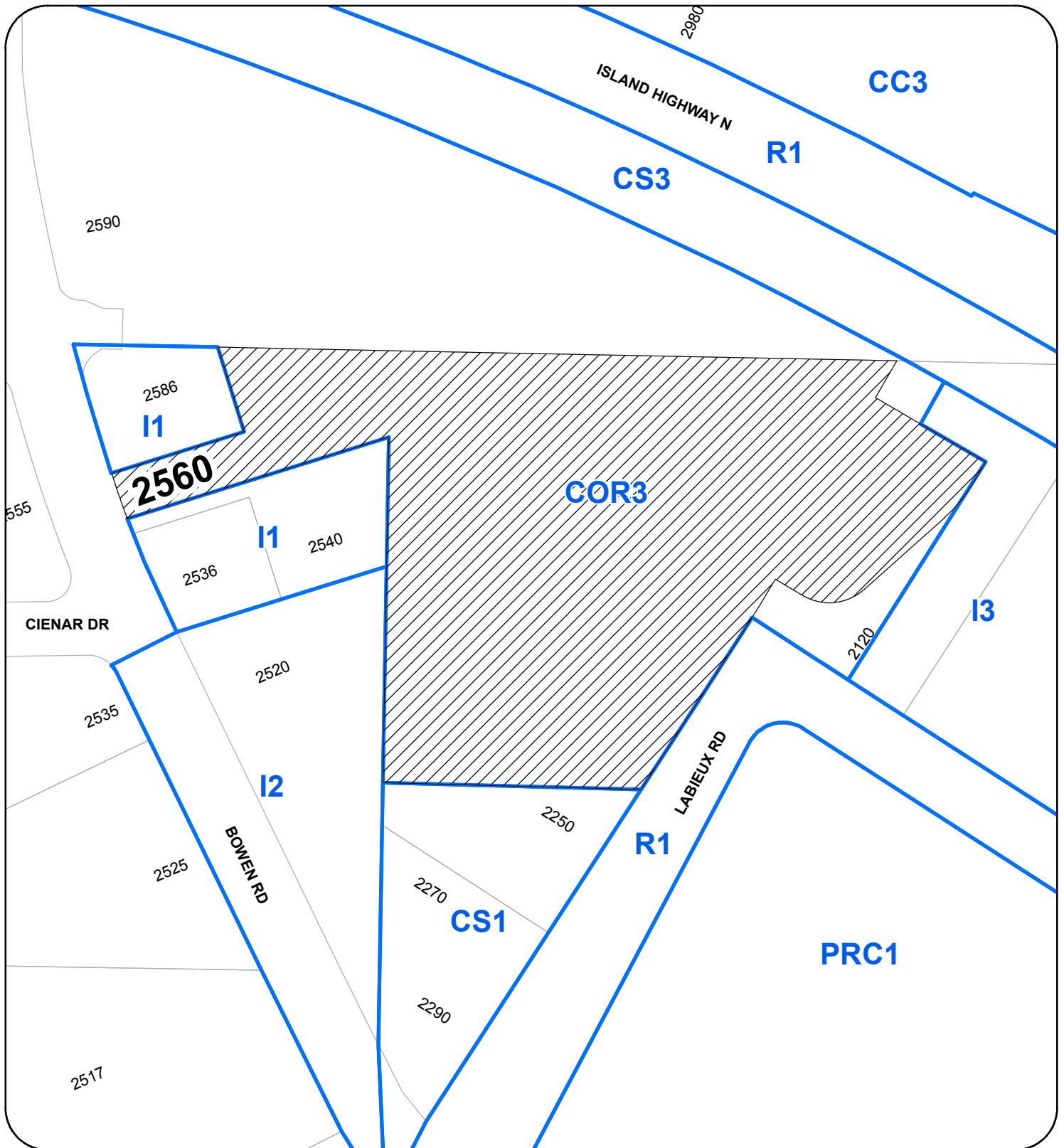
We respectfully submit this proposal for consideration.

