



AGENDA
DESIGN ADVISORY PANEL MEETING

October 11, 2018, 5:00 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. **CALL THE MEETING OF THE DESIGN ADVISORY PANEL TO ORDER:**
2. **ADOPTION OF AGENDA:**
3. **ADOPTION OF MINUTES:**
 - a. **Minutes of the Meeting held 2018-SEP-13** 2 - 3

Minutes of the Design Advisory Panel Meeting held in the Board Room, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC on Thursday, September 13, 2018 at 5:00 p.m.
4. **PRESENTATIONS:**
 - a. **Development Permit Application No. DP1113 - 6361 Hammond Bay Road** 4 - 32

A development permit application was received from Urban Design Group Architects Ltd., on behalf of B250 Holdings Inc. for the construction of three one-storey commercial buildings with a combined total gross floor area of 942.8m². The subject property is legally described as Lot 1, Section 12, Wellington District, Plan VIP53276.
 - b. **Development Permit Application No. DP1114 - 4800 Cedar Ridge Place** 33 - 83

A development permit application was received from Highstreet Ventures Inc., on behalf of Highstreet Land Holdings for a multi-family development which consists of three rental apartment buildings (172 units), each with underground parking. The subject property is legally described as Lot 1, District Lot 17, Wellington District, Plan 32491, Except Part in Plans 37954, VIP62511 and VIP64055.
5. **ADJOURNMENT:**

MINUTES
OPEN DESIGN ADVISORY PANEL MEETING
SERVICE AND RESOURCE CENTRE BOARDROOM, 411 DUNSMUIR STREET, NANAIMO, BC
THURSDAY, 2018-SEP-13 AT 5:00 P.M.

PRESENT: Members: Gur Minhas, Chair
 Dan Appell
 Frank Basciano
 Kevin Krastell
 Charles Kierulf

 Absent: Councillor Jerry Hong
 Martin Hagarty
 Will Melville

 Staff: Dave Stewart, Planner, Current Planning and Subdivision
 Laurie Nielsen, Recording Secretary

1. CALL THE DESIGN ADVISORY PANEL MEETING TO ORDER:

The Open Design Advisory Plan Meeting was called to order at 5:13 p.m.

2. ADOPTION OF AGENDA:

It was moved and seconded that the Agenda be adopted. The motion carried unanimously.

3. ADOPTION OF MINUTES:

It was moved and seconded that the Minutes of the Design Advisory Panel Meeting held in the Boardroom, 411 Dunsmuir Street, Nanaimo, BC, on Thursday, 2018-AUG-23 at 5:00 p.m. be adopted as circulated. The motion carried unanimously.

4. PRESENTATIONS:

(a) Development Permit Application No. DP001108 - 1900 Griffiths Road (Lot 1)

Dave Stewart, Planner, Current Planning and Subdivision, introduced the project which consists of six pre-engineered mini-storage buildings and an accessory building containing an office and caretaker's suite. Mr. Stewart spoke regarding the site context including the onsite Garry oak meadow and pedestrian connectivity.

Derek Matthews, Civil Engineer, Herold Engineering presented the project. Mr. Matthews overviewed the site context, site grades and how the grades are approached within the building layouts, and building siting.

Pat Harrison, Landscape Architect, JPH Consultants Inc., presented the landscape plan and tree management program. Mr. Harrison spoke regarding storm water management, site security features, lighting and fencing.

Panel discussions took place regarding the following items:

- Storm water management.
- Pedestrian/vehicle circulation and wayfinding
- The addition of canopies over doorways.
- Suggestions were made to provide protection for building corners.
- Tree management and Garry oak tree protection methods.
- The density of plantings.
- Site lighting – sensor lighting within the drive aisles.
- The location and materials used for the garbage proposed enclosure.

It was moved and seconded that Development Permit Application No. DP1108 be accepted as presented with support for the variances. The following recommendations were provided:

- Consider flipping the building plans for Buildings A & F - to allow easier access to the parking area from the front entrance;
- Consider a slight reduction in parking to possibly provide an alternate use for the parking area near Garry oak meadow;
- Consider adding elements to add individual identities to each of the units;
- Consider using distinct building treatments or colours (ie. super graphics - oversize letters or numbers) at the ends of each building to enhance wayfinding;
- Consider adding canopies to the entrance doors; and provide details for the service doors to clearly identify them;
- Consider adding a base detail to each of the buildings;
- Consider a slight reduction in parking; and,
- Please provide a plant density ratio to Staff.

The motion carried unanimously.

5. ADJOURNMENT:

It was moved and seconded at 6:03 p.m. that the meeting terminate. The motion carried unanimously.

CHAIR

CERTIFIED CORRECT:

CORPORATE OFFICER

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT NO. DP001113 – 6361 HAMMOND BAY ROAD

Applicant Architect: URBAN DESIGN GROUP ARCHITECTS LTD.

Owner: B-250 HOLDINGS INC. NO 274072

Landscape Architect: M2 LANDSCAPE ARCHITECTURE

Subject Property:

<i>Zoning</i>	CC4 – North Nanaimo Urban Centre
<i>Location</i>	The proposed development is located at the southeast corner of Hammond Bay Road and the Island Highway.
<i>Total Area</i>	Subject property size: 2.1 ha Proposed development area: ± 0.6 ha
<i>Official Community Plan (OCP)</i>	Map 1 – Urban Node; DPA No. 9 – Commercial, Industrial, Institutional, Multi-family and Mixed Commercial / Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines

PROPOSED DEVELOPMENT

The applicant proposes to develop three commercial buildings including:

- a fast food restaurant with drive thru (Building D);
- a restaurant with a patio (Building H); and,
- a building containing two commercial units (Building C).

The site design also includes:

- new pedestrian routes; and,
- a landscaping plan incorporating new and existing landscape features.

Site Context

The proposed infill development is located within the northwest quadrant of the existing commercial development (Hammond Bay Centre) on the former site of the Shell Gas station and Pizza Hut. The centre contains a variety of commercial businesses, and the surrounding area is predominantly mixed-use and zoned for commercial and community service uses, with the closest residential area located approximately 450m away from the site.

Site Design

The development proposal includes 27 more parking spaces than what is required by the parking bylaw. A significant portion of the site is proposed as surface parking. The applicant proposes to reconfigure onsite traffic circulation within this quadrant of the property to have one entry/exit point to the rest of the commercial development.

The only existing pedestrian route in the area is the public sidewalk along Hammond Bay Road. The applicant proposes to add a new gravel path along the Island Highway, and an urban plaza at the corner of the Island Highway and Hammond Bay Road to improve pedestrian connectivity. A number of sidewalks and crosswalks are proposed throughout the site.

Buildings C & H are located along Hammond Bay Road and the Island Highway and have connections to the public sidewalk and outdoor patio areas to provide street presence and animation.

An existing pylon sign is proposed to remain in place near the proposed urban plaza.

The proposal incorporates lampstands in the parking area and wall mounted lights on the buildings.

Staff Comments:

- Consider opportunities to reduce surface parking to comply with the parking bylaw.
- The parking bylaw requires bicycle parking and electric vehicle charging stations which are not indicated on the plans. Please provide details.
- Consider opportunities to further improve pedestrian connectivity within the proposed development; for example, the following could be considered:
 - Adding pedestrian routes adjacent to the vehicle entrances off Hammond Bay Road and the Island Highway;
 - Adding a sidewalk along the eastern edge of Building H;
 - Removing the proposed parking spaces that parallel the Island Highway and the vehicle entry off Hammond Bay Road, and replacing these with further landscaping and pedestrian routes; and,
 - Adding another crosswalk to facilitate access from the subject site to existing businesses within the property.

Building Design:

Each of the proposed buildings are one-storey in height; incorporate grey stucco and brown longboard metal siding into their facades; and feature roof cornices. Building D (Wendy's) also includes a reveal wall on which a proposed illuminated sign will be located. Building H (restaurant) includes face brick pillars on each corner of the building. A number of canopies for weather protection are proposed for the buildings. Outdoor patios are proposed for the restaurant buildings.

Staff Comments:

- The architectural detailing of each building is directed internally towards the parking and onsite pedestrian areas. Consider greater detailing and articulation on elevations facing the Island Highway and Hammond Bay Road.
- The south elevations of Buildings C and D and the north elevation of Building H present blank walls and are somewhat stark in appearance. Additional glazing or architectural details and landscaping should be incorporated to better interface with the public realm.
- Building H is sited at the corner of two major roadways. While Building H is the most architecturally detailed of the three proposed buildings, there is an opportunity to add bolder architectural features, in recognition of the building's prominent location.

- Consider ways to enhance connectivity between Building H and the proposed urban plaza, possibly by orienting the building so that the front entrance is located closer to the plaza and faces the highway.
- The southeast corner of Building H may have limited visibility of pedestrians from the loading area. Consider additional glazing to offer sightlines through the corner of the building.
- A more defined entry with weather protection should be considered for Building D (Wendy's).
- The rooftop mechanical system screening includes pressure treated wood and should incorporate more durable materials.

Landscape Design

The landscape plan features:

- A new plaza at the corner of Hammond Bay Road and the Island Highway featuring pedestrian access points (including a wheelchair ramp), two benches, and landscape plantings.
- A concrete sidewalk extending from the urban plaza past the restaurant patio of Building H to the building's entrance;
- Retention of certain existing landscape features;
- Landscaped berms along the public road frontages;
- Densely planted landscaped "islands" throughout the parking areas;
- New hardscaping including a gravel path along the Island Highway, and a "dry stream bed" feature adjacent to the drive-thru lane; and,
- Lawn between the landscape features.

Staff Comments:

- An additional tree is required along the western property boundary in order to meet the landscaping requirements of the Zoning Bylaw. Consider adding a tree in front on the west elevation of Building D.
- Shrub plantings adjacent to the garbage disposal compound are required.
- Consider opportunities to enhance the design and pedestrian safety of the internal parking area.
- Wherever possible, consider separation of onsite pedestrian crossings from parking areas with a planted edge.

PROPOSED VARIANCES

No variances are proposed.

MK/

Paul Chiu, Architect AIBC, MRAIC, AAA, SAA, MAA, OAA, SBA, Principal
Eric Ching, CSBA, Principal
Crosbby Chiu, MRAIC, SBA, Senior Associate
Martin Grube, Associate

Rick Jones, Founding Principal
Aaron Vornbrock, Principal
Bojan Ilic, Associate
Sarah Chappell, Associate

Community Development, City of Nanaimo
Attention: Lainya Rowell
Manager, Current Planning & Subdivision

Date: 2018-08-27

RE: Commercial Development: Hammond Bay Centre
6361 Hammond Bay Road, Nanaimo, BC

We submit the following design rational for the above mentioned project.

The Proposal is for the construction of three new buildings to be located on a portion of the property located at the southeast corner of the Island Highway and Hammond Bay Road. Previously, a restaurant of 3,867 square feet, a gas station with convenience store and a carwash of 3,680 square feet was located on the site, which has since been demolished.

The three new buildings consist of a restaurant (Building "H") of 5,200 square feet, a drive through restaurant (Building "D") of 2,313 square feet and a retail building of 2,730 square feet.

Two of the buildings are arranged along and adjacent to the street edges of Hammond Bay and the Island Highway, with the third located at the edge of the main existing driveway from the Island Highway. On site parking is confined to the site interior and screened on all sides with landscaped buffers and berms. Connected pedestrian routes are provided between the buildings within the interior of the parking area encouraging circulation across the site between buildings. A gravel pathway has been introduced along the Island Highway which completes the existing pathway from the south. A new open space plaza is to be created at the intersection of Hammond Bay and the Island Highway and is proposed to feature public seating and incorporates an access ramp to facilitate those with mobility issues, strollers, etc. and provides a pedestrian connection point to the center from the intersection.

Form and Character

The proposed buildings have been designed with a massing and scale in keeping with the other existing buildings in the shopping centre. Similar materials and colour pallets have been used to provide compatibility with the balance of the existing buildings including: EIFS, longboard planks, brick veneer, fiber cement panels with reveals, aluminum storefront framing, canopy steel framing and roof cornices and flashings.

The building footprint at the northwest corner (Building "H") is proposed to be a restaurant and includes a trellis patio. A sidewalk to connect the plaza area to the shopping centre has been located adjacent to the patio.

Rough sawn timber has been introduced for special features and split face concrete block has been incorporated for the trash enclosures.

The landscape design uses various strategies to keep views into the site open, without sacrificing character or form. We are proposing berming along the site perimeter at Island



highway and Hammond Bay Road to absorb noise from the highway. These berms are planted with low-growing ground covers which face the road.

Gleditsia triacanthos are utilized within the paved area, as this species is highly adaptable and provides light dappled shade, allowing drought tolerant and sun loving shrub species to be utilized around its trunk and surrounding areas. This species was further selected for its uniquely yellowish-green leaves, and excellent yellow colour in the autumn, which will be complimented by the deep red fall foliage of Acer rubrum. Lastly, Korean dwarf lilac has also been selected based on its short height, to further preserve views; and to match the existing ornamental trees on site.

The planting palette utilizes mostly native species, with a select few ornamental species such as rhododendron to create seasonal interest. As previously mentioned, the planting palette favours drought tolerant species to conserve water, a shared precious resource.

The public plaza at the corner of Hammond Bay road and Island Highway was designed with a rectilinear approach to reflect another public plaza across the intersection. Scored concrete here creates ground plane patterning which is repeated through-out the site at building entrances.

We trust that the above information and attached documents accompanying this application meet with your approval and support. Should any additional information be required, please feel free to contact the undersigned.

A handwritten signature in black ink, consisting of several overlapping loops and a long horizontal stroke extending to the right.

Rick Jones, Principal

URBAN DESIGN GROUP ARCHITECTS LTD.

Paul Chiu, Architect AIBC, MRAIC, AAA, SAA, MAA, OAA, SBA, Principal
Eric Ching, CSBA, Principal
Crosbby Chiu, MRAIC, SBA, Senior Associate
Martin Grube, Associate

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Community Development, City of Nanaimo
Attention: Lainya Rowett
Manager, Current Planning & Subdivision

Date: 2018-08-27

RE: Commercial Development: Hammond Bay Centre
6361 Hammond Bay Road, Nanaimo, BC

REQUEST FOR SIGN VARIANCE BUILDING "D"

The signage on this building will be in full compliance with the city's signage bylaw except for the location of the logo proposed on the north elevation. The logo (only) which is proposed to be located on the vertical panel is approximately 3'6" in diameter and will be located above the roof line or 2'9" above the parapet. The overall signage configuration will provide an improved visual balance on the building's vertical panel feature.

We respectfully request your approval of this variance.

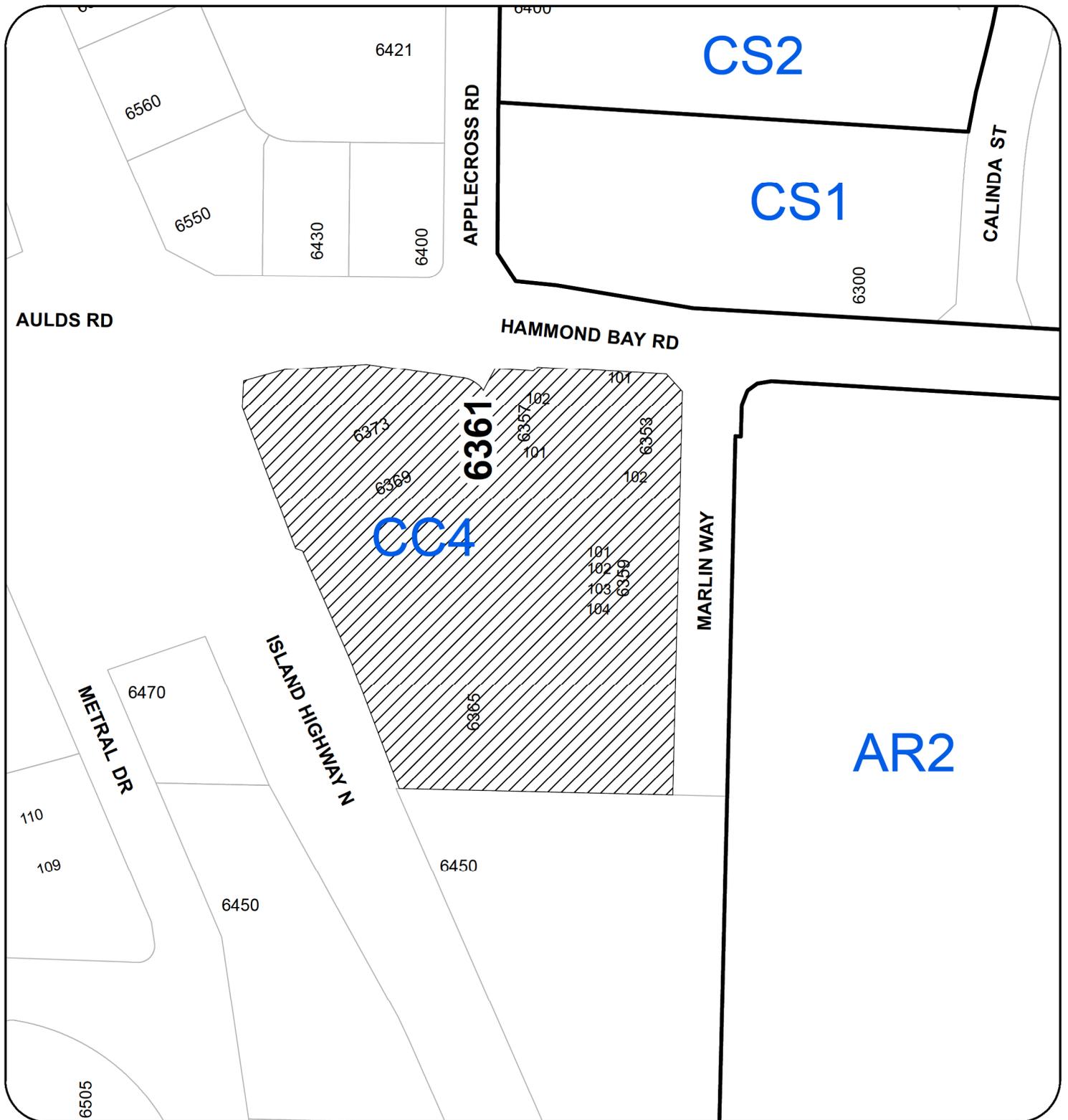
Thank you for your consideration,



Rick Jones, Principal

URBAN DESIGN GROUP ARCHITECTS LTD.

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001113

LOCATION PLAN

Civic: 6361 HAMMOND BAY ROAD
Legal: LOT 1, SECTION 12
WELLINGTON DISTRICT
PLAN VIP53276



Subject Property





1 WEST VIEW FROM ISLAND HIGHWAY
SCALE: NTS



2 NORTHWEST VIEW FROM ISLAND HIGHWAY
SCALE: NTS



3 SOUTHWEST VIEW FROM ISLAND HIGHWAY
SCALE: NTS



4 NORTHWEST PLAZA VIEW FROM ISLAND HIGHWAY
SCALE: NTS

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
FOR CROSS DEVELOPMENTS



architects ltd

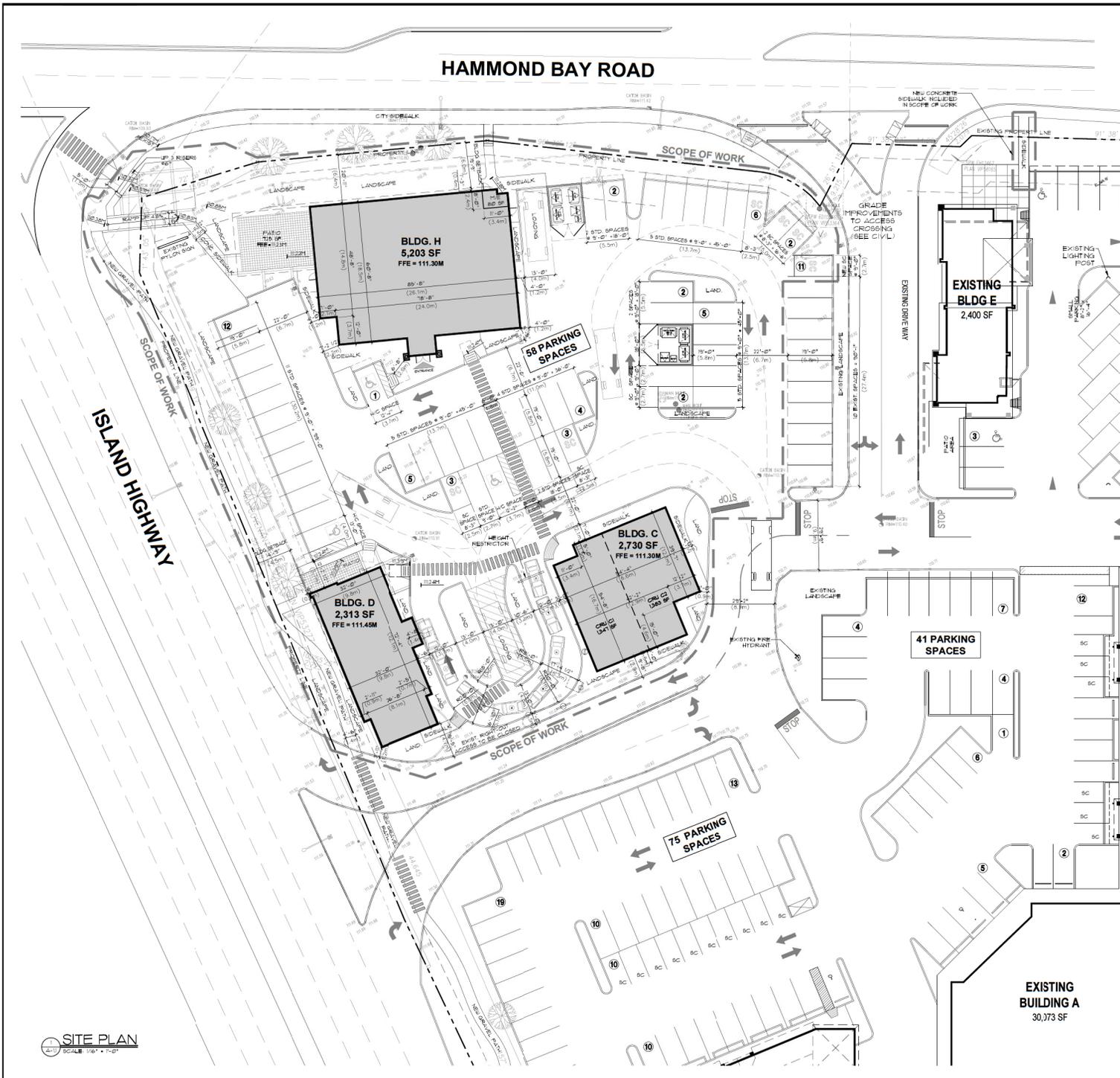
420 - 745 THURLOW ST
VANCOUVER BC V6C 0S5
TELEPHONE 604-687-2334

project number: 4187

SITE RENDERINGS

REV: AS NOTED
DATE: 2018-SEP-28
SCALE: A=0.1

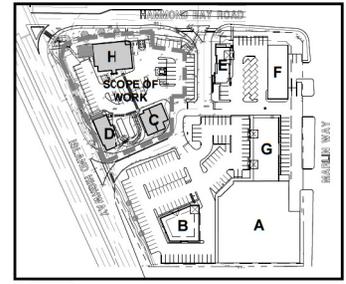
RECEIVED
D P 11 13
2018-SEP-28



SITE PLAN
SCALE: 1/8" = 1'-0"



AERIAL KEY PLAN
SCALE: N.T.S.



KEY PLAN
SCALE: N.T.S.

SITE INFORMATION

LEGAL DESCRIPTION:	LOT A, PLAN 8598, SECTION 12 WELLINGTON DISTRICT
CIVIC ADDRESS:	6361 HAMMOND BAY ROAD, NANAIMO, B.C.
ZONING:	CC4 - WOODGROVE URBAN CENTRE
TOTAL SITE AREA:	220,849 SF (20,519 SM)
TOTAL BUILDING AREA:	59,086 SF (5,487 SM)
LOT COVERAGE (MAX 50%):	(59,086 SF / 220,849 SF) x 100 = 26.8%

FLOOR AREAS

EXISTING BUILDING A	= 30,373 SF
EXISTING BUILDING B	= 5,000 SF
EXISTING BUILDING E	= 2,400 SF
EXISTING BUILDING F	= 5,192 SF
EXISTING BUILDING G	= 8,210 SF
EXISTING GROSS FLOOR AREA	= 48,375 SF
EXISTING NET FLOOR AREA (90% OF GFA)	= 43,538 SF
PROPOSED BUILDING C	= 2,730 SF
PROPOSED BUILDING D	= 2,313 SF
PROPOSED BUILDING H	= 5,195 SF
PROPOSED ADDL GROSS FLOOR AREA	= 10,148 SF
PROPOSED ADDL NET FLOOR AREA (90% OF GFA)	= 9,133 SF
TOTAL GROSS FLOOR AREA	= 59,023 SF
TOTAL NET FLOOR AREA	= 53,121 SF

PARKING CALCULATIONS

EXISTING BUILDINGS	43,888 SF / 1,076 SF x 4.3	= 175.8 SPACES
PROPOSED BUILDINGS	9,133 SF / 1,076 SF x 4.3	= 36.7 SPACES
TOTAL PARKING REQUIRED		= 213 SPACES
OFF-STREET PARKING PROVIDED		= 224 SPACES
DRIVE-THRU STACKING PROVIDED		= 8 SPACES
TOTAL PARKING PROVIDED		= 232 SPACES
PARKING RATIO (GROSS FLOOR AREA):	3.9 SPACES / 1000 SF	
DISABLED PARKING REQUIREMENTS:		
TOTAL DISABLED SPACES REQUIRED:		5 SPACES
NEW DISABLED SPACES PROVIDED:		3 SPACES
TOTAL DISABLED SPACES PROVIDED:		8 SPACES

BYLAW REQUIREMENTS

MINIMUM PARKING REQUIREMENTS

SHOPPING CENTRE:	4.3 PARKING SPACES PER 100 SM (1,076 SF) OF NET FLOOR AREA
DISABLED PARKING SPACES:	2 PER 100 REQUIRED SPACES OR PART THEREOF

PARKING SPACE AND MANOEUVERING AISLE REQUIREMENTS

STANDARD SPACE:	2.75m (9'-0") x 5.8m (19'-0")
SMALL SPACE (MAX 33%):	2.5m (8'-3") x 4.6m (15'-2")
HANDICAPPED SPACE:	3.7m (12'-0") x 5.8m (19'-0")
LOADING SPACE (MINIMUM SIZE):	9.2m (30'-0") x 4.0m (13'-0")
MANOEUVERING AISLE WIDTH:	6.7m (22'-0")
PARKING CURB OVERLAP:	1.0m (3'-3")

GENERAL NOTE:
BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.

