



AGENDA DESIGN ADVISORY PANEL MEETING

October 11, 2018, 5:00 PM
Board Room, Service and Resource Centre,
411 Dunsmuir Street, Nanaimo, BC

Pages

1. CALL THE MEETING OF THE DESIGN ADVISORY PANEL TO ORDER:

2. ADOPTION OF AGENDA:

3. ADOPTION OF MINUTES:

a. Minutes of the Meeting held 2018-SEP-13

2 - 3

Minutes of the Design Advisory Panel Meeting held in the Board Room, Service and Resource Centre, 411 Dunsmuir Street, Nanaimo, BC on Thursday, September 13, 2018 at 5:00 p.m.

4. PRESENTATIONS:

a. Development Permit Application No. DP1113 - 6361 Hammond Bay Road

4 - 32

A development permit application was received from Urban Design Group Architects Ltd., on behalf of B250 Holdings Inc. for the construction of three one-storey commercial buildings with a combined total gross floor area of 942.8m². The subject property is legally described as Lot 1, Section 12, Wellington District, Plan VIP53276.

b. Development Permit Application No. DP1114 - 4800 Cedar Ridge Place

33 - 83

A development permit application was received from Highstreet Ventures Inc., on behalf of Highstreet Land Holdings for a multi-family development which consists of three rental apartment buildings (172 units), each with underground parking. The subject property is legally described as Lot 1, District Lot 17, Wellington District, Plan 32491, Except Part in Plans 37954, VIP62511 and VIP64055.

5. ADJOURNMENT:

MINUTES
OPEN DESIGN ADVISORY PANEL MEETING
SERVICE AND RESOURCE CENTRE BOARDROOM, 411 DUNSMUIR STREET, NANAIMO, BC
THURSDAY, 2018-SEP-13 AT 5:00 P.M.

PRESENT: Members: Gur Minhas, Chair
 Dan Appell
 Frank Basciano
 Kevin Krastell
 Charles Kierulf

 Absent: Councillor Jerry Hong
 Martin Hagarty
 Will Melville

 Staff: Dave Stewart, Planner, Current Planning and Subdivision
 Laurie Nielsen, Recording Secretary

1. CALL THE DESIGN ADVISORY PANEL MEETING TO ORDER:

The Open Design Advisory Plan Meeting was called to order at 5:13 p.m.

2. ADOPTION OF AGENDA:

It was moved and seconded that the Agenda be adopted. The motion carried unanimously.

3. ADOPTION OF MINUTES:

It was moved and seconded that the Minutes of the Design Advisory Panel Meeting held in the Boardroom, 411 Dunsmuir Street, Nanaimo, BC, on Thursday, 2018-AUG-23 at 5:00 p.m. be adopted as circulated. The motion carried unanimously.

4. PRESENTATIONS:

(a) Development Permit Application No. DP001108 - 1900 Griffiths Road (Lot 1)

Dave Stewart, Planner, Current Planning and Subdivision, introduced the project which consists of six pre-engineered mini-storage buildings and an accessory building containing an office and caretaker's suite. Mr. Stewart spoke regarding the site context including the onsite Garry oak meadow and pedestrian connectivity.

Derek Matthews, Civil Engineer, Herold Engineering presented the project. Mr. Matthews overviewed the site context, site grades and how the grades are approached within the building layouts, and building siting.

Pat Harrison, Landscape Architect, JPH Consultants Inc., presented the landscape plan and tree management program. Mr. Harrison spoke regarding storm water management, site security features, lighting and fencing.

Panel discussions took place regarding the following items:

- Storm water management.
- Pedestrian/vehicle circulation and wayfinding
- The addition of canopies over doorways.
- Suggestions were made to provide protection for building corners.
- Tree management and Garry oak tree protection methods.
- The density of plantings.
- Site lighting – sensor lighting within the drive aisles.
- The location and materials used for the garbage proposed enclosure.

It was moved and seconded that Development Permit Application No. DP1108 be accepted as presented with support for the variances. The following recommendations were provided:

- Consider flipping the building plans for Buildings A & F - to allow easier access to the parking area from the front entrance;
- Consider a slight reduction in parking to possibly provide an alternate use for the parking area near Garry oak meadow;
- Consider adding elements to add individual identities to each of the units;
- Consider using distinct building treatments or colours (ie. super graphics - oversize letters or numbers) at the ends of each building to enhance wayfinding;
- Consider adding canopies to the entrance doors; and provide details for the service doors to clearly identify them;
- Consider adding a base detail to each of the buildings;
- Consider a slight reduction in parking; and,
- Please provide a plant density ratio to Staff.

The motion carried unanimously.

5. ADJOURNMENT:

It was moved and seconded at 6:03 p.m. that the meeting terminate. The motion carried unanimously.

CHAIR

CERTIFIED CORRECT:

CORPORATE OFFICER

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT NO. DP001113 – 6361 HAMMOND BAY ROAD

Applicant Architect: URBAN DESIGN GROUP ARCHITECTS LTD.

Owner: B-250 HOLDINGS INC. NO 274072

Landscape Architect: M2 LANDSCAPE ARCHITECTURE

Subject Property:

| | |
|--------------------------------------|--|
| <i>Zoning</i> | CC4 – North Nanaimo Urban Centre |
| <i>Location</i> | The proposed development is located at the southeast corner of Hammond Bay Road and the Island Highway. |
| <i>Total Area</i> | Subject property size: 2.1 ha Proposed development area: ± 0.6 ha |
| <i>Official Community Plan (OCP)</i> | Map 1 – Urban Node; DPA No. 9 – Commercial, Industrial, Institutional, Multi-family and Mixed Commercial / Residential Development |
| <i>Relevant Design Guidelines</i> | General Development Permit Area Design Guidelines |

PROPOSED DEVELOPMENT

The applicant proposes to develop three commercial buildings including:

- a fast food restaurant with drive thru (Building D);
- a restaurant with a patio (Building H); and,
- a building containing two commercial units (Building C).

The site design also includes:

- new pedestrian routes; and,
- a landscaping plan incorporating new and existing landscape features.

Site Context

The proposed infill development is located within the northwest quadrant of the existing commercial development (Hammond Bay Centre) on the former site of the Shell Gas station and Pizza Hut. The centre contains a variety of commercial businesses, and the surrounding area is predominantly mixed-use and zoned for commercial and community service uses, with the closest residential area located approximately 450m away from the site.

Site Design

The development proposal includes 27 more parking spaces than what is required by the parking bylaw. A significant portion of the site is proposed as surface parking. The applicant proposes to reconfigure onsite traffic circulation within this quadrant of the property to have one entry/exit point to the rest of the commercial development.

The only existing pedestrian route in the area is the public sidewalk along Hammond Bay Road. The applicant proposes to add a new gravel path along the Island Highway, and an urban plaza at the corner of the Island Highway and Hammond Bay Road to improve pedestrian connectivity. A number of sidewalks and crosswalks are proposed throughout the site.

Buildings C & H are located along Hammond Bay Road and the Island Highway and have connections to the public sidewalk and outdoor patio areas to provide street presence and animation.

An existing pylon sign is proposed to remain in place near the proposed urban plaza.

The proposal incorporates lampstands in the parking area and wall mounted lights on the buildings.

Staff Comments:

- Consider opportunities to reduce surface parking to comply with the parking bylaw.
- The parking bylaw requires bicycle parking and electric vehicle charging stations which are not indicated on the plans. Please provide details.
- Consider opportunities to further improve pedestrian connectivity within the proposed development; for example, the following could be considered:
 - Adding pedestrian routes adjacent to the vehicle entrances off Hammond Bay Road and the Island Highway;
 - Adding a sidewalk along the eastern edge of Building H;
 - Removing the proposed parking spaces that parallel the Island Highway and the vehicle entry off Hammond Bay Road, and replacing these with further landscaping and pedestrian routes; and,
 - Adding another crosswalk to facilitate access from the subject site to existing businesses within the property.

Building Design:

Each of the proposed buildings are one-storey in height; incorporate grey stucco and brown longboard metal siding into their facades; and feature roof cornices. Building D (Wendy's) also includes a reveal wall on which a proposed illuminated sign will be located. Building H (restaurant) includes face brick pillars on each corner of the building. A number of canopies for weather protection are proposed for the buildings. Outdoor patios are proposed for the restaurant buildings.

Staff Comments:

- The architectural detailing of each building is directed internally towards the parking and onsite pedestrian areas. Consider greater detailing and articulation on elevations facing the Island Highway and Hammond Bay Road.
- The south elevations of Buildings C and D and the north elevation of Building H present blank walls and are somewhat stark in appearance. Additional glazing or architectural details and landscaping should be incorporated to better interface with the public realm.
- Building H is sited at the corner of two major roadways. While Building H is the most architecturally detailed of the three proposed buildings, there is an opportunity to add bolder architectural features, in recognition of the building's prominent location.

- Consider ways to enhance connectivity between Building H and the proposed urban plaza, possibly by orienting the building so that the front entrance is located closer to the plaza and faces the highway.
- The southeast corner of Building H may have limited visibility of pedestrians from the loading area. Consider additional glazing to offer sightlines through the corner of the building.
- A more defined entry with weather protection should be considered for Building D (Wendy's).
- The rooftop mechanical system screening includes pressure treated wood and should incorporate more durable materials.

Landscape Design

The landscape plan features:

- A new plaza at the corner of Hammond Bay Road and the Island Highway featuring pedestrian access points (including a wheelchair ramp), two benches, and landscape plantings.
- A concrete sidewalk extending from the urban plaza past the restaurant patio of Building H to the building's entrance;
- Retention of certain existing landscape features;
- Landscaped berms along the public road frontages;
- Densely planted landscaped "islands" throughout the parking areas;
- New hardscaping including a gravel path along the Island Highway, and a "dry stream bed" feature adjacent to the drive-thru lane; and,
- Lawn between the landscape features.

Staff Comments:

- An additional tree is required along the western property boundary in order to meet the landscaping requirements of the Zoning Bylaw. Consider adding a tree in front on the west elevation of Building D.
- Shrub plantings adjacent to the garbage disposal compound are required.
- Consider opportunities to enhance the design and pedestrian safety of the internal parking area.
- Wherever possible, consider separation of onsite pedestrian crossings from parking areas with a planted edge.

PROPOSED VARIANCES

No variances are proposed.

MK/

Paul Chiu, Architect AIBC, MRAIC, AAA, SAA, MAA, OAA, SBA, Principal
Eric Ching, CSBA, Principal
Crosbby Chiu, MRAIC, SBA, Senior Associate
Martin Grube, Associate

Rick Jones, Founding Principal
Aaron Vornbrock, Principal
Bojan Ilic, Associate
Sarah Chappell, Associate

Community Development, City of Nanaimo
Attention: Lainya Rowett
Manager, Current Planning & Subdivision

Date: 2018-08-27

RE: Commercial Development: Hammond Bay Centre
6361 Hammond Bay Road, Nanaimo, BC

We submit the following design rational for the above mentioned project.

The Proposal is for the construction of three new buildings to be located on a portion of the property located at the southeast corner of the Island Highway and Hammond Bay Road. Previously, a restaurant of 3,867 square feet, a gas station with convenience store and a carwash of 3,680 square feet was located on the site, which has since been demolished.

The three new buildings consist of a restaurant (Building "H") of 5,200 square feet, a drive through restaurant (Building "D") of 2,313 square feet and a retail building of 2,730 square feet.

Two of the buildings are arranged along and adjacent to the street edges of Hammond Bay and the Island Highway, with the third located at the edge of the main existing driveway from the Island Highway. On site parking is confined to the site interior and screened on all sides with landscaped buffers and berms. Connected pedestrian routes are provided between the buildings within the interior of the parking area encouraging circulation across the site between buildings. A gravel pathway has been introduced along the Island Highway which completes the existing pathway from the south. A new open space plaza is to be created at the intersection of Hammond Bay and the Island Highway and is proposed to feature public seating and incorporates an access ramp to facilitate those with mobility issues, strollers, etc. and provides a pedestrian connection point to the center from the intersection.

Form and Character

The proposed buildings have been designed with a massing and scale in keeping with the other existing buildings in the shopping centre. Similar materials and colour pallets have been used to provide compatibility with the balance of the existing buildings including: EIFS, longboard planks, brick veneer, fiber cement panels with reveals, aluminum storefront framing, canopy steel framing and roof cornices and flashings.

The building footprint at the northwest corner (Building "H") is proposed to be a restaurant and includes a trellis patio. A sidewalk to connect the plaza area to the shopping centre has been located adjacent to the patio.

Rough sawn timber has been introduced for special features and split face concrete block has been incorporated for the trash enclosures.

The landscape design uses various strategies to keep views into the site open, without sacrificing character or form. We are proposing berming along the site perimeter at Island



highway and Hammond Bay Road to absorb noise from the highway. These berms are planted with low-growing ground covers which face the road.

Gleditsia triacanthos are utilized within the paved area, as this species is highly adaptable and provides light dappled shade, allowing drought tolerant and sun loving shrub species to be utilized around its trunk and surrounding areas. This species was further selected for its uniquely yellowish-green leaves, and excellent yellow colour in the autumn, which will be complimented by the deep red fall foliage of Acer rubrum. Lastly, Korean dwarf lilac has also been selected based on its short height, to further preserve views; and to match the existing ornamental trees on site.

The planting palette utilizes mostly native species, with a select few ornamental species such as rhododendron to create seasonal interest. As previously mentioned, the planting palette favours drought tolerant species to conserve water, a shared precious resource.

The public plaza at the corner of Hammond Bay road and Island Highway was designed with a rectilinear approach to reflect another public plaza across the intersection. Scored concrete here creates ground plane patterning which is repeated through-out the site at building entrances.

We trust that the above information and attached documents accompanying this application meet with your approval and support. Should any additional information be required, please feel free to contact the undersigned.

A handwritten signature in black ink, consisting of several overlapping loops and a long horizontal stroke extending to the right.

Rick Jones, Principal

URBAN DESIGN GROUP ARCHITECTS LTD.

Paul Chiu, Architect AIBC, MRAIC, AAA, SAA, MAA, OAA, SBA, Principal
Eric Ching, CSBA, Principal
Crosbby Chiu, MRAIC, SBA, Senior Associate
Martin Grube, Associate

Rick Jones, Founding Principal
Aaron Vornbrock, Principal
Bojan Ilic, Associate
Sarah Chappell, Associate

Community Development, City of Nanaimo
Attention: Lainya Rowett
Manager, Current Planning & Subdivision

Date: 2018-08-27

RE: Commercial Development: Hammond Bay Centre
6361 Hammond Bay Road, Nanaimo, BC

REQUEST FOR SIGN VARIANCE BUILDING "D"

The signage on this building will be in full compliance with the city's signage bylaw except for the location of the logo proposed on the north elevation. The logo (only) which is proposed to be located on the vertical panel is approximately 3'6" in diameter and will be located above the roof line or 2'9" above the parapet. The overall signage configuration will provide an improved visual balance on the building's vertical panel feature.

We respectfully request your approval of this variance.

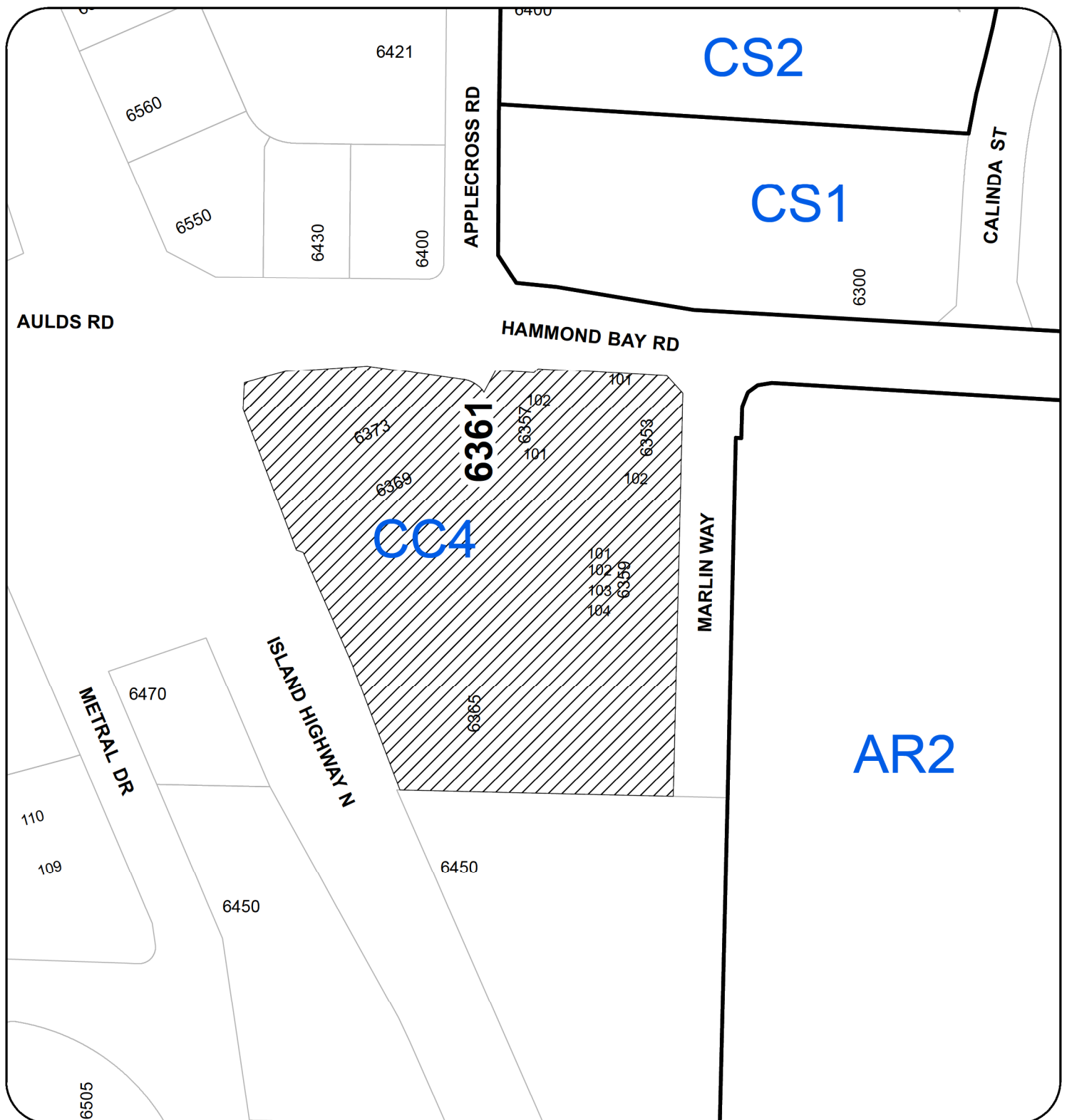
Thank you for your consideration,



Rick Jones, Principal

URBAN DESIGN GROUP ARCHITECTS LTD.