Yours truly,

  
R.G. Turner - Architect, AIBC



# LOCATION PLAN

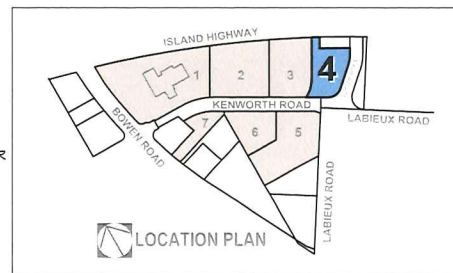


DEVELOPMENT PERMIT NO. DP001143

## LOCATION PLAN

Civic: 2560 BOWEN ROAD  
Legal: LOT 1, SECTION 20, RANGES 6 AND 7  
MOUNTAIN DISTRICT, PLAN EPP67724





#### PROJECT DATA

CIVIC:	2560 BOWEN ROAD (PARENT PARCEL)
LEGAL:	LOT 4
LOT AREA:	+/- 4,264.7 SQ.M. (1.05 ACRES)
LAND USE:	AUTOMOTIVE SALES & SERVICE
ZONING:	COR 3 - COMMUNITY CORRIDOR
DP AREA:	DPA9 - ALL LANDS
LOT COVERAGE:	12.4%
FLOOR AREA:	
MAIN LEVEL	+/- 5,697 SQ.FT. / 529.27 SQ.M.
MEZZANINE	+/- 395 SQ.FT. / 36.7 SQ.M.
F.A.R.: (MAX 0.75)	.133
PARKING:	
REQUIRED:	53.88 SQ.M. @ 1/10 SQ.M. OF SALES FL. AREA 6
1 PER SERVICE BAY	7
TOTAL REQUIRED	13 STALLS
PROVIDED:	STANDARD CARS 12
ACCESSIBLE	1
TOTAL PROVIDED	13 STALLS
LOADING:	
REQUIRED:	2
PROVIDED:	2
BICYCLE PARKING:	NOT REQUIRED

#### SITE PLAN - LOT 4

SCALE: 1:250 METRIC

proposed building for:

EUROPEANSPECIALTY  
AUTOMOTIVE SERVICES

#### TURNER ARCHITECTURE

#202 - 1681 DURANLEAU STREET  
VANCOUVER, BC V6H 3S3  
004 682 4853  
bob@turnerarchitecture.com

DELIVER

PROJECT #	144536 16
ISSUED	JAN 15, 2019
	JAN 22, 2019
	FEB 10, 2019
	MAR 01, 2019
	MAR 28, 2019
	JUNE 20, 2019
	SEPT 14, 2019
	OCT 30, 2019
PRE-APP MEETING	DEC 04, 2019
MEETING	FEB 21, 2019
ISSUED	MARCH 18, 2019
ISSUED FOR DP	MAY 15, 2019

DRAWING #

PR1.1

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DP1143  
2019-MAY-16  
Current Planning





**SOUTH ELEVATION - FACING KENWORTH ROAD**



**EAST ELEVATION**

**EXTERIOR COLOUR SCHEDULE EUROPEAN SPECIALTY MOTORS**

TILT UP CONCRETE  
NATURAL WITH CLEAR SEALER  
OR  
PAINT  
COLOUR: 'ARGOS'

TILT UP CONCRETE  
PAINT  
COLOUR: 'GRIZZLE GRAY'

CANOPIES / MAN DOORS /  
OWSJ / BOLLARDS  
CORPORATE COLOUR  
VERIFY SHADE

SIDING / E.F.I.S  
PAINT  
COLOUR: 'WHITE HERON'

MAN DOORS/ OVERHEAD DOORS  
PAINT  
COLOUR: 'PEPPERCORN'

CAP FLASHING- METAL/ METAL ABOVE DOORS  
'CHARCOAL GREY'

FLASHING- METAL  
'WHITE WHITE'

WINDOW FRAMES  
DARK GREY

METAL SOFFITS  
'WHITE'

TIMBER DETAIL  
CEDAR OR FIR- CLEAR FINISH

proposed building for:

**EUROPEANSPECIALTY**  
AUTOMOTIVE SERVICES

**TURNER ARCHITECTURE**

#202 - 1061 DURANLEAU STREET  
VANCOUVER, BC V6H 3S3  
604 682 4853  
bob@turnerarchitecture.com