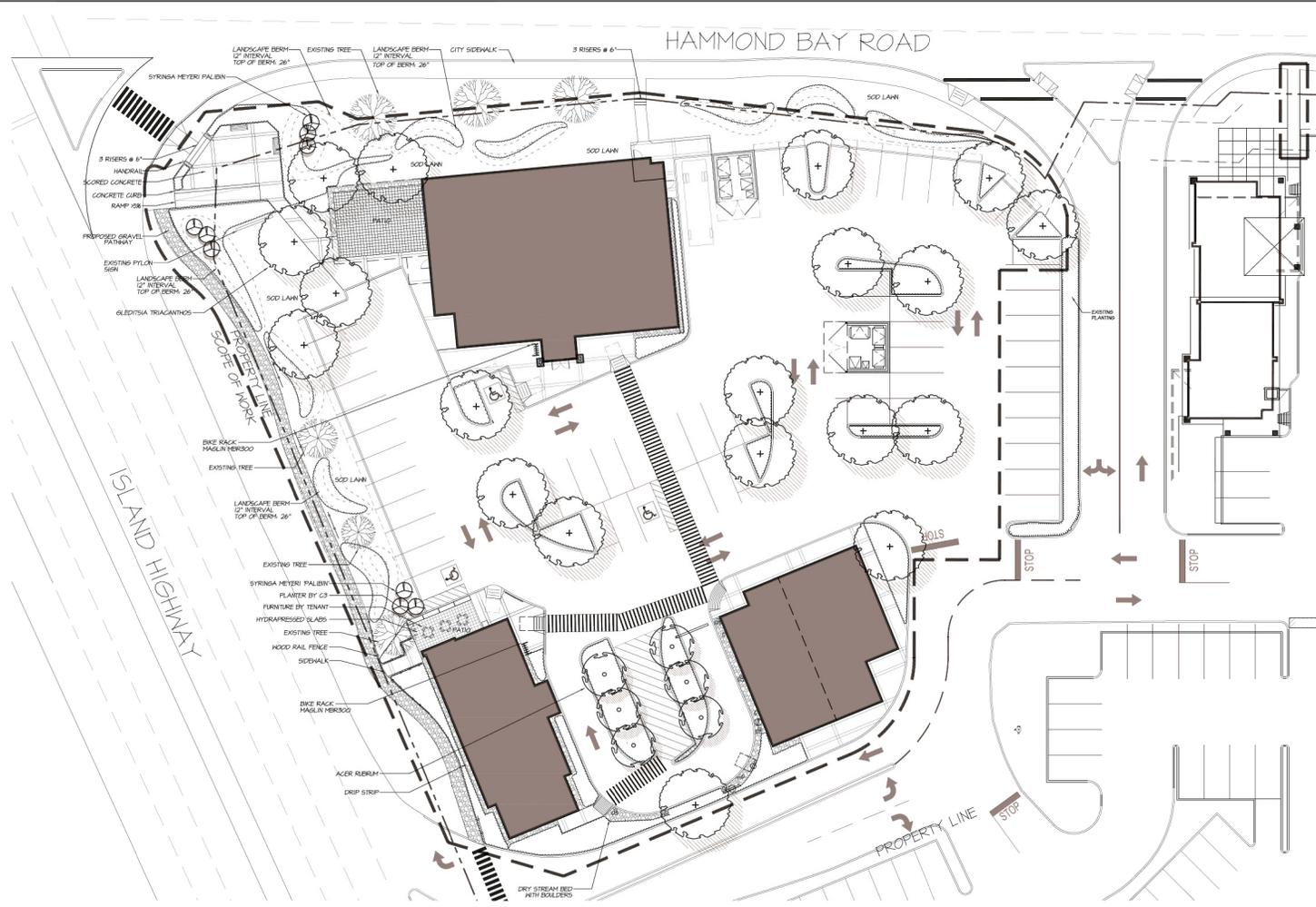
HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
FOR CROSS DEVELOPMENTS



420 - 745 THLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE 604-687-2334

PROPOSED SITE PLAN

RECEIVED
SEP 28 2018



LEGEND	
KEY	DETAIL NAME
HARDSCAPE	
[Symbol]	SCORED CONCRETE
[Symbol]	GRAVEL
[Symbol]	18" X 18" PATIO PAVERS BY MUTUAL MATERIALS
FURNITURE	
[Symbol]	BENCH BY MAGLIN MODEL MLE100
[Symbol]	BIKE RACK BY MAGLIN MODEL MBR300
[Symbol]	TROUGH PLANTER BY C3
[Symbol]	WOODEN RAIL FENCE

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M2
LANDSCAPE ARCHITECTURE

25 Lorne Mews, Suite 220
New Westminster, British Columbia
V3M 3L7
604.553.0044



PLANT SCHEDULE			
KEY QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 18-060 PLANTED SIZE / REMARKS
TREES			
6	ACER RUBRUM 'AUTUM BLAZE'	AUTUMN BLAZE MAPLE	60M GAL; 12M STD, B&B
4	GLEIDISIA T. NERMIS 'SKYLINE'	SKYLINE HONEY LOCUST	60M GAL; 12M STD, B&B
4	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	50M GAL; 14 STD, B&B
SHRUB			
CS 167	CORNUS SERICEA	REDTIG DOGWOOD	#2 POT
E 7	EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT
S 8	FINUS MUSO VAR. PUMILIO	DWARF MUSO PINE	#2 POT
RI 35	RHODODENDRON 'ELIZABETH'	RHODODENDRON RED	#3 POT
FO 191	SPIRAEA X JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	#2 POT
T 44	TAXUS X MEDIA 'HICKSII'	HICKS' YEH	#5 POT
GC			
BI 416	ALLIUM CERNUUM	NODDING ONION	#1 POT
M 311	ARCTOSTAPHYLOS UVA-URSI	COMMON BEARBERRY	#1 POT
CV 344	CALLUNA VULGARIS 'DARK BEAUTY'	HEATHER, PINK	#1 POT
G 108	LONICERA PILEATA	PRIVET HONEYSUCKLE	#1 POT
O 243	POLYSTICHUM MINUTUM	WESTERN SHORR FERN	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

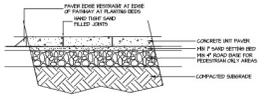
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

NO.	DATE	REVISION DESCRIPTION	DR.
1	2018-SEP-20	ISSUED FOR CP	TS
2	2018-SEP-20	ISSUED FOR CP	TS

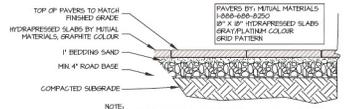
PROJECT:

Commercial Development
6361 Hammond Bay Road
Nanaimo, B.C.

DRAWING TITLE:	
TREE PLAN	
DATE: 18.AUG.21	DRAWING NUMBER:
SCALE: 1/8" = 1'-0"	L1
DRAWN: TS	OF 4
DESIGN: TS	
CHECK: HMA	
2018-SEP-20	
M2LA PROJECT NUMBER: 18-060	



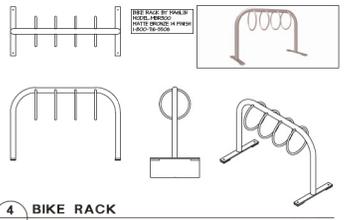
1 PEDESTRIAN PAVERS ON GRADE
L3 1" = 1'



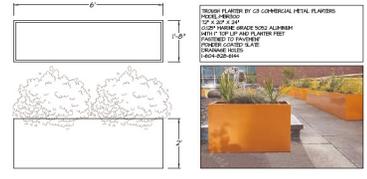
2 HYDRAPRESSED SLABS
L3 1" = 1'-0"



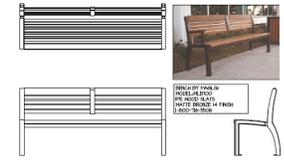
3 SOD LAWN
L4.2 1" = 1'



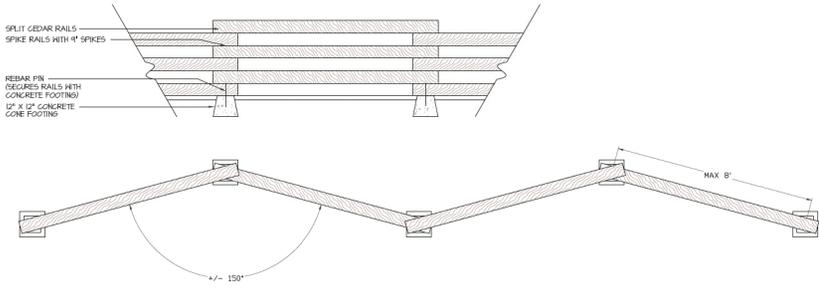
4 BIKE RACK
L3 1/2" = 1'



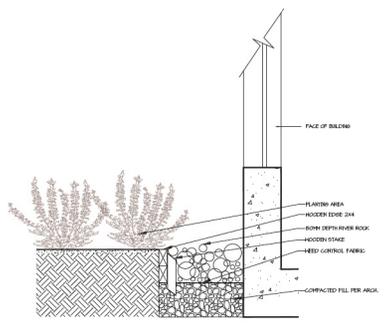
5 PLANTER
L3 1/2" = 1'



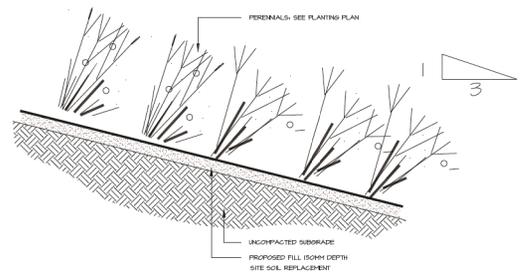
6 BENCH
L3 1/2" = 1'



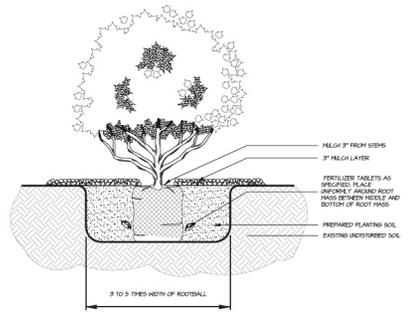
7 SPLIT RAIL FENCE DETAIL
L3 1/2" = 1'



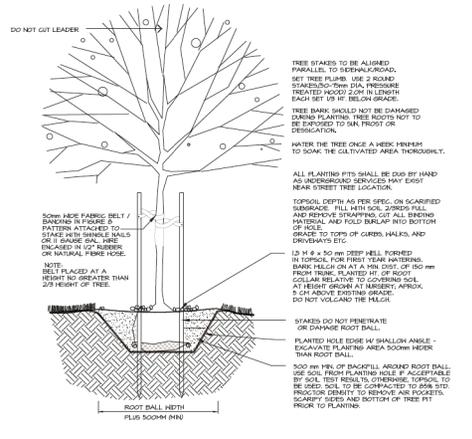
8 DRIP STRIP AND SOD LAWN
L4.2 1" = 1'-0"



9 SLOPE PLANTING
L4.2 1/2" = 1'



10 SHRUB PLANTING
L4.2 1/2" = 1'



11 DECIDUOUS TREE PLANTING
L4.2 1/2" = 1'

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25 Lorne Mews, Suite 220
New Westminster, British Columbia
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604.553.0044

NO.	DATE	REVISION DESCRIPTION	DR.
1			
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PROJECT:
Commercial Development
6361 Hammond Bay Road
Nanaimo, B.C.

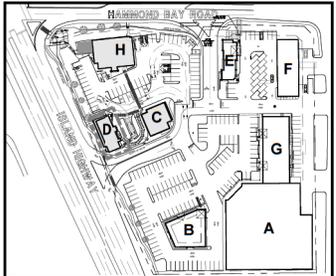
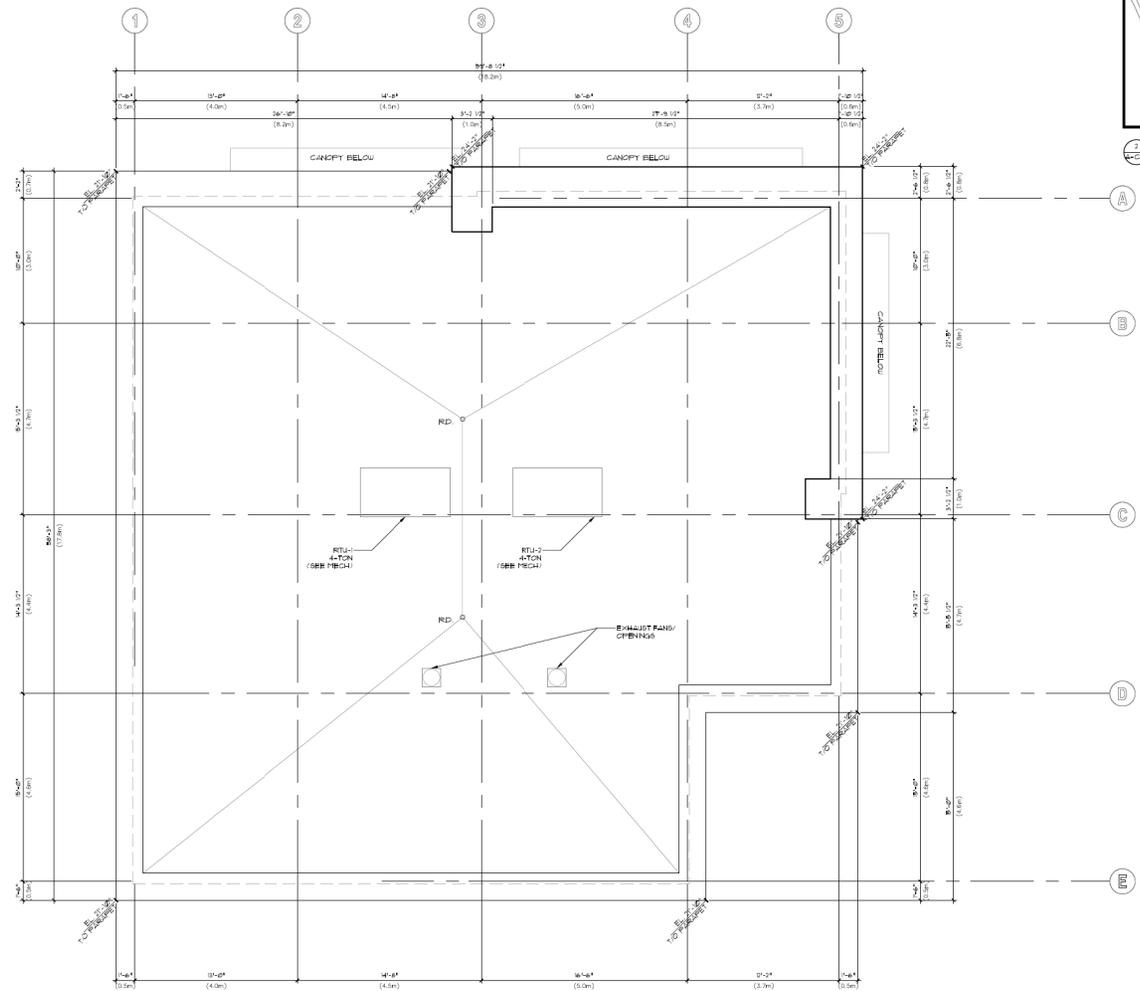
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DETAILS

DATE:	08/01/21	DRAWING NUMBER:	
SCALE:	N/A		
DRAWN:	TB		
DESIGN:	TB		
CHECK:	MM		
M2LA PROJECT NUMBER:			

L3

OF 4

3800 - 0001.pdf 19-000



KEY PLAN
SCALE: N.T.S.

ROOF PLAN
SCALE: 3/8" = 1'-0"

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DATE: 2018-09-28
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PROJECT NO: 4187

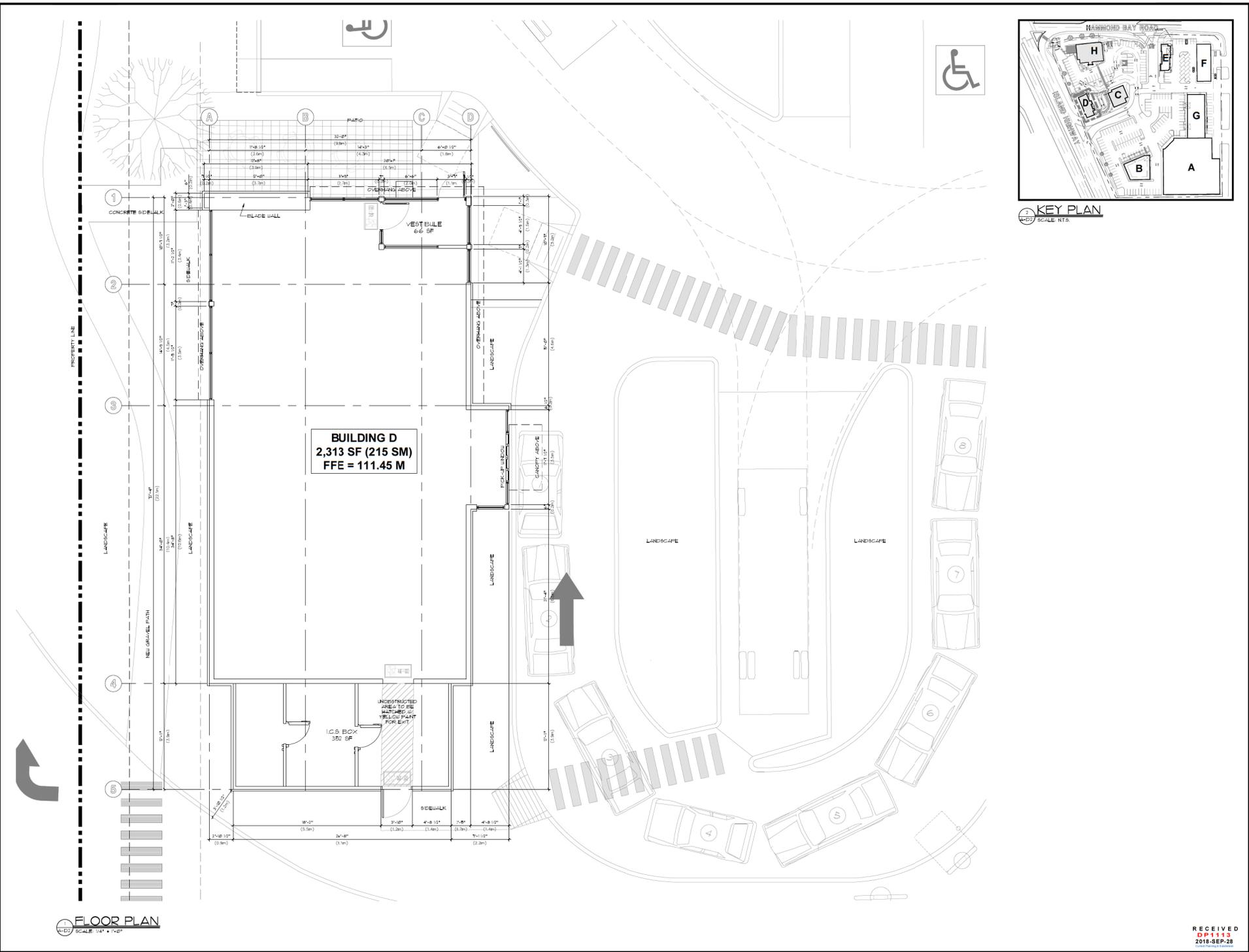
HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
FOR CROSS DEVELOPMENTS



420-745 THURLOW ST
 VANCOUVER BC V6C 0S5
 TELEPHONE 604-687-2334

PROJECT NUMBER: 4187
 DRAWING NUMBER: BUILDING C ROOF PLAN
 DATE: 2018-SEP-28
 SCALE: AS NOTED
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

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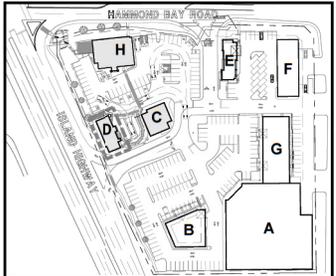


BUILDING D
 2,313 SF (215 SM)
 FFE = 111.45 M

UNRESTRICTED
 AREA TO BE
 MAINTAINED OR
 YELLOW PAINT
 FOR EXIT

I.C. BOX
 352 SF

VESTIBULE
 66 SF



KEY PLAN
 SCALE: NTS

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 PROJECT NO: 18-0000

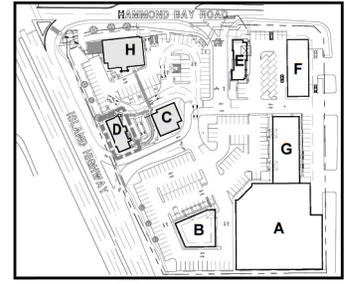
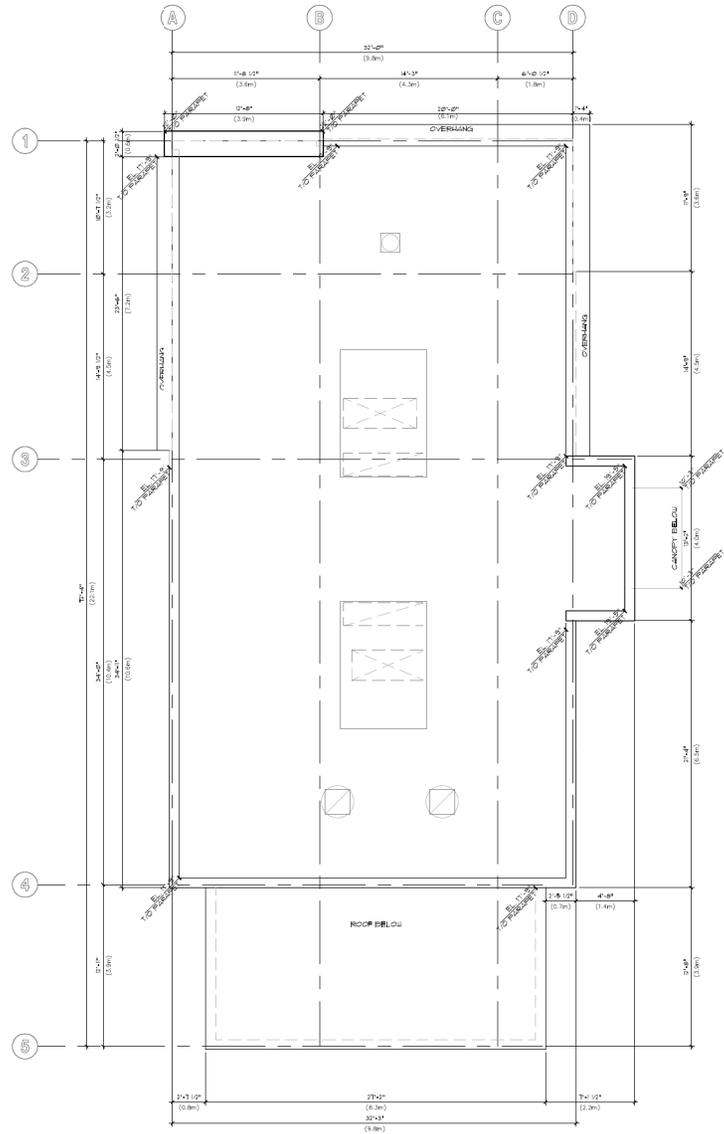
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PROJECT NUMBER: 4187
 DRAWING NUMBER: 4187-01
 DATE: 2018-09-28
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KEY PLAN
SCALE: 1/8" = 1'-0"

ROOF PLAN
SCALE: 1/4" = 1'-0"

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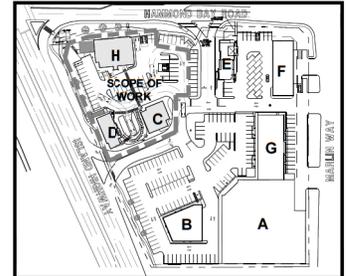
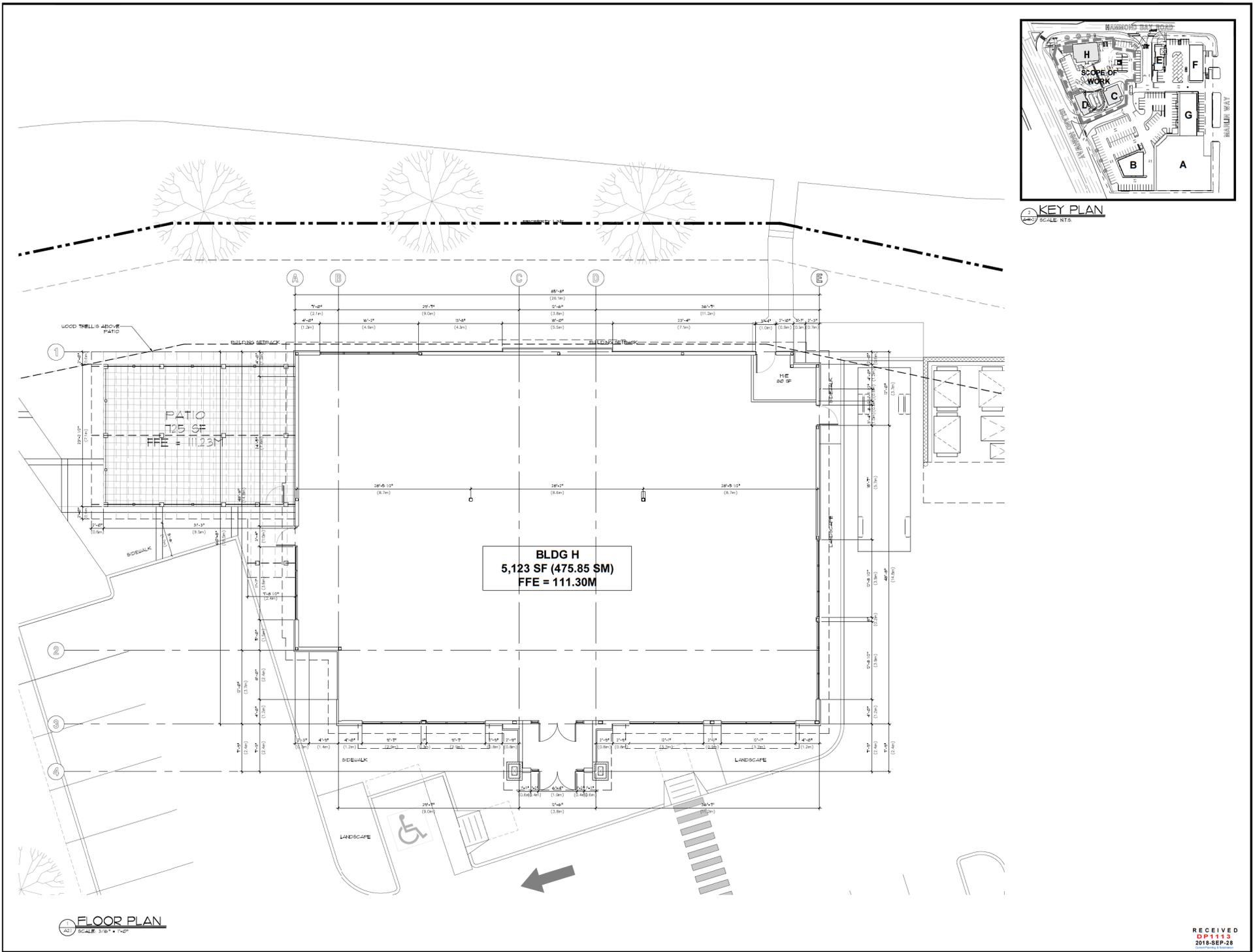


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architects ltd

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TELEPHONE 604-687-2334

PROJECT NUMBER: 4187
BUILDING D WENDY'S
ROOF PLAN
DATE: AS NOTED
SCALE: 1/4" = 1'-0"
DRAWN BY: [Signature]
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1. 18/06/17 ISSUE FOR IFC
2. 18/06/17 ISSUE FOR PERMIT
3. 18/06/17 ISSUE FOR CONSTRUCTION