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001113

LOCATION PLAN

Civic: 6361 HAMMOND BAY ROAD

Legal: LOT 1, SECTION 12

WELLINGTON DISTRICT

PLAN VIP53276

10



Subject Property

1 WEST VIEW FROM ISLAND HIGHWAY
SCALE: NTS



2 NORTHWEST VIEW FROM ISLAND HIGHWAY
SCALE: NTS



3 SOUTHWEST VIEW FROM ISLAND HIGHWAY
SCALE: NTS



4 NORTHWEST PLAZA VIEW FROM ISLAND HIGHWAY
SCALE: NTS



RECEIVED
DP 1113
2018-SEP-28
Architects Ltd.

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
| For CROSS DEVELOPMENTS |



urban
design
group
architects ltd.

420 - 745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE 604-687-2334

Project number: 4187

SITE RENDERINGS

Rev: AS NOTED
Scale: 1/8" = 1'-0"
Date: 2018-09-28
By: [Signature]



NORTHEAST VIEW
SCALE: NTS



NORTHWEST VIEW
SCALE: NTS

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



420 - 745 THURLOW ST
VANCOUVER BC V6C 0S5
TELEPHONE 604-687-2334

PROJECT NUMBER: **4187**

**BUILDING C
RENDERINGS**

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|-------------|----------|----------|
| DATE | BY | REVISION |
| 2018-SEP-28 | AS NOTED | AC-03 |

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2018-SEP-28



SOUTHWEST VIEW
SCALE: NTS



WEST VIEW
SCALE: NTS

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



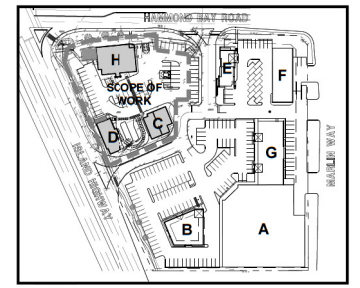
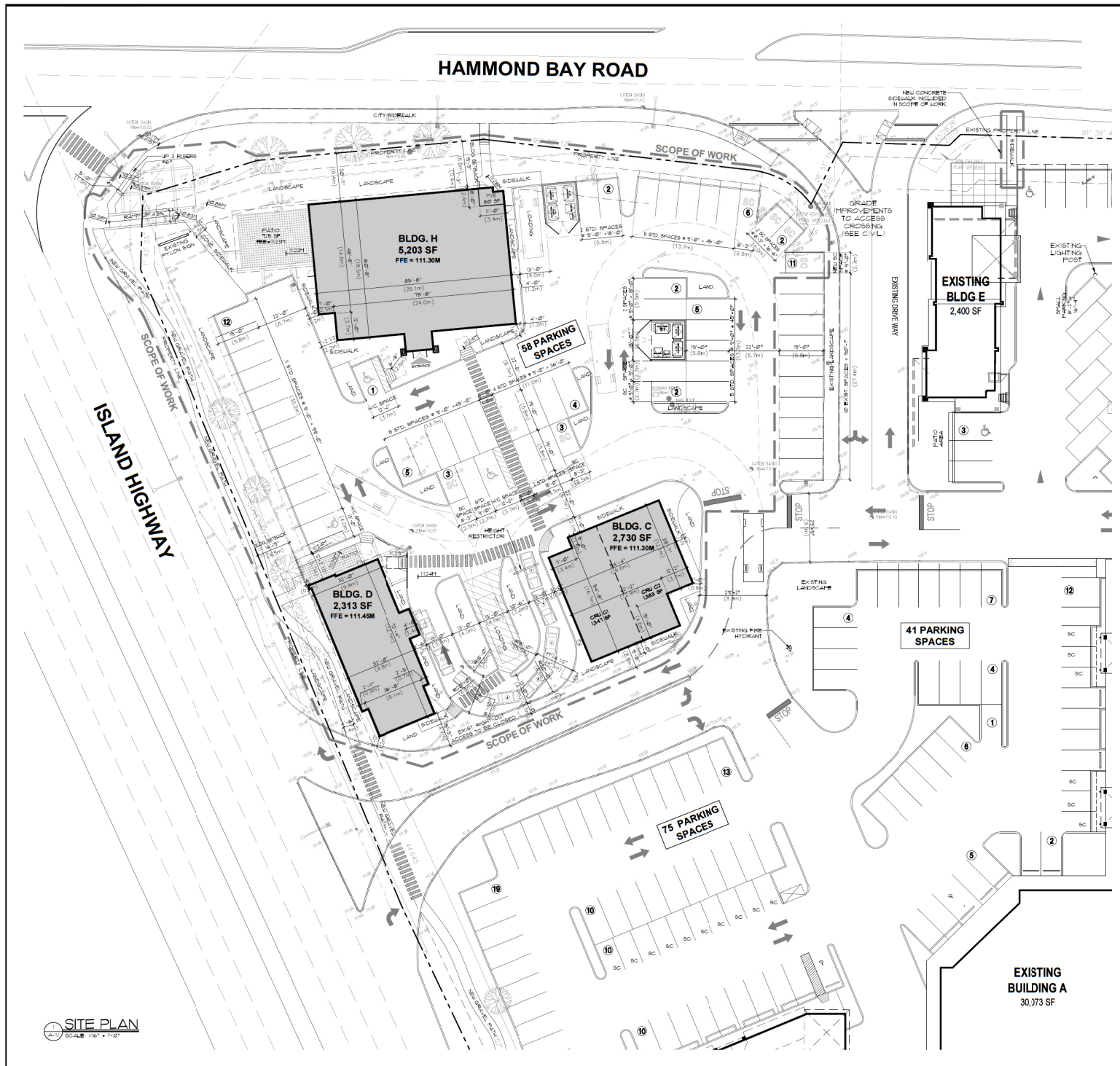
architects ltd
420 - 745 THURLOW ST
VANCOUVER BC V6C 0S5
TELEPHONE 604-687-2334

project number **4187**

BUILDING RENDERINGS

DATE: AS NOTED
DRAWN BY: A-H3
CHECKED BY: A-H3

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DP1113
2016-SEP-28



| | |
|---|--|
| SITE INFORMATION | |
| LEGAL DESCRIPTION: | LOT A, PLAN 8598, SECTION 12 WELLINGTON DISTRICT |
| CIVIC ADDRESS: | 6361 HAMMOND BAY ROAD, NANAIMO, B.C. |
| ZONING: | CC4 - WOODGROVE URBAN CENTRE |
| TOTAL SITE AREA: | 220,849 SF (20,519 SM) |
| TOTAL BUILDING AREA: | 59,086 SF (5,487 SM) |
| LOT COVERAGE (MAX 50%): | (59,086 SF / 220,849 SF) x 100 = 26.8% |
| FLOOR AREAS | |
| EXISTING BUILDING A | = 30,073 SF |
| EXISTING BUILDING B | = 5,000 SF |
| EXISTING BUILDING E | = 2,400 SF |
| EXISTING BUILDING F | = 5,192 SF |
| EXISTING BUILDING G | = 6,210 SF |
| EXISTING GROSS FLOOR AREA | = 48,975 SF |
| EXISTING NET FLOOR AREA (90% OF GFA) | = 44,088 SF |
| PROPOSED BUILDING C | = 2,730 SF |
| PROPOSED BUILDING D | = 2,313 SF |
| PROPOSED BUILDING H | = 5,195 SF |
| PROPOSED ADD'L GROSS FLOOR AREA | = 10,164 SF |
| PROPOSED ADD'L NET FLOOR AREA (90% OF GFA) | = 9,133 SF |
| TOTAL GROSS FLOOR AREA | = 59,023 SF |
| TOTAL NET FLOOR AREA | = 53,121 SF |
| PARKING CALCULATIONS | |
| EXISTING BUILDINGS | 43,988 SF / 1,076 SF x 4.3 = 175.8 SPACES |
| PROPOSED BUILDINGS | 9,133 SF / 1,076 SF x 4.3 = 36.3 SPACES |
| TOTAL PARKING REQUIRED | = 213 SPACES |
| OFF-STREET PARKING PROVIDED | = 224 SPACES |
| DRIVE-THRU STACKING PROVIDED | = 8 SPACES |
| TOTAL PARKING PROVIDED | = 233 SPACES |
| PARKING RATIO (GROSS FLOOR AREA): | 3.9 SPACES / 1000 SF |
| BYLAW REQUIREMENTS | |
| MINIMUM PARKING REQUIREMENTS | |
| SHOPPING CENTRE: | 4.3 PARKING SPACES PER 100 SM (1,076 SF) OF NET FLOOR AREA |
| DISABLED PARKING SPACES: | 2 PER 100 REQUIRED SPACES OR PART THEREOF |
| PARKING SPACE AND MANOEUVERING AISLE REQUIREMENTS | |
| STANDARD SPACE: | 2.75m (9'-0") x 5.8m (19'-0") |
| SMALL SPACE (MAX 33%): | 2.5m (8'-3") x 4.6m (15'-2") |
| HANDICAPPED SPACE: | 3.7m (12'-2") x 5.8m (19'-0") |
| LOADING SPACE (MINIMUM SIZE): | 9.2m (30'-0") x 4.0m (13'-0") |
| MANOEUVERING AISLE WIDTH: | 6.7m (22'-0") |
| PARKING CURB OVERLAP: | 1.0m (3'-3") |
| GENERAL NOTE: | |
| BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES. | |

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



architects ltd

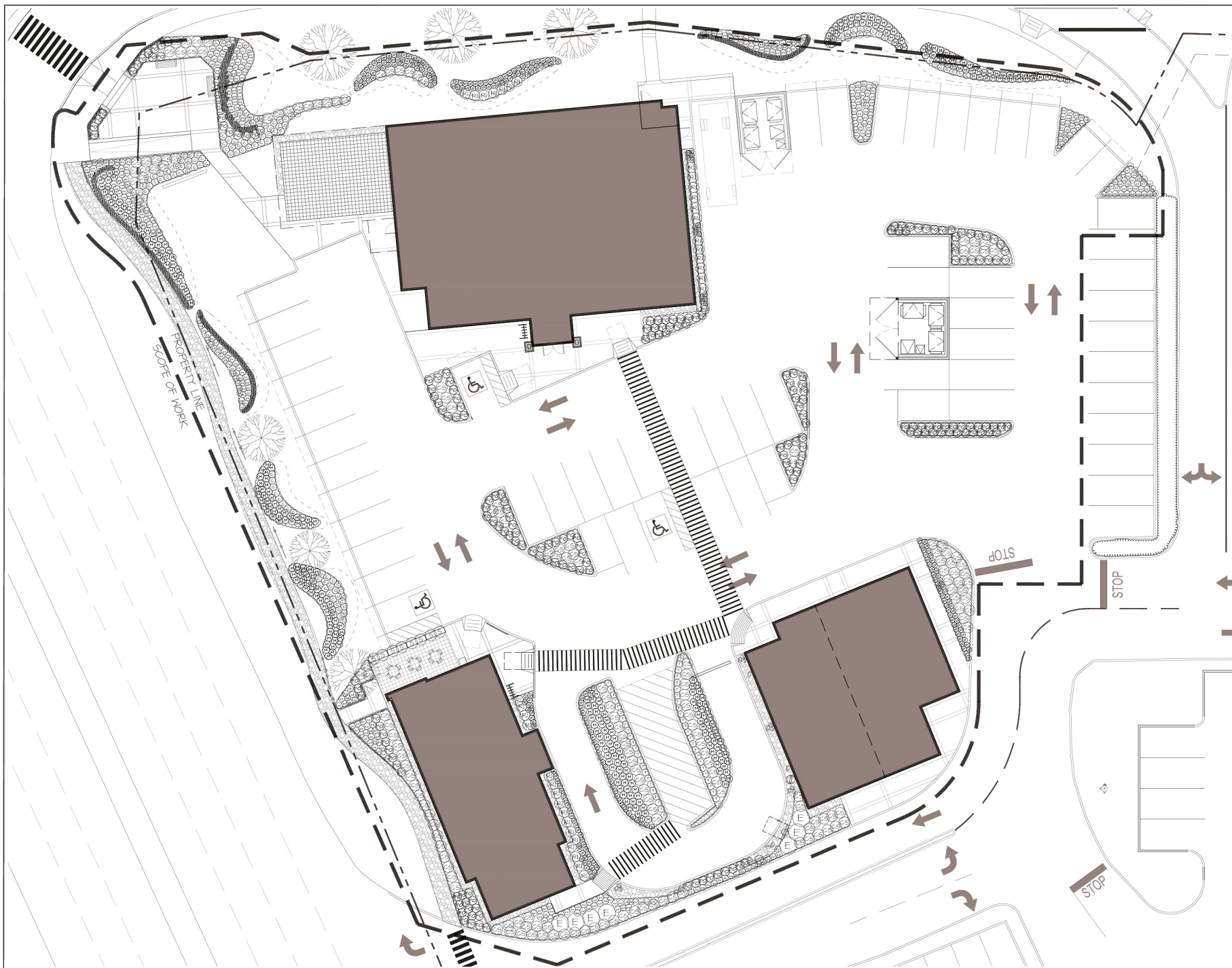
420-745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE 604-687-2334

PROJECT NUMBER: 4187

PROPOSED SITE PLAN

DATE: AS NOTED
BY: BCAC
SCALE: A=1:1

RECEIVED
DATE: 2018-SEP-28



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M2
LANDSCAPE ARCHITECTURE

26 Lorne Mews, Suite 220
New Westminister, British Columbia
V3M 3L7
604.553.0044

[illegible]

| | | | |
|-----|-----------|----------------------|-----|
| R2 | 25 SEP 20 | RE-ENGED FOR DP | ITS |
| R1 | 25 AUG 16 | ENGED FOR DP | ITS |
| NO. | DATE | REVISION DESCRIPTION | DR. |

SEAL:

PROJECT:

Commercial Development
6361 Hammond Bay Road
Nanaimo, B.C.

DRAWING TITLE:

**SHRUB
PLAN**

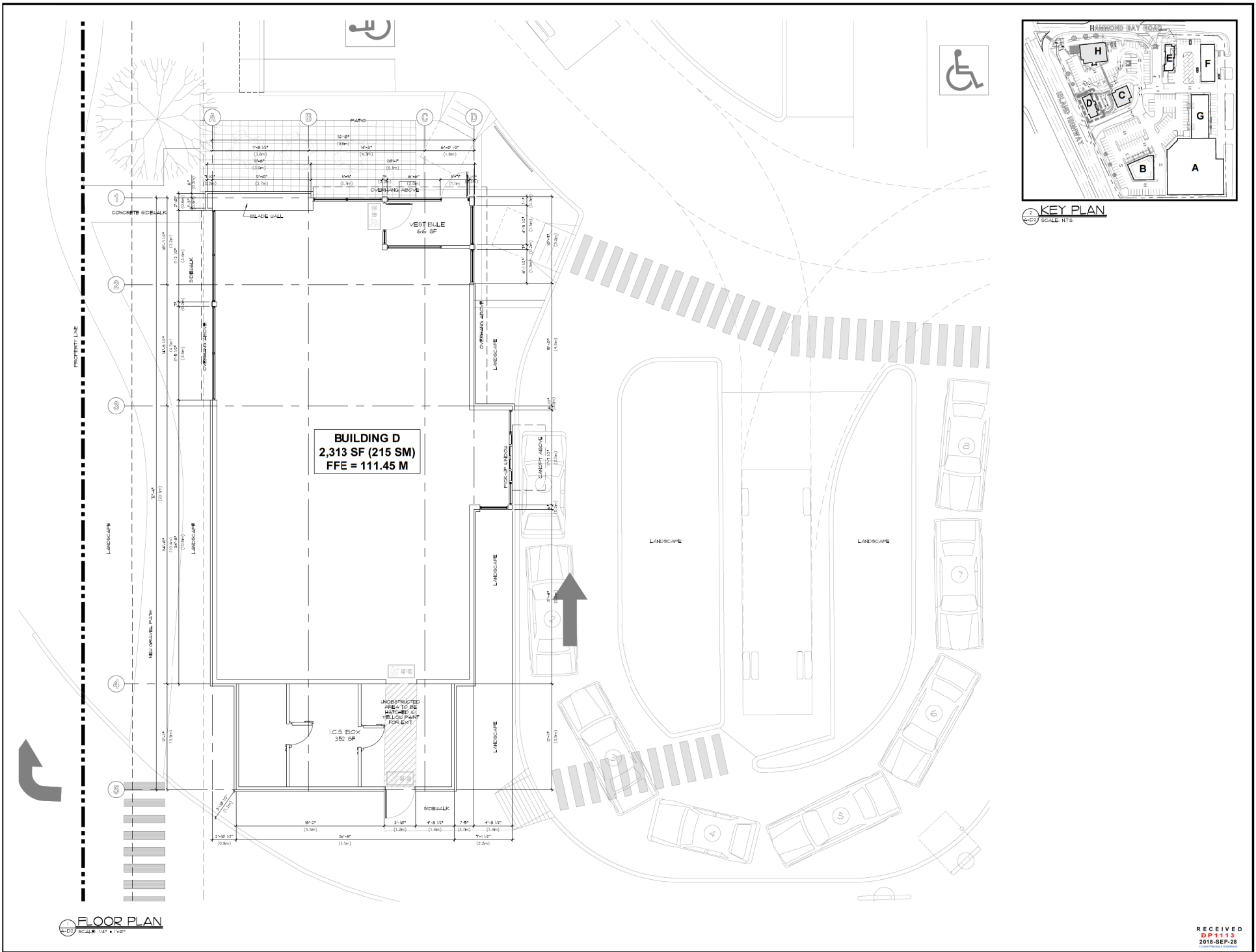
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| DRAWN: TB | |
| DESIGN: TB | |
| CHECKED: HMY | |
| M2LA PROJECT NUMBER: 18-060 | |

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OF.