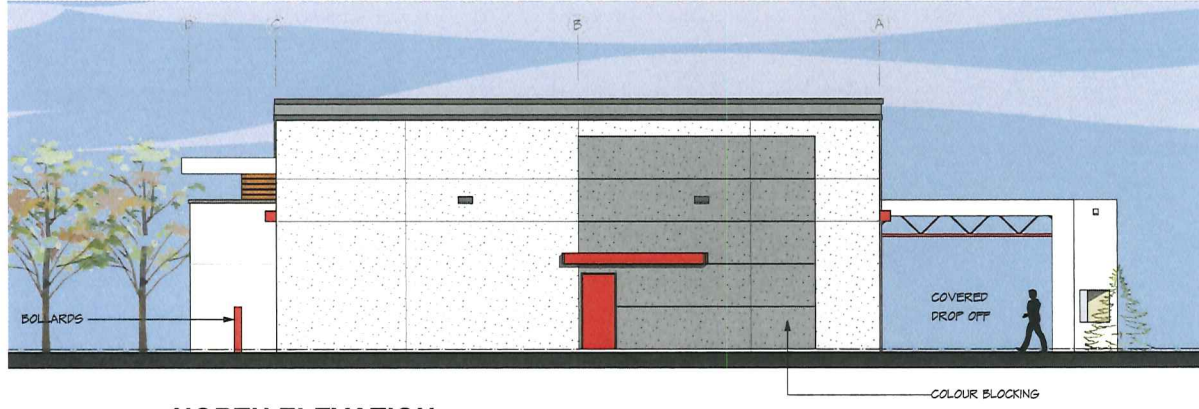
*Delinea*

PROJECT #:  
ISSUED: 1445 35 16  
JAN. 15 2018  
JAN. 22 2018  
FEB. 16 2018  
MAR. 01 2018  
MAR. 29 2018  
JUNE 26 2018  
SEPT. 14 2018  
OCT. 30 2018  
PRE-APP MEETING: DEC. 04 2018  
MEETING: FEB. 21 2019  
ISSUED: MARCH 19 2019  
ISSUED FOR DP: MAY 13 2019

DRAWING #:

**PR3.1**

**RECEIVED**  
**DP1143**  
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Current Planning



**NORTH ELEVATION** - FACING ISLAND HIGHWAY



**WEST ELEVATION**

proposed building for:

**EUROPEANSPECIALTY**  
AUTOMOTIVE SERVICES

**TURNER ARCHITECTURE**  
#202 - 1061 DURANLEAU STREET  
VANCOUVER, BC V6H 3S3  
604 682 4853  
bob@turnerarchitecture.com

*Delinea*

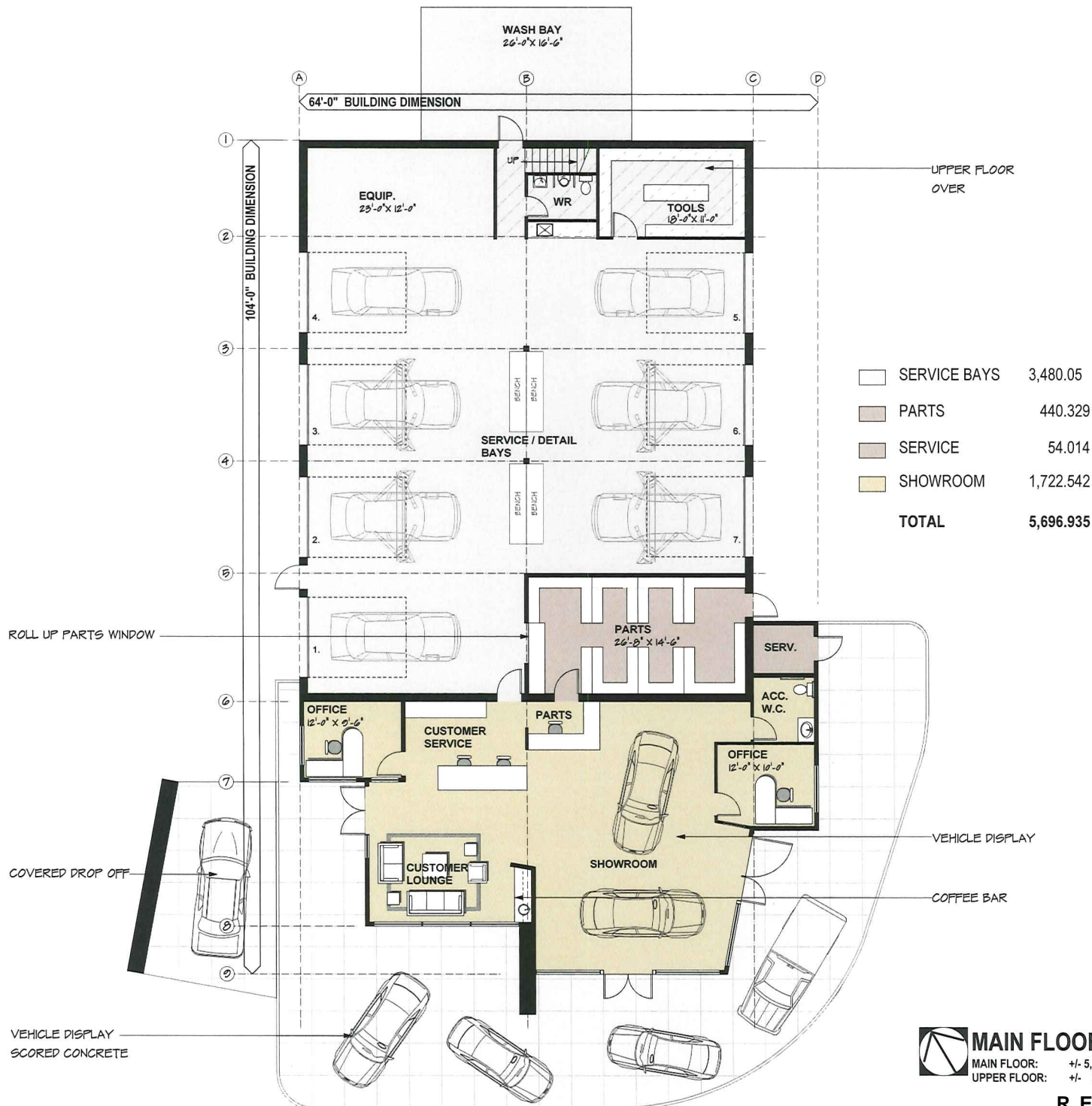
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ISSUED: JAN. 15, 2016  
JAN. 22, 2016  
FEB. 19, 2016  
MAR. 01, 2016  
MAR. 23, 2016  
JUNE 26, 2016  
SEPT. 14, 2016  
OCT. 30, 2016  
PRE-APP MEETING DEC. 04, 2016  
MEETING FEB. 21, 2016  
ISSUED MARCH 15, 2016  
ISSUED FOR DP MAY 13, 2016