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3. 18/06/17

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PROJECT NUMBER: 4187
DRAWING NUMBER: **BUILDING H FLOOR PLAN**
DATE: 2018-09-28
BY: AS NOTED
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SCALE: NTS

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2018-SEP-28

1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR MATERIALS:

1	EFS ACRYLIC STUCCO FINISH
2	EFS CORNICE
3	PRE-FINISHED METAL FLASHING
4	PRE-FIN LOWE DOUBLE-GLAZED THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING + DOORS
5	PRE-FINISHED LOWE DOUBLE-GLAZED SPANDREL GLAZING
6	EXTERIOR WALL SCIENCE
7	HOLLOW METAL DOOR
8	CONCRETE UPSTAND
9	ILLUMINATED SIGNAGE BY TENANT
10	LONGBOARD METAL SIDING
11	METAL CANOPY
12	RACE BRICK BY MUTUAL MATERIALS
13	PRE-FINISHED ALUMINUM BREAKAWAY
14	CONCRETE FILLED STEEL PIPE BOLLARD
15	EXPANSION JOINT
16	WOOD TRILLS
17	THERMALLY BROKEN GLASS PANELS WITH POLISHED EDGES

EXTERIOR COLOURS:

A	EMERALD SANDLOT GREY
B	CHERRYWOOD
C	EMERALD DEEP SPACE
D	BLACK
E	CLEAR ANODIZED
F	SACKED FINISH
G	DARK CHERRY

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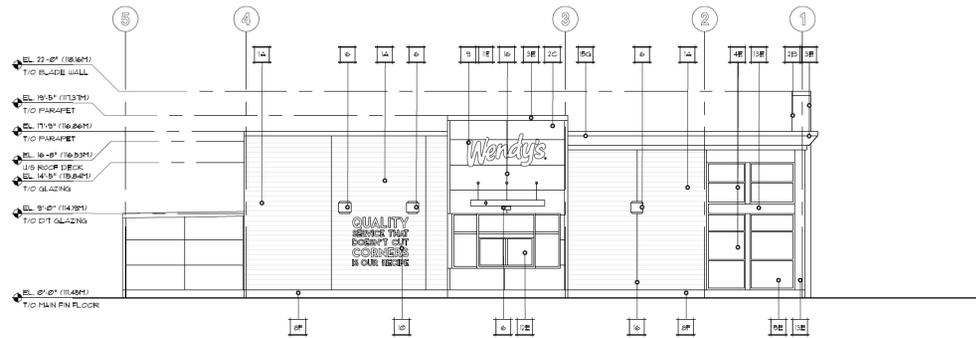
420-745 THURLOW ST
VANCOUVER BC V6C 2S4
TELEPHONE 604-687-2334

PROJECT NUMBER: 4187

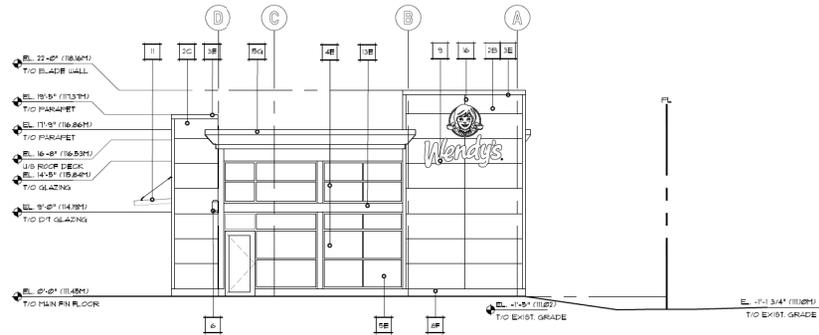
BUILDING C COLOUR ELEVATIONS

DATE: 2018-SEP-28
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SCALE: AS NOTED
PROJECT NUMBER: 4187

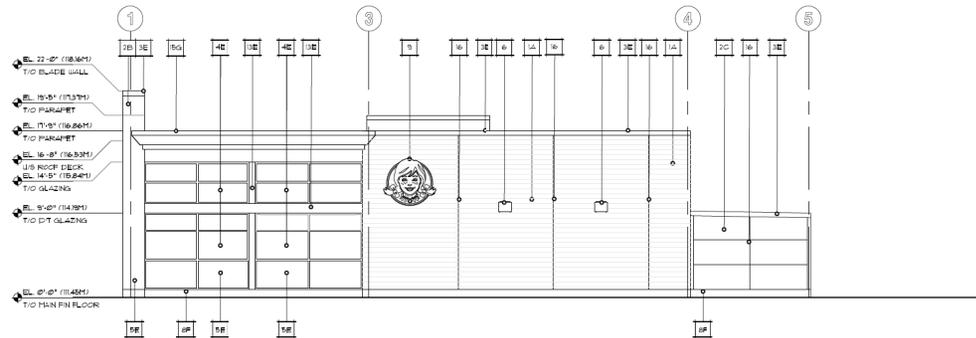
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2018-SEP-28



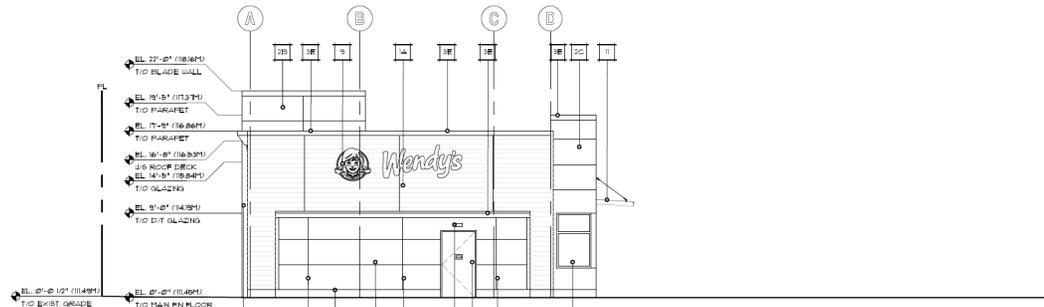
EAST ELEVATION
SCALE: 3/8" = 1'-0"



NORTH ELEVATION
SCALE: 3/8" = 1'-0"



WEST ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

EXTERIOR MATERIALS:

1	LONGBOARD METAL SIDING
2	NORMAL ILLUMINATION REDS FIRE CEMENT WALL PANELS
3	FRE-FINISHED METAL FLASHING
4	FINE-FIN. LOW-E DOUBLE-GLAZED, THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING SYSTEMS
5	METAL PANEL AT BOTTOM FRAME OF GLAZING SYSTEM ON INSIDE FACE OF GLASS
6	WALL-MOUNTED EXTERIOR LIGHTING
7	HOLLOW METAL DOOR
8	CONCRETE UPSTAND
9	ILLUMINATED SIGNAGE BY TENANT
10	NON-ILLUMINATED SIGNAGE BY TENANT
11	METAL CANOPY
12	DRIVE-THRU WINDOW
13	FRE-FINISHED ALUMINUM BREAKSHAPE
14	CONCRETE FILLED STEEL PIPE BOLLARD
15	EPS CORNICE
16	REVEAL

EXTERIOR COLOURS:

A	DARK CHERRY
B	NORMAL ILLUMINATION BLAZE
C	NORMAL ILLUMINATION KNIGHTS ARBOR
D	WOOD GRAIN FINISH LIGHT CHERRY
E	CLEAR ANODIZED
F	SACKBUSH FINISH
G	100% 20-20 DEEP SPACE
H	BLACK

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2018-SEP-28

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For CROSS DEVELOPMENTS



420-745 THURLOW ST
VANCOUVER, BC V6C 2S5
TELEPHONE: 604-687-2234
project number: 4187
DATE: 2018-09-28
BUILDING D
WENDY'S ELEVATIONS
DRAWN BY: [signature]
CHECKED BY: [signature]
SCALE: AS NOTED
DATE: 2018-09-28



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR MATERIALS:

- 1 LONGBOARD METAL SIDING
- 2 NIGHTMARE ILLUMINATION (REDUCED PIERCE CEMENT WALL PANELS)
- 3 PRE-FINISHED METAL FLASHING
- 4 PREFIN LAM-TE DOUBLE-GLAZED THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING (FLOOR)
- 5 METAL PANEL AT BOTTOM FRAME OF GLAZING SYSTEM ON INSIDE FACE OF GLASS
- 6 WALL-MOUNTED EXTERIOR LIGHTING
- 7 HOLLOW METAL DOOR
- 8 CONCRETE UPSTAND
- 9 ILLUMINATED SIGNAGE BY TENANT
- 10 NON-ILLUMINATED SIGNAGE BY TENANT
- 11 METAL CANOPY
- 12 DRIVE-THRU WINDOW
- 13 PRE-FINISHED ALUMINUM BREAKSHAPE
- 14 CONCRETE FILLED STEEL PIPE BOLLARD
- 15 EPS CORNER
- 16 REVEAL

EXTERIOR COLOURS:

- A DARK CHERRY
- B NIGHTMARE ILLUMINATION BLAZE
- C NIGHTMARE ILLUMINATION KNIGHTS ARMOR
- D WOOD GRAIN FINISH LIGHT CHERRY
- E CLEAR ANODIZED
- F SACKBUE FINISH
- G 80%100-100 DEEP SPACE
- H BLACK

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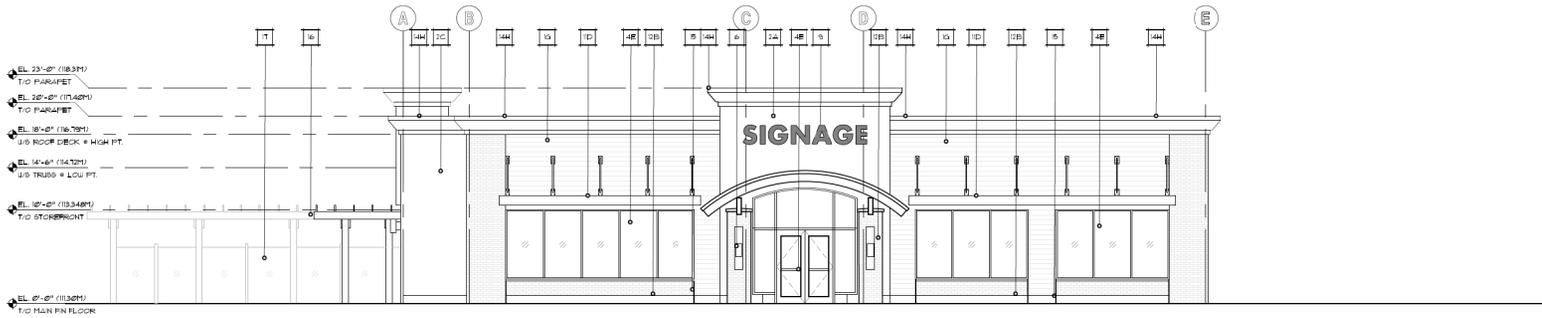
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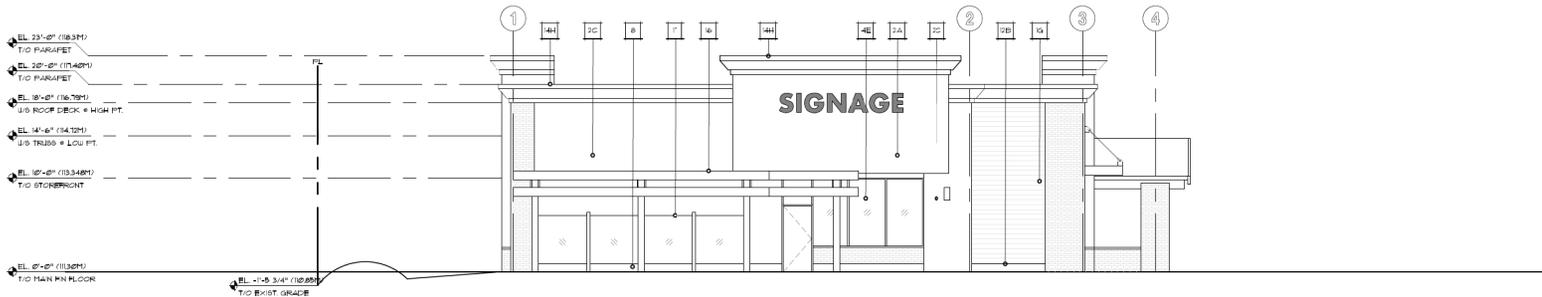
420-745 THURLOW ST
VANCOUVER, BC V6C 2S5
TELEPHONE: 604-687-2234

Project Name: 4187
Client: [Name]
Building: BUILDING D WENDY'S
Colour Elevations

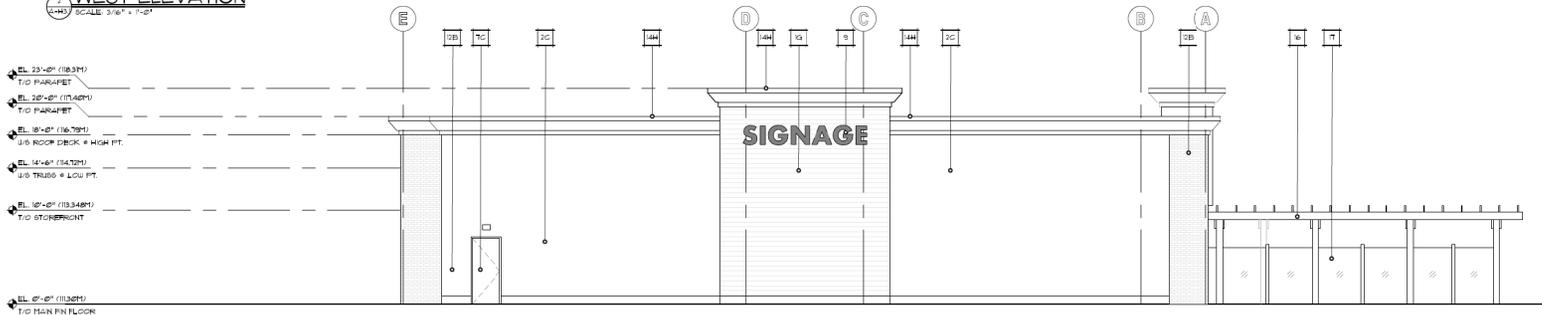
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CHECKED BY: [Name]
PROJECT: [Name]



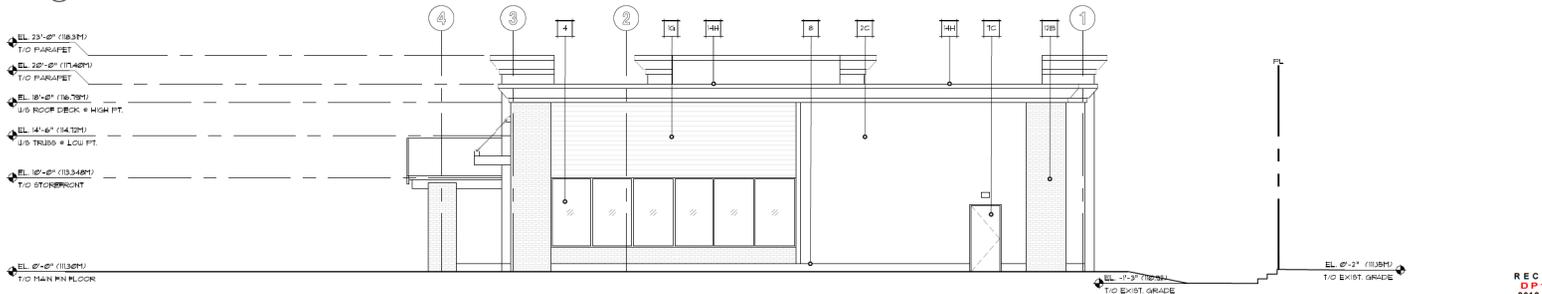
SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



WEST ELEVATION
SCALE: 3/8" = 1'-0"



NORTH ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 3/8" = 1'-0"

EXTERIOR MATERIALS:

1	LONGBOARD METAL SIDING
2	EPS
3	PRE-FINISHED METAL FLASHING
4	PREFIN LOW-E DOUBLE-GLAZED THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING 4 DOORS
5	PREFINISHED LOW-E DOUBLE-GLAZED SPANDREL GLAZING
6	EXTERIOR WALL SCIENCE
7	HOLLOW METAL DOOR
8	CONCRETE UPSTAND
9	LIGHTNED SIGNAGE BY TENANT
10	HARDIE PLANK WINDOW TRIM
11	METAL CANOPY
12	FACE BRICK BY MUTUAL MATERIALS
13	PREFINISHED ALUMINUM BREAKAWAY
14	EPS CORNICE
15	EXPANSION JOINT
16	WOOD TRUSSES
17	THERMED GLASS PANELS WITH POLISHED EDGES

EXTERIOR COLOURS:

A	BRN-120-50 SUEET INNOCENCE
B	CHERRY/NT MISSISSI
C	BRN-120-50 SANDLOT GREY
D	BLACK
E	CLEAR ANODIZED
F	SACKLES FINISH
G	DARK CHERRY
H	BRN-120-20 DEEP SPACE

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City of Vancouver

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420 - 745 THURLOW ST
VANCOUVER BC V6C 2S5
TELEPHONE 604-687-2334

PROJECT NUMBER: 4187
DATE: 2018-09-28
BUILDING H ELEVATIONS
SHEET: 30 OF 30
SCALE: AS NOTED
DRAWN BY: A.H.H.



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



4 EAST ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR MATERIALS:

- | | |
|----|-----------------------------------------------------------------------------------|
| 1 | LONGBOARD METAL SIDING |
| 2 | EPS |
| 3 | PRE-FINISHED METAL FLASHING |
| 4 | PRE-FIN. LOW-E DOUBLE-GLAZED THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING 4 DOORS |
| 5 | PRE-FINISHED LOW-E DOUBLE-GLAZED SPANDREL GLAZING |
| 6 | EXTERIOR WALL SCIENCE |
| 7 | HOLLOW METAL DOOR |
| 8 | CONCRETE UPSTAND |
| 9 | ILLUMINATED SIGNAGE BY TENANT |
| 10 | HARDIE PLANK WINDOW TRIM |
| 11 | METAL CANOPY |
| 12 | FACE BRICK BY MUTUAL MATERIALS |
| 13 | PRE-FINISHED ALUMINUM BREAKSHAPE |
| 14 | EPS CORNICE |
| 15 | EXPANSION JOINT |
| 16 | WOOD TRUSS |
| 17 | THERMALLY BROKEN GLASS PANELS WITH POLISHED EDGES |

EXTERIOR COLOURS:

- | | |
|---|------------------------------|
| A | BRICK-TO-BE SUBMIT INNOCENCE |
| B | CHERRYBARK (MISSION) |
| C | BRICK-TO-BE SANDLOT GREY |
| D | BLACK |
| E | CLEAR ANODIZED |
| F | SACKLES FINISH |
| G | DARK CHERRY |
| H | BRICK-TO-BE DEEP SPACE |

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VANCOUVER BC V6C 0S5
TELEPHONE 604-687-2334

PROJECT NUMBER: 4187
DATE: 2018-09-28
DRAWN BY: AS NOTED
CHECKED BY: UC
SCALE: 1/8" = 1'-0"
A-H32

AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001113

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT NO. DP001114 – 4800 CEDAR RIDGE PLACE

Applicant: HIGHSTREET VENTURES

Owner: HIGHSTREET UPLANDS PLACE DEVELOPMENTS LTD.

Architect: WD FISHER ARCHITECT

Landscape Architect: WSP LANDSCAPE ARCHITECTURE

Subject Property:

<i>Zoning</i>	R6 - Townhouse Residential R8 – Medium Density Residential
<i>Location</i>	The subject property is located on the north west side of Long Lake off Rutherford Road.
<i>Total Area</i>	35,878.2m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plans – Corridor; Map 3 – Development Permit Area No. 5 – Steep Slope Development; Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential Development.
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines Steep Slope Development Permit Area Design Guidelines

PROPOSED DEVELOPMENT

The proposed 172-unit multiple-family rental development is located on a split-zoned parcel and includes the following:

- Building A – 1800m²; 76 units (4 storeys)
- Building B – 1547m²; 48 units (3 storeys)
- Building C – 1547m²; 48 units (3 storeys)
- Amenity Building – 319m² (2 storeys)

The R6 zone allows a FAR of 0.45 and the R8 zone allows a FAR of 1.25. The total proposed floor area on the site is 5,213m².

Site Context

The vacant subject property is located to the northwest of Long Lake and is in walking distance to the Nanaimo North Town Center. The Grand Hotel is adjacent to the west property line; established single dwelling (Long Lake Heights) and multi-family neighbourhoods are located to the north and east; and the Lakeview Road multi-purpose trail is located to the south.

Site Design

The subject property is designated as a steep slope and is accessed off Cedar Ridge Place, a small cul-de-sac which extends from Rutherford Road. A secondary emergency vehicle access from Salal Drive is proposed on the west side of the property.

The Steep Slope Development Permit Area Guidelines encourage open space development, a design method that locates buildings on a portion of the parcel, allowing the remaining land to be retained as open space. The proposed site design concentrates development to the corners of the property, where natural plateaus occur, in order to minimize site disturbance and preserve large portions of the site. An internal road network leads to each building, each with their own surface and below-grade parking area.

Covered short-term bicycle parking areas are located adjacent to the southwest corner of Building C and in front of the amenity building, and long-term bike parking is located on the ground level of the amenity building.

Staff Comments:

- Please clarify the pedestrian connections from the internal road to Building C above the parkade entrance on the southwest elevation.

Building Design

The proposed design for the 3 residential buildings works with basic three-storey (Buildings B and C) and four-storey (Building A) rectilinear masses and use the following architectural features:

- Long flat roofs with shed roof projections, which add articulation to the roof line and building massing;
- Unit balcony guards on each floor to create a horizontal band across the vertical structure bays and add articulation to the building face;
- A fenestration of windows and balcony doors to create another layer of detail; and,
- Material finishes of cement board siding, cultured stone and heavy timbers to further articulate vertical and horizontal building articulation.

The proposed two-storey amenity building follows the same architectural and characteristics of the residential buildings and is differentiated by butterfly roof.

Staff Comments:

- Consider the detailing/screening of the exposed foundation walls on Building B.
- Consider design solutions to differentiate the three buildings and opportunities to further articulate or step down the buildings to respect the surrounding existing developments and terrain.
- Consider some long term bike parking storage within each building as opposed to clustering entirely within the amenity building.

Landscape Design

The landscape plan has a woodland theme that retains much of the urban forest and rock outcroppings along the perimeter of the property and utilizes scale appropriate trees, and low growing shrubs and groundcovers to define parking, driving and amenity areas.

A water feature is located near Building B on the rock cliff, adjacent to the main drive aisle and incorporates a native plant palette to compliment the existing landscape. This feature incorporates bench seating with view opportunities and creates a strong site aesthetic for the required on-site storm water management.

An internal walkway connects the buildings, parking areas and amenity spaces. A community garden area is located to the west of Building A and seating areas are placed throughout the site.

Staff Comments:

- Retaining walls are proposed but not detailed on the site plan or landscape plan. Height and material details are required.
- Consider addition site/building lighting within the parking lots, building entrances and walkways to address CPTED concerns.
- Details regarding the edge treatment around the community garden area are required.
- The site plan shows a lake overlook area at the southwest corner of Building A. Further details of the programming area required.
- Consider opportunities for more robust seating area or pedestrian connection from the water feature to Building B.
- Tree/landscape islands should be incorporated into the surface parking areas wherever possible.

PROPOSED VARIANCES

Maximum Allowable Building Height

The maximum allowable building height for Buildings B and C is 7m. The proposed building height for both buildings will be confirmed by the applicant at the design panel meeting.

HIGH STREET

Property:

Uplands Place
4800 Cedar Ridge Place
Nanaimo, BC

Developer:

Highstreet Ventures
702 - 1708 Dolphin Avenue
Kelowna, BC
V1Y 9S4

DEVELOPMENT DESIGN RATIONAL



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2018-SEP-06
Current Planning & Subdivision

HIGH STREET

OVERVIEW

Highstreet Ventures is a Kelowna based company that is responsibly developing smarter communities around BC, Alberta, and Ontario. After building over 3,500 condo quality apartments, Highstreet is excited to focus our attention to the Nanaimo and provide great rental homes in your community. Our purpose-built rental communities will help Nanaimo manage the need for quality rental housing and help increase the local vacancy rate. We are a team of hardworking, dedicated people and we look forward to working with you and your team. I invite you to look at our webpage to learn more about us.

This development application provides Nanaimo with 172 well needed purpose-built market rental apartments in three buildings with underground parking in each. There will be an amenity building and all buildings will be constructed in one phase.

Highstreet takes sustainability very seriously. Our vision is to own and operate 200 million worth of net-zero energy real estate by 2024. We are continually focused on improving the energy efficiency and overall quality and durability of our buildings to ensure our buildings last much longer than most. This includes a high-performance building envelope, with increased insulation, airtightness, and acoustic qualities, and simple mechanical systems that provide superior comfort for the residents.

Our developments currently under construction have 50% better energy efficiency than the standard building, and we are looking to take the next steps to improve this even more. The buildings utilize low-flow water fixtures and advanced irrigation to minimize water use, utilize green design principals throughout to achieve BUILT GREEN Certification (likely Gold or Platinum rating), and include roof mounted solar arrays on all residential buildings. There will be several EV charging stations on-site and near the amenity building for resident and visitor use, as well as EV-ready stalls in the underground parkades. We are researching an electric car-share service on site that would be for the resident's use.

In addition to the items mentioned above, the amenity building will include a rental office with a full-time on-site community leader and assistant community leader, plus a fitness room, a lounge with kitchenette, bike storage with a bike repair station, and two patios, all for tenant use. The architecture of the amenity building will mimic the apartments and the high-quality finishes will match.

There will be ample bicycle parking. Tenant secure bike storage will be provided in the parkades and in the lower level of the amenity building, and visitor bikes racks will be located at each building entrance.

We plan to use the Earthbins or Moloks waste system and have confirmed we can use this in Nanaimo. This system is animal proof, low height, clean and tidy looking and is aesthetically superior to traditional waste bins.

There will be security cameras throughout the site, including hallways for added tenant security. This is currently a standard on all our builds.

HIGH STREET

DESIGN RATIONAL

This design rational references Nanaimo's Official Community Plan (OCP) and General Development Permit Area Design Guidelines (GDPADG)

GDPADG Design Principles:

1. Development must respect the past: Highstreet finishes pay homage to the rugged outdoors, utilising wood and stone exterior finishes to mirror the natural environment while making use of modern building materials.
2. Development must respect the present: The existing character of the neighbouring buildings are interesting roof lines, high quality exterior finishes and visible structural elements (posts/beams/bracing). These buildings will have flat roofs with "wing" like features to accentuate the roof line. The finishes will be fibre cement siding, cultured stone and heavy timber design features.
3. Development must relate to the natural environment: The key to this design was integrating it into the natural landscape of the site minimizing ground and flora alterations. We worked with the naturally hilly terrain and the existing trees to minimize removals. The design also worked hard to keep the natural rock outcrops, which is why we went with 3 buildings to minimize the road network.
4. Development must relate to the street: This property has very little street frontage on Cedar Ridge Place at its main entrance, however we've designed the entrance to be very welcoming, including landscaping, a development sign that mimics the building design, and an amenity building that will welcome visitors and tenants. On Salal Rd we will complete the road/curb/gutter/sidewalk/streetlights to increase the pedestrian enjoyment as they walk past. Those wishing to pass from Salal to Rutherford, can use a multi-use path through the site, bordered by a boulevard and landscaping.
5. Development should include significant and appropriate landscaping: We are utilizing the existing trees and rocks and integrating this into the new landscaping. The landscape will be kept as natural as possible to give the residents spaces to gather, play and be social. There will also be community gardens for the tenants to use.
6. Development character must be of familiar form: The forms we use, while pushing the modern context, have familiar connotations and uses. Private decks with roofs above, heavy timber canopies to accentuate the entrance, and materials and colours that provide a residential feel. The lower building is 4 storeys and the two upper buildings are 3 storeys, a more human scale than taller towers.
7. Development architecture must be durable: Highstreet's first Value is to do what's right, always. Providing a sound design that lasts beyond expectations is part of this philosophy. We use durable materials consisting of cement board siding, cultured stone and heavy timbers. High insulation content in exterior walls, party walls and floors to minimize sound. Suites are

HIGH STREET

finished with durable recycled quartz countertops and hardwearing LVT flooring in high traffic areas.