18060 - ODP.zip MZLA PROJECT NUMBER: 18-060





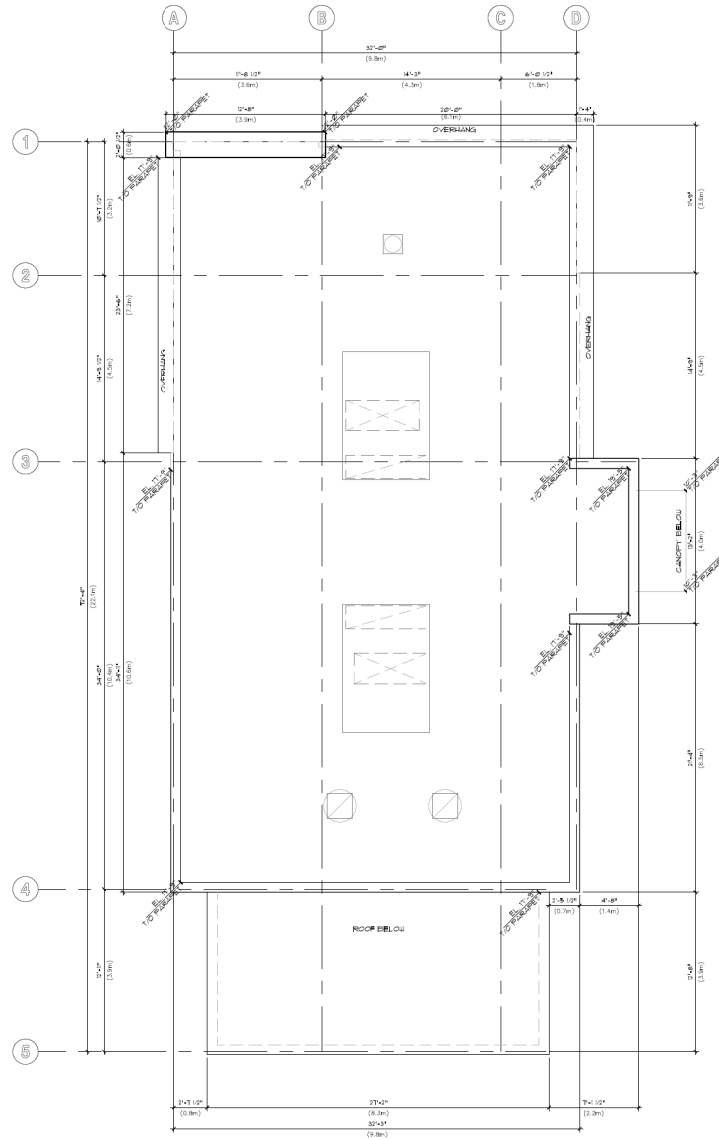
HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



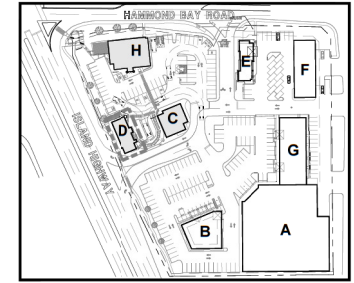
architects ltd
420-745 THURLOW ST
VANCOUVER BC V6C 0S5
TELEPHONE 604-687-2334

PROJECT NUMBER: 4187
BUILDING D WENDY'S FLOOR PLAN
DATE: AS NOTED
DRAWN BY: A.D.1
CHECKED BY: A.D.1

RECEIVED
DP1113
2018-SEP-28



ROOF PLAN
SCALE: 1/4" = 1'-0"



KEY PLAN
SCALE: N.T.S.

1. 10/16/17 ISSUED FOR PERMIT
2. 10/16/17 ISSUED FOR PERMIT
3. 10/16/17 ISSUED FOR PERMIT
4. 10/16/17 ISSUED FOR PERMIT
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8. 10/16/17 ISSUED FOR PERMIT
9. 10/16/17 ISSUED FOR PERMIT
10. 10/16/17 ISSUED FOR PERMIT

NOTES

1. This drawing is a supplement to the main drawing and shall be read in conjunction with the main drawing.

2. All dimensions are in feet and inches, unless otherwise noted.

3. All dimensions are to the centerline of the building, unless otherwise noted.

4. All dimensions are to the centerline of the building, unless otherwise noted.

5. All dimensions are to the centerline of the building, unless otherwise noted.

6. All dimensions are to the centerline of the building, unless otherwise noted.

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9. All dimensions are to the centerline of the building, unless otherwise noted.

10. All dimensions are to the centerline of the building, unless otherwise noted.

HAMMOND BAY CENTRE REDEVELOPMENT 6361 HAMMOND BAY RD, NANAIMO B.C. **For CROSS DEVELOPMENTS**

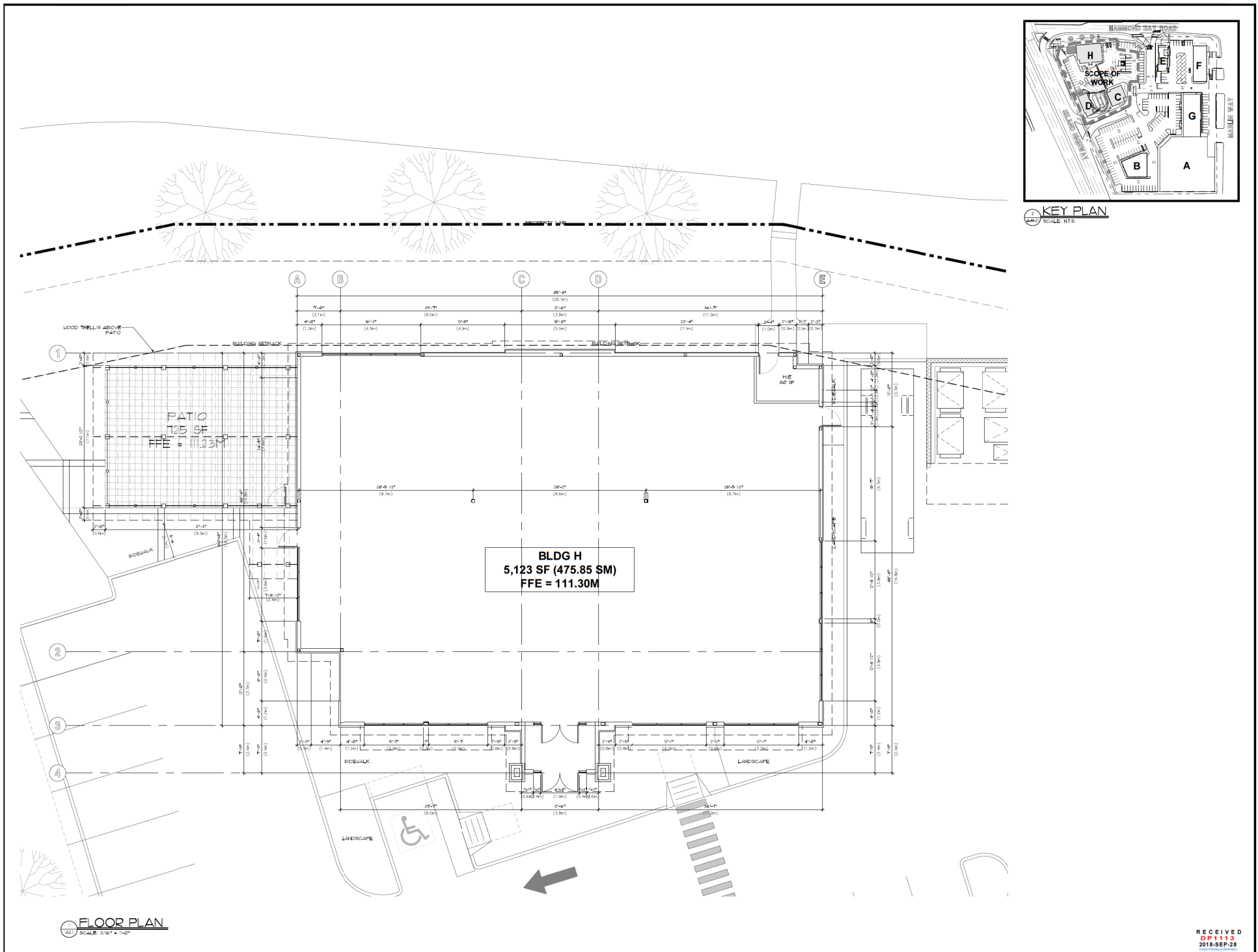


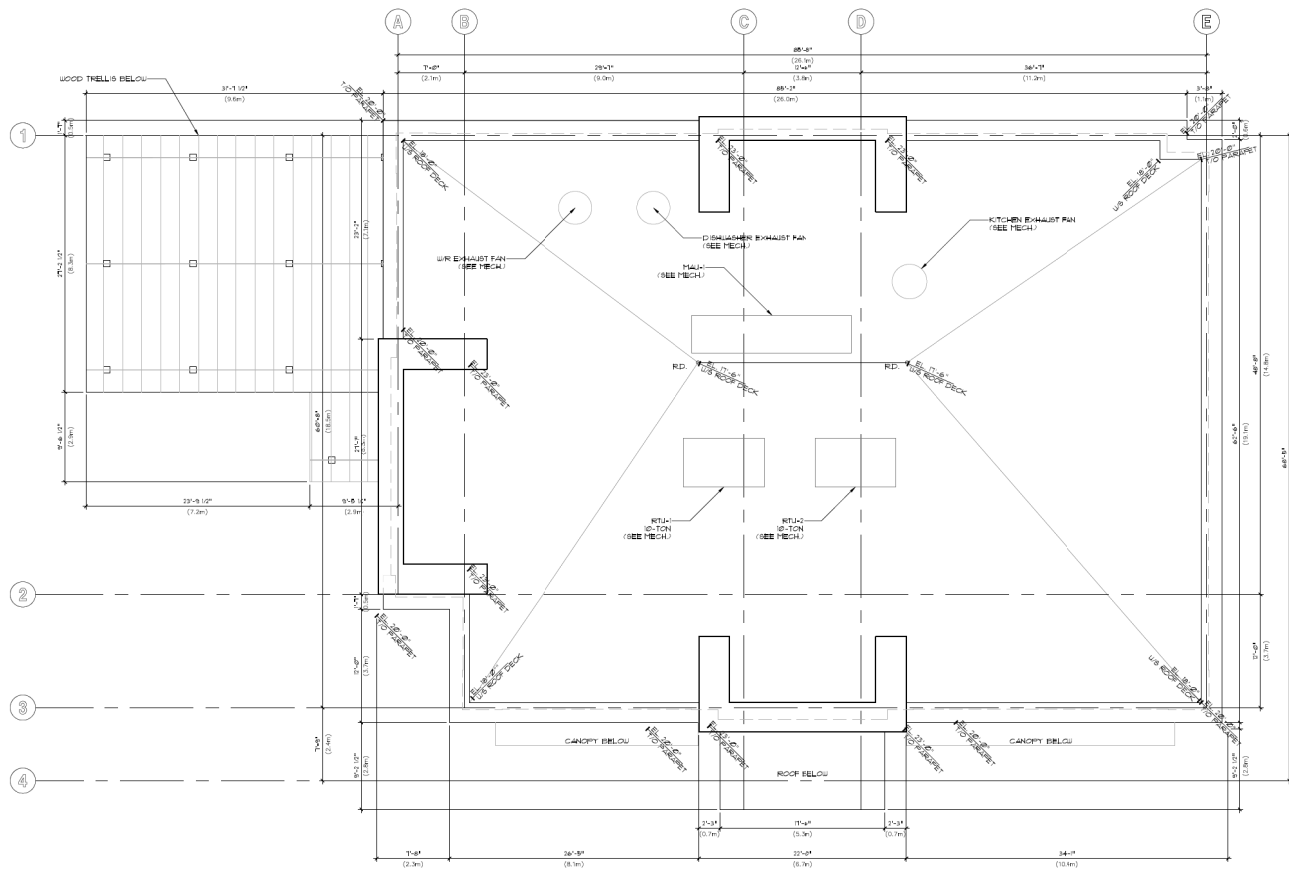
420-745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE 604-687-2334

PROJECT NUMBER 4187
BUILDING D WENDY'S ROOF PLAN

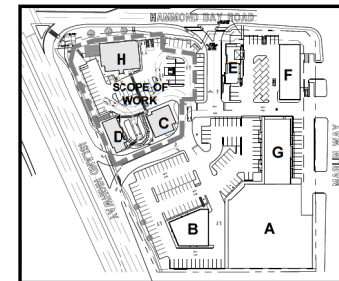
RECEIVED
DP 1113
2018-SEP-28

AS NOTED
BY: [Signature]
DATE: 2018-09-28





ROOF PLAN
SCALE: 1/4" = 1'-0"



KEY PLAN
SCALE: N.T.S.

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



420-745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE 604-687-2334

PROJECT NUMBER: **4187**

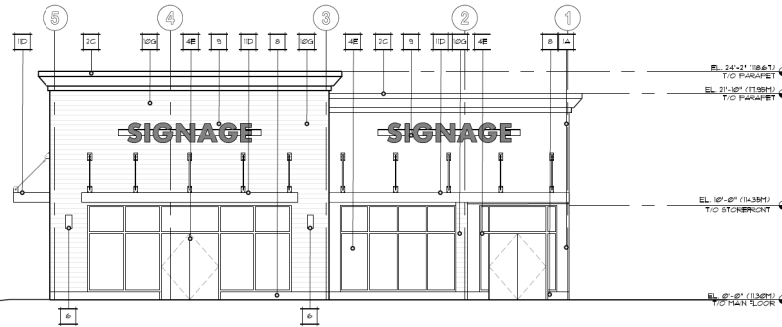
BUILDING H
MR. MIKES ROOF PLAN

DATE: **AS NOTED**
DRAWN BY: **AT-22**
CHECKED BY: **AT-22**

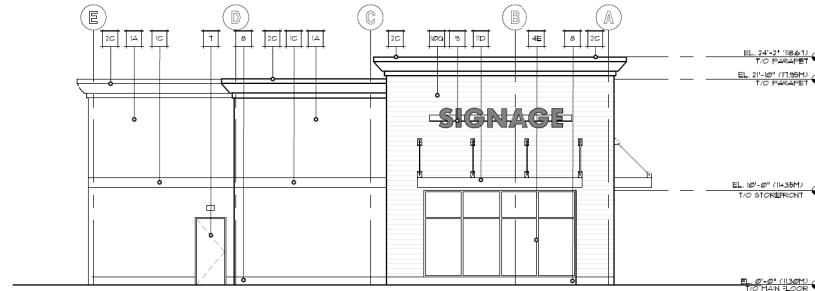
RECEIVED
DP 113
2018-SEP-28

1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

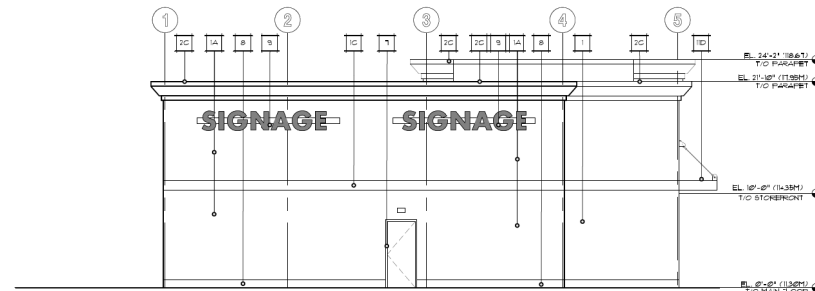
EL. 4'-0" (12192MM)
T/O EXIST. GRADE



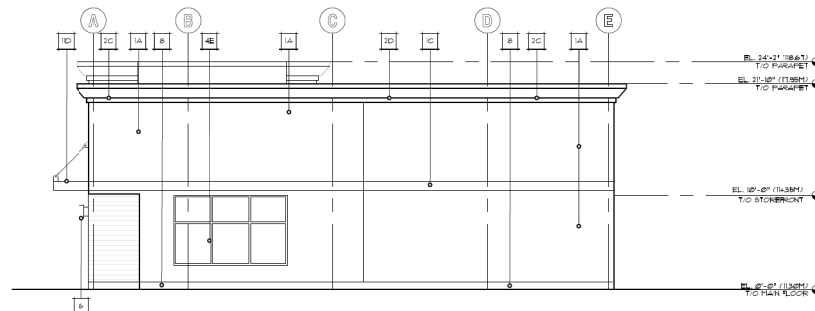
2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR MATERIALS:

| | |
|----|--|
| 1 | EPS ACRYLIC STUCCO FINISH |
| 2 | EPS CORNICE |
| 3 | PREFINISHED METAL FLASHING |
| 4 | PREFIN LOWE DOUBLE-GLAZED THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING + DOORS |
| 5 | PREFINISHED LOWE DOUBLE-GLAZED SPANDREL GLAZING |
| 6 | EXTERIOR WALL SCOTCH |
| 7 | HOLLOW METAL DOOR |
| 8 | CONCRETE UPSTAND |
| 9 | ILLUMINATED SIGNAGE BY TENANT |
| 10 | LONGBOARD METAL SIDING |
| 11 | METAL CANOPY |
| 12 | PAGE BRICK BY MUTUAL MATERIALS |
| 13 | PREFINISHED ALUMINUM BREAKAWAY |
| 14 | CONCRETE FILLED STEEL PIPE BOLLARD |
| 15 | EXPANSION JOINT |
| 16 | WOOD TRELLIS |
| 17 | THERMALLY GLASS PANELS WITH POLISHED EDGES |

EXTERIOR COLOURS:

| | |
|---|------------------------|
| A | BRICKWORK SANDLOT GREY |
| B | CHERRYWOOD FINISH |
| C | BRICKWORK DEEP SPACE |
| D | BLACK |
| E | CLEAR ANODIZED |
| F | SANDLOT FINISH |
| G | DARK CHERRY |

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DP 1113
2018-SEP-28

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS

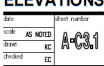


architects ltd.