DRAWING #

**PR3.2**

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Current Planning





## MAIN FLOOR PLAN

MAIN FLOOR: +/- 5,697 SQ.FT. / 529.27 SQ.M.  
UPPER FLOOR: +/- 395 SQ.FT. / 36.7 SQ.M.

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**DP1143**

**2019-MAY-16**  
Current Planning

proposed building for:

**EUROPEANSPECIALTY**  
AUTOMOTIVE SERVICES

**TURNER ARCHITECTURE**  
#202 - 1001 DURANLEAU STREET  
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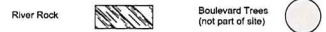
*Delinca*

PROJECT # 1445 36 10  
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SEPT. 14, 2018  
OCT. 30, 2018  
DEC. 04, 2018  
PRE-APP MEETING  
MEETING FEB. 21, 2019  
ISSUED MARCH 14, 2019  
ISSUED FOR DP MAY 13, 2019

DRAWING #:

**PR2.1**

## Legend



**Design Rational:** The character area is identified as the Wellington/Townside/Departure Bay Area composed of old communities surrounded by suburbs. This area is largely urban with mixed densities and some institutional, commercial and industrial areas.

To remain compatible with the character area and site demands, bio-swales are incorporated as part of the Storm Water Management System and are planted primarily with native plant species tolerant of the site's wet to dry conditions and arranged in an informal layout with attention to low screening along the east property boundary. Horticultural tree species are selected for their hardness for the variety of site conditions.