8. Development must be convenient and safe: There will be an amenity building with two full-time staff during regular business hours for the needs of the residents and the surrounding neighbours if an issue were to arise. They help create a friendly/safe community that all residents take pride in. This is our goal that the Highstreet Operations team executes at all our communities. There are security cameras throughout the site and inside the apartment buildings on all floor and in the parkade. The location is close to a large commercial complex as well as larger public transit routes.

GDPADG Design Guidelines:

1. Parking, Loading and Vehicle Circulation:
 - Uplands Place makes use of below grade parkade parking to maximize green space and minimize impermeable surfaces. The on-site parking is designed to utilize the hillside in a way such that it breaks up parking lot massing while maintaining comfortable grades and pedestrian walkability.
2. Pedestrian Circulation:
 - Uplands Place will be a walkable site, making use of sidewalks and walking paths to get residents from their homes to the provided amenity spaces. Highstreet wishes to leave much of the site undeveloped, making use of the natural beauty of the portion of the site that is still in its native state.
 -
3. Bicycle Facilities:
 - Highstreet recognizes the importance of bicycle's as an alternative means of transportation, with our office staff winning annual awards 3 years in a row for Bike to Work Week. Our projects make bike accessibility a priority and will provide a bicycle repair station including a work stand, tools and a tire pump. The site will make use of secured bike storage in the parkade and amenity building and a dedicated, covered bike storage that offers easy parking, secure locking opportunities, and ease of access for residents throughout the community.
4. Open Space and Site Design
 - The Uplands Place site design provides wide, open, welcoming entrances on either side of the site for pedestrians. The East entrance will be reserved for emergency access to mitigate additional traffic through the adjacent neighbourhood. Old growth will be retained around site edges where possible to provide screening for neighbours and double as natural amenity space for residents. The steep central hillside portion of the site will remain undeveloped to provide a large block of visible open space. A community garden will be provided at a central location to provide a meeting area for tenants to socialize while they garden.

HIGH STREET

5. Landscaping:

- Plant choice throughout the site will be composed of native plant species to minimize watering requirements while providing a smooth transition between adjacent native vegetation and designed landscaping. Visual breaks will be provided at the site access on either end to provide an inviting feel without detracting from site character. Water-efficient irrigation systems will be installed in all new landscape areas and steep slopes will only be kept where they already exist.

6. Setbacks and buffers:

- The Uplands Place project avoids encroaching on setbacks and minimizes views of building mass from adjacent residential sites using old growth as screening where possible. Adjacent sites do not have conflicting land use, and yard setbacks utilizing existing vegetation have been included to maintain a sense of space between buildings in the area. Fences on Highstreet projects are typically black polymer coated chain-link, allowing for security and view penetration from adjacent sidewalks.

7. Safety and Security

- Site lighting will be designed to provide visibility through pedestrian thoroughfares while highlighting site entrances, building entrances, and parking areas. As a condition of our Built Green certification lighting will follow IESNA Recommended Practice Manual: Lighting for Exterior Environments, ensuring adequate lighting without unnecessary light pollution. Lighting control will be automated using a combination of photocell and motion sensors in the appropriate places to optimize energy efficiency. The site is designed to make common areas centralized and in view of building balconies, minimizing areas for crime and encouraging tenants make use of the natural amenity space.

OCP:

Part C 2.2 – Corridor Development Areas

- Uplands Place will provide new multi-unit residential living opportunities that are pedestrian and cyclist friendly and will contribute to a vibrant economy and street life along the corridor. The building design will focus on energy efficiency and green building principals, while providing an adequate transition between the neighbouring residential areas and the adjacent hotel. The project will support a broad social mix and provide access to energy efficient housing with modern finishes and amenities at achievable income levels.

Part C 2.3 – Neighbourhood Areas

- Uplands Place will provide a transition between the adjacent neighbourhood and the corridor development area, while increasing available housing choice in the area. The city encourages infill development where possible, and favours projects that provide access to parks and open space where steep slopes and environmentally sensitive lands can be recognized as attributes of the site. Uplands place would provide a much-needed revitalization of the site while providing residents access to the hillside greenspace and the nearby Long Lake.

HIGH STREET

Part C 2.7 – Agricultural Resource Areas

- The Uplands place project will be developing space that is not suitable for urban agricultural use given its rocky hillside nature.

Part C 5.1 – Efficiency and Environment

- The official community plan recognizes the importance of minimizing climate change through reductions in energy consumption and greenhouse gas emissions. Highstreet uses integrated design processes to create projects that satisfy rigorous Built Green Canada standards, earning Silver and Gold certifications and meeting the Energy Requirements of Built Green Platinum. Every building is an improvement from the last, with recent projects energy modelling to be 30%-60% better than code and future projects aiming to be Net-Zero annual energy. Highstreet's primary design goal is to own and operate \$20M of Net-Zero real estate by the year 2024. Highstreet has installed to date over 1000kW of solar arrays across projects in 3 provinces and is working with BC Hydro to allow for the installation of complex solar arrays that push the envelope of current provincial maximums.
- Additional green building measures include the use of durable materials (recycled quartz countertops, durable long-lifespan decking materials, and durable fibre-cement siding), high water efficiency (low-flow fixtures, drought resistant and local plants, high-efficiency irrigation), promotion of alternative transportation, and using high quality fenestrations to increase tenant comfort while mitigating heating and cooling requirements.

Part C 5.2 – Environmentally Sensitive Areas

- While the (half-developed) site's existing state doesn't lend itself to local plants and animals, Highstreet intends to return parts of the site to their original beauty through efficient use of greenspace and amenity space throughout.

Part C 5.3 – Hazard Areas

- Environmental and Geotechnical assessments have been undertaken to ensure any hazards are known and mitigated before development began. While the geotechnical investigation noted that substantial cuts and fills may be required, no hazards were noted and the site "is considered geotechnically safe and suitable for construction".

Part C 5.4 – Steep Hillside Areas

- The proposed Uplands Place site plan utilizes the existing grade of the hillside to break up the massing of buildings, providing views to tenants in every building while maintaining the original high-point on the site for use as natural amenity space. Vegetation will be chosen to provide screening where necessary without blocking scenic view opportunities or compromising environmental integrity of the slope.

Part C 5.6 – Urban Forests and Greenways

- Highstreet intends to provide a public connection through the site, while retaining mature vegetation around the perimeter of the site and at transitions between the neighbouring residential area and the new construction. Highstreet consults local landscape professionals to ensure landscape areas make use of native vegetation and provide a transition between the built environment and existing greenspace.

HIGH STREET

Part C 6.1-6.7 – Mobility and Servicing

- Highstreet recognizes the importance of alternative transportation, and installs provisions like bicycle parking and maintenance stations, walkable paths, and electric vehicle charging stations to promote people to leave their car at home. The project is less than 100m from Rutherford Rd cycling route, less than 350m from the existing Long Lake overlook and trail network, and within 500m of VIU express bus, providing even more reason for residents to opt for alternative methods of transportation.

Part C 7 – Sustainable Nanaimo

- Highstreet wishes to build upon the strengths of the City, adding homes and amenities that are built with modern principals of sustainability, interconnectivity, and community. Uplands Place will provide 172 homes to the local rental market, while contributing to Nanaimo's sense of community and setting a standard of sustainable design for multi-family developers to come.

Highstreet in the News:

<http://builtgreencanada.ca/multi-family-purpose-built-rental-builder-leading-the-way-in-western-canada?id=1456>

Variance Rational

Property:

Uplands Place,
4800 Cedar Ridge Place,
Nanaimo, BC

R6 Building Heights

The buildings will have 9' ceilings, which increases building height but adds to tenant experience making for a more desirable space. Today's market is now seeking 9' ceilings as a standard. The 2 buildings at the north end of the site have been kept to 3 storeys to reduce massing, whereas the lower building is full height at 4 storeys. The buildings will utilize a flat roof to minimize their apparent height and will be setback from the site boundaries to minimize apparent size from adjacent streets.

Retaining Wall Heights – 1.5m max.

Retaining walls will be engineered and terraced where over 1.5m. Terraced retaining walls will be designed to provide screening or playscapes as appropriate with landscaping and amenity space design.

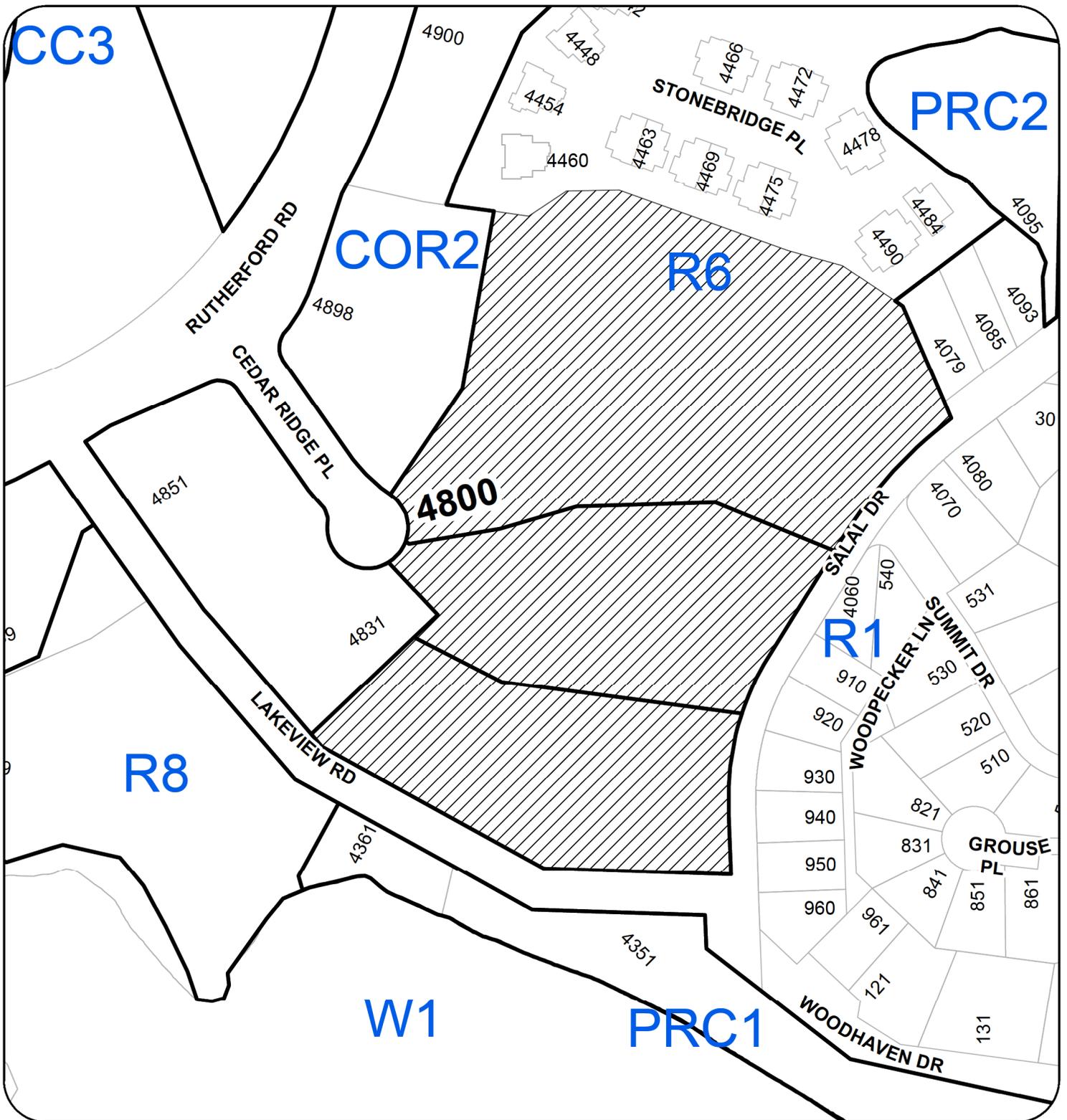
Loading Stalls

Loading stalls have been removed from the site as loading stalls are not something we need to operate our communities. We have two full time community leaders on site that coordinate move-ins with respect to parking space and elevator use. The moves are typically done during the day when most tenants and their vehicles are not home so there really is no impact to the tenants. The community leader will typically alert the tenants who park near the entrance that a move is occurring. They will then reserve those stalls allowing them to park in other tenant stalls or visitors while the move is happening. The moves are booked in 2hr increments as these are not big moves, the largest units are 900 sq.ft. which means they are typically done with small cube vans or pickup trucks with trailers.

Parking Variance

While by the current bylaw our site would require a parking variance, using the new 2018 draft parking bylaw our site meets parking requirements through providing more than the necessary 260 stalls throughout the site. The site, while designated as an Area 2 site, is along a corridor area and is within 500m of Area 4 land, lending itself to lower parking requirements than if it were further away from city center, and the addition of alternative transportation provisions further reduces parking demand. Highstreet has learned from experience that our projects typically require 1.5 stalls per home, this project will provide more parking than needed to hit our benchmark giving us the confidence that this site will be provide enough parking for our residents without paving more area than we need to.

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001114

LOCATION PLAN

Civic: 4800 CEDAR RIDGE PLACE
Legal Description: LOT 1, DISTRICT LOT 17
WELLINGTON DISTRICT, PLAN 32491
EXCEPT PART IN PLANS 37954, VIP62511 AND VIP64055



 Subject Property











Codes & Standards:
 Conform to latest edition:
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	Aug 28 2018	DP review
1	April 15 2018	review
Rev. No.	DATE	DESCRIPTION
1	YIMD	

FISHER ARCHITECT
 608-114 Street
 Vancouver, B.C. V6B 2V2
 604-681-0141

Date	April 2018	Scale	1:300
Drawn		Checked	
Project	Uplands Place Apartments 4800 Cedar Ridge Place Nanaimo, BC		
Client	Hightreet Ventures Inc. 778-81-6567		
Drawing Title	Site Plan		

Client File No.	018-11-14	Drawing No.	A.1.01
Project No.	2018-SEP-17		

1 Site Plan
 1:300

RECEIVED
 2018-SEP-17



DRAWING LIST: ISSUED FOR SUBMISSION - 2018/09/14

- L-000 COVER SHEET
- L-001 TREE PROTECTION & REMOVAL PLAN
- L-002 TREE PROTECTION & REMOVAL PLAN CHART1
- L-003 TREE PROTECTION & REMOVAL PLAN CHART2
- L-004 SITE PLAN

- LD-01 LANDSCAPE DETAILS
- LD-02 LANDSCAPE PRECEDENT IMAGES 1
- LD-03 LANDSCAPE PRECEDENT IMAGES 2
- LD-03 LANDSCAPE PRECEDENT IMAGES 3

RECEIVED
DP1114
2018-SEP-17

No.	Y	M	D	REVISION	BY	CHKD
2		18/09/14		ISSUE FOR DEVELOPMENT PERMIT	CR	JL
1		18/09/04		ISSUE FOR DEVELOPMENT PERMIT	LN	JL

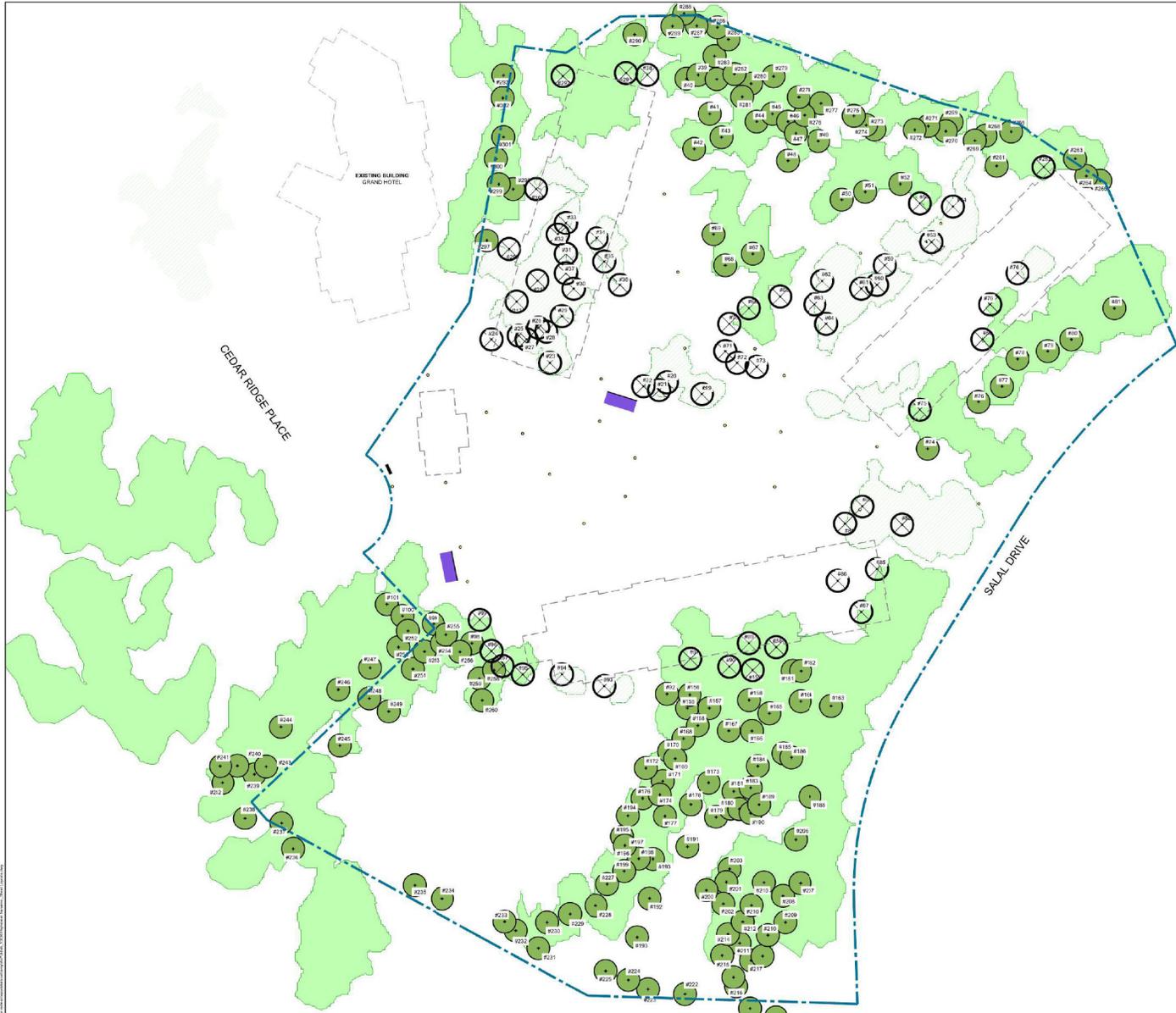


LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

PROJ # : 184307-02
 RMF :
 SCALE : 1:500
 DRAWN BY : LN

HIGHSTREET NANAIMO
 4800 CEDAR RIDGE PLACE, NANAIMO, BC
 COVER SHEET

DWG No.:
L-000
 1 OF 3



GENERAL LEGEND:		DEMOLITION LEGEND:	
	LIMIT OF WORK		EXISTING TREE TO REMAIN
	PROPERTY LINE		TREE TO BE REMOVED
	BUILDING ENTRY		TREE PROTECTION FENCING REFER TO ARBORIST REPORT
	EXISTING VEGETATION TO BE RETAINED		EXCAVATED AREA, EXTENT TO BE DETERMINED ON SITE BY LANDSCAPE ARCHITECT
	EXISTING VEGETATION TO BE REMOVED		

- DEMOLITION NOTES:**
1. PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND PAVEMENT TO REMAIN.
 2. MAKE GOOD ANY DAMAGES TO SITE FEATURES, HARDSCAPE, AND/OR LANDSCAPE TO APPROVING AUTHORITY STANDARDS.
 3. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION, ARBORIST WILL PROVIDE ANY CUT BACK OR BARKY MAINTENANCE TO TREE AS DEMO REQUIRES PER A. SANC. HEALTH AND SAFETY. PROTECTION TO BE PROVIDED AS REQUIRED.
 4. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER PEEDESTRIAN CONTROL AND TRAFFIC MANAGEMENT NECESSARY TO IMPLEMENT WORK. CONTRACTOR MUST SUBMIT A TRAFFIC MANAGEMENT PLAN TO APPROVING AUTHORITY PRIOR TO START OF WORK.

TREE PROTECTION NOTES:

NOTING TREES TO REMAIN PROTECTED AS INDICATED ON DRAWINGS CONTRACTOR TO PROVIDE TREE PROTECTION FENCING IN ACCORDANCE WITH CITY OF NANAIMO REGULATIONS AND REQUEST PROTECT FROM PROJECT ARBORIST PRIOR TO INVESTIGATION. ARBORIST WILL PROVIDE ANY CUT BACK OR BARKY MAINTENANCE TO TREE AS DEMO REQUIRES PER A. SANC. HEALTH AND SAFETY. PROTECTION TO BE PROVIDED AS REQUIRED. CONTRACTOR TO BE PRESENT FOR TREE PROTECTION FENCING WITH ARBORIST AND MAKE ANY ADJUSTMENTS TO PROTECTION FENCING REQUESTED BY ARBORIST SUPERVISOR.

RECEIVED
DP1114
2018-SEP-17

No.	Y	M	D	REVISION	BY	CHKD
2	18	09	14	ISSUE FOR DEVELOPMENT PERMIT	CR	JL
1	18	09	04	ISSUE FOR DEVELOPMENT PERMIT	LN	JL



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

PROJ #	18000702
REV#	
SCALE	1:500
EXAM#	LN

HIGHSTREET NANAIMO
4800 CEDAR RIDGE PLACE, NANAIMO, BC
TREE PROTECTION & RETENTION PLAN

DWG No:
L-001
2 OF 9

Waypoint	UTM Coordinates	DBH > 30 cm			DBH < 30 cm				Significant Tree	Previous Tag#	Comment
		Douglas fir	Arbutus	Western redcedar	Douglas fir	Arbutus	Bigleaf maple	Western redcedar			
19	10U 425578 5451889	1									
20	10U 425569 5451892	1								multi-stem Ra	
21	10U 425567 5451890	1									
22	10U 425563 5451891	1									
23	10U 425540 5451895	1									
24	10U 425524 5451903									270, 271	Fd and Ra snags
25	10U 425531 5451904	1								257	
26	10U 425536 5451906	2								266, 265	
27	10U 425533 5451903	3									
28	10U 425538 5451905	1								264	multi-stem Ra
29	10U 425543 5451909	1									7 Ra seedlings
30	10U 425545 5451916	1								28L	1 Ra seedling
31	10U 425543 5451925	1								28J	tag 28J damaged at base
32	10U 425543 5451930	1								28B	1 Ra snag
33	10U 425541 5451930	2								28C	
34	10U 425551 5451929									1	2
35	10U 425553 5451923									1	2
36	10U 425558 5451917	1								1	290
37	10U 425558 5451917	1								28D	
38	10U 425564 5451971	1								1	2 Ra seedlings
39	10U 425577 5451971	1									
40	10U 425574 5451970									1	1
41	10U 425580 5451961	1								1	1
42	10U 425576 5451952										7 Ra seedlings < 30 cm
43	10U 425583 5451955	2									Wet Fd snag
44	10U 425582 5451959									1	Fd snag
45	10U 425596 5451961	2								3	2
46	10U 425600 5451959	2								2	2
47	10U 425602 5451956	1									
48	10U 425600 5451947	1									4 Fd snags
49	10U 425608 5451954	1									2 Ra seedlings
50	10U 425614 5451939	2								1	1 Wet fd
51	10U 425620 5451941	1								317	
52	10U 425629 5451943	1									3 Ra and 1 Fd seedlings
53	10U 425634 5451938									1	1
54	10U 425641 5451937									2	2
55	10U 425637 5451928	1								5	
56	10U 425653 5451921	1								1	20 Ra seedlings
57	10U 425649 5451913										Fd snag
58	10U 425648 5451905									1	1
59	10U 425625 5451922	1									1
60	10U 425623 5451917	1									1
61	10U 425619 5451916	1								6	
62	10U 425609 5451918	1									2 Ra seedlings
63	10U 425606 5451911	1								2	3
64	10U 425610 5451908	1								8	
65	10U 425598 5451914	1									1
66	10U 425590 5451911	1								3	
67	10U 425591 5451925	1								6	
68	10U 425584 5451922	1								4	

Waypoint	UTM Coordinates	DBH > 30 cm			DBH < 30 cm				Significant Tree	Previous Tag#	Comment
		Douglas fir	Arbutus	Western redcedar	Douglas fir	Arbutus	Bigleaf maple	Western redcedar			
69	10U 425581 5451930	1									
70	10U 425585 5451907	1								239	
71	10U 425584 5451900	1									4 Ra seedlings
72	10U 425586 5451896	1									1 Ra seedling
73	10U 425589 5451898	1									
74	10U 425636 5451875									12	6
75	10U 425632 5451888	1								7	1
76	10U 425649 5451887	1								4	1
77	10U 425655 5451891	1								6	2
78	10U 425659 5451898									7	6
79	10U 425667 5451900	1								4	4
80	10U 425673 5451903	2								4	1
81	10U 425684 5451911	1								2	1
82	10U 425628 5451855	1								2	2
83	10U 425618 5451859	1								1	1
84	10U 425614 5451855	3								2	2
85	10U 425623 5451844										wildflowers on rock outcrop
86	10U 425613 5451841	2								1	1
87	10U 425619 5451833	4								5	5
88	10U 425595 5451823	2								1	1
89	10U 425590 5451825	1								217	
90	10U 425585 5451819	3									66
91	10U 425575 5451821	1								1	1
92	10U 425569 5451812	1								67	
93	10U 425553 5451814	1								41	Ra multi-stem
94	10U 425542 5451817	1								3	
95	10U 425532 5451817	1								25, 26	
96	10U 425524 5451823	1								23, 24	
97	10U 425521 5451831	3								1	1
98	10U 425519 5451825	3									1 Ra snag (tag 8)
99	10U 425509 5451830	2								2	1
100	10U 425561 5451830	1									
101	10U 425497 5451835	1									
102	10U 425503 5451808	1								2	1
103	10U 425574 5451811	4								1	1
104	10U 425579 5451806	1								2	1
105	10U 425589 5451810	1								130	
106	10U 425587 5451815	1									130-200
107	10U 425590 5451817	3								1	1
108	10U 425600 5451817	1								1	1
109	10U 425587 5451815	1									1
110	10U 425590 5451817	3									
111	10U 425600 5451817	1								1	1
112	10U 425602 5451817	1									1
113	10U 425594 5451806	1									
114	10U 425590 5451802	1								115	8 Ra seedlings
115	10U 425584 5451802	1									Ra, 1 Fd and 1 Ws seedlings
116	10U 425576 5451803	1								99	
117	10U 425572 5451800	1								92, 100	
118	10U 425568 5451797	1								73, 72	
119	10U 425570 5451796	1								1	3