420-745 THURLOW ST
VANCOUVER B.C. V6C 5S5
TELEPHONE 604-687-2334

PROJECT NUMBER: 4187

BUILDING C ELEVATIONS



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR MATERIALS:

| | |
|----|--|
| 1 | EPS ACRYLIC STUCCO FINISH |
| 2 | EPS CORNICE |
| 3 | PRE-FINISHED METAL FLASHING |
| 4 | PRE-FIN. LOWE DOUBLE-GLAZED THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING + DOORS |
| 5 | PRE-FINISHED LOWE DOUBLE-GLAZED SPANDREL GLAZING |
| 6 | EXTERIOR WALL SCOOCE |
| 7 | HOLLOW METAL DOOR |
| 8 | CONCRETE UPSTAND |
| 9 | ILLUMINATED SIGNAGE BY TENANT |
| 10 | LONGBOARD METAL SIDING |
| 11 | METAL CANOPY |
| 12 | RACE BRICK BY MUTUAL MATERIALS |
| 13 | PRE-FINISHED ALUMINUM BREAKAWAY |
| 14 | CONCRETE FILLED STEEL PIPE BOLLARD |
| 15 | EXPANSION JOINT |
| 16 | WOOD TRELLIS |
| 17 | THERMALLY BROKEN GLASS PANELS WITH POLISHED EDGES |

EXTERIOR COLOURS:

| | |
|---|------------------------|
| A | BRICKWORK SANDLOT GREY |
| B | CHERRYWOOD PRUSSIAN |
| C | BRICKWORK DEEP SPACE |
| D | BLACK |
| E | CLEAR ANODIZED |
| F | SANDLOT FINISH |
| G | DARK CHERRY |

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DP1113
2018-SEP-28

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



urban globe
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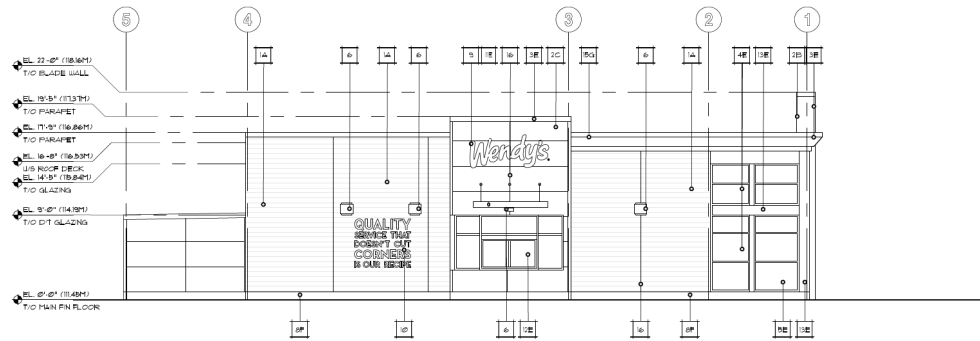
420-745 THURLOW ST
VANCOUVER BC V6C 0S5
TELEPHONE 604-687-2334

PROJECT NUMBER: 4187

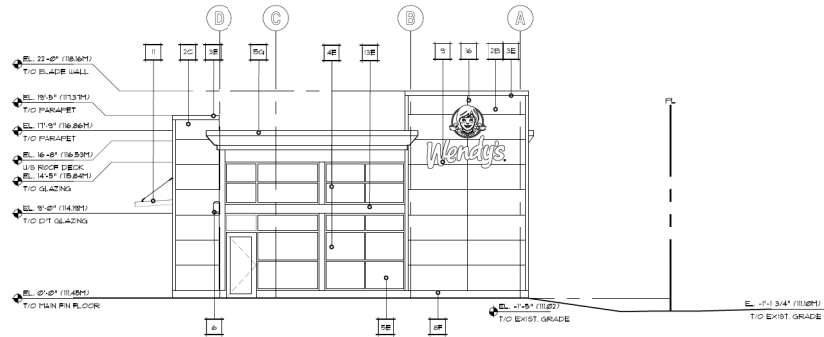
BUILDING C
COLOUR ELEVATIONS

REV: 01
DATE: 2018-09-28
BY: AS NOTED
CHECKED: AC
APPROVED: AC

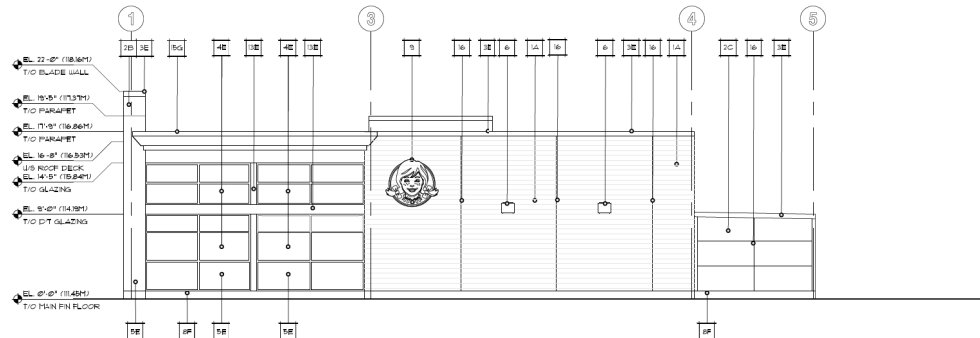
EAST ELEVATION
SCALE: 3/8" = 1'-0"



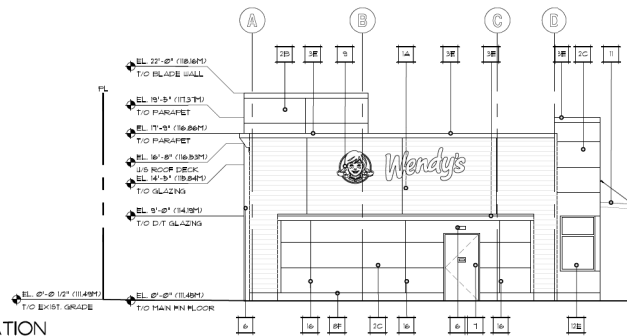
NORTH ELEVATION
SCALE: 3/8" = 1'-0"



WEST ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



EXTERIOR MATERIALS:

| | |
|----|--|
| 1 | LONGBOARD METAL SIDING |
| 2 | NICHIA ILLUMINATION SERIES FIRE CEMENT WALL PANELS |
| 3 | FIRE-FINISHED METAL FLASHING |
| 4 | PREFIN LOUVE DOUBLE-GLAZED, THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING DOORS |
| 5 | METAL PANEL AT BOTTOM FRAME OF GLAZING SYSTEM ON INSIDE FACE OF GLASS |
| 6 | WALL-MOUNTED EXTERIOR LIGHTING |
| 7 | HOLLOW METAL DOOR |
| 8 | CONCRETE UPSTAND |
| 9 | ILLUMINATED SIGNAGE BY TENANT |
| 10 | NON-ILLUMINATED SIGNAGE BY TENANT |
| 11 | METAL CANOPY |
| 12 | DRIVE-THRU WINDOW |
| 13 | PREFINISHED ALUMINUM BREAKSHAPE |
| 14 | CONCRETE FILLED STEEL PIPE BOLLARD |
| 15 | EPS CORNICE |
| 16 | REVEAL |

EXTERIOR COLOURS:

| | |
|---|-----------------------------------|
| A | DARK CHERRY |
| B | NICHIA ILLUMINATION BLAZE |
| C | NICHIA ILLUMINATION KNIGHTS ARJON |
| D | WOOD GRAIN FINISH LIGHT CHERRY |
| E | CLEAR ANODIZED |
| F | SACKRUB FINISH |
| G | RM-128-10 DEEP SPACE |
| H | BLACK |

RECEIVED
DP-1113
2018-SEP-28
2018-SEP-28

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



420-745 THURLOW ST
VANCOUVER, BC V6C 2G5
TELEPHONE: 604-687-2234

Project number: **4187**

**BUILDING D
WENDY'S ELEVATIONS**

DATE: 2018-09-28
BY: AS NOTED
CHECKED: MC
DESIGNED: BJ

1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR MATERIALS:

| | |
|----|---|
| 1 | LONGBOARD METAL SIDING |
| 2 | NORMAL ILLUMINATION SERIES FIRE CEMENT WALL PANELS |
| 3 | PREFINISHED METAL FLASHING |
| 4 | PREFIN. LOW-E DOUBLE-GLAZED, THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING, 1-POOR |
| 5 | METAL PANEL AT BOTTOM FRAME OF GLAZING SYSTEM ON INSIDE FACE OF GLASS |
| 6 | WALL-MOUNTED EXTERIOR LIGHTING |
| 7 | HOLLOW METAL DOOR |
| 8 | CONCRETE UPSTAND |
| 9 | ILLUMINATED SIGNAGE BY TENANT |
| 10 | NON-ILLUMINATED SIGNAGE BY TENANT |
| 11 | METAL CANOPY |
| 12 | DRIVE-THRU WINDOW |
| 13 | PREFINISHED ALUMINUM BREAKSHAPE |
| 14 | CONCRETE FILLED STEEL PIPE BOLLARD |
| 15 | EPS CORNICE |
| 16 | REVEAL |

EXTERIOR COLOURS:

| | |
|---|-----------------------------------|
| A | DARK CHERRY |
| B | NORMAL ILLUMINATION BLAZE |
| C | NORMAL ILLUMINATION KNIGHTS ARMOR |
| D | WOOD GRAIN FINISH LIGHT CHERRY |
| E | CLEAR ANODIZED |
| F | SACKRUB FINISH |
| G | 8M-12B-10 DEEP SPACE |
| H | BLACK |

RECEIVED
DP1113
2018-SEP-28

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



urban
group
architects ltd

420-745 THURLOW ST
VANCOUVER, BC V6C 5G5
TELEPHONE: 604-687-2234

project number: 4187

sheet 08

BUILDING D WENDY'S
COLOUR ELEVATIONS

DATE: 2018-09-20 sheet number
DRAWN BY: AS NOTED
CHECKED BY: A-002
SCALE: AS SHOWN



| | |
|---|----------------------------|
| A | BM-1205-50 BURET INNOCENCE |
| B | CHEROUT (MISGON) |
| C | BM-1207-50 SANDLOT GARY |
| D | BLACK |
| E | CLEAR AND DIZED |
| F | SACKRUB FNSH |
| G | DARK CHERRY |
| H | BM-1205-20 DEEP SPACE |

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



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design
group
architects ltd

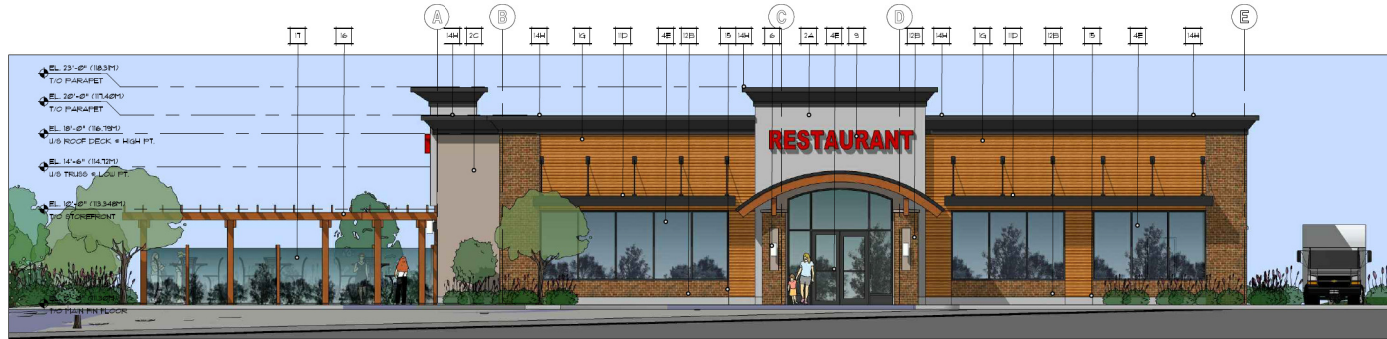
420-745 THURLOW ST
VANCOUVER, BC V6E 0C5
TELEPHONE (604) 687-2334

| | |
|----------------|------|
| project number | 4187 |
| sheet title | |

BUILDING H ELEVATIONS

| | |
|----------------|--------------|
| date | sheet number |
| scale AS NOTED | A-H3.1 |
| drawn EC | |
| checked EC | |

SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 3/16" = 1'-0"



NORTH ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR MATERIALS:

- 1 LONGBOARD METAL SIDING
- 2 EPS
- 3 PRE-FINISHED METAL FLASHING
- 4 PRE-FINISHED LOW-E DOUBLE-GLAZED THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING & DOORS
- 5 PRE-FINISHED LOW-E DOUBLE-GLAZED SPANDREL GLAZING
- 6 EXTERIOR WALL SCOTCH
- 7 HOLLOW METAL DOOR
- 8 CONCRETE UPSTAND
- 9 ILLUMINATED SIGNAGE BY TENANT
- 10 HARDIE PLANK WINDOW TRIM
- 11 METAL CANOPY
- 12 FACE BRICK BY MUTUAL MATERIALS
- 13 PRE-FINISHED ALUMINUM BREAKSHAPE
- 14 EPS CORNICE
- 15 EXPANSION JOINT
- 16 WOOD TRELLIS
- 17 THERMALLY BROKEN GLASS PANELS WITH POLISHED EDGES

EXTERIOR COLOURS:

- A BRN-105-50 SUBT. INNOCENCE
- B CHESTNUT (MISSION)
- C BRN-105-50 SANDLOT GARY
- D BLACK
- E CLEAR UNCOLORED
- F SACKLES FINISH
- G DARK CHERRY
- H BRN-105-20 DEEP SPACE

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DP 113
2018-SEP-28

HAMMOND BAY CENTRE REDEVELOPMENT
6361 HAMMOND BAY RD, NANAIMO B.C.
For CROSS DEVELOPMENTS



**urban
gougeon**
architects ltd.

420-745 THURLOW ST
VANCOUVER BC V6C 0S5
TELEPHONE 604-687-2334

PROJECT NUMBER: 4187

**BUILDING H
COLOUR ELEVATIONS**

DATE: AS NOTED
BY: [Signature]
CHECKED: [Signature]
DATE: [Date]

AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001113

STAFF DESIGN COMMENT

DEVELOPMENT PERMIT NO. DP001114 – 4800 CEDAR RIDGE PLACE

Applicant: HIGHSTREET VENTURES

Owner: HIGHSTREET UPLANDS PLACE DEVELOPMENTS LTD.

Architect: WD FISHER ARCHITECT

Landscape Architect: WSP LANDSCAPE ARCHITECTURE

Subject Property:

| | |
|--------------------------------------|---|
| <i>Zoning</i> | R6 - Townhouse Residential R8 – Medium Density Residential |
| <i>Location</i> | The subject property is located on the north west side of Long Lake off Rutherford Road. |
| <i>Total Area</i> | 35,878.2m ² |
| <i>Official Community Plan (OCP)</i> | Map 1 – Future Land Use Plans – Corridor; Map 3 – Development Permit Area No. 5 – Steep Slope Development; Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential Development. |
| <i>Relevant Design Guidelines</i> | General Development Permit Area Design Guidelines Steep Slope Development Permit Area Design Guidelines |

PROPOSED DEVELOPMENT

The proposed 172-unit multiple-family rental development is located on a split-zoned parcel and includes the following:

- Building A – 1800m²; 76 units (4 storeys)
- Building B – 1547m²; 48 units (3 storeys)
- Building C – 1547m²; 48 units (3 storeys)
- Amenity Building – 319m² (2 storeys)

The R6 zone allows a FAR of 0.45 and the R8 zone allows a FAR of 1.25. The total proposed floor area on the site is 5,213m².

Site Context

The vacant subject property is located to the northwest of Long Lake and is in walking distance to the Nanaimo North Town Center. The Grand Hotel is adjacent to the west property line; established single dwelling (Long Lake Heights) and multi-family neighbourhoods are located to the north and east; and the Lakeview Road multi-purpose trail is located to the south.

Site Design

The subject property is designated as a steep slope and is accessed off Cedar Ridge Place, a small cul-de-sac which extends from Rutherford Road. A secondary emergency vehicle access from Salal Drive is proposed on the west side of the property.

The Steep Slope Development Permit Area Guidelines encourage open space development, a design method that locates buildings on a portion of the parcel, allowing the remaining land to be retained as open space. The proposed site design concentrates development to the corners of the property, where natural plateaus occur, in order to minimize site disturbance and preserve large portions of the site. An internal road network leads to each building, each with their own surface and below-grade parking area.

Covered short-term bicycle parking areas are located adjacent to the southwest corner of Building C and in front of the amenity building, and long-term bike parking is located on the ground level of the amenity building.

Staff Comments:

- Please clarify the pedestrian connections from the internal road to Building C above the parkade entrance on the southwest elevation.

Building Design

The proposed design for the 3 residential buildings works with basic three-storey (Buildings B and C) and four-storey (Building A) rectilinear masses and use the following architectural features:

- Long flat roofs with shed roof projections, which add articulation to the roof line and building massing;
- Unit balcony guards on each floor to create a horizontal band across the vertical structure bays and add articulation to the building face;
- A fenestration of windows and balcony doors to create another layer of detail; and,
- Material finishes of cement board siding, cultured stone and heavy timbers to further articulate vertical and horizontal building articulation.

The proposed two-storey amenity building follows the same architectural and characteristics of the residential buildings and is differentiated by butterfly roof.

Staff Comments:

- Consider the detailing/screening of the exposed foundation walls on Building B.
- Consider design solutions to differentiate the three buildings and opportunities to further articulate or step down the buildings to respect the surrounding existing developments and terrain.
- Consider some long term bike parking storage within each building as opposed to clustering entirely within the amenity building.

Landscape Design

The landscape plan has a woodland theme that retains much of the urban forest and rock outcroppings along the perimeter of the property and utilizes scale appropriate trees, and low growing shrubs and groundcovers to define parking, driving and amenity areas.

A water feature is located near Building B on the rock cliff, adjacent to the main drive aisle and incorporates a native plant palette to compliment the existing landscape. This feature incorporates bench seating with view opportunities and creates a strong site aesthetic for the required on-site storm water management.