Bruns Serbian Spruce



Tall Oregon Grape



Lupine



Sword Fern



Neon Flash Spirea



Common Rush



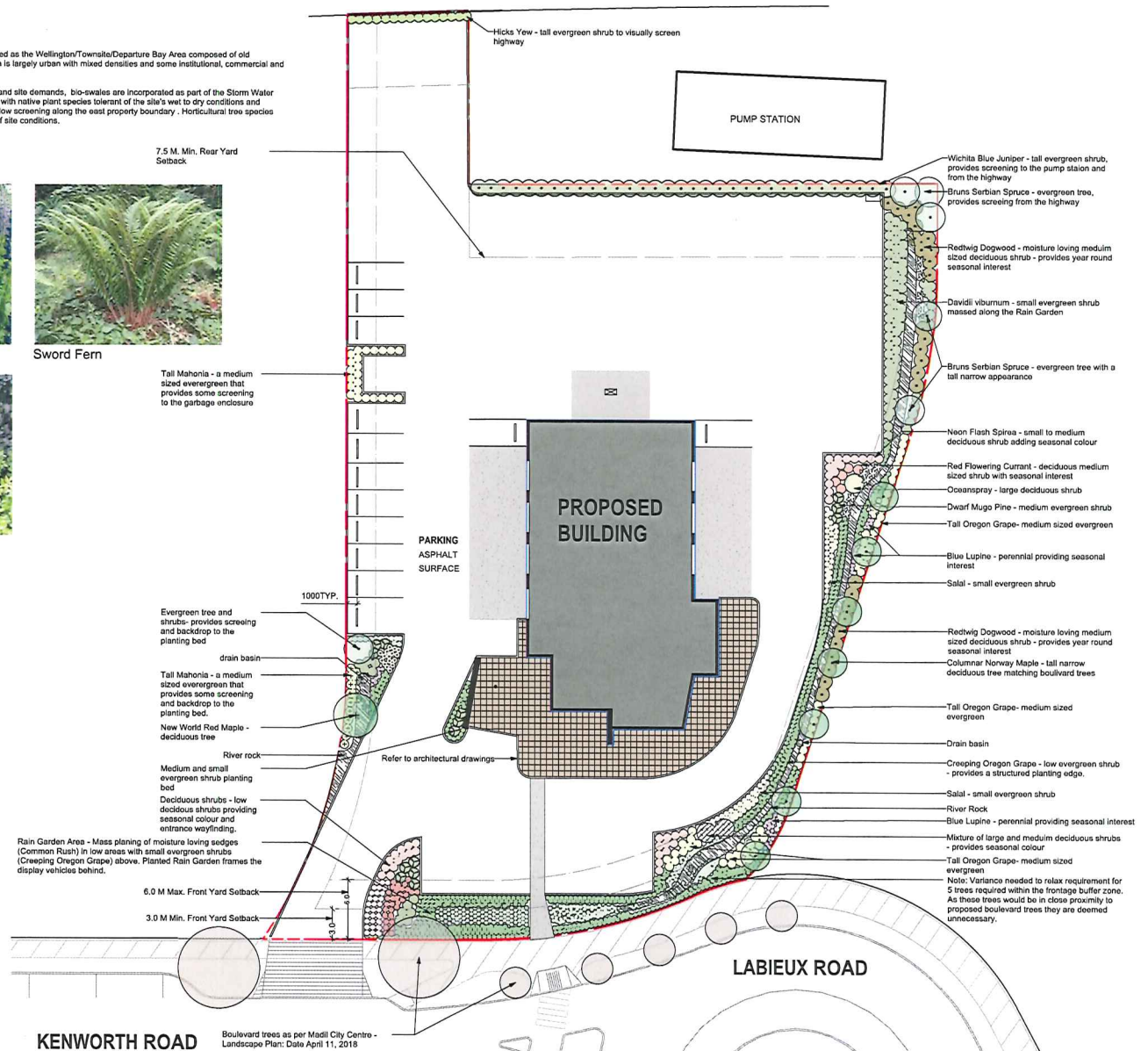
Creeping Oregon Grape

## Recommended Nursery Stock

Trees	Botanical Name	Common Name	Size
14	Acer platanoides 'Columnar'	Columnar Norway Maple	60m cal, 1.5m min height
	Acer rubrum 'New World'	New World Red Maple	5cm caliper
	Picea canadensis 'Brist'	Bruns Serbian Spruce	2m height
Large Shrubs	Botanical Name	Common Name	Size
51	Holodiscus discolor	Oceanspray	#7 pot
	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	#7 pot, 100 cm + height
	Taxus x media 'Hicksii'	Hicks Yew	#5 pot, 90 cm height
Medium Shrubs	Botanical Name	Common Name	Size
282	Cornus stolonifera	Redwing Dogwood	#5 pot
	Mahonia aquifolium	Tall Oregon Grape	#3 pot
	Pinus mugo pumilio	Dwarf Mugo Pine	#3 pot
	Ribes sanguineum	Red Flowering Currant	#3 pot
	Spiraea japonica 'Neon Flash'	Neon Flash Spirea	#2 pot
	Viburnum davidii	David's Viburnum	#2 pot
Small Shrubs	Botanical Name	Common Name	Size
831	Berberis thunbergii f. atropurpurea 'Bagatelle'	Red Purpleleaf Japanese Barberry	#2 pot
	Gaultheria shallon	Sale	#1 pot
	Mahonia repens	Creeping Oregon Grape	#1 pot
	Spiraea x bumelida 'Magic Carpet'	Magic Carpet Spirea	#1 pot
Perennials, Annuals and Ferns	Botanical Name	Common Name	Size
330	Juncus effusus	Common Rush	sp4
	Lupinus polyphyllus 'Gallery Blue'	Gallery Blue Lupine	#1 pot
	Polystichum munitum	Sword Fern	#1 pot
Groundcovers	Botanical Name	Common Name	Size
13	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 pot

## Notes:

1. All work to be completed to current BCSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system



# 2560 Bowen Road - Landscape Concept Plan




# AERIAL PHOTO



**DEVELOPMENT PERMIT NO. DP001143**

## Legend

 Subject Property