2	18/09/14	ISSUE FOR DEVELOPMENT PERMIT	CR	JL		
2	18/09/04	ISSUE FOR DEVELOPMENT PERMIT	LN	JL		
No.	Y	M	D	REVISION	BY	CHKD

Waypoint	UTM Coordinates	DBH > 30 cm			DBH < 30 cm				Significant Tree	Previous Tag#	Comment
		Douglas fir	Arbutus	Western redcedar	Douglas fir	Arbutus	Bigleaf maple	Western redcedar			
172	10U 425583 5451792										
173	10U 425578 5451788										
174	10U 425587 5451789	1									93
175	10U 425586 5451786									1	4
176	10U 425582 5451785										
177	10U 425587 5451789	1								2	4
178	10U 425514 5451783									2	2
179	10U 425581 5451780	1								1	1
180	10U 425586 5451782	2									105, 106
181	10U 425586 5451782	1									107
182	10U 425585 5451786									1	2
183	10U 425589 5451787	2									113
184	10U 425581 5451793	1									114
185	10U 425588 5451790	1									111, 111
186	10U 425600 5451795									2	2
187	10U 425585 5451793	1									5
188	10U 425605 5451789									2	1
189	10U 425592 5451783									1	1
190	10U 425589 5451783										
191	10U 425573 5451772	1									104
192	10U 425584 5451759									2	2
193	10U 425584 5451769										
194	10U 425588 5451780	2								1	2
195	10U 425586 5451775	2								1	1
196	10U 425582 5451773	1									
197	10U 425587 5451775	1									
198	10U 425581 5451769	4								1	1
199	10U 425587 5451766										1
200	10U 425578 5451763	1									1
201	10U 425583 5451763	1									4
202	10U 425582 5451738	2								2	2
203	10U 425582 5451742	1									2
204	10U 425580 5451759	2									
205	10U 425583 5451763	1									
206	10U 425601 5451774	1								3	1
207	10U 425602 5451765	1								5	1
208	10U 425588 5451760									3	2
209	10U 425588 5451753									1	1
210	10U 425584 5451769	1									
211	10U 425587 5451747	2									
212	10U 425587 5451753	1									

Waypoint	UTM Coordinates		DBH > 30cm			DBH < 30 cm				Significant Tree		Previous Tag#	Comment
			Douglas fir	Arbutus	Western redcedar	Douglas fir	Arbutus	Bigleaf maple	Western redcedar	Scouler's willow	Douglas fir		
273	10U	425621	5451956		1		4	2					
274	10U	425619	5451957	2								318, 310	
275	10U	425616	5451959				6	2					
276	10U	425603	5451960	1			1	1					
277	10U	425607	5451963	1			2	1				312	
278	10U	425601	5451964	1				1					
279	10U	425595	5451970	1			3					319	
280	10U	425589	5451968	1	1			1					
281	10U	425587	5451964	2				1					
282	10U	425585	5451970				3	1				317	
283	10U	425580	5451969	1			4					415	
284	10U	425580	5451974	1			3					416	
285	10U	425583	5451979	1								425	
286	10U	425580	5451982		1		1	1					
287	10U	425575	5451982	1								412	
288	10U	425572	5451986	1			2		1				
289	10U	425569	5451982	1									
290	10U	425559	5451980	1				1					
291	10U	425557	5451970	3			2					418	
292	10U	425541	5451969	1									
293	10U	425526	5451970	1			1						
294	10U	425538	5451917	2			2	2				213	
295	10U	425529	5451912	1				1					
296	10U	425527	5451925				1	1					
297	10U	425521	5451937	1			2	1					
298	10U	425528	5451941	2			3	4					
299	10U	425524	5451942				4	4					
300	10U	425524	5451948	1			6	1					
301	10U	425525	5451954	3			3	4					
302	10U	425525	5451964				1	1					
303	10U	425534	5451941										
Total Trees	217	Subtotal: 202		44	3	248	197	3	10	7	1	2	

2	18/09/14	ISSUE FOR DEVELOPMENT PERMIT	CR	JL		
1	18/09/04	ISSUE FOR DEVELOPMENT PERMIT	LN	JL		
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PROJ # : 1842007-00
MWF :
SCALE : 1:500
DRAWN BY : LN

HIGHSTREET NANAIMO
4800 CEDAR RIDGE PLACE, NANAIMO, BC
TREE PROTECTION & RETENTION CHART 2

DWG No.:
L-003
4 OF 8



LANDSCAPE KEY	
	EXISTING TREE TO REMAIN PROTECTED: Existing trees to remain protected in accordance with City of Nanaimo Tree Protection Bylaw (tip). Provide 72hrs notice for tree protection review by Arborist and Landscape Architect prior to commencing construction.
	PROPOSED TREE: Provide growing medium at 0.9m depth and 12m ² area per tree. For off-site trees, locate 12m ² of space centered to tree locations within boulevard. For on-site trees, center 12m ² of growing medium around each new tree (lys).
	PROPOSED SHRUB PLANTINGS: Provide growing medium at 0.45m depth, complete in area hatched as shown. Provide 3" of composted organic bark mulch (dark brown) through extents of bed, installed as per Canadian Landscape Standards.
	PROPOSED LAWN: Provide new sod lawn complete with 150mm of import growing medium. Sod to be all purpose "SunShade" mix or approved alternate. Undercourse of lawn to drain to rain gardens where available.
	RAIN GARDEN: Rain gardens to provide on-site detention. To be coordinated with Civil Engineer.
	COMMUNITY GARDENS (URBAN AGRICULTURE): 1M X 2M Community beds, oriented towards southern exposure for sunlight (typ).
	TABLE AND CHAIRS: Model # to be confirmed.
	POST LIGHTS: To be coordinated with Electrical Engineer, away from trees in accordance with TAC Standards.
	ECO-GARBAGE PICKUP: Requires locations shown for truck turning.
	COVERED BIKE STORAGE: Located near each community building as shown. 94 stalls required total.
	PROPOSED BENCH: Provide shop submittal prior to purchase. Install as per specifications.
	PROPOSED BIKE RACK: Provide shop submittal prior to purchase. Install as per specifications.
	PROPOSED CHAIN-LINK FENCE: Provide shop drawing of fence prior to fabrication. Refer to detail.

- LANDSCAPE NOTES**
1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARDS (CURRENT EDITION).
 2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
 3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
 4. ALL PLANTERS SHALL HAVE APPROVED MULCH.
 5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
 6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

No.	Y	M	D	REVISION	BY	CHKD
2	18	09	14	ISSUE FOR DEVELOPMENT PERMIT	CR	JL
1	18	09	04	ISSUE FOR DEVELOPMENT PERMIT	LN	JK



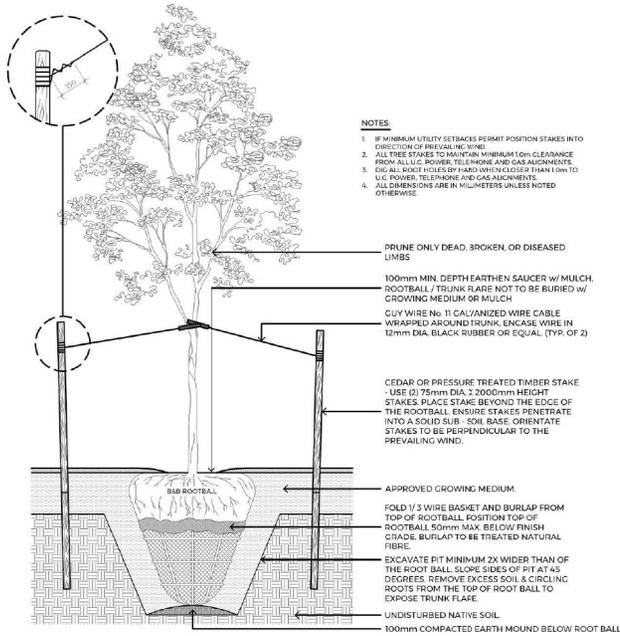
wsp

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

PROJ # : 1842007-02
 REV# :
 SCALE : 1:400
 DRAWN BY : LN

HIGHSTREET NANAIMO
 4800 CEDAR RIDGE PLACE, NANAIMO, BC
SITE PLAN

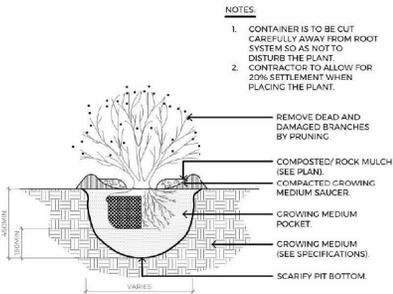
DWG No.: **L-004**
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 DP 1114
 2018-SEP-17
 5 OF 9



NOTES:

- IF MINIMUM UTILITY SETBACKS PERMIT POSITION STAKES INTO DIRECTION OF PREVAILING WIND.
- ALL TREE STAKES TO MAINTAIN MINIMUM 10cm CLEARANCE FROM ALL UIC POWER TELEPHONE AND GAS ALIGNMENTS.
- DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 10cm TO UIC POWER TELEPHONE AND GAS ALIGNMENTS.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.

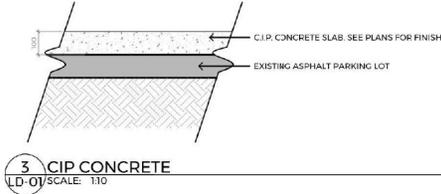
1 TREE PLANTING
LD-01 SCALE: 1:25



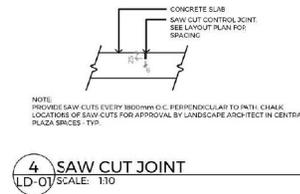
NOTES:

- CONTAINER IS TO BE CUT CAREFULLY AWAY FROM ROOT SYSTEM SO AS NOT TO DISTURB THE PLANT.
- CONTRACTOR TO ALLOW FOR 20% SETTLEMENT WHEN PLACING THE PLANT.

2 SHRUB PLANTING
LD-01 SCALE: 1:15

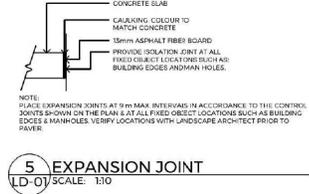


3 CIP CONCRETE
LD-01 SCALE: 1:10



4 SAW CUT JOINT
LD-01 SCALE: 1:10

NOTE: PROVIDE SAW CUTS EVERY 800mm C.C. PERPENDICULAR TO PATH. CHALK LOCATIONS OF SAW CUTS FOR APPROVAL BY LANDSCAPE ARCHITECT IN CENTRAL PLAZA SPACES - TYP.



5 EXPANSION JOINT
LD-01 SCALE: 1:10

NOTE: PLACE EXPANSION JOINTS AT 9m MAX. INTERVALS IN ACCORDANCE TO THE CONTROL JOINTS SHOWN ON THE PLAN & AT ALL FIXED OBJECT LOCATIONS SUCH AS BUILDING EDGES & MANHOLES. VERIFY LOCATIONS WITH LANDSCAPE ARCHITECT PRIOR TO POUR.

No.	Y	M	D	REVISION	BY	CHKD
2	18/09/14			ISSUE FOR DEVELOPMENT PERMIT	LN	JL
1	18/09/14			ISSUE FOR DEVELOPMENT PERMIT	LN	JL

PROJECT: 18-0397-0
 4800 CEDAR RIDGE PLACE, NANAIMO, BC
 LANDSCAPE DETAILS

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 2018-SEP-17
 DWG No.: LD-01
 6 OF 9

FORM AND CHARACTER

BENCHES



BANCAL BENCH
Materials: Ash or IPE wood, steel frame (powdercoated)
Mount: Surface mounted
Supplier: landscapiforms



NEOLIVIANO BENCH
Materials: Jarrah wood, aluminum frame (anodized)
Mount: Surface mounted
Supplier: landscapiforms



UNIVERSE SYSTEM BENCH
Materials: Tropical wood, steel frame (powdercoated)
Mount: Surface mounted
Supplier: landscapiforms

LUMINAIRES



ALCOTT AREA LIGHT
Supplier: landscapiforms



ASHBERRY AREA LIGHT
Supplier: landscapiforms



LEO AREA LIGHT
Supplier: landscapiforms

TABLES



CAROUSEL SEATING TABLE
Materials: Steelhead wood, steel frame
Mount: Surface mounted
Supplier: landscapiforms



CHARLIE TABLE
Materials: Steel frame (powdercoated)
Mount: Surface mounted
Supplier: landscapiforms



GRETCHEN PICNIC TABLE
Materials: Variety of woods
Mount: Surface mounted
Supplier: landscapiforms

BOLLARDS



ASHBERRY PATH LIGHT
Materials: Aluminum
Mount: Surface mounted
Supplier: landscapiforms



HAWTHORNE PATH LIGHT
Materials: Aluminum
Mount: Surface mounted
Supplier: landscapiforms



STOP BOLLARD
Materials: Aluminum
Mount: Surface mounted
Supplier: landscapiforms

No.	Y	M	D	REVISION	BY	CHKD
2	18	09	04	ISSUE FOR DEVELOPMENT PERMIT	LN	JL
1	18	09	04	ISSUE FOR DEVELOPMENT PERMIT	LN	JL



PROJ# : 18-0370
HIGHSTREET NANAIMO
 4800 CEDAR RIDGE PLACE, NANAIMO, BC
 LANDSCAPE PRECEDENT IMAGES 1

DWG No.:
LD-02
 7 OF 9

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FORM AND CHARACTER

RECYCLE SITE MATERIALS - GABIONS



STORMWATER FEATURE - SWALES



RECYCLE SITE MATERIALS - STUMPS



STORMWATER FEATURE - RAIN GARDEN



ELEVATIONAL CHANGE - RETAINING WALLS



2	18/09/14	ISSUE FOR DEVELOPMENT PERMIT	LN	JL	
1	18/09/14	ISSUE FOR DEVELOPMENT PERMIT	LN	JL	
No.	Y	M	D	REVISION	BY
					CHKD



PROJ #: 18-037-01
 V#:
 SCALE:
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HIGHSTREET NANAIMO
 4800 CEDAR RIDGE PLACE, NANAIMO, BC
 LANDSCAPE PRECEDENT IMAGES 2

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 City of Nanaimo
 DWG No: **LD-03**
 8 OF 9

PLANT PALETTE - HIGHER ELEVATION



AMELANCHIER ALNIFOLIA
Geneseeberry

ARBUTUS MENZIESII
Arbutus

PINUS CONTORTA VAR. CONTORTA
Shropshire

QUERCUS GARRYANA
Glory oak

CAMASSIA QUAMASH
Common camas

HOLODISCUS DISCOLOR
Cowslip

PLANT PALETTE - LOWER ELEVATION



CORNUS NUTTALLII
Mountain dogwood

GAULTHERIA SHALLON
Saul

POLYPODIUM GLYCYRRHIZA
Lion's foot fern

POLYSTICHUM MUNITUM
Swan fern

PTERIDIUM ACULEATUM
Bracken fern

ROSA GYMNOCARPA
Bakhti rose

PLANT PALETTE - OVERALL SITE



ARCTOSTAPHYLOS UVA-URSII
Kalm's bearberry

ASTER DOUGLASSII
Douglas aster

MAHONIA AQUIFOLIUM
Tall Oregon grape

LONICERA CILIOSA
Western trumpet honeysuckle

TRITELEIA HYACINTHINA
White brodiaea

HEUCHERA MICRANTHA
Small-flowered alumroot

2	18/09/14	ISSUE FOR DEVELOPMENT PERMIT	LN	JL
1	18/09/14	ISSUE FOR DEVELOPMENT PERMIT	LN	JL
No.	Y	M	D	REVISION
				BY CHKD

PROJ #: 18-037-01

WSP: HIGHSTREET NANAIMO

SCALE: 4800 CEDAR RIDGE PLACE, NANAIMO, BC

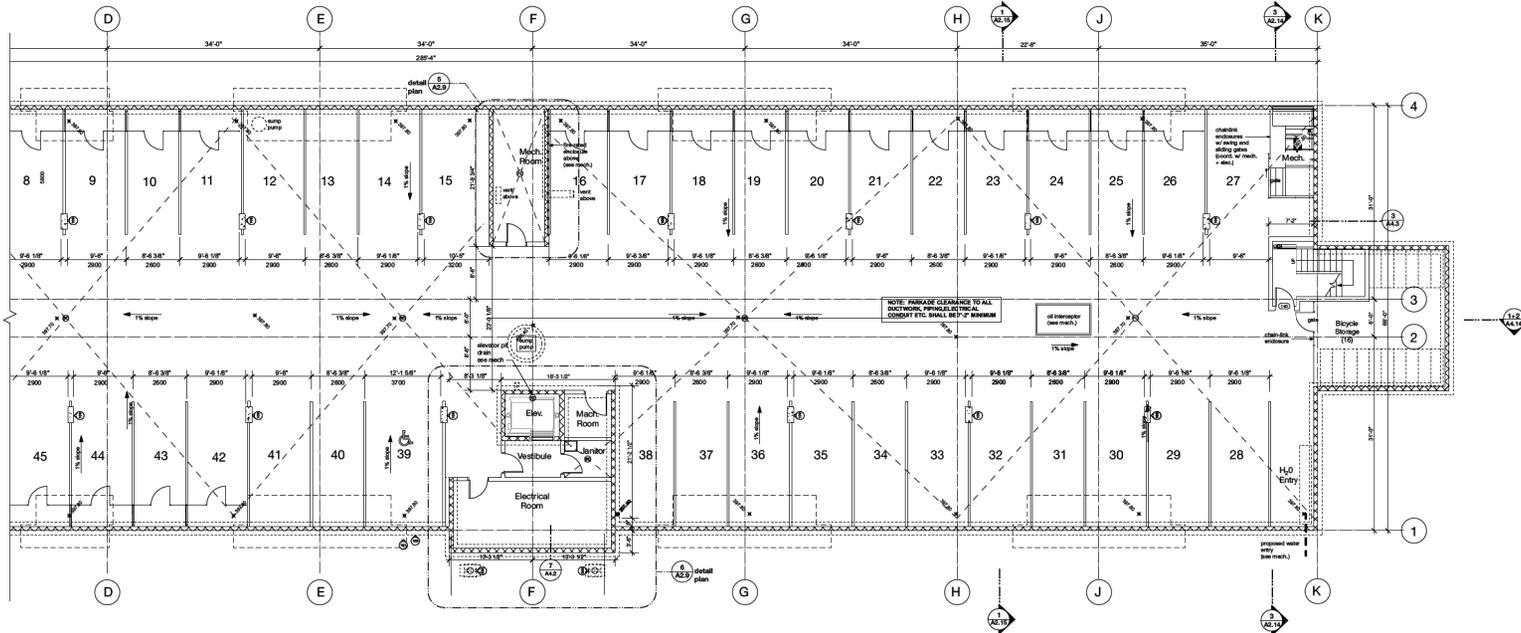
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LANDSCAPE PRECEDENT IMAGES 3

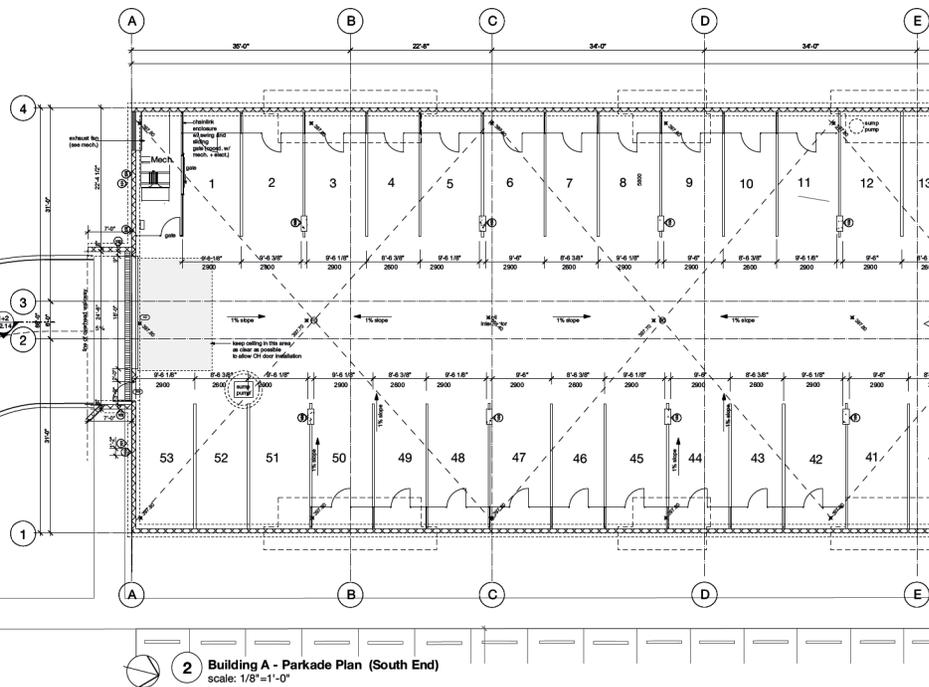
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2018-SEP-17
Urban Design Section

DWG No: LD-04

9 OF 9



1 Building A - Parkade Plan (North End)
scale: 1/8"=1'-0"



2 Building A - Parkade Plan (South End)
scale: 1/8"=1'-0"

Code & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
3	Sept 4 2018	DP Application
2	July 13 2018	Client review
1	Aug 10 2018	Client review

WD FISHER ARCHITECT
 603-118 River Street
 Vancouver, B.C. V6B 2V2
 604851-8741

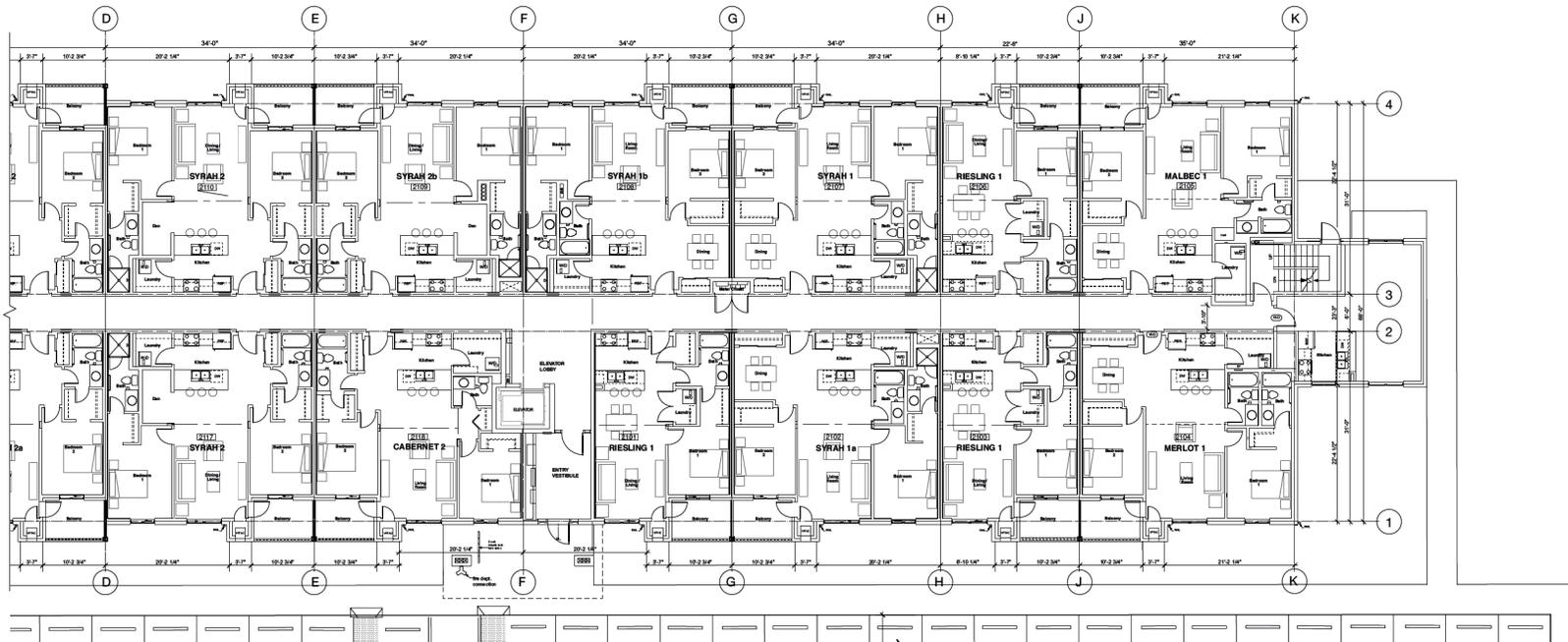
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Checked		
Scale		

Project:
 Uplands Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
Highstreet Ventures Inc.
 778-844-6577

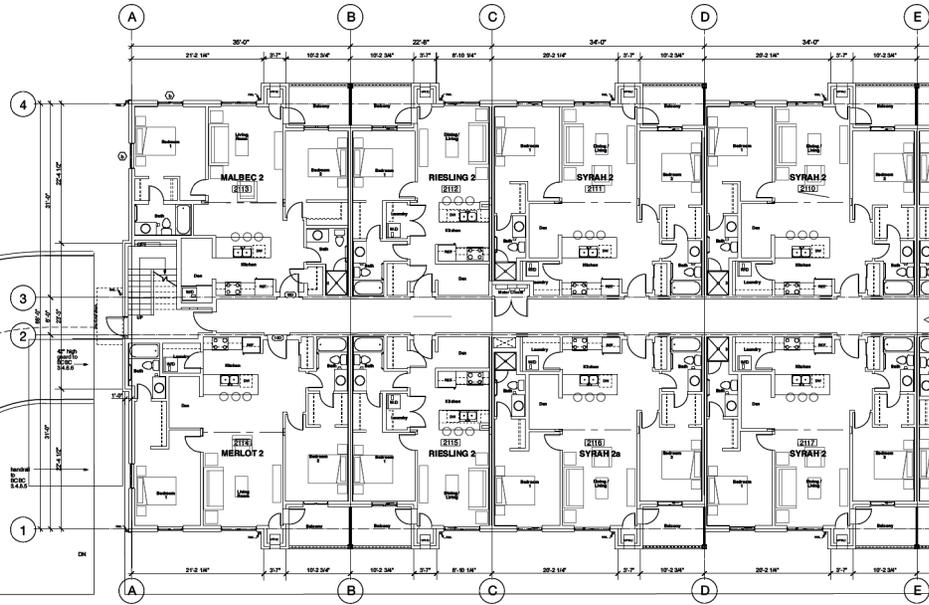
**Building A
 Parkade Plan**

Sheet No.	Drawing No.
	A02.0

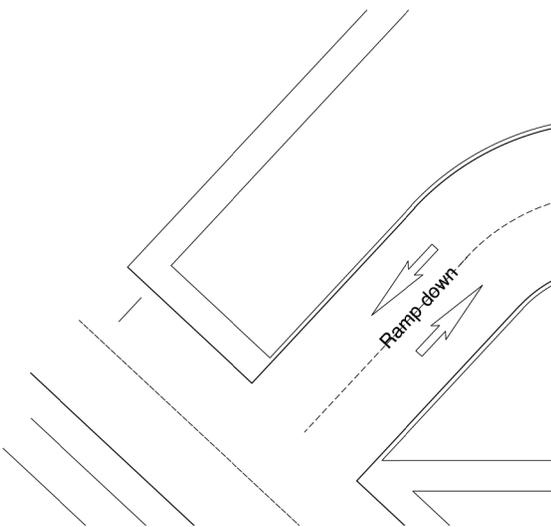
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2018-SEP-06
 Current Planning & Subdivision