An internal walkway connects the buildings, parking areas and amenity spaces. A community garden area is located to the west of Building A and seating areas are placed throughout the site.

Staff Comments:

- Retaining walls are proposed but not detailed on the site plan or landscape plan. Height and material details are required.
- Consider addition site/building lighting within the parking lots, building entrances and walkways to address CPTED concerns.
- Details regarding the edge treatment around the community garden area are required.
- The site plan shows a lake overlook area at the southwest corner of Building A. Further details of the programming area required.
- Consider opportunities for more robust seating area or pedestrian connection from the water feature to Building B.
- Tree/landscape islands should be incorporated into the surface parking areas wherever possible.

PROPOSED VARIANCES

Maximum Allowable Building Height

The maximum allowable building height for Buildings B and C is 7m. The proposed building height for both buildings will be confirmed by the applicant at the design panel meeting.

HIGH STREET

Property:

Uplands Place
4800 Cedar Ridge Place
Nanaimo, BC

Developer:

Highstreet Ventures
702 - 1708 Dolphin Avenue
Kelowna, BC
V1Y 9S4

DEVELOPMENT DESIGN RATIONAL



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DP1114
2018-SEP-06
Current Planning & Subdivision



OVERVIEW

Highstreet Ventures is a Kelowna based company that is responsibly developing smarter communities around BC, Alberta, and Ontario. After building over 3,500 condo quality apartments, Highstreet is excited to focus our attention to the Nanaimo and provide great rental homes in your community. Our purpose-built rental communities will help Nanaimo manage the need for quality rental housing and help increase the local vacancy rate. We are a team of hardworking, dedicated people and we look forward to working with you and your team. I invite you to look at our webpage to learn more about us.

This development application provides Nanaimo with 172 well needed purpose-built market rental apartments in three buildings with underground parking in each. There will be an amenity building and all buildings will be constructed in one phase.

Highstreet takes sustainability very seriously. Our vision is to own and operate 200 million worth of net-zero energy real estate by 2024. We are continually focused on improving the energy efficiency and overall quality and durability of our buildings to ensure our buildings last much longer than most. This includes a high-performance building envelope, with increased insulation, airtightness, and acoustic qualities, and simple mechanical systems that provide superior comfort for the residents.

Our developments currently under construction have 50% better energy efficiency than the standard building, and we are looking to take the next steps to improve this even more. The buildings utilize low-flow water fixtures and advanced irrigation to minimize water use, utilize green design principals throughout to achieve BUILT GREEN Certification (likely Gold or Platinum rating), and include roof mounted solar arrays on all residential buildings. There will be several EV charging stations on-site and near the amenity building for resident and visitor use, as well as EV-ready stalls in the underground parkades. We are researching an electric car-share service on site that would be for the resident's use.

In addition to the items mentioned above, the amenity building will include a rental office with a full-time on-site community leader and assistant community leader, plus a fitness room, a lounge with kitchenette, bike storage with a bike repair station, and two patios, all for tenant use. The architecture of the amenity building will mimic the apartments and the high-quality finishes will match.

There will be ample bicycle parking. Tenant secure bike storage will be provided in the parkades and in the lower level of the amenity building, and visitor bikes racks will be located at each building entrance.

We plan to use the Earthbins or Moloks waste system and have confirmed we can use this in Nanaimo. This system is animal proof, low height, clean and tidy looking and is aesthetically superior to traditional waste bins.

There will be security cameras throughout the site, including hallways for added tenant security. This is currently a standard on all our builds.

HIGH STREET

DESIGN RATIONAL

This design rational references Nanaimo's Official Community Plan (OCP) and General Development Permit Area Design Guidelines (GDPADG)

GDPADG Design Principles:

1. Development must respect the past: Highstreet finishes pay homage to the rugged outdoors, utilising wood and stone exterior finishes to mirror the natural environment while making use of modern building materials.
2. Development must respect the present: The existing character of the neighbouring buildings are interesting roof lines, high quality exterior finishes and visible structural elements (posts/beams/bracing). These buildings will have flat roofs with "wing" like features to accentuate the roof line. The finishes will be fibre cement siding, cultured stone and heavy timber design features.
3. Development must relate to the natural environment: The key to this design was integrating it into the natural landscape of the site minimizing ground and flora alterations. We worked with the naturally hilly terrain and the existing trees to minimize removals. The design also worked hard to keep the natural rock outcrops, which is why we went with 3 buildings to minimize the road network.
4. Development must relate to the street: This property has very little street frontage on Cedar Ridge Place at its main entrance, however we've designed the entrance to be very welcoming, including landscaping, a development sign that mimics the building design, and an amenity building that will welcome visitors and tenants. On Salal Rd we will complete the road/curb/gutter/sidewalk/streetlights to increase the pedestrian enjoyment as they walk past. Those wishing to pass from Salal to Rutherford, can use a multi-use path through the site, bordered by a boulevard and landscaping.
5. Development should include significant and appropriate landscaping: We are utilizing the existing trees and rocks and integrating this into the new landscaping. The landscape will be kept as natural as possible to give the residents spaces to gather, play and be social. There will also be community gardens for the tenants to use.
6. Development character must be of familiar form: The forms we use, while pushing the modern context, have familiar connotations and uses. Private decks with roofs above, heavy timber canopies to accentuate the entrance, and materials and colours that provide a residential feel. The lower building is 4 storeys and the two upper buildings are 3 storeys, a more human scale than taller towers.
7. Development architecture must be durable: Highstreet's first Value is to do what's right, always. Providing a sound design that lasts beyond expectations is part of this philosophy. We use durable materials consisting of cement board siding, cultured stone and heavy timbers. High insulation content in exterior walls, party walls and floors to minimize sound. Suites are

HIGH STREET

finished with durable recycled quartz countertops and hardwearing LVT flooring in high traffic areas.

8. Development must be convenient and safe: There will be an amenity building with two full-time staff during regular business hours for the needs of the residents and the surrounding neighbours if an issue were to arise. They help create a friendly/safe community that all residents take pride in. This is our goal that the Highstreet Operations team executes at all our communities. There are security cameras throughout the site and inside the apartment buildings on all floor and in the parkade. The location is close to a large commercial complex as well as larger public transit routes.

GDPADG Design Guidelines:

1. Parking, Loading and Vehicle Circulation:
 - Uplands Place makes use of below grade parkade parking to maximize green space and minimize impermeable surfaces. The on-site parking is designed to utilize the hillside in a way such that it breaks up parking lot massing while maintaining comfortable grades and pedestrian walkability.
2. Pedestrian Circulation:
 - Uplands Place will be a walkable site, making use of sidewalks and walking paths to get residents from their homes to the provided amenity spaces. Highstreet wishes to leave much of the site undeveloped, making use of the natural beauty of the portion of the site that is still in its native state.
 -
3. Bicycle Facilities:
 - Highstreet recognizes the importance of bicycle's as an alternative means of transportation, with our office staff winning annual awards 3 years in a row for Bike to Work Week. Our projects make bike accessibility a priority and will provide a bicycle repair station including a work stand, tools and a tire pump. The site will make use of secured bike storage in the parkade and amenity building and a dedicated, covered bike storage that offers easy parking, secure locking opportunities, and ease of access for residents throughout the community.
4. Open Space and Site Design
 - The Uplands Place site design provides wide, open, welcoming entrances on either side of the site for pedestrians. The East entrance will be reserved for emergency access to mitigate additional traffic through the adjacent neighbourhood. Old growth will be retained around site edges where possible to provide screening for neighbours and double as natural amenity space for residents. The steep central hillside portion of the site will remain undeveloped to provide a large block of visible open space. A community garden will be provided at a central location to provide a meeting area for tenants to socialize while they garden.

HIGH STREET

5. Landscaping:

- Plant choice throughout the site will be composed of native plant species to minimize watering requirements while providing a smooth transition between adjacent native vegetation and designed landscaping. Visual breaks will be provided at the site access on either end to provide an inviting feel without detracting from site character. Water-efficient irrigation systems will be installed in all new landscape areas and steep slopes will only be kept where they already exist.

6. Setbacks and buffers:

- The Uplands Place project avoids encroaching on setbacks and minimizes views of building mass from adjacent residential sites using old growth as screening where possible. Adjacent sites do not have conflicting land use, and yard setbacks utilizing existing vegetation have been included to maintain a sense of space between buildings in the area. Fences on Highstreet projects are typically black polymer coated chain-link, allowing for security and view penetration from adjacent sidewalks.

7. Safety and Security

- Site lighting will be designed to provide visibility through pedestrian thoroughfares while highlighting site entrances, building entrances, and parking areas. As a condition of our Built Green certification lighting will follow IESNA Recommended Practice Manual: Lighting for Exterior Environments, ensuring adequate lighting without unnecessary light pollution. Lighting control will be automated using a combination of photocell and motion sensors in the appropriate places to optimize energy efficiency. The site is designed to make common areas centralized and in view of building balconies, minimizing areas for crime and encouraging tenants make use of the natural amenity space.

OCP:

Part C 2.2 – Corridor Development Areas

- Uplands Place will provide new multi-unit residential living opportunities that are pedestrian and cyclist friendly and will contribute to a vibrant economy and street life along the corridor. The building design will focus on energy efficiency and green building principals, while providing an adequate transition between the neighbouring residential areas and the adjacent hotel. The project will support a broad social mix and provide access to energy efficient housing with modern finishes and amenities at achievable income levels.

Part C 2.3 – Neighbourhood Areas

- Uplands Place will provide a transition between the adjacent neighbourhood and the corridor development area, while increasing available housing choice in the area. The city encourages infill development where possible, and favours projects that provide access to parks and open space where steep slopes and environmentally sensitive lands can be recognized as attributes of the site. Uplands place would provide a much-needed revitalization of the site while providing residents access to the hillside greenspace and the nearby Long Lake.

Part C 2.7 – Agricultural Resource Areas

- The Uplands place project will be developing space that is not suitable for urban agricultural use given its rocky hillside nature.

Part C 5.1 – Efficiency and Environment

- The official community plan recognizes the importance of minimizing climate change through reductions in energy consumption and greenhouse gas emissions. Highstreet uses integrated design processes to create projects that satisfy rigorous Built Green Canada standards, earning Silver and Gold certifications and meeting the Energy Requirements of Built Green Platinum. Every building is an improvement from the last, with recent projects energy modelling to be 30%-60% better than code and future projects aiming to be Net-Zero annual energy. Highstreet's primary design goal is to own and operate \$20M of Net-Zero real estate by the year 2024. Highstreet has installed to date over 1000kW of solar arrays across projects in 3 provinces and is working with BC Hydro to allow for the installation of complex solar arrays that push the envelope of current provincial maximums.
- Additional green building measures include the use of durable materials (recycled quartz countertops, durable long-lifespan decking materials, and durable fibre-cement siding), high water efficiency (low-flow fixtures, drought resistant and local plants, high-efficiency irrigation), promotion of alternative transportation, and using high quality fenestrations to increase tenant comfort while mitigating heating and cooling requirements.

Part C 5.2 – Environmentally Sensitive Areas

- While the (half-developed) site's existing state doesn't lend itself to local plants and animals, Highstreet intends to return parts of the site to their original beauty through efficient use of greenspace and amenity space throughout.

Part C 5.3 – Hazard Areas

- Environmental and Geotechnical assessments have been undertaken to ensure any hazards are known and mitigated before development began. While the geotechnical investigation noted that substantial cuts and fills may be required, no hazards were noted and the site "is considered geotechnically safe and suitable for construction".

Part C 5.4 – Steep Hillside Areas

- The proposed Uplands Place site plan utilizes the existing grade of the hillside to break up the massing of buildings, providing views to tenants in every building while maintaining the original high-point on the site for use as natural amenity space. Vegetation will be chosen to provide screening where necessary without blocking scenic view opportunities or compromising environmental integrity of the slope.

Part C 5.6 – Urban Forests and Greenways

- Highstreet intends to provide a public connection through the site, while retaining mature vegetation around the perimeter of the site and at transitions between the neighbouring residential area and the new construction. Highstreet consults local landscape professionals to ensure landscape areas make use of native vegetation and provide a transition between the built environment and existing greenspace.

HIGH STREET

Part C 6.1-6.7 – Mobility and Servicing

- Highstreet recognizes the importance of alternative transportation, and installs provisions like bicycle parking and maintenance stations, walkable paths, and electric vehicle charging stations to promote people to leave their car at home. The project is less than 100m from Rutherford Rd cycling route, less than 350m from the existing Long Lake overlook and trail network, and within 500m of VIU express bus, providing even more reason for residents to opt for alternative methods of transportation.

Part C 7 – Sustainable Nanaimo

- Highstreet wishes to build upon the strengths of the City, adding homes and amenities that are built with modern principals of sustainability, interconnectivity, and community. Uplands Place will provide 172 homes to the local rental market, while contributing to Nanaimo's sense of community and setting a standard of sustainable design for multi-family developers to come.

Highstreet in the News:

<http://builtgreencanada.ca/multi-family-purpose-built-rental-builder-leading-the-way-in-western-canada?id=1456>

Variance Rational

Property:

Uplands Place,
4800 Cedar Ridge Place,
Nanaimo, BC

R6 Building Heights

The buildings will have 9' ceilings, which increases building height but adds to tenant experience making for a more desirable space. Today's market is now seeking 9' ceilings as a standard. The 2 buildings at the north end of the site have been kept to 3 storeys to reduce massing, whereas the lower building is full height at 4 storeys. The buildings will utilize a flat roof to minimize their apparent height and will be setback from the site boundaries to minimize apparent size from adjacent streets.

Retaining Wall Heights – 1.5m max.

Retaining walls will be engineered and terraced where over 1.5m. Terraced retaining walls will be designed to provide screening or playscapes as appropriate with landscaping and amenity space design.

Loading Stalls

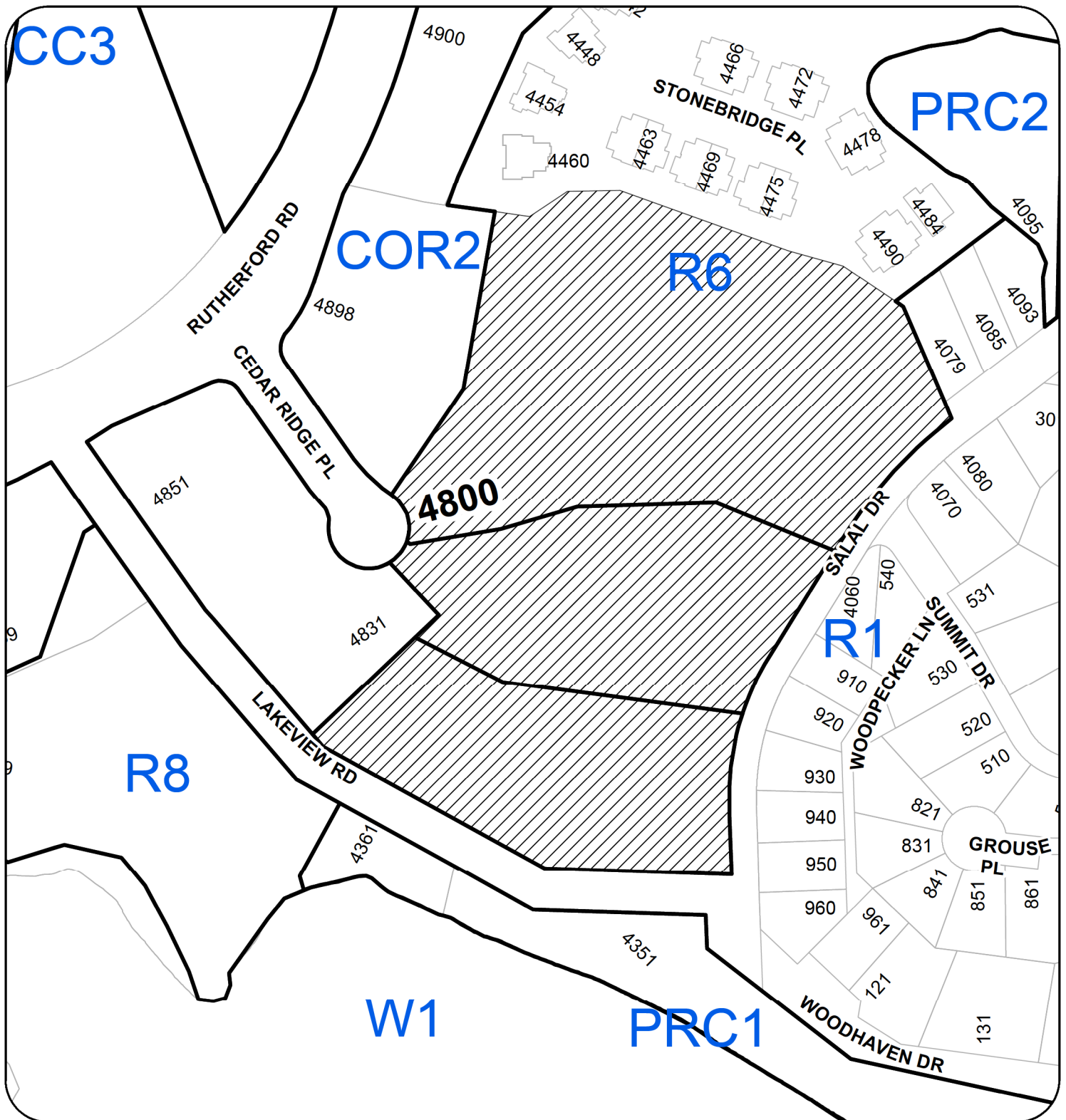
Loading stalls have been removed from the site as loading stalls are not something we need to operate our communities. We have two full time community leaders on site that coordinate move-ins with respect to parking space and elevator use. The moves are typically done during the day when most tenants and their vehicles are not home so there really is no impact to the tenants. The community leader will typically alert the tenants who park near the entrance that a move is occurring. They will then reserve those stalls allowing them to park in other tenant stalls or visitors while the move is happening. The moves are booked in 2hr increments as these are not big moves, the largest units are 900 sq.ft. which means they are typically done with small cube vans or pickup trucks with trailers.