1 Building A - Ground Floor Plan (West End)
scale: 1/8"=1'-0"



2 Building A - Ground Floor Plan (East End)
scale: 1/8"=1'-0"



Code & Standards:
 Conforms to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
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notes:

Rev.	DATE	DESCRIPTION
3	Sept 4 2018	DP Application
1	Aug 10 2018	Client review

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 1025-18 Renner Street
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 604851-8741

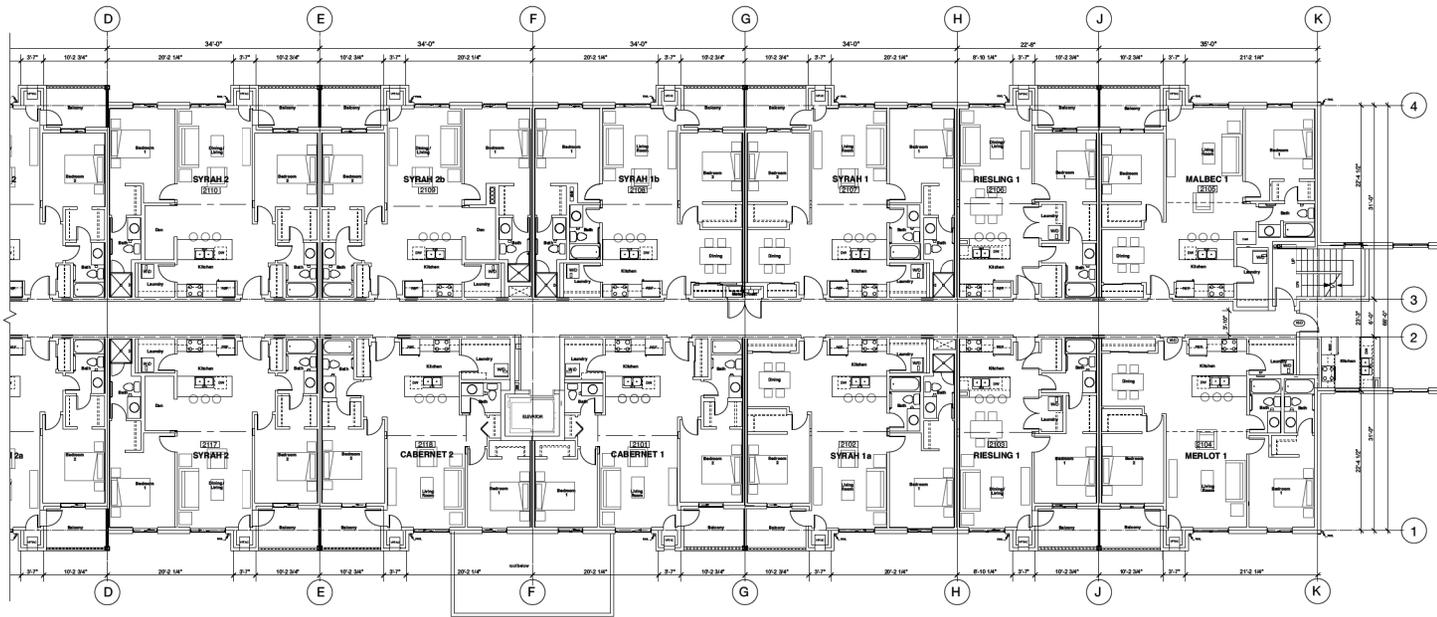
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Project:
Uptown Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highstreet Ventures Inc.
 778-264-6577

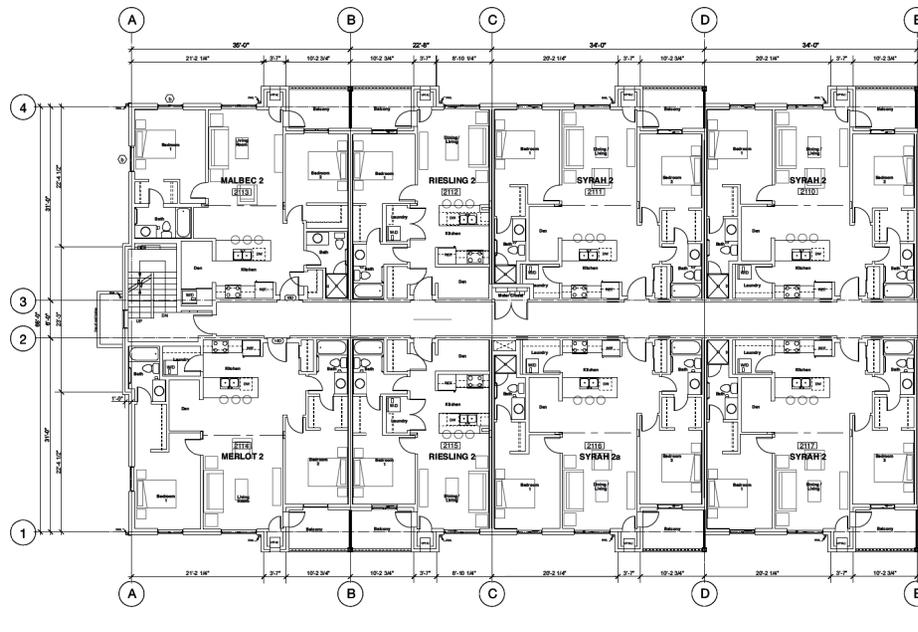
Drawing Title:
**Building A
 Ground Floor Plan**

Sheet No. **A02.2**

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2018-SEP-06
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1 Building A - Second Floor Plan (North End)
scale: 1/8"=1'-0"



2 Building A - Second Floor Plan (South End)
scale: 1/8"=1'-0"

Code & Standards:
 Conforms to latest edition
 BC Building Code
Dimensions:
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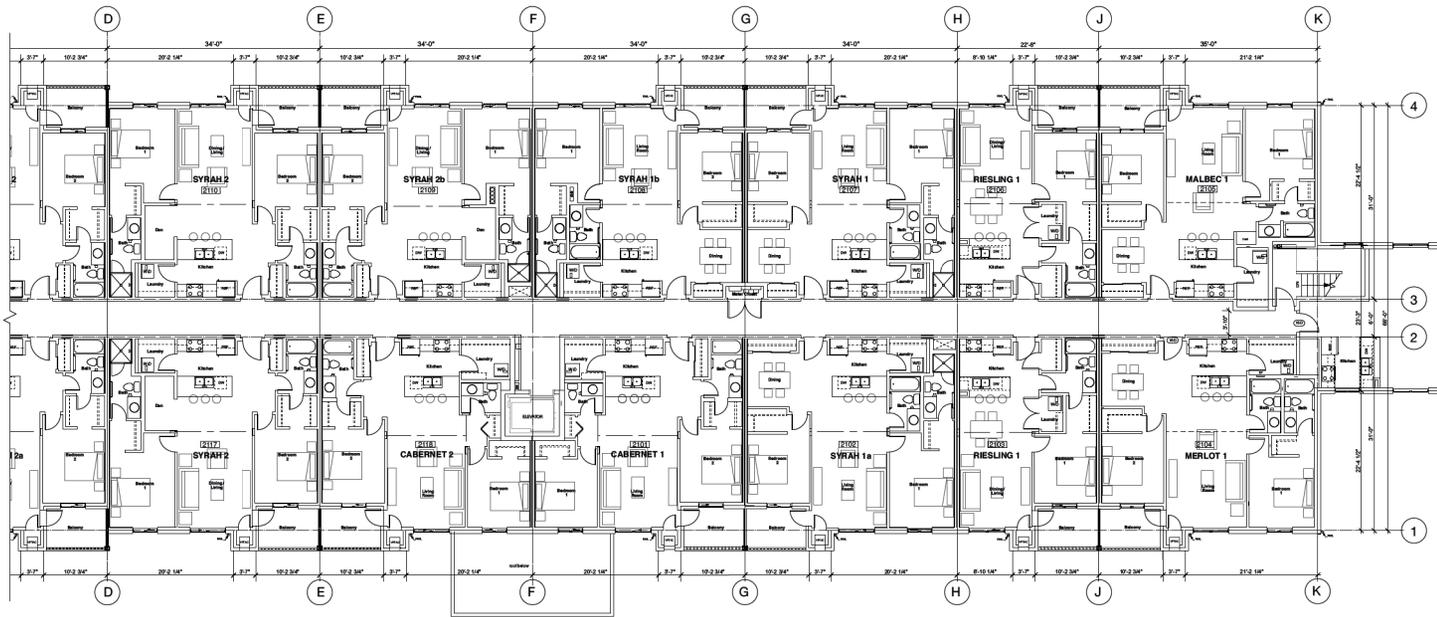
Date	Aug 10, 2018	Seal
Drawn		
Checked		
Scale		

Project:
Uplands Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highstreet Ventures Inc.
 778-264-6577

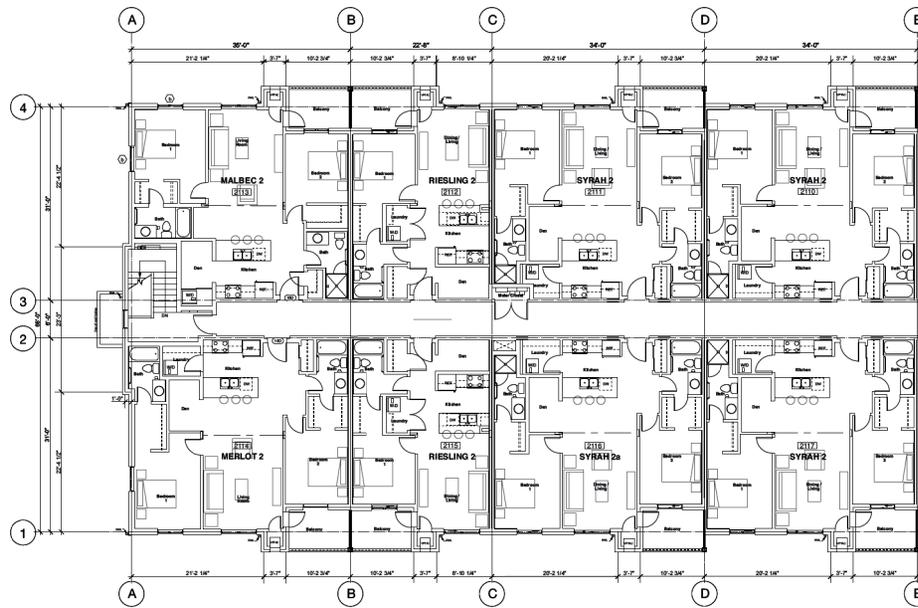
Drawing Title:
**Building A
 Second Floor Plan**

Sheet No.	Drawing No.
	A02.3

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 2018-SEP-06
 Cadmus Planning & Studio Inc.



1 Building A- Fourth Floor Plan (North End)
scale: 1/8"=1'-0"



2 Building A- Fourth Floor Plan (South End)
scale: 1/8"=1'-0"

Code & Standards:
 Conforms to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
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3	Sept 4 2018	DP Application
2	July 13 2018	Client review
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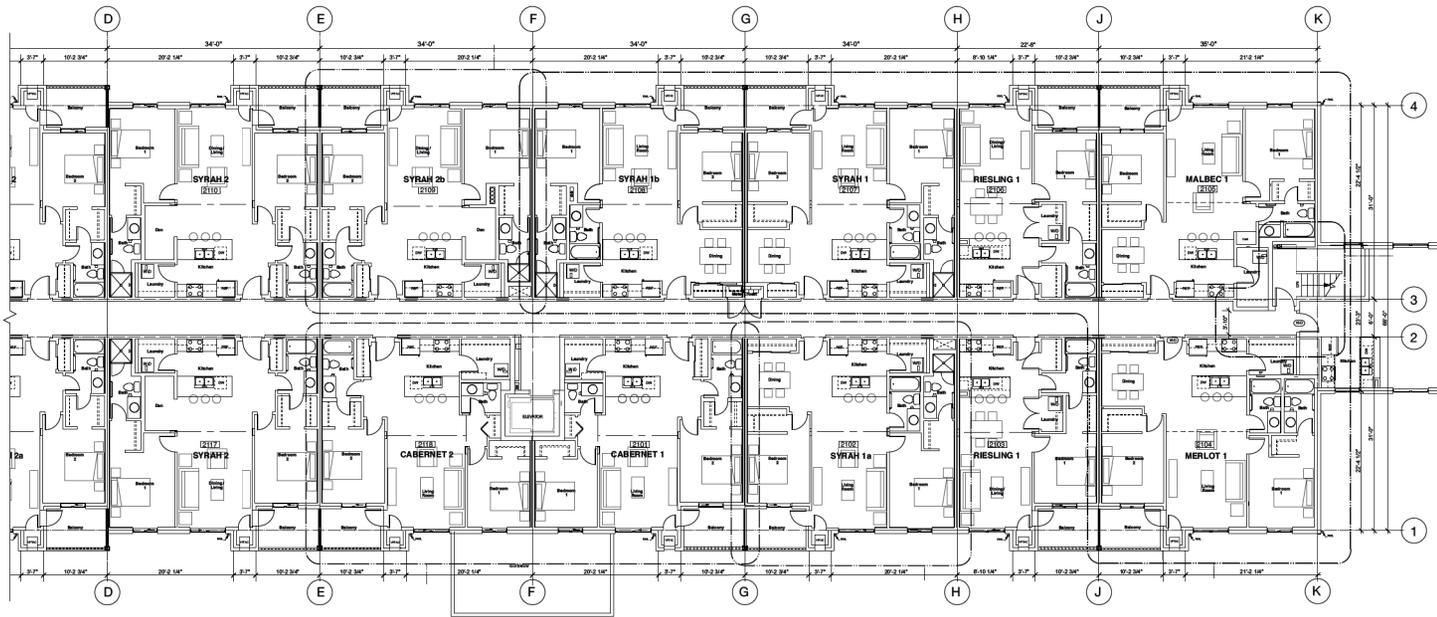
Date: Aug 10, 2018
 Drawn:
 Checked:
 Scale:

Project:
Uplands Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highstreet Ventures Inc.
 778-844-6577

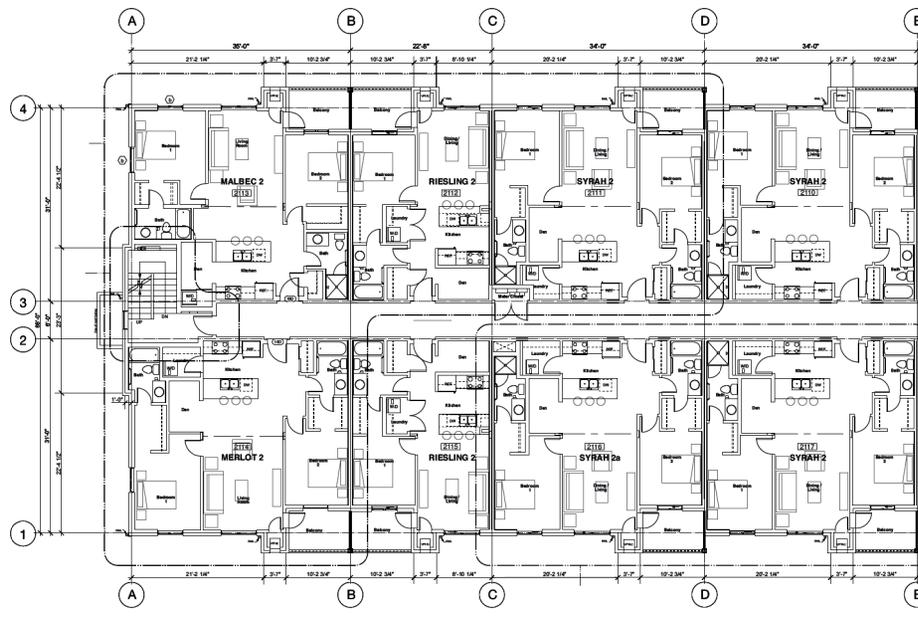
Drawing Title:
**Building A
 Fourth Floor Plan**

Sheet No. Drawing No.
A02.5

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1 Building A - Third Floor Plan (North End)
scale: 1/8"=1'-0"



2 Building A - Third Floor Plan (South End)
scale: 1/8"=1'-0"

Code & Standards:
 Conforms to latest edition
 BC Building Code
Dimensions:
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3	Sept 4 2018	DP Application
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1	Aug 10 2018	Client review

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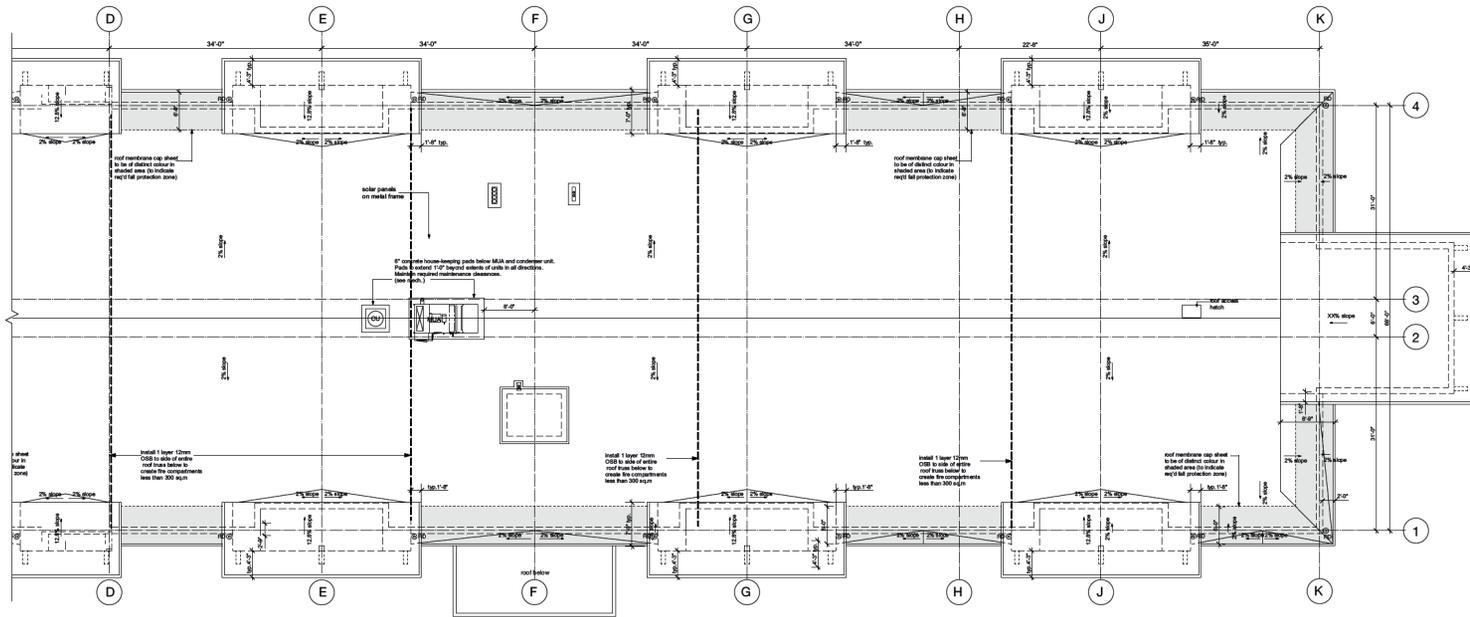
Date: Aug 10, 2018
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 Scale:

Project:
Uplands Place Apartments
 4800 Cedar Ridge Place
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Highstreet Ventures Inc.
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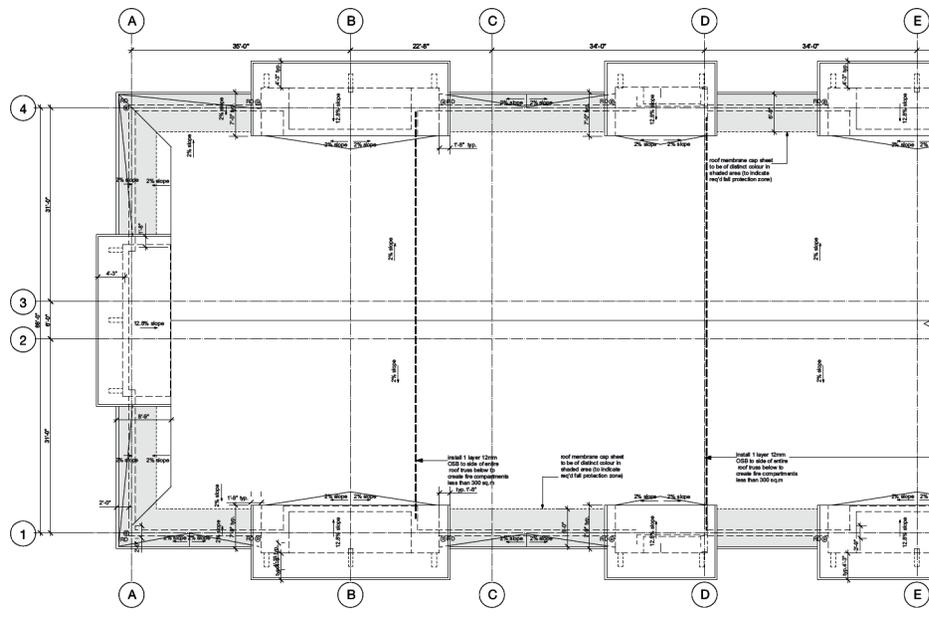
Drawing Title:
Building A
Third Floor Plan

Sheet File No. Drawing No. **A02.4**
 Project No.

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 DP 114
 2018-SEP-06
 Smart Planning & Build Inc.



1 Building A - Roof Plan (North End)
scale: 1/8"=1'-0"



2 Building A - Roof Plan (South End)
scale: 1/8"=1'-0"

Code & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
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3	Sept 4 2018	DP Application
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1	Aug 10 2018	Client review

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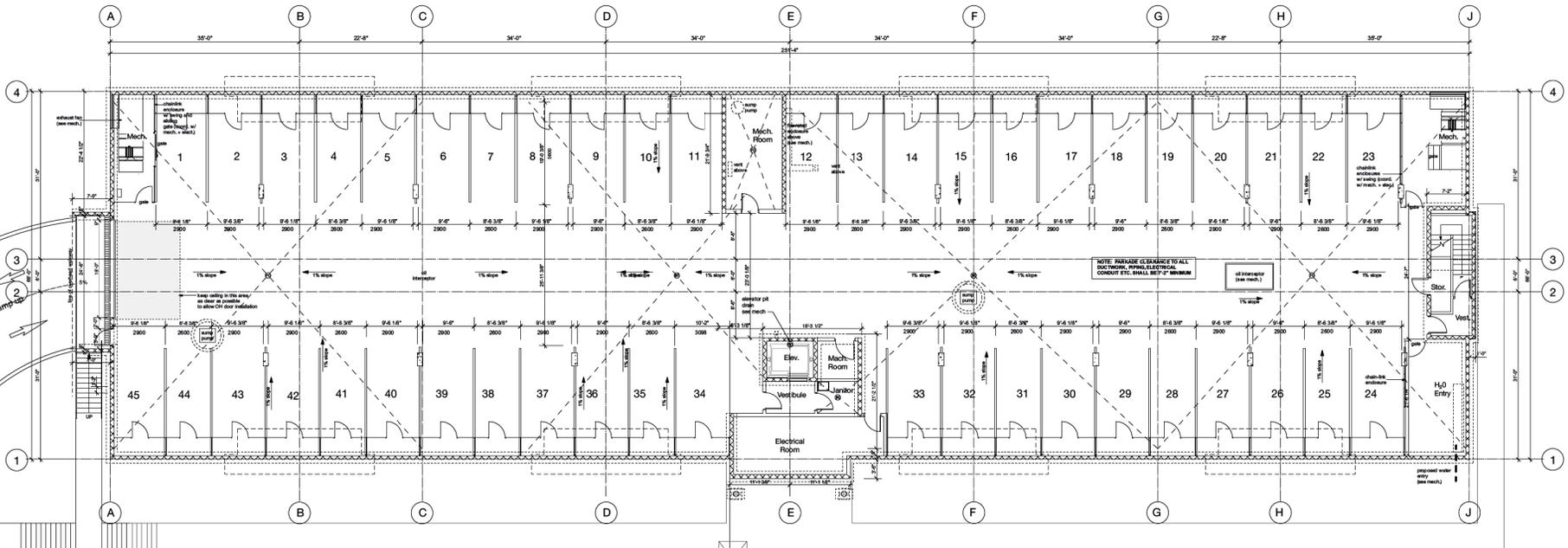
Date	Aug 10, 2018	Seal
Drawn		
Checked		
Scale		

Project:
Uptown Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highstreet Ventures Inc.
 778-844-6577

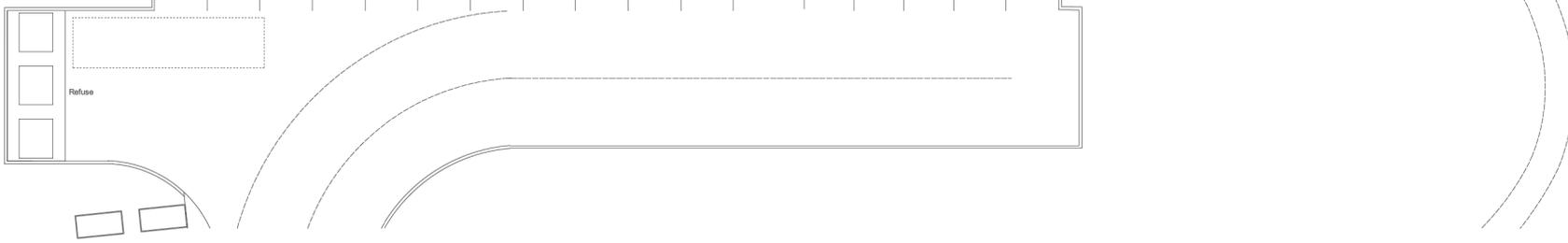
Drawing Title:
**Building A
 Roof Plan**

Sheet File No.	Drawing No.
Project No.	A02.6

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1 Building A - Parkade Plan (North End)
scale: 1/8"=1'-0"



Code & Standards:
 Conforms to latest edition
 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
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REV.	DATE	DESCRIPTION
2	July 13 2018	Submittal
1	July 10 2018	review