Parking Variance

While by the current bylaw our site would require a parking variance, using the new 2018 draft parking bylaw our site meets parking requirements through providing more than the necessary 260 stalls throughout the site. The site, while designated as an Area 2 site, is along a corridor area and is within 500m of Area 4 land, lending itself to lower parking requirements than if it were further away from city center, and the addition of alternative transportation provisions further reduces parking demand. Highstreet has learned from experience that our projects typically require 1.5 stalls per home, this project will provide more parking than needed to hit our benchmark giving us the confidence that this site will be provide enough parking for our residents without paving more area than we need to.

RECEIVED
DP1114
2018-SEP-06
Current Planning & Subdivision

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001114

LOCATION PLAN

Civic: 4800 CEDAR RIDGE PLACE
Legal Description: LOT 1, DISTRICT LOT 17
WELLINGTON DISTRICT, PLAN 32491
EXCEPT PART IN PLANS 37954, VIP62511 AND VIP64055



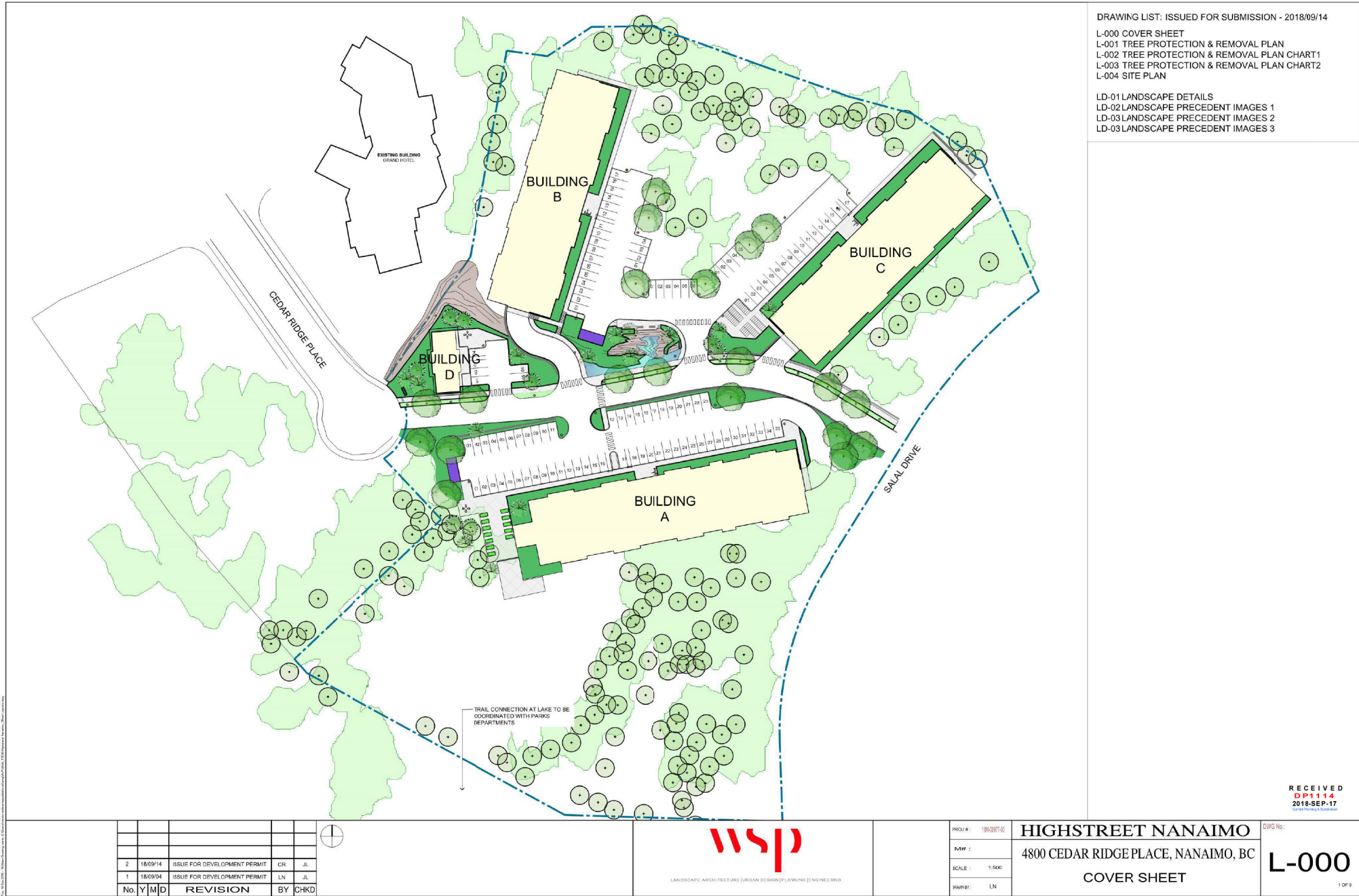
Subject Property

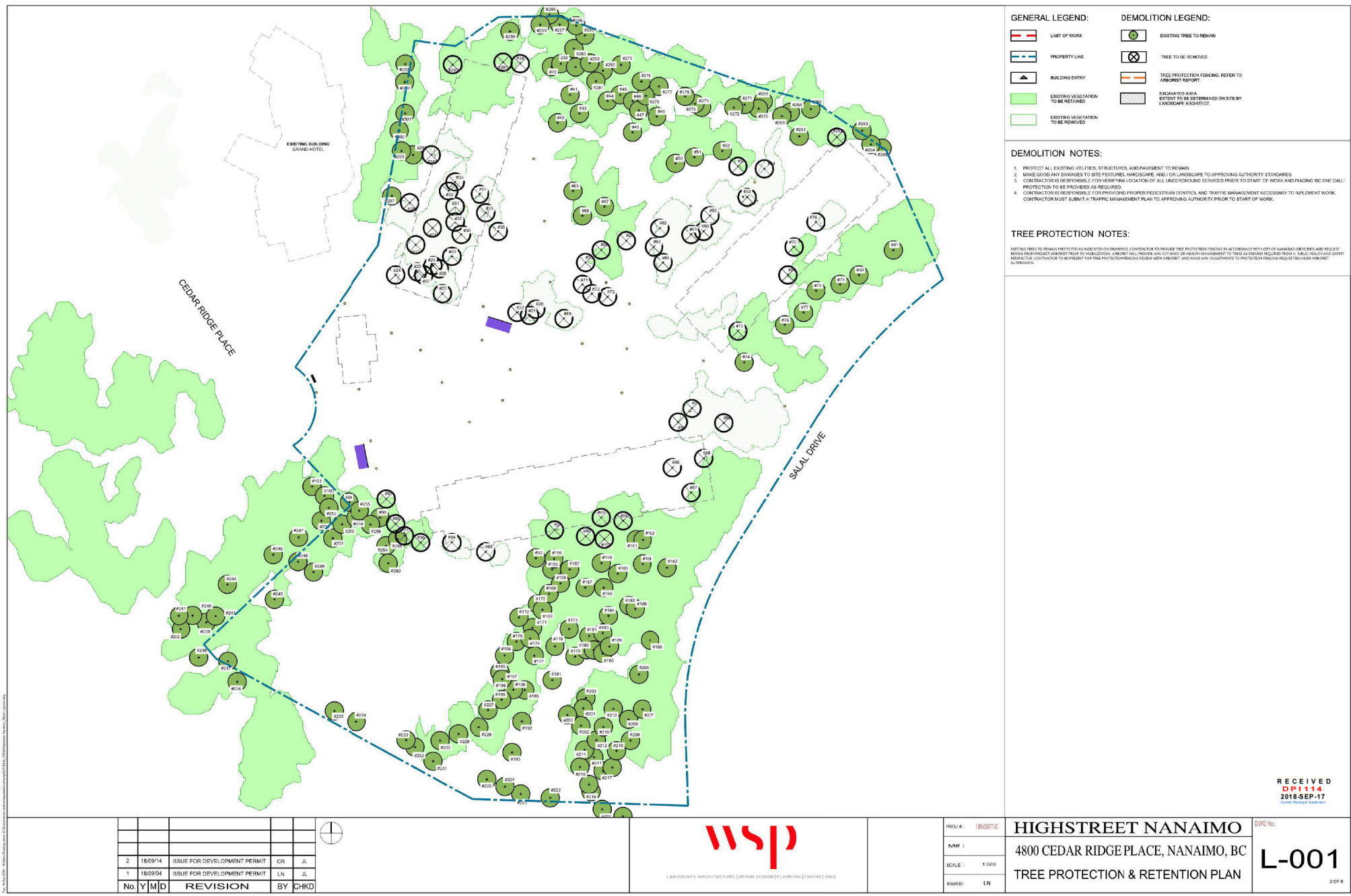












GENERAL LEGEND:

- [Red dashed line] LIMIT OF WORK
- [Blue dashed line] PROPERTY LINE
- [Blue dashed line with triangle] BUILDING ENTRY
- [Green fill] EXISTING VEGETATION TO BE RETAINED
- [Light green fill] EXISTING VEGETATION TO BE REMOVED

DEMOLITION LEGEND:

- [Green circle] EXISTING TREE TO REMAIN
- [Circle with X] TREE TO BE REMOVED
- [Orange rectangle] TREE PROTECTION FENCING REFER TO ARBORIST REPORT
- [Hatched rectangle] EXCAVATED AREA, EXTENT TO BE DETERMINED ON SITE BY LANDSCAPE ARCHITECT

DEMOLITION NOTES:

1. PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND PAVEMENT TO REMAIN.
2. MAKE GOOD ANY DAMAGES TO SITE FEATURES, HARDSCAPE, AND/OR LANDSCAPE TO APPROVING AUTHORITY STANDARDS.
3. CONTRACTOR IS RESPONSIBLE FOR REPAIRING LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO START OF WORK AND FACING BE ONE CALL.
4. PROTECTION TO BE PROVIDED AS REQUIRED.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER PEDESTRIAN CONTROL AND TRAFFIC MANAGEMENT NECESSARY TO IMPLEMENT WORK.
6. CONTRACTOR MUST SUBMIT A TRAFFIC MANAGEMENT PLAN TO APPROVING AUTHORITY PRIOR TO START OF WORK.

TREE PROTECTION NOTES:

NOTING TREE TO REMAIN PROTECTED AS INDICATED ON DRAWINGS CONTRACTOR TO PROVIDE TREE PROTECTION FENCING IN ACCORDANCE WITH CITY OF NANAIMO ORDINANCES AND REQUEST REVISION FROM PROJECT ARBORIST PRIOR TO IMPLEMENTATION. ARBORIST WILL PROVIDE ANY CUT BACK OR BRANCH MANAGEMENT TO TREE ALLOWING REGULAR PRUNING. FENCING, HATCHING AND SHIELD PROTECTIVE CONTRACTOR TO BE PRESENT FOR TREE PROTECTION FENCING REVIEW WITH ARBORIST AND MAKE ANY ADJUSTMENTS TO PROTECTION FENCING REQUESTED BY ARBORIST.

| | | | | | |
|-----|----------|------------------------------|----|----------|------|
| | | | | | |
| | | | | | |
| 2 | 18/09/14 | ISSUE FOR DEVELOPMENT PERMIT | CR | JL | |
| 1 | 18/09/14 | ISSUE FOR DEVELOPMENT PERMIT | LN | JL | |
| No. | Y | M | D | REVISION | BY |
| | | | | | CHKD |



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

| | |
|----------|-----------|
| PROJ # | 180307-02 |
| DATE | |
| SCALE | 1:500 |
| REVISION | LN |

HIGHSTREET NANAIMO
4800 CEDAR RIDGE PLACE, NANAIMO, BC
TREE PROTECTION & RETENTION PLAN

RECEIVED
DP1114
2018-SEP-17
City of Nanaimo Planning

DWG No:
L-001

2 OF 9

| Waypoint | UTM Coordinates | DBH > 30 cm | | DBH < 30 cm | | | Significant Tree | | Previous Tag# | Comment |
|----------|--------------------|-------------|--------------------------|-------------|-----------------------|------------------|------------------|-------------|---------------|-------------------------------|
| | | Douglas fir | Arbutus Western redcedar | Douglas fir | Arbutus Bigleaf maple | Western redcedar | Scouler's willow | Douglas fir | Shore pine | |
| 69 | 10U 425581 5451530 | 1 | | 1 | 2 | | | | | |
| 70 | 10U 425585 5451907 | 1 | | | | | | | 259 | |
| 71 | 10U 425584 5451900 | 1 | | | | | | | | 4 Ra seedlings |
| 72 | 10U 425586 5451896 | 1 | | | | | | | | |
| 73 | 10U 425589 5451898 | 1 | | | | | | | | 2 Ra seedling |
| 74 | 10U 425636 5451875 | | | 12 | 6 | | | | | |
| 75 | 10U 425632 5451888 | | | 7 | | 1 | | | | |
| 76 | 10U 425649 5451887 | 1 | | 4 | | | 1 | | | |
| 77 | 10U 425655 5451891 | | | 6 | 2 | | | | | |
| 78 | 10U 425659 5451898 | | | 7 | 6 | | 1 | | | |
| 79 | 10U 425667 5451900 | 1 | | 4 | 4 | | | | 385 | |
| 80 | 10U 425673 5451903 | 2 | | 6 | 4 | | | | | |
| 81 | 10U 425684 5451911 | 1 | | 2 | | | | 1 | 338 | |
| 82 | 10U 425628 5451855 | 1 | | | | | | | | |
| 83 | 10U 425618 5451859 | 1 | | | 1 | | | | 331 | |
| 84 | 10U 425614 5451855 | 3 | | 2 | 2 | | | | 327 | |
| 85 | 10U 425623 5451844 | | | | | | | | | |
| 86 | 10U 425613 5451841 | 2 | | 1 | 1 | | | | 238 | wildflowers on rock outcrop |
| 87 | 10U 425619 5451833 | 4 | | 5 | 5 | | | | | |
| 88 | 10U 425595 5451823 | 2 | 3 | 1 | | | | | | |
| 89 | 10U 425590 5451822 | 1 | | | | | | | 227 | |
| 90 | 10U 425585 5451819 | 3 | 1 | | | | | | | |
| 91 | 10U 425575 5451821 | 1 | | 1 | | | | | 86 | |
| 92 | 10U 425569 5451812 | 1 | 2 | | | | | | 57 | |
| 93 | 10U 425553 5451814 | 1 | | | | | | | 47 | |
| 94 | 10U 425542 5451817 | 1 | | 1 | 3 | | | | | Ra am/15-stem |
| 95 | 10U 425532 5451817 | 1 | | | | | | | | 23.26 |
| 96 | 10U 425524 5451823 | 1 | | 1 | | | | | | 23.24 |
| 97 | 10U 425521 5451831 | 2 | | 1 | | | | | | |
| 98 | 10U 425519 5451823 | 3 | | 1 | | | | | | 1 Ra young (log #) |
| 99 | 10U 425509 5451830 | 2 | | 2 | 1 | 1 | | | | |
| 100 | 10U 425501 5451830 | 1 | | | | | | | | |
| 101 | 10U 425497 5451835 | 1 | | | | | | | | |
| 102 | 10U 425493 5451836 | 1 | | | | | | | | |
| 103 | 10U 425473 5451808 | | 2 | | 1 | | | | | |
| 104 | 10U 425474 5451811 | 4 | | | 1 | | | | | |
| 105 | 10U 425379 5451808 | 1 | | 2 | 1 | | | | | |
| 106 | 10U 425389 5451810 | 1 | | | | | | | | |
| 107 | 10U 425387 5451815 | 1 | | | | | | | 350 | |
| 108 | 10U 425590 5451817 | 3 | 1 | 1 | | | | | | |
| 109 | 10U 425460 5451817 | 1 | | 1 | 1 | | | | 197-200 | |
| 110 | 10U 425462 5451810 | | | | | | | | | |
| 111 | 10U 425562 5451817 | 1 | | 1 | 1 | | | | | |
| 112 | 10U 425560 5451817 | 1 | | | | | | | | |
| 113 | 10U 425610 5451808 | 1 | | | | | | | | |
| 114 | 10U 425602 5451810 | | | 1 | | | | | | |
| 115 | 10U 425594 5451806 | 1 | | | | | | | | |
| 116 | 10U 425590 5451802 | 1 | | | | | | | | |
| 117 | 10U 425584 5451802 | | | | 1 | | | | 115 | 8 Ra seedlings |
| 118 | 10U 425576 5451803 | 1 | | | 2 | | | | 99 | 6 Ra, 1 Pd and 1 Ws seedlings |
| 119 | 10U 425572 5451800 | 1 | 1 | 1 | | | | | 92-100 | |
| 120 | 10U 425568 5451797 | 1 | 1 | 1 | 1 | | | | 71-72 | |
| 121 | 10U 425570 5451796 | | | | | | | | | |

| Waypoint | UTM Coordinates | DBH < 30 cm | | DBH > 30 cm | | | | Significant Tree | Previous | Comment |
|----------|-----------------|-------------|---------|-------------|---------|---------------|------------------|------------------|----------|------------------------------------|
| | | Douglas fir | Arbutus | Douglas fir | Arbutus | Bigleaf maple | Western redcedar | | | |
| 223 | 10U 425503 | 545.1786 | 1 | | 5 | | | | 126 | |
| 224 | 10U 425508 | 545.1788 | 1 | | | 8 | | | 127 | |
| 225 | 10U 425502 | 545.1740 | 2 | | | 2 | | | 101, 102 | |
| 226 | 10U 425500 | 545.1749 | | | 3 | 1 | | | | |
| 227 | 10U 425503 | 545.1762 | 1 | | | 1 | | | | |
| 228 | 10U 425500 | 545.1757 | 1 | 1 | 1 | 1 | | | 80, 81 | |
| 229 | 10U 425503 | 545.1755 | | | 2 | 1 | | | | |
| 230 | 10U 425507 | 545.1753 | 1 | 1 | | | | | | |
| 231 | 10U 425505 | 545.1746 | | | 3 | | | | | |
| 232 | 10U 425509 | 545.1750 | 1 | | 2 | | | | | |
| 233 | 10U 425506 | 545.1753 | | | 1 | 2 | | | | |
| 234 | 10U 425500 | 545.1759 | | 2 | | | | | | |
| 235 | 10U 425503 | 545.1762 | | | 2 | | | | | |
| 236 | 10U 425462 | 545.1771 | 2 | | | | | | | |
| 237 | 10U 425469 | 545.1778 | 1 | | | | | | | |
| 238 | 10U 425460 | 545.1779 | | | | | | | | |
| 239 | 10U 425462 | 545.1790 | | 1 | | | | | | Property pin |
| 240 | 10U 425468 | 545.1793 | 2 | | | | | | | |
| 241 | 10U 425463 | 545.1793 | | 1 | | | | | | |
| 242 | 10U 425464 | 545.1798 | 1 | | 1 | | | | | |
| 243 | 10U 425455 | 545.1792 | 1 | | | 1 | | | | |
| 244 | 10U 425469 | 545.1802 | 1 | | 2 | | | | | |
| 245 | 10U 425484 | 545.1798 | 2 | | 1 | | | | | |
| 246 | 10U 425483 | 545.1812 | 1 | | | | | 1 | | |
| 247 | 10U 425491 | 545.1818 | 1 | 1 | 2 | | | | | |
| 248 | 10U 425491 | 545.1800 | | | 3 | | | | | |
| 249 | 10U 425466 | 545.1807 | | 1 | | | | | 988, 989 | |
| 250 | 10U 425499 | 545.1814 | 1 | | | | | | | |
| 251 | 10U 425502 | 545.1818 | | | 1 | | | | | |
| 252 | 10U 425499 | 545.1823 | 1 | | | | | | | |
| 253 | 10U 425495 | 545.1822 | | 1 | 2 | | | | | |
| 254 | 10U 425500 | 545.1824 | | | 2 | | | | | |
| 255 | 10U 425501 | 545.1826 | 2 | | | | | | | |
| 256 | 10U 425505 | 545.1822 | | | 1 | | | | | |
| 257 | 10U 425506 | 545.1818 | 1 | | 1 | | | | | |
| 258 | 10U 425504 | 545.1817 | 1 | | | | | | 9 | |
| 259 | 10U 425500 | 545.1815 | | 1 | | | | | | |
| 260 | 10U 425520 | 545.1810 | | | | | | 1 | | Fd 86 cm, broken tip, flagged blue |
| 261 | 10U 425602 | 545.1947 | | | 2 | | | | | |
| 262 | 10U 425604 | 545.1947 | | | | | | 4 | | |
| 263 | 10U 425622 | 545.1949 | | | 4 | | | | | |
| 264 | 10U 425605 | 545.1944 | 2 | | 1 | | | | | |
| 265 | 10U 425609 | 545.1943 | 1 | | | 1 | | | | |
| 266 | 10U 425606 | 545.1956 | 1 | | | | | | 365 | |
| 267 | 10U 425609 | 545.1950 | 1 | | 2 | 3 | | | 292 | |
| 268 | 10U 425607 | 545.1953 | | 1 | | | 1 | | | |
| 269 | 10U 425600 | 545.1950 | | | 1 | 2 | | | | |
| 270 | 10U 425609 | 545.1956 | 2 | | 2 | 1 | | | 299, 300 | |
| 271 | 10U 425605 | 545.1957 | | | 2 | | | | | |
| 272 | 10U 425601 | 545.1956 | 1 | | | | | | | |

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DP1114
2018-SEP-17
Current Planning & Subdivision

| Waypoint | UTM Coordinates | | | DBH > 30cm | | | DBH < 30 cm | | | | Significant Tree | | Previous Tag# | Comment |
|--------------|-----------------|--------|--------------|-------------|---------|------------------|-------------|---------|---------------|------------------|------------------|-------------|---------------|----------|
| | | | | Douglas fir | Arbutus | Western redcedar | Douglas fir | Arbutus | Bigleaf maple | Western redcedar | Scouler's willow | Douglas fir | | |
| 273 | 10U | 425621 | 5451956 | | 1 | | 4 | 2 | | | | | | |
| 274 | 10U | 425619 | 5451957 | 2 | | | | | | | | | | 318, 310 |
| 275 | 10U | 425616 | 5451959 | | | | 6 | 2 | | | | | | |
| 276 | 10U | 425603 | 5451960 | 1 | | | 1 | 1 | | | | | | |
| 277 | 10U | 425607 | 5451963 | 1 | | | 2 | | | | | | | 312 |
| 278 | 10U | 425601 | 5451964 | 1 | | | | 1 | | | | | | |
| 279 | 10U | 425595 | 5451970 | 1 | | | 3 | | | | | | | 319 |
| 280 | 10U | 425589 | 5451968 | 1 | 1 | | 1 | | | | | | | |
| 281 | 10U | 425587 | 5451968 | 2 | | | 1 | | | | | | | |
| 282 | 10U | 425585 | 5451970 | | | | 3 | 1 | | | | | | 317 |
| 283 | 10U | 425580 | 5451969 | 1 | | | 4 | | | | | | | 415 |
| 284 | 10U | 425580 | 5451974 | 1 | | | 3 | | | | | | | 416 |
| 285 | 10U | 425583 | 5451979 | 1 | | | | | | | | | | 425 |
| 286 | 10U | 425580 | 5451982 | | 1 | | 1 | 1 | | | | | | |
| 287 | 10U | 425575 | 5451982 | 1 | | | | | | | | | | 412 |
| 288 | 10U | 425572 | 5451986 | 1 | | | 2 | | 1 | | | | | |
| 289 | 10U | 425569 | 5451982 | 1 | | | | | | | | | | |
| 290 | 10U | 425559 | 5451980 | 1 | | | | 1 | | | | | | |
| 291 | 10U | 425557 | 5451970 | 3 | | | 2 | | | | | | | 418 |
| 292 | 10U | 425541 | 5451969 | 1 | | | | | | | | | | |
| 293 | 10U | 425526 | 5451970 | 1 | | | 1 | | | | | | | |
| 294 | 10U | 425538 | 5451917 | 2 | | | 2 | 2 | | | | | | 283 |
| 295 | 10U | 425529 | 5451912 | 1 | | | | 1 | | | | | | 213 |
| 296 | 10U | 425527 | 5451925 | | | | 1 | 1 | | | | | | |
| 297 | 10U | 425521 | 5451927 | 1 | | | 2 | 1 | | | | | | |
| 298 | 10U | 425528 | 5451941 | 2 | | | 3 | 4 | | | | | | |
| 299 | 10U | 425524 | 5451942 | | | | 4 | 4 | | | | | | |
| 300 | 10U | 425524 | 5451948 | 1 | | | 6 | 1 | | | | | | |
| 301 | 10U | 425525 | 5451954 | 3 | | | 3 | 4 | | | | | | |
| 302 | 10U | 425525 | 5451964 | | | | 1 | 1 | | | | | | |
| 303 | 10U | 425534 | 5451941 | | | | | | | 3 | | | | |
| Total Trees: | | 717 | Subtotal(s): | 282 | 44 | 3 | 248 | 187 | 3 | 10 | 7 | 1 | 2 | |

| | | | | | |
|-----|----------|------------------------------|----|----------|------|
| | | | | | |
| | | | | | |
| 2 | 18/09/14 | ISSUE FOR DEVELOPMENT PERMIT | CR | JL | |
| 1 | 18/09/04 | ISSUE FOR DEVELOPMENT PERMIT | LN | JL | |
| No. | Y | M | D | REVISION | BY |
| | | | | | CHKD |



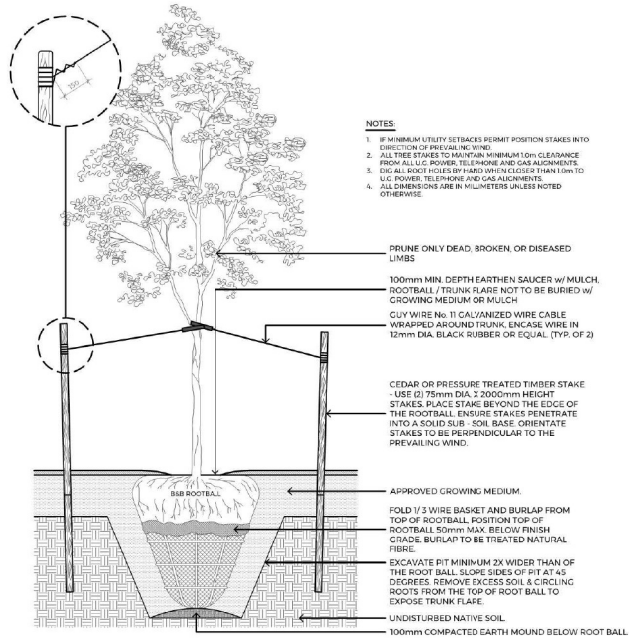
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DP1114
2018-SEP-17

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| PROJ # | 18043007-00 |
| REV | |
| SCALE | 1:500 |
| DRAWN BY | LN |

HIGHSTREET NANAIMO
4800 CEDAR RIDGE PLACE, NANAIMO, BC
TREE PROTECTION & RETENTION CHART2

DWG No.:
L-003
4 OF 8



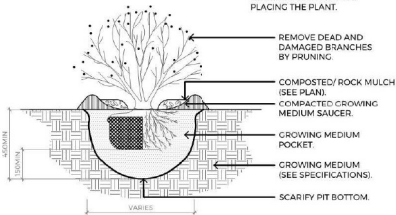


1 TREE PLANTING

LD-01 SCALE: 1:25

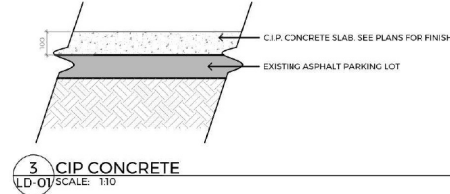
NOTES:

1. CONTAINER IS TO BE CUT CAREFULLY AWAY FROM ROOT SYSTEM SO AS NOT TO DISTURB THE PLANT.
2. CONTRACTOR TO ALLOW FOR 20% SETTLEMENT WHEN PLACING THE PLANT.



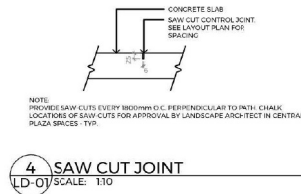
2 SHRUB PLANTING

LD-01 SCALE: 1:15



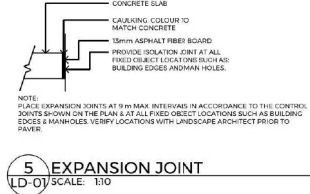
3 CIP CONCRETE

LD-01 SCALE: 1:10



4 SAW CUT JOINT

LD-01 SCALE: 1:10



5 EXPANSION JOINT

LD-01 SCALE: 1:10

| | | | | | |
|-----|----------|------------------------------|----|----------|----|
| | | | | | |
| | | | | | |
| 2 | 18/09/24 | ISSUE FOR DEVELOPMENT PERMIT | LN | JL | |
| 1 | 18/09/24 | ISSUE FOR DEVELOPMENT PERMIT | LN | JL | |
| No. | Y | M | D | REVISION | BY |
| | | | | CHKD | |



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

PROJECT: 18-037-03
VMS:
SCALE:
DRAWN BY: LN

HIGHSTREET NANAIMO
4800 CEDAR RIDGE PLACE, NANAIMO, BC
LANDSCAPE DETAILS

DWG No.:
LD-01
6 OF 9

RECEIVED
DP1114
2018-SEP-17
City of Nanaimo

FORM AND CHARACTER

BENCHES



BANCAL BENCH
Materials: Ash or IPE wood, steel frame (powdercoated)
Mount: Surface mounted
Supplier: landscapiforms



NEOLIVIANO BENCH
Materials: Jarrah wood, aluminum frame (anodized)
Mount: Surface mounted
Supplier: landscapiforms



UNIVERSE SYSTEM BENCH
Materials: Tropical wood, steel frame (powdercoated)
Mount: Surface mounted
Supplier: landscapiforms

LUMINAIRES



ALCOTT AREA LIGHT
Supplier: landscapiforms



ASHBERY AREA LIGHT
Supplier: landscapiforms



LEO AREA LIGHT
Supplier: landscapiforms

TABLES



CAROUSEL SEATING TABLE
Materials: Steelhead wood, steel frame
Mount: Surface mounted
Supplier: landscapiforms



CHARLIE TABLE
Materials: Steel frame (powdercoated)
Mount: Surface mounted
Supplier: landscapiforms

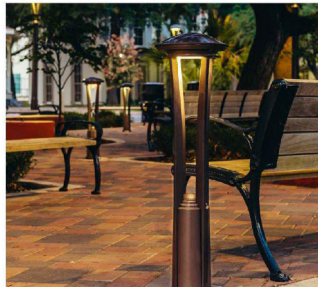


GRETCHEN PICNIC TABLE
Materials: Variety of woods
Mount: Surface mounted
Supplier: landscapiforms

BOLLARDS



ASHBERY PATH LIGHT
Materials: Aluminum
Mount: Surface mounted
Supplier: landscapiforms



HAWTHORNE PATH LIGHT
Materials: Aluminum
Mount: Surface mounted
Supplier: landscapiforms



STOP BOLLARD
Materials: Aluminum
Mount: Surface mounted
Supplier: landscapiforms

| | | | | | |
|-----|----------|------------------------------|----|----------|----|
| | | | | | |
| 2 | 18/09/14 | ISSUE FOR DEVELOPMENT PERMIT | LN | 3L | |
| 1 | 18/09/14 | ISSUE FOR DEVELOPMENT PERMIT | LN | 3L | |
| No. | Y | M | D | REVISION | BY |
| | | | | CHKD | |



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

PROJECT: 18-037-03
VMS:
SCALE:
DRAWN: LN

HIGHSTREET NANAIMO
4800 CEDAR RIDGE PLACE, NANAIMO, BC
LANDSCAPE PRECEDENT IMAGES 1

DWG No.:
LD-02
7 OF 9

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DP1114
2018-SEP-17
CITY OF NANAIMO

FORM AND CHARACTER

RECYCLE SITE MATERIALS - GABIONS



STORMWATER FEATURE - SWALES



RECYCLE SITE MATERIALS - STUMPS



STORMWATER FEATURE - RAIN GARDEN



ELEVATIONAL CHANGE - RETAINING WALLS



| | | | | | |
|-----|----------|------------------------------|----|----------|----|
| | | | | | |
| | | | | | |
| 2 | 18/09/14 | ISSUE FOR DEVELOPMENT PERMIT | LN | JL | |
| 1 | 16/09/14 | ISSUE FOR DEVELOPMENT PERMIT | LN | JL | |
| No. | Y | M | D | REVISION | BY |



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

| | |
|------------|------------|
| PROJECT : | 18-0377-03 |
| DATE : | |
| SCALE : | |
| DRAWN BY : | LN |

HIGHSTREET NANAIMO
4800 CEDAR RIDGE PLACE, NANAIMO, BC
LANDSCAPE PRECEDENT IMAGES 2

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DP1114
2018-SEP-17
Landscape Architecture & Engineering

DWG No.:
LD-03
8 OF 9

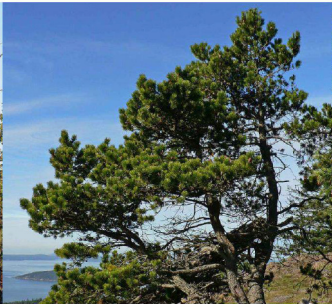
PLANT PALETTE - HIGHER ELEVATION



AMELANCHIER ALNIFOLIA
Denseberry



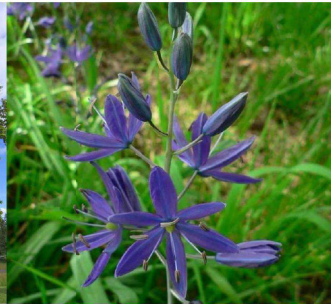
ARBUTUS MENZIESII
Arbutus



PINUS CONTORTA VAR. CONTORTA
Shorepine



QUERCUS GARRYANA
Glarry oak



CAMASSIA QUAMASH
Common camas



HOLODISCUS DISCOLOR
Oceanspray

PLANT PALETTE - LOWER ELEVATION



CORNUS NUTTALLII
Mountain dogwood



GAULTHERIA SHALLON
Salal



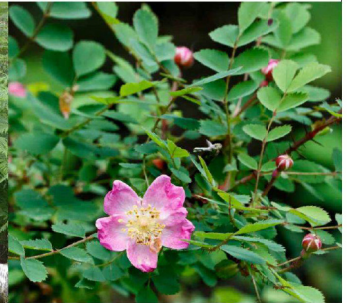
POLYTICHUM GLYCYRRHIZA
Licoria fern



POLYSTICHUM MUNIUM
Branwell fern



PTERIDIUM ACULEATUM
Bracken fern



ROSA GYMNOCARPA
Bakhti rose

PLANT PALETTE - OVERALL SITE



ARCTOSTAPHYLOS UVA-URSI
Khalakhovsk



ASTER DOUGLASII
Douglas aster



MAHONIA AQUIFOLIUM
Tall Dragon grape



LONICERA CILIOSA
Western trumpet honeysuckle



TRITELEIA HYACINTHINA
White brodiaea



HEUCHERA MICRANTHA
Small-flowered alumroot

| | | | | | |
|-----|----------|------------------------------|----|----------|----|
| | | | | | |
| | | | | | |
| 2 | 18/09/14 | ISSUE FOR DEVELOPMENT PERMIT | LN | JL | |
| 1 | 16/09/14 | ISSUE FOR DEVELOPMENT PERMIT | LN | JL | |
| No. | Y | M | D | REVISION | BY |
| | | | | CHKD | |