WD FISHER ARCHITECT
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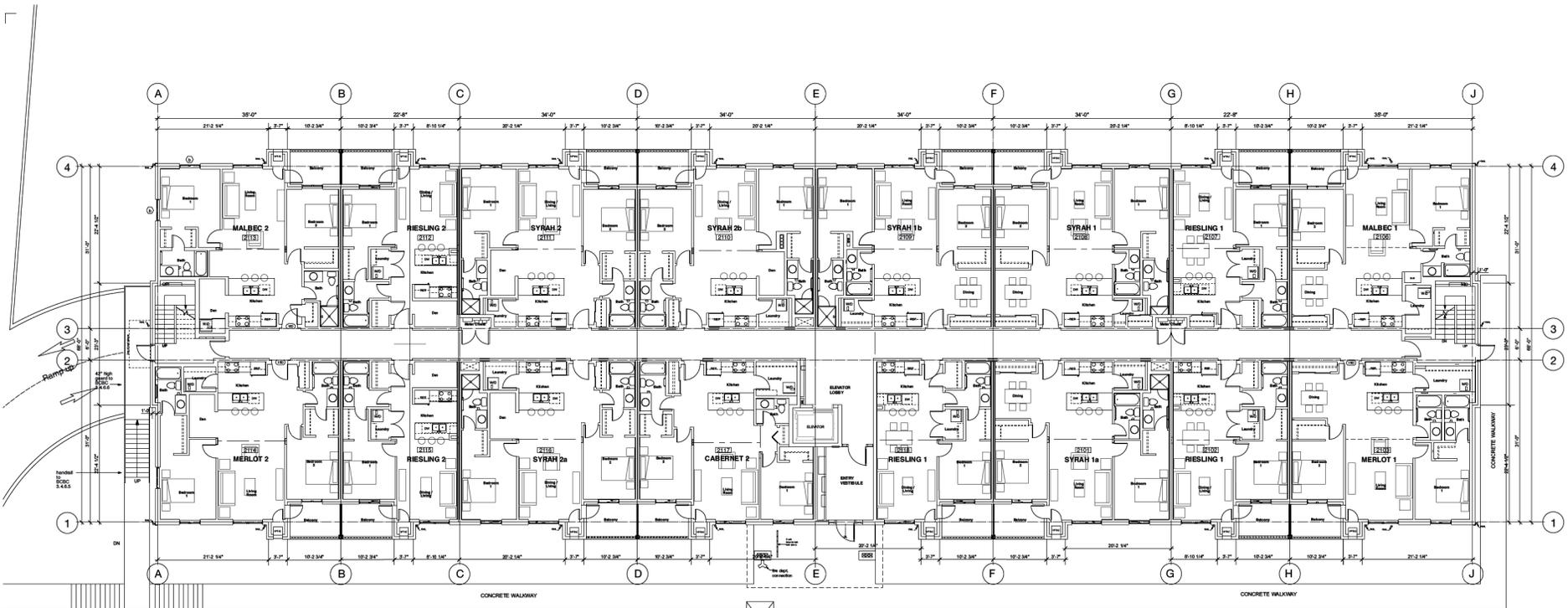
Date	July 2018	Seal
Drawn		
Checked		
Scale		

Project:
Upside Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highestrest Ventures Inc.
 778-844-6577

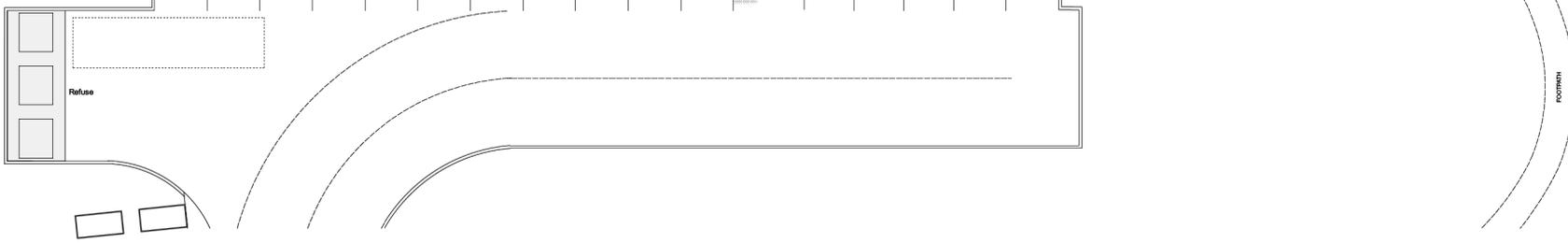
Drawing Title:
**Building B
 Parkade Plan**

Sheet No.	Drawing No.
Project No.	A03.0

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2018-SEP-06
 Current Planning & Subdivision



1 Building B - Ground Floor Plan
scale: 1/8"=1'-0"



Code & Standards:
 Conforms to latest edition
 BC Building Code
Disclaimer:
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2	Sept 4/2018	DP Application
1	July 10 2018	review

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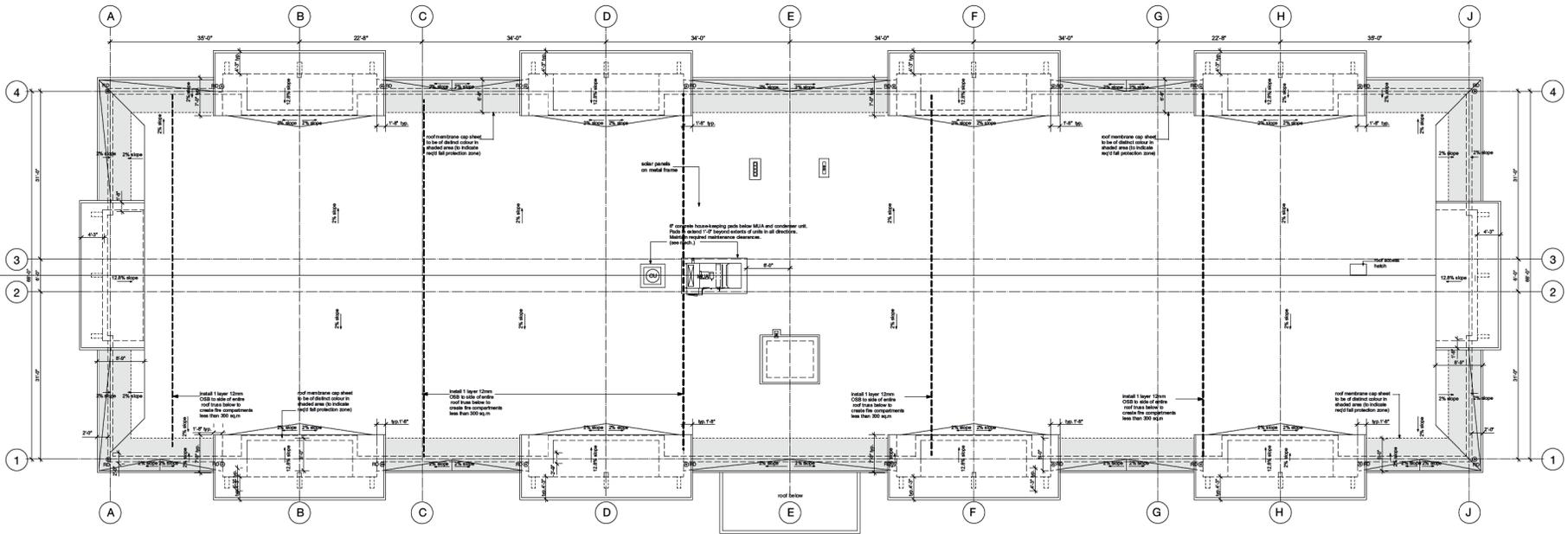
Date	July 2018	Seal
Drawn		
Checked		
Scale		

Project:
Upside Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highstreet Ventures Inc.
 778-844-6567

Drawing Title:
Building B
Ground Floor Plan

Client File No.	Drawing No.
	A03.2
Project No.	

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2018-SEP-06
 Current Planning & Subdivision



1 Building B - Roof Plan
scale: 1/8"=1'-0"

Code & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
2	July 13 2018	Submittal
1	July 10 2018	review

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 604-681-8741

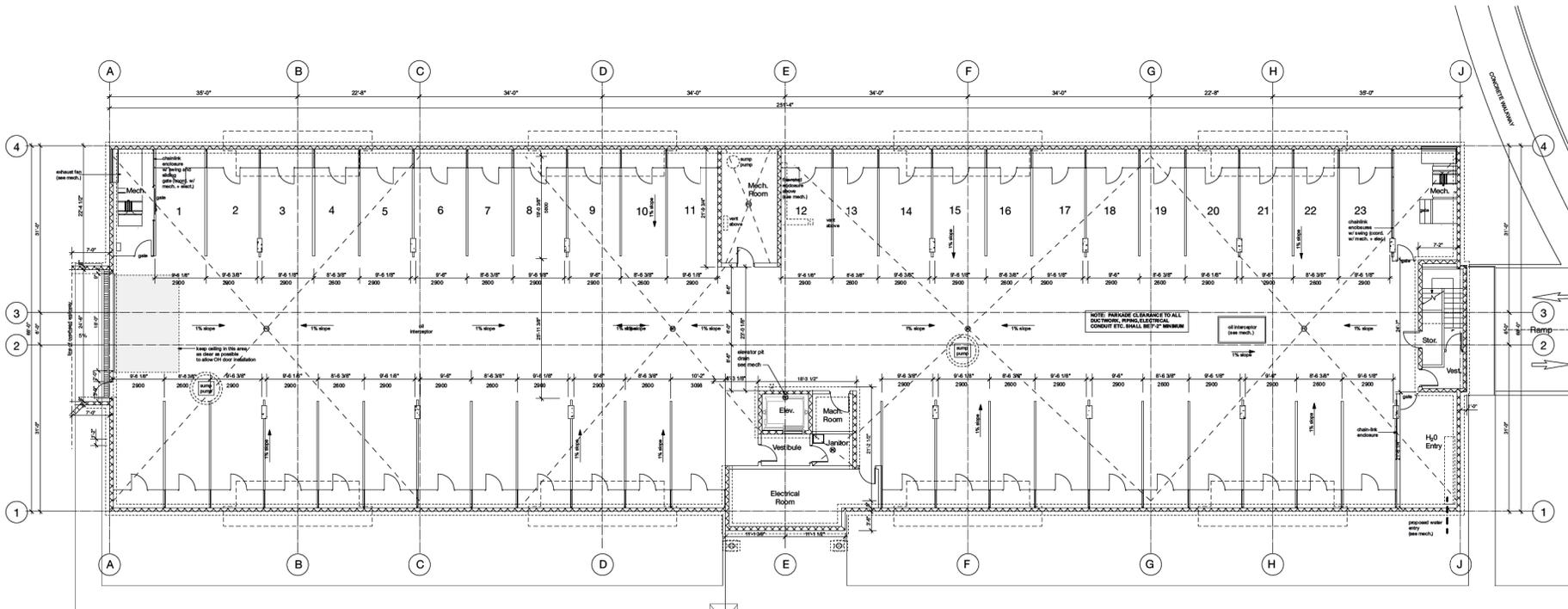
Date	July 2018	Seal
Drawn		
Checked		
Scale		

Project:
Uplands Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highest Ventures Inc.
 778-264-6567

Drawing Title:
**Building B
 Roof Plan**

Sheet No.	Drawing No.
Project No.	A03.5

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DP1114
2018-SEP-06
 Current Planning & Subdivision



1 Building A - Parkade Plan (North End)
scale: 1/8"=1'-0"

Code & Standards:
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 BC Building Code
 Dimensions:
 Contractors shall verify and be responsible
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 inform the Architect of any discrepancies
 shown on the drawings.

notes:

Rev. No.	DATE	DESCRIPTION
3	Sept 4 2018	DP Application
2	July 13 2018	Client review
1	July 10 2018	DP Application

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 604-681-8741

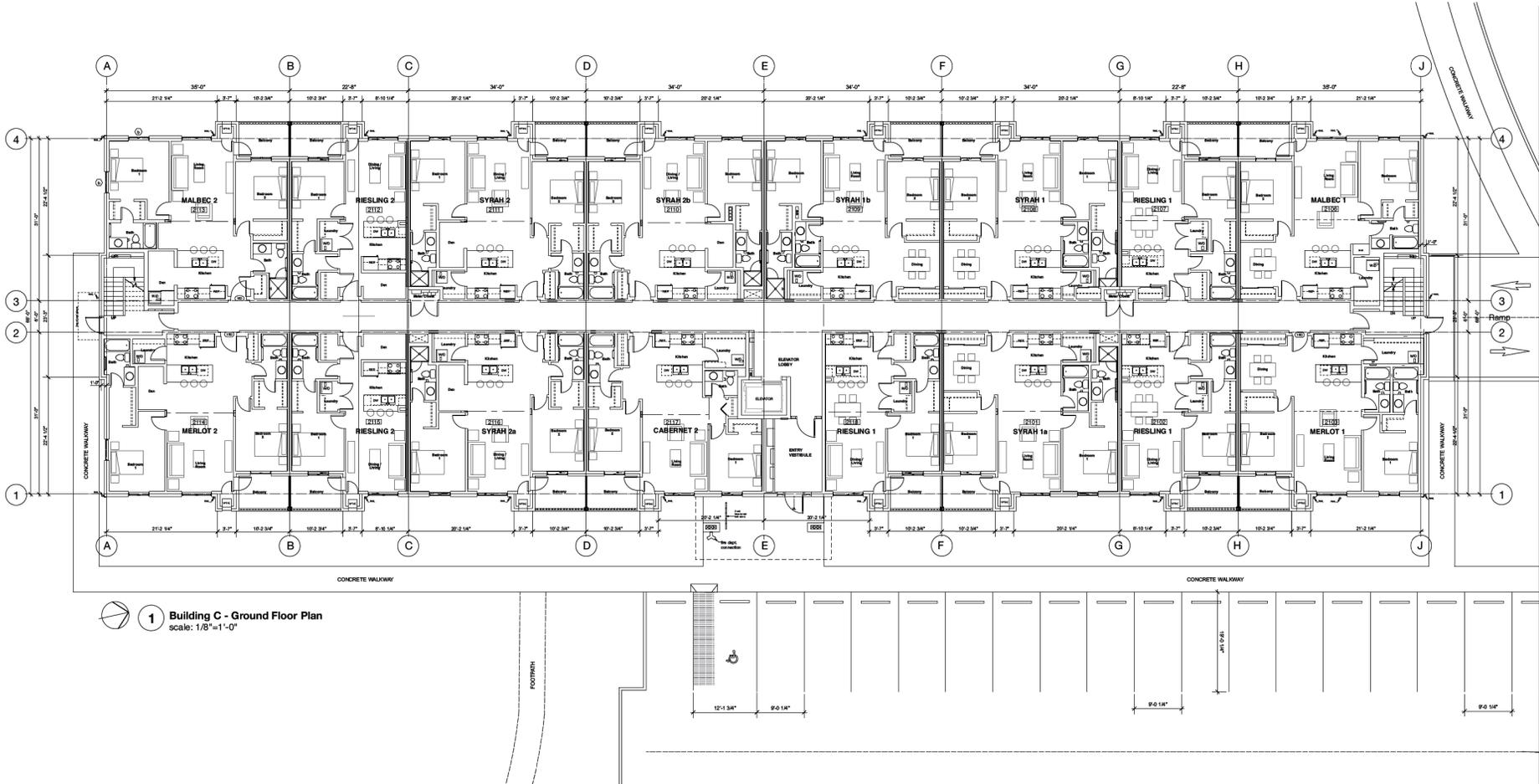
Date	July 2018	Seal
Drawn		
Checked		
Scale		

Project:
Upside Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highestrest Ventures Inc.
 778-844-6577

Drawing Title:
**Building B
 Parkade Plan**

Client File No.	Drawing No.
Project No.	A04.0

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 DP1114
 2018-SEP-06
 Current Planning & Subdivision



1 Building C - Ground Floor Plan
scale: 1/8"=1'-0"

Code & Standards:
 Conforms to latest edition
 BC Building Code
Disclaimer:
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 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

Rev. No.	DATE	DESCRIPTION
1	July 10 2018	DP Application

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 604-681-8741

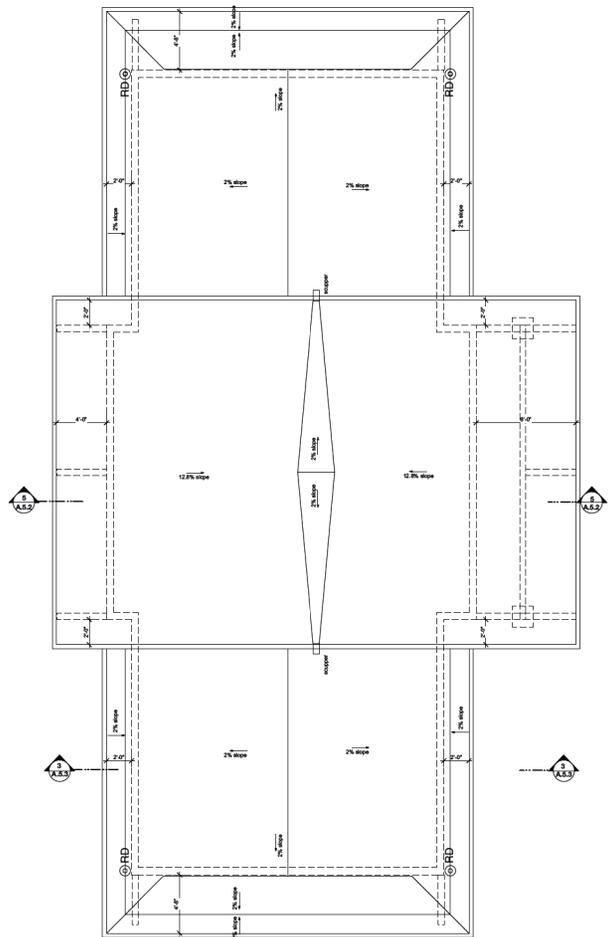
Date	July 2018	Seal
Drawn		
Checked		
Scale		

Project:
 Upside Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highestrest Ventures Inc.
 778-244-6507

Drawing Title:
**Building C
 Ground Floor Plan**

Client File No.	Drawing No.
	A04.2
Project No.	

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DP1114
2018-SEP-06
 Current Planning & Subdivision



1 Community Building Roof Plan
1/4" = 1'-0"

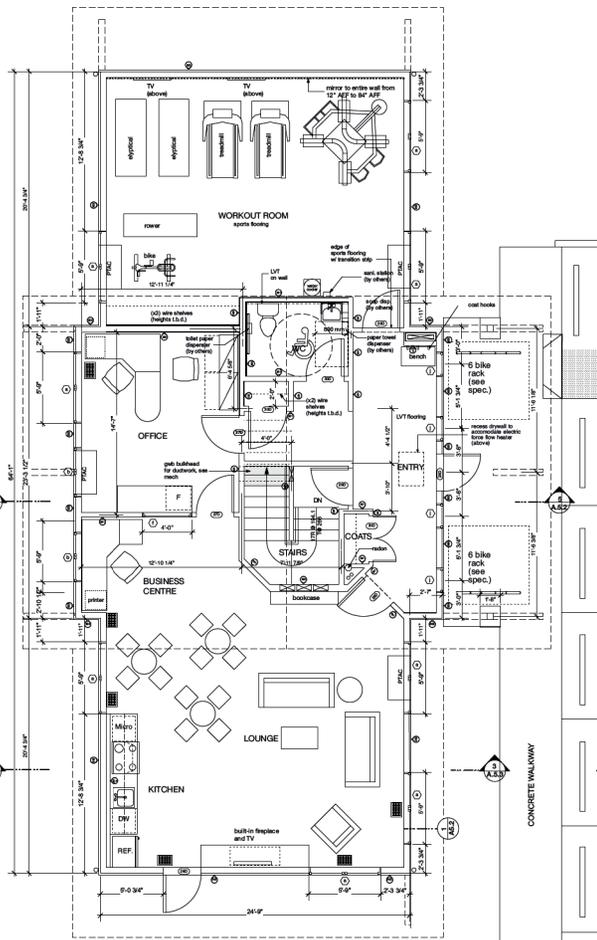
Door Schedule:

Designation	Family	Size	Type	Frame	Fire Rating
200	Single leaf w/ 24" x 36" lite (double pane low-E)	36" x 80"	FRG, metal	FRG, LK (wood)	Interior
210	Single leaf	36" x 80"	SCW	wood	Interior
200'	Single leaf, wood, full lite (double pane low-E) w/ internal blind	36" x 80"	FRG, wood	wood	Interior
240	Single leaf w/ 24" x 36" lite	36" x 80"	SCW	wood	Interior
300	Single leaf	36" x 80"	SCW	wood	Interior
310	Single leaf w/ 24" x 36" lite	36" x 80"	SCW	wood	Interior
320	Single leaf w/ 24" x 36" lite	36" x 80"	SCW	wood	Interior
330	Single leaf	36" x 80"	SCW	wood	Interior

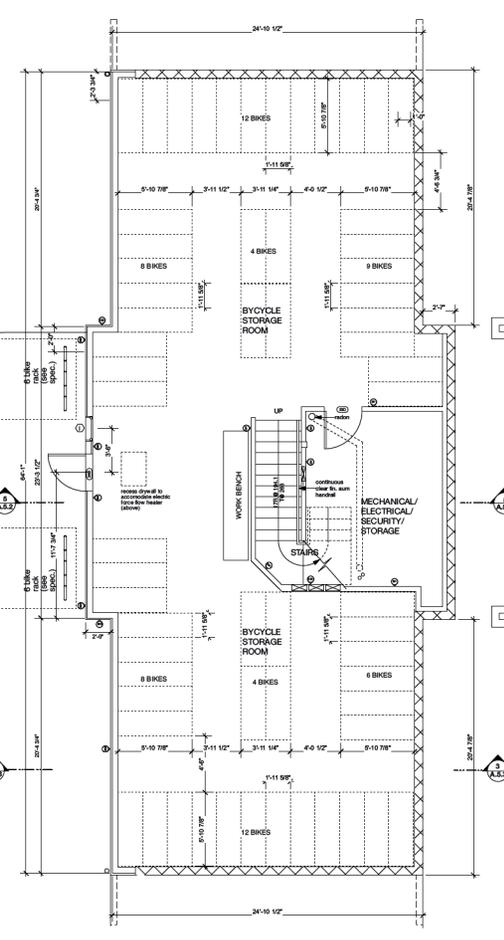
Window Schedule:

NOTE: ALL WINDOWS TO BE TRIPLE GLAZED, WITH A WEIGHTED U-VALUE OF 1.4-2.28 AND A SBCQ OF 0.282

Designation	Family
a*	Sliding Double (w/tilt) w/ Trim: 70-7/8" (1800mm) x 47-1/4" (1200mm)
b*	Sliding Double (w/tilt) w/ Trim: 48" x 36"
1	Fixed Interior (w/tilt) w/ Trim: 48" (1200mm) x 36" (900mm)
1	Fixed Double (w/tilt) w/ Trim: 24" (600mm) x 60" (1500mm)
1	Denotes windows with blind



2 Community Building Upper Floor Plan
1/4" = 1'-0"



3 Community Building Lower Floor Plan
1/4" = 1'-0"

Assemblies

- Concrete Foundation
- 1" Concrete Slab on Grade
- 8" Reinforced Concrete Wall
- 10' MTL only
- 8" MTL Gypsum
- 10" Gypsum Board Both Sides of 2x4 @ 16" OC
- 5/8" Gypsum Board Both Sides of 2x4 @ 16" OC
- 1/2" Gypsum Board Both Sides of 2x6 (See Structural for Stud Spacing)

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Fence 12"
- Vent
- Corner Trim 5 1/2"

- 10' MTL only
- 8" MTL Gypsum
- 10" Gypsum Board Both Sides of 2x4 @ 16" OC
- 5/8" Gypsum Board Both Sides of 2x4 @ 16" OC
- 1/2" Gypsum Board Both Sides of 2x6 (See Structural for Stud Spacing)

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
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- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

- Wet cement Board
- 1x4 wet sheathing @ 16" oc
- on sheathing membrane
- Exterior Sheathing (see structure)
- 2x4 @ 16" oc
- R15 Ws Batt Insulation R122
- 6 Mil Poly Vapor Barrier
- 1/2" Gypsum Board

Codes & Standards:
Conform to latest edition
BC Building Code
Dimensions:
Contractor shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

Rev. No.	DATE	DESCRIPTION
1	Sept 4 2018	DP Application
	YMO	

General Remarks: The design and drawings are prepared
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604-210-1000
Vancouver, B.C. V6B 2V2
604-681-0114

Date	September 2018	Scale
Drawn		
Checked		
Scale		
Project	Uplands Place Apartments 400 Cedar Ridge Place Nanaimo, BC	
Client	Highstreet Ventures Inc. 778-484-5867	

Drawing Title:
**Building D
Floor Plans**

Client File No. _____ Drawing No. _____
Project No. **A.5.1**

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DP 1114
2018-SEP-06
Corner Planning & Collaboration

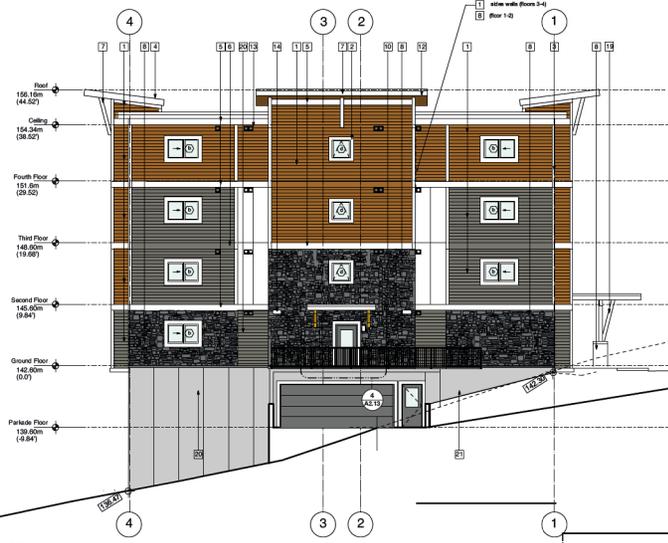


1 Building A - North Elevation - West End
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.

-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "AMHERST GRAY"
-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "MOUNTAIN CEDAR"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "AMHERST GRAY"
-  Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGSTONE



3 Building A - East Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to A02.1.2 for products / colours)
- 2 TRIM BOARDS (horizontal) 1"x4" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x4" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (gables + fascia) 1"x10" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - AMHERST GREY
- 7 CLAD COLUMNS AND BEAMS - FIBRE CEMENT BOARD - SNOW
- 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGSTONE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 GBS ROOF MEMBRANE - DARK GREY
- 12 SOFFIT - ALLURA VENTED CEDAR - MOUNTAIN CEDAR
- 13 MECHANICAL VENT #R1 Snow White in white-clad areas; #R2 Dark Grey elsewhere) - see mech.
- 14 WALL MOUNTED LUMINAIRE - see electrical
- 15 METAL ROOFING - see spec.
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS AND BEAMS - stained Clear

2 Building A - North Elevation - East End
1/8"=1'-0"



Codes & Standards:
Compliant to British Columbia BC Building Code
Dimensions:
Contractors shall verify and be responsible for dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

REV	DATE	DESCRIPTION
1	Jan 30 2018	review
2	July 13 2018	client review
3	Sept 4 2018	DP Application
4	Sept 14 2018	Rev. DP Application

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604-681-0141

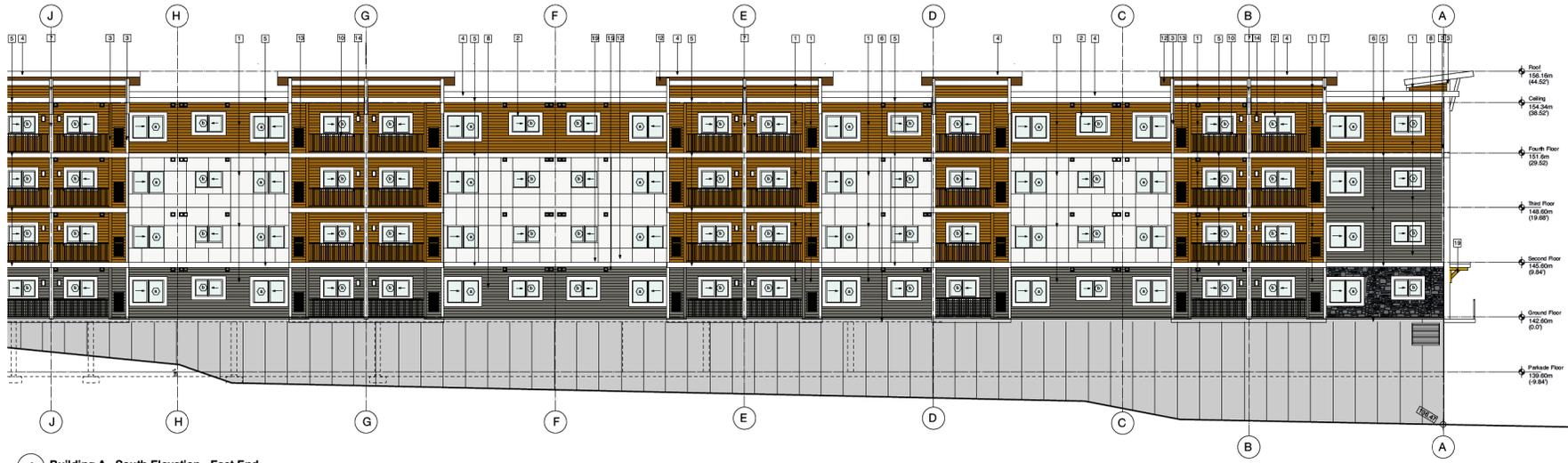
Date	Oct 30, 2017	Scale	
Drawn			
Checked			
Scale	SCALE: 1/200		

Project:
Uplands Place Apartments
4500 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
776-661-0557

Drawing Title:
**Building A
North + East Coloured
Elevations**

Client File No.	Drawing No.
Project No.	A.2.12.1

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DP 114
2018-SEP-17



1 Building A - South Elevation - East End
1/8"=1'-0"

Codes & Standards:
 Confirmed to latest edition
 BC Building Code
Dimensions:
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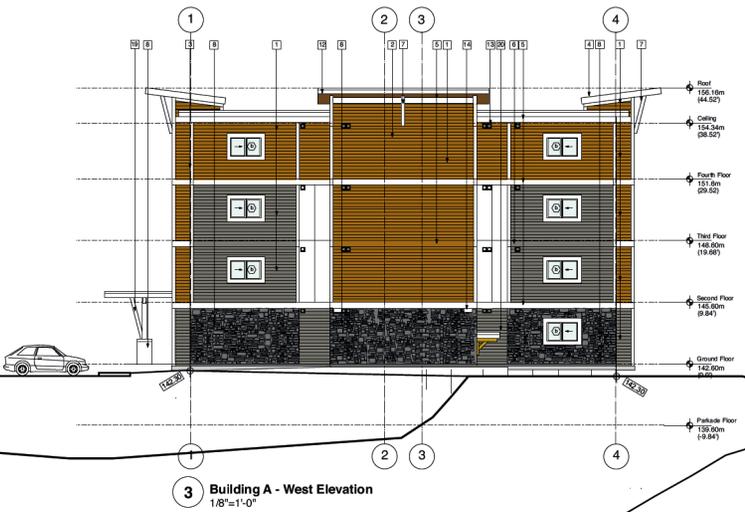
notes:

Exterior Finishes Materials Legend - Siding Colours
 Disclaimer: Colours are for representation only, and may not be exactly as shown.
 See colour-board and renderings.

- Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - colour matched to
 BENJAMIN MOORE - "AMHERST GRAY"
- Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - "SNOW"
- Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA CEDAR LAP - "MOUNTAIN CEDAR"
- Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA - colour matched to
 BENJAMIN MOORE - "AMHERST GRAY"
- Cultured stone cladding
 Product: BLACK RUNDLE ALPINE LEDGSTONE



2 Building A - South Elevation - West End
1/8"=1'-0"



3 Building A - West Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - refer to A02.10.1 for products (colours)
- 2 TRIM BOARDS (windows) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (gables - fascia) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - AMHERST GREY
- 7 CLAD COLUMNS and RISERS - FIBRE CEMENT BOARD - SNOW
- 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGSTONE
- 9 RAINWATERLEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 SBS ROOF MEMBRANE - DARK GREY
- 12 SOFFIT - ALLURA VENTED CEDAR - MOUNTAIN CEDAR
- 13 MECHANICAL VENT (RV) Stone White or white-clad areas (2x8 Dark Grey elsewhere) - see mech.
- 14 WALL MOUNTED LUMINAIRE - see electrical
- 15 METAL ROOFING - see spec.
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS and BEAMS - stained Clear

Rev.	DATE	DESCRIPTION
4	Sept 14 2016	Rev. DP Application
3	Sept 4 2016	DP Application
2	July 13 2016	Client review
1	Jan 30 2016	review

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 604-681-0141

Date	Oct. 30, 2017	Scale
Drawn		
Checked		
Scale	SCALE: 1:200	

Project: **Uplands Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC**
 Highest Ventures Inc.
 776-661-0557

Drawing Title: **Building A
 West & South Coloured
 Elevations**

Drawn No.	Drawing No.
	A.2.13.1

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 2018 SEP 17

Codes & Standards:
 Conform to latest edition
 BC Building Code

Dimensions:
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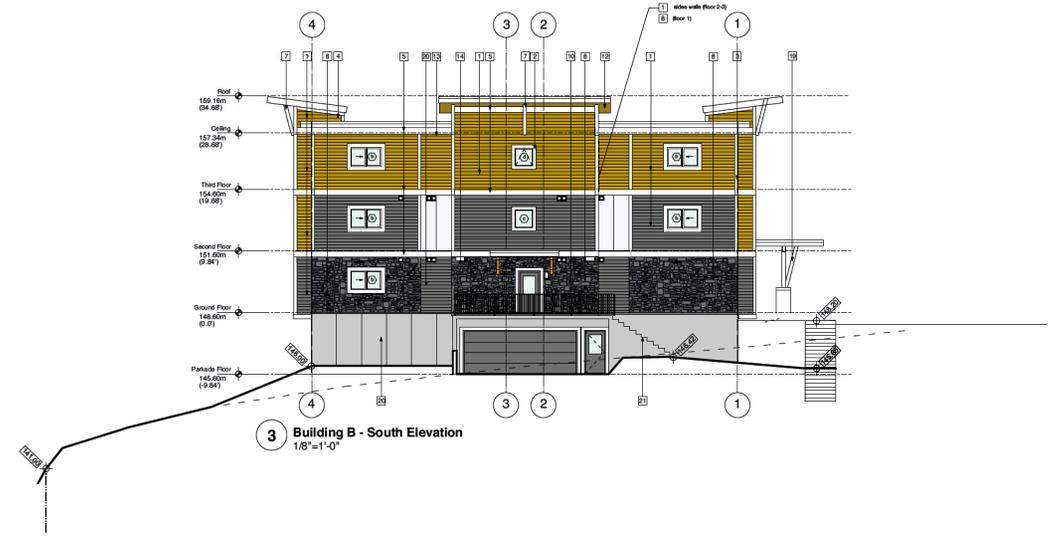
notes:



1 Building B - East Elevation
 1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours
 Disclaimer: Colours are for representation only, and may not be exactly as shown.
 See colour-board and renderings.

-  Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "Kendall Charcoal"
-  Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA CEDAR LAP - "CEDAR"
-  Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA - "KENDALL CHARCOAL"
-  Cultured stone cladding
 Product: BLACK RUNDLE ALPINE LEDGESTONE



3 Building B - South Elevation
 1/8"=1'-0"

Exterior Finishes Materials Legend

- (1) CEMENT BOARD SIDING - (refer to AGS 12.1 for products / colours)
- (2) TRIM BOARDS (windows) 1"x6" - FIBRE CEMENT BOARD - SNOW
- (3) TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- (4) TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- (5) TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- (6) TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - KENDALL CHARCOAL
- (7) CLAD COLLING and BEAMS - FIBRE CEMENT BOARD - SNOW
- (8) CULTURED STONE - BLACK RUNDLE - ALPINE LEDGESTONE
- (9) RAINWATER LEADERS - PINE-FINISHED ALUMINUM - WHITE
- (10) RAILINGIS - PINE-FINISHED ALUMINUM - BLACK
- (11) SBS ROOF MEMBRANE - DARK GREY
- (12) SOFFIT - ALLURA VENTED CEDAR - CEDAR
- (13) MECHANICAL VENT GRIL Snow White or white-clad areas; #23 Dark Grey elsewhere) - see mech.
- (14) WALL MOUNTED LUMINAIRE - see electrical
- (15) METAL ROOFING - see spec.
- (16) ARCHITECTURAL FINISHED CONCRETE
- (17) SOLAR PANELS
- (18) TIMBER COLUMNS AND BEAMS - stained Clear

Rev.	DATE	DESCRIPTION
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	review

WD FISHER ARCHITECT
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 Vancouver, B.C. V6B 2V2
 604-681-0141

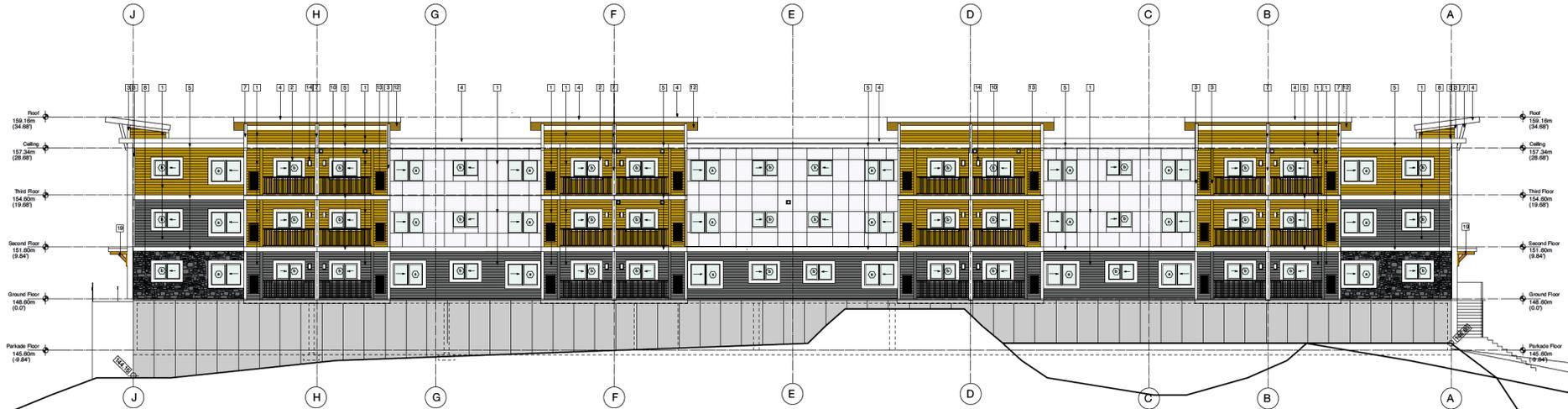
Date	Drawn	Scale
Oct 30, 2017		
Checked		
Scale	SCALE: 1/200	

Project:
Uplands Place Apartments
 4600 Cedar Ridge Place
 Nanaimo, BC
 Highest Ventures Inc.
 778-884-6527

Building B
South + East Coloured
Elevations

Drawn No.	Drawing No.
	A.03.12.1

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 DP 1114
 2018-SEP-17

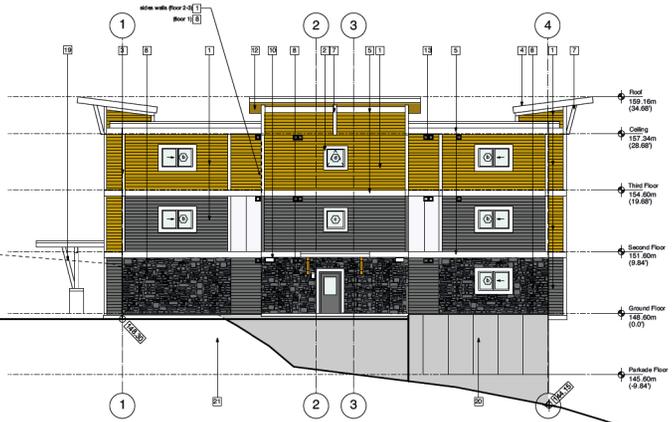


1 Building B - West Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.

-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "Kendall Charcoal"
-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7' exposure)
Product: ALLURA CEDAR LAP - "CEDAR"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7' exposure)
Product: ALLURA - "KENDALL CHARCOAL"
-  Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGESTONE



2 Building B - North Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to AGG. 12 for products / colours)
- 2 TRIM BOARDS (windows) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (gables / fascias) 1"x10" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - KENDALL CHARCOAL
- 7 CLAD COLLING AND BEAMS - FIBRE CEMENT BOARD - SNOW
- 8 CULTURED STONE - BLACK RUNDLE ALPINE LEDGESTONE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILING - PRE-FINISHED ALUMINUM - BLACK
- 11 SBS ROOF MEMBRANE - DARK GREY
- 12 SOFFIT - ALLURA VENTED CEDAR - CEDAR
- 13 MECHANICAL VENT GRILL Snow White w. white-clad anast; F23 Dark Grey elsewhere - see mech.
- 14 WALL MOUNTED LUMINAIRE - see electrical
- 15 METAL ROOFING - see spec.
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS AND BEAMS - stained Clear

Codes & Standards:
Comply to latest edition
BC Building Code

Dimensions:
Contractors shall verify and be responsible
for dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	review

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W.D. FISHER ARCHITECT
605-218 Huron Street
Vancouver, B.C. V6B 2V2
604-681-0141

Date	By	Scale
Oct 30 2017		
Drawn		
Checked		
Scale		SCALE: 1:250

Project: **Upside Place Apartments**
4600 Cedar Ridge Place
Nanaimo, BC
Highest Ventures Inc.
775-661-0557

Building B
North + West Coloured
Elevations

Draw File No.	Drawing No.
	A.03.13.1

RECEIVED
DP1114
2018-SEP-17
Color Management



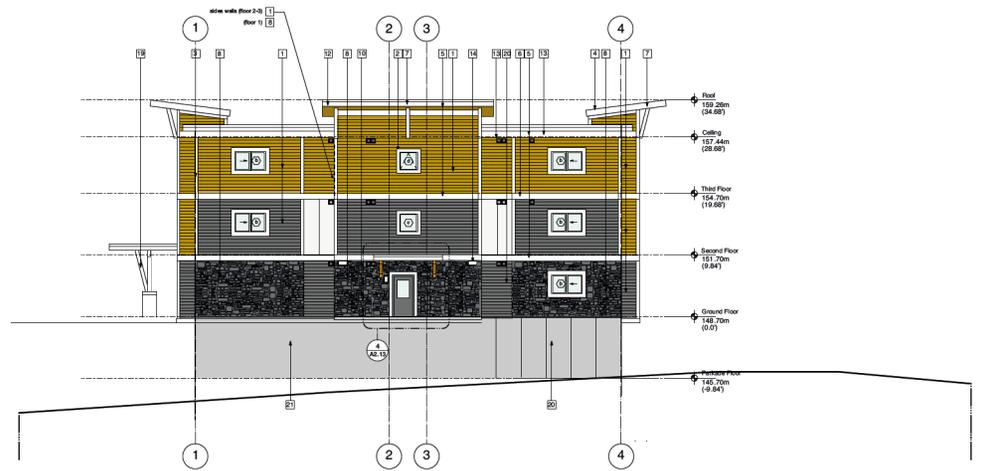
1 Building C - Southeast Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours
Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.

-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "Kendall Charcoal"
-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "CEDAR"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - "KENDALL CHARCOAL"
-  Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGSTONE

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to A04.13.1 for products / colours)
- 2 TRIM BOARDS (windows) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (gables + fascia) 1"x10" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - KENDALL CHARCOAL
- 7 CLAD COLUMNS and BEAMS - FIBRE CEMENT BOARD - SNOW
- 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGSTONE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 SBS ROOF MEMBRANE - DARK GREY
- 12 SCOFFIT - ALLURA VENTED CEDAR - CEDAR
- 13 MECHANICAL VENT (M1) Snow White in white-dad areas; #28 Dark Grey elsewhere) - see mech.
- 14 WALL MOUNTED LUMINAIRE - see electrical
- 15 METAL ROOFING - see spec.
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS and BEAMS - stained Clear



2 Building B - Northeast Elevation
1/8"=1'-0"

Codes & Standards:
Compliant to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	review

WD FISHER ARCHITECT
605-218 Huron Street
Vancouver, B.C. V6B 2V2
604-681-0141

Date	Oct 30 2017	Sheet
Drawn		
Checked		
Scale	SCALE: 1/200	

Project:
Updates Place Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
778-681-6557

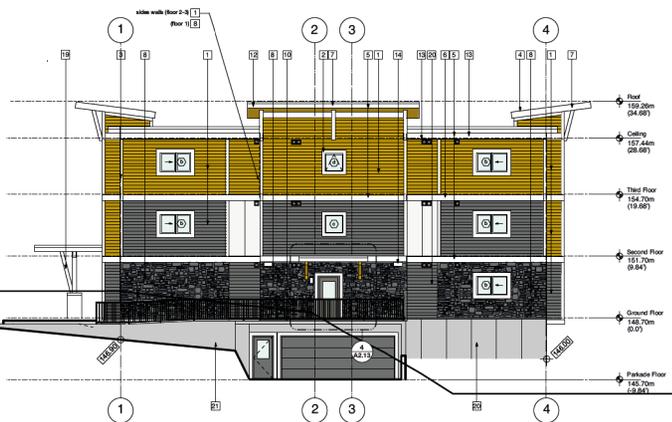
Drawing Title:
**Building C
Northeast + Southeast
Coloured Elevations**

Client File No.	Drawing No.
Project No.	A.04.13.1

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OCT 11 2018
2018-SEP-17



1 Building C - Northwest Elevation
1/8"=1'-0"



2 Building C - Southwest Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.

-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "Kendall Charcoal"
-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "CEDAR"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - "KENDALL CHARCOAL"
-  Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGSTONE

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - refer to A04.12.1 for products / colours
- 2 TRIM BOARDS (window) 1"x2" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x2" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (gable / base) 1"x10" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - KENDALL CHARCOAL
- 7 CLAD COLUMNS AND BEAMS - FIBRE CEMENT BOARD - SNOW
- 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGESTONE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 SBS ROOF MEMBRANE - DARK GREY
- 12 SCOFFIT - ALLURA VENTED CEDAR - CEDAR
- 13 MECHANICAL VENT (R01 Snow White in white-dad area; R23 Dark Grey elsewhere) - see mech.
- 14 WALL MOUNTED LUMINAIRE - see spec.
- 15 METAL ROOFING - see spec.
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS AND BEAMS - stained Clear

Codes & Standards:
Comply to latest edition BC Building Code
Dimensions:
Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	review

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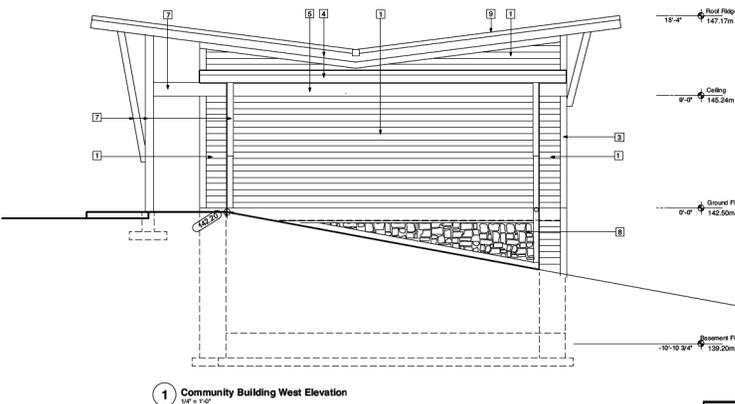
W.D. FISHER ARCHITECT
605-318 Harnett Street
Vancouver, B.C. V6B 2V2
604-683-0241

Date	By	Scale
Oct 30 2017	Seal	
Drawn		
Checked		
Scale	SCALE: 1:250	

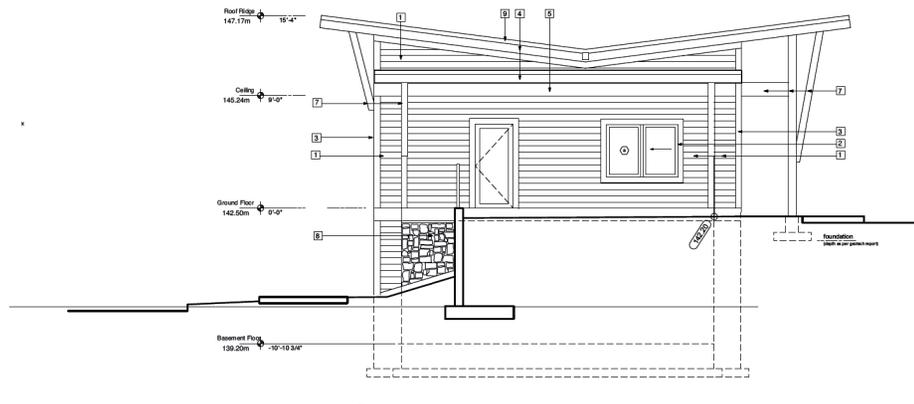
Project:
Uplands Place Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
775-681-0527

RECEIVED
DP 1114
2018-SEP-17
Colour Rendering by: [unclear]

Project No. **A.04.12.1**

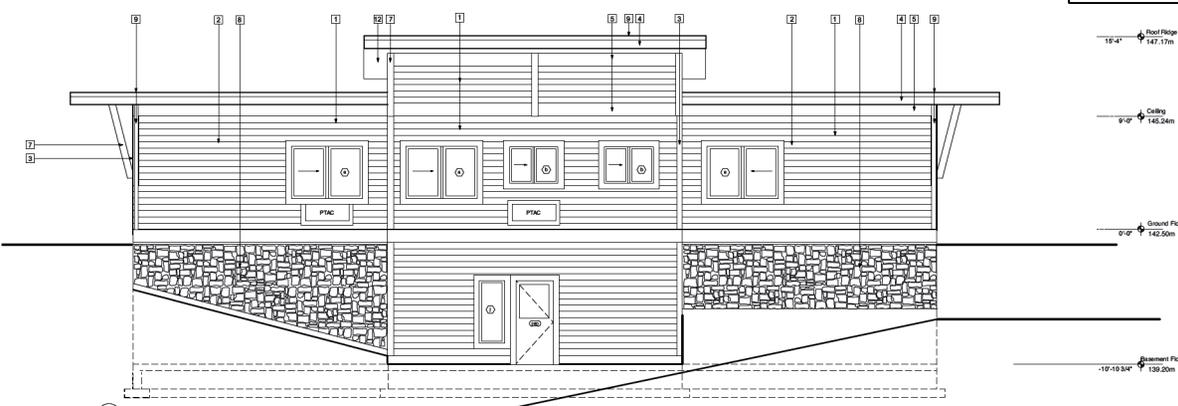


1 Community Building West Elevation
1/4" = 1'-0"

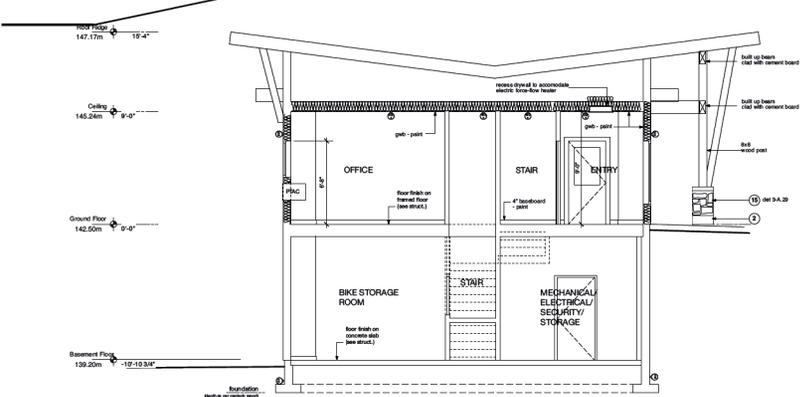


2 Community Building East Elevation
1/4" = 1'-0"

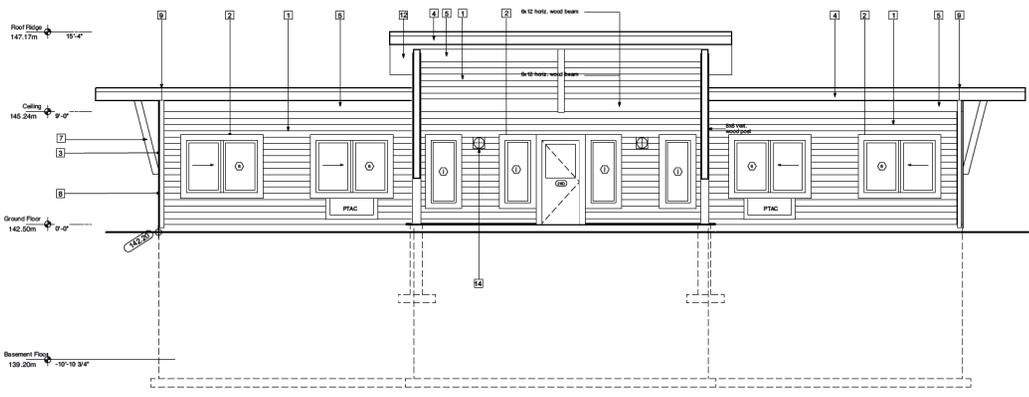
- Exterior Finishes Materials Legend**
- 1] CEMENT BOARD SIDING - (refer to A65.3 for products / colours)
 - 2] TRIM BOARDS (window) 1"x6" - FIBRE CEMENT BOARD - SNOW
 - 3] TRIM BOARDS (window) 1"x6" - FIBRE CEMENT BOARD - SNOW
 - 4] TRIM BOARDS (sill) 1"x6" - FIBRE CEMENT BOARD - SNOW
 - 5] TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
 - 6] CLAD COLLUMS and BEAMS - FIBRE CEMENT BOARD - SNOW
 - 7] CULTURED STONE - BLACK RUNGLE - COUNTRY LEDGESTONE
 - 8] FLASHING and DOWNSPOUTS - PRE-FINISHED ALUMINUM - WHITE
 - 9] SOFFIT - ALUMINA VENTED CEDAR - CEDAR
 - 10] WALL MOUNTED LUMINAIRE - see electrical



3 Community Building South Elevation
1/4" = 1'-0"



5 Community Building Section
1/4" = 1'-0"



4 Community Building North Elevation
1/4" = 1'-0"

Codes & Standards:
 Conform to latest edition
 BC Building Code
Drawings:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

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DP1114
2018-SEP-06
 Current Planning & Subdivision

Rev. No.	DATE	DESCRIPTION
1	Sept 4 2018	DP Application

Contractor shall verify and be responsible for the accuracy of all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings. The drawings are to be used for construction and shall not be used for any other purpose without the written consent of the Architect. The drawings are to be used for construction and shall not be used for any other purpose without the written consent of the Architect. The drawings are to be used for construction and shall not be used for any other purpose without the written consent of the Architect.

W.D. FISHER ARCHITECT
 608-116-0000
 Vancouver, B.C. V6B 2V2
 604-683-5211

Date: September 2018
 Drawn:
 Checked:
 Scale: SCALE: 1/200

Project:
Uplands Place Apartments
 4550 Cedar Ridge Place
 Nanaimo, BC
Highstreet Ventures Inc.
 778-484-8507

Drawing Title:
Building D
Elevations - Sections

Sheet No.:
A.05.2

AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001114