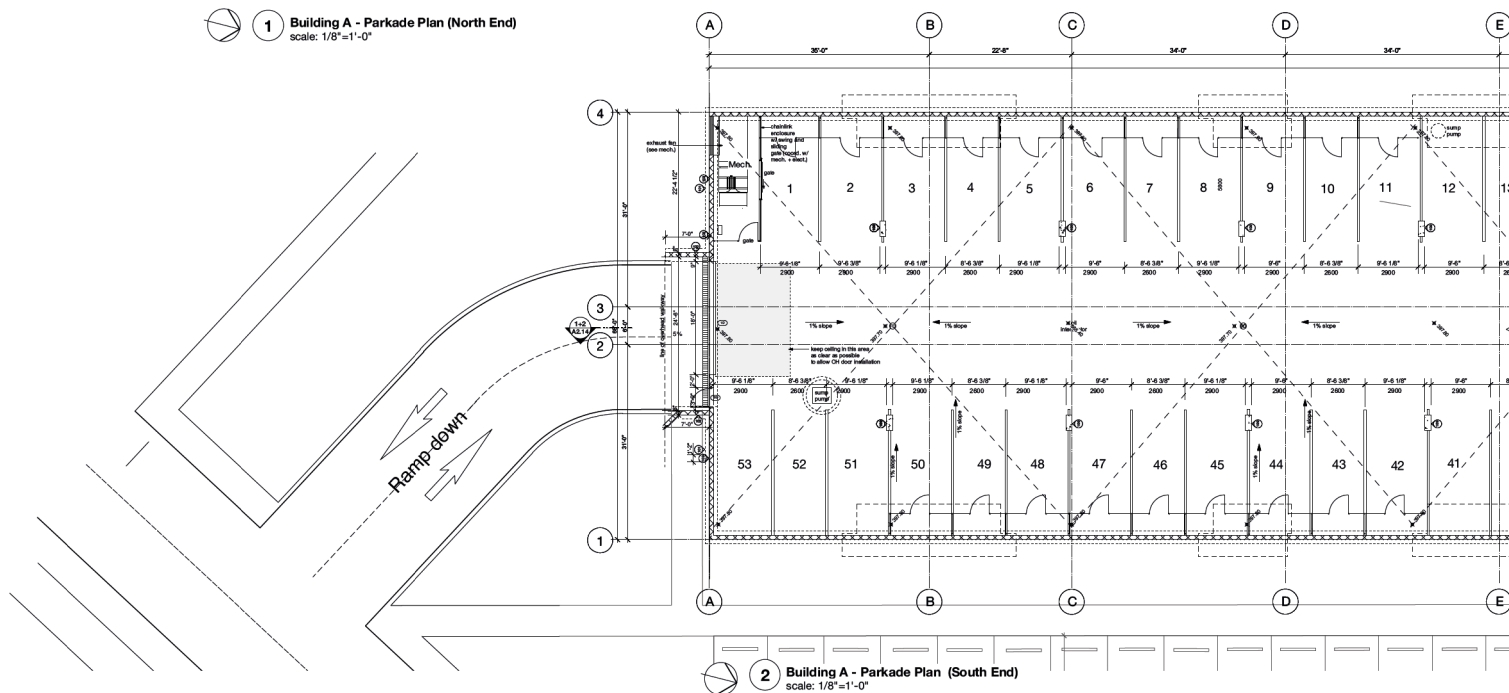
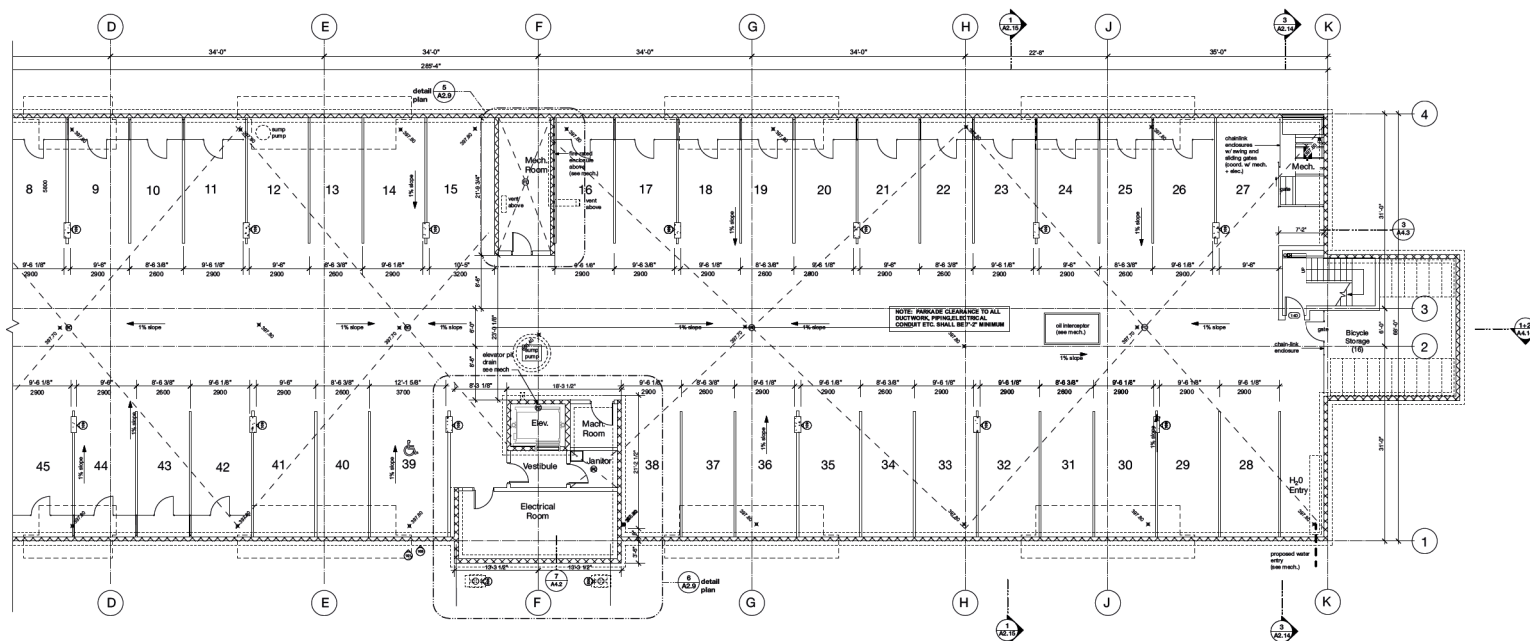
LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

| | |
|-----------|-----------|
| PROJECT: | 18-037-03 |
| DATE: | |
| SCALE: | |
| DRAWN BY: | LN |

HIGHSTREET NANAIMO
4800 CEDAR RIDGE PLACE, NANAIMO, BC
LANDSCAPE PRECEDENT IMAGES 3

DWG No.: **LD-04**
9 OF 9

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DP1114
2016-SEP-17
David Thompson Planning



Codes & Standards:
Conform to latest edition
BC Building Code

Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

| 3 | Sept 4 B.C. | DP Application |
|---|---------------|----------------|
| 2 | July 13 2018 | client review |
| 1 | Aug 10 2018 | client review |
| Rev. No. | DATE Y/M/D | DESCRIPTION |
| <p>Copyright reserved. This design and drawing is the exclusive property of W.D. FISHER ARCHITECT and cannot be used for any purposes without the written consent of W.D. FISHER ARCHITECT. This drawing is not to be used for construction without the written permission by W.D. FISHER ARCHITECT.</p> <p>Prior to construction of the Work, the Contractor shall verify all dimensions and make it readily apparent to owners and consultants, as well as any discrepancies between this drawing and the Work's Contract Documents, and bring them back to the attention of the W.D. FISHER ARCHITECT for clarification.</p> | | |
| <p>WD FISHER ARCHITECT 608-318 Homer Street Vancouver, B.C. V6Z 2V2 604-681-5741</p> | | |

W.D. FISHER ARCHITECT
608-318 Homer Street
Vancouver, B.C. V6B 2V2
604/681-5741

| | | |
|---------|--------------|------|
| Date | Aug 10, 2018 | Seal |
| Drawn | | |
| Checked | | |
| Scale | | |

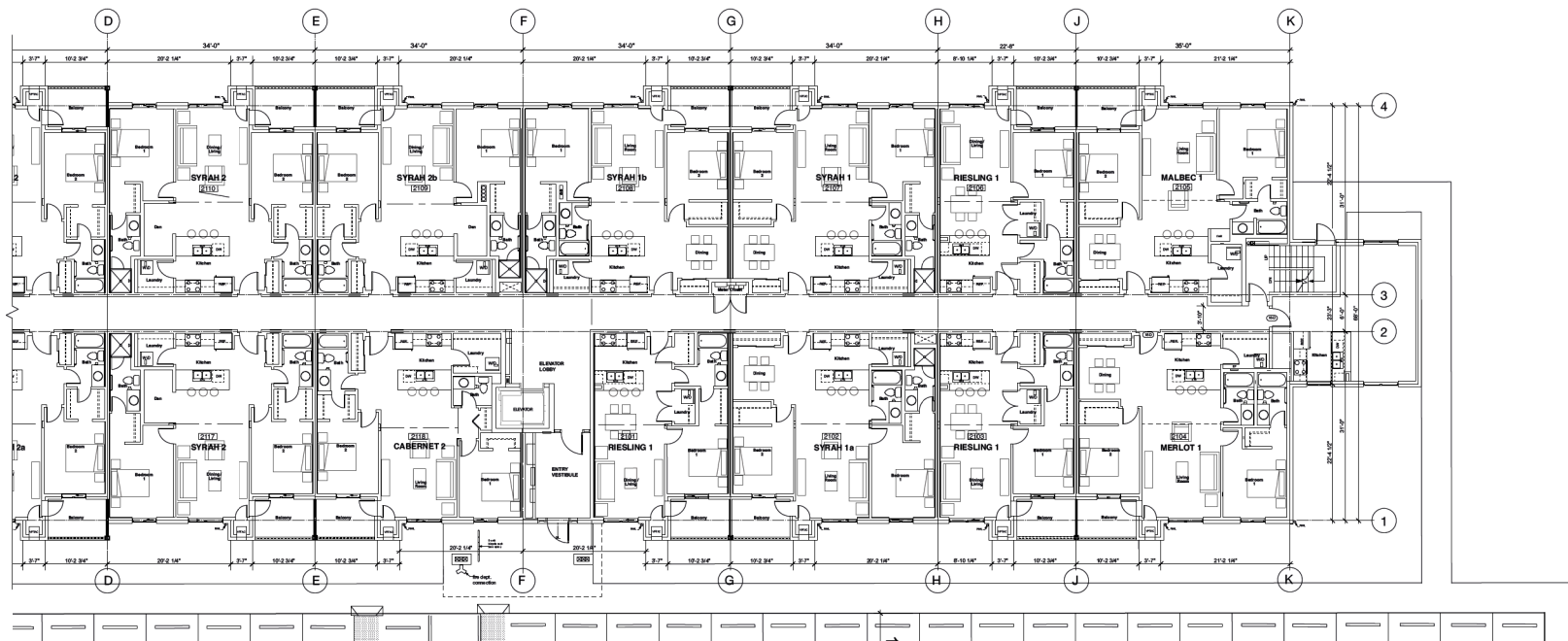
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|---|--|
| Project | |
| Uplands Place Apartments 4800 Cedar Ridge Place Nanaimo, BC | |
| Highstreet Ventures Inc. | |

Drawing Title

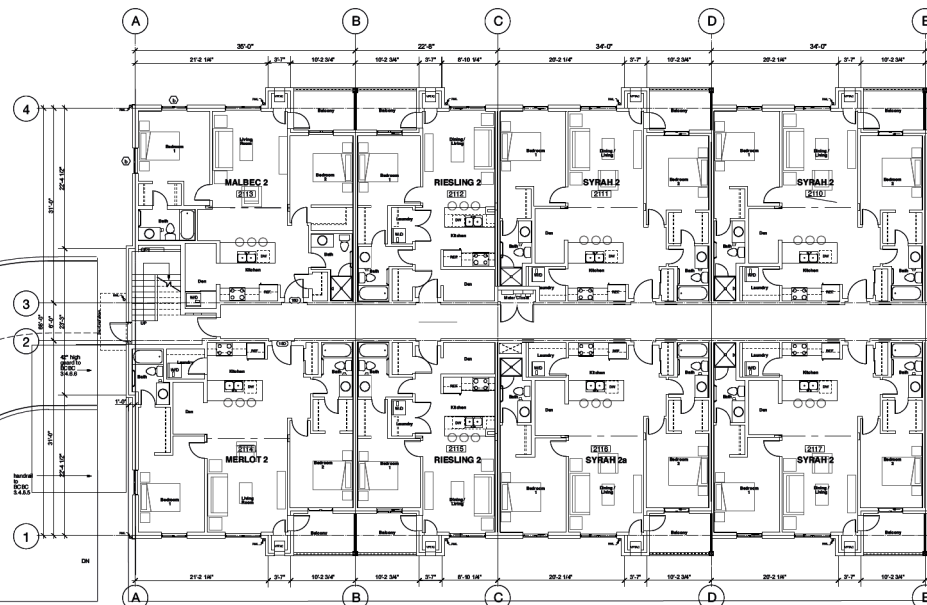
**Building A
Parkade Plan**

| | |
|--------------|--------------|
| Cad File No. | Drawing No. |
| | A02.0 |
| Project No. | |

RECEIVED
DP1114
2018-SEP-06
Current Diseases & Submissions



1 Building A - Ground Floor Plan (West End)
scale: 1/8"=1'-0"



2 Building A - Ground Floor Plan (East End)
scale: 1/8"=1'-0"

Codes & Standards:
Conforms to latest edition
BC Building Code

Discrepancies:
Contractors shall verify and be responsible
for all discrepancies on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

| | | |
|----------|-------------|---|
| 3 | Sept 4 2018 | DP Application |
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Vancouver, B.C. V6B 2V2
604-681-8141

Date: Aug 10, 2018
Drawn:
Checked:
Scale:

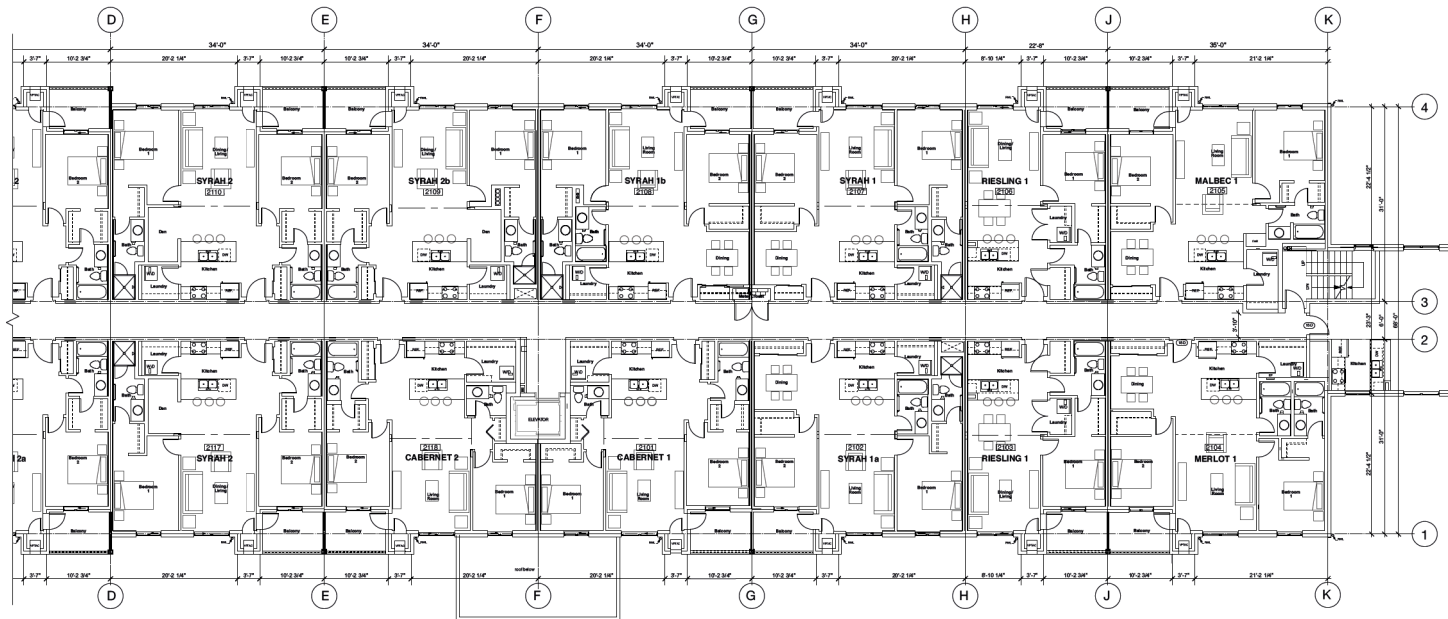
Project:
Upside Place Apartments
4800 Cedar Ridge Place
Vancouver, BC
Highstreet Ventures Inc.
778-464-6567

Drawing Title:
**Building A
Ground Floor Plan**

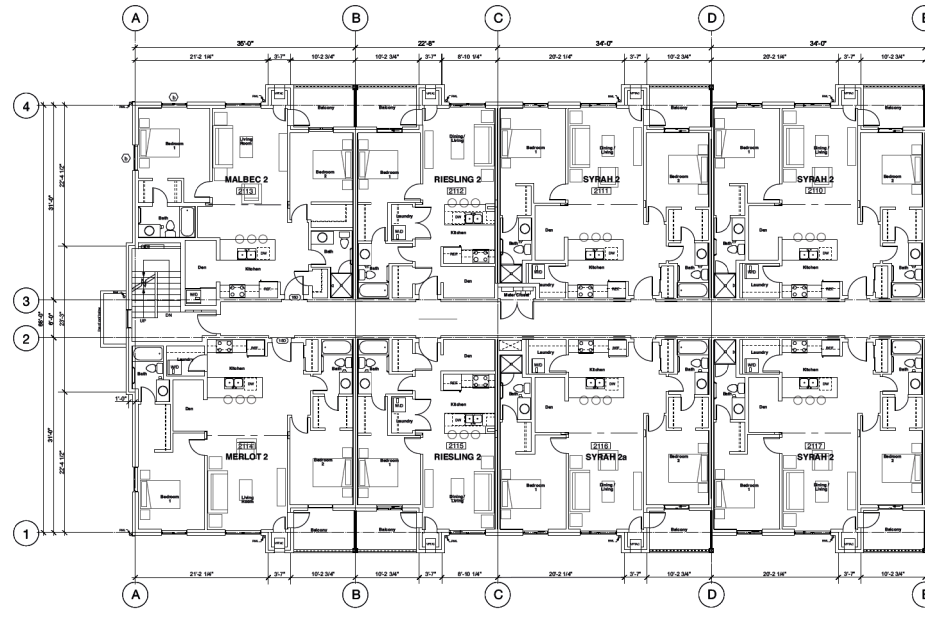
Client File No.:
Drawing No.: **A02.2**

Prepared No.:

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2018-SEP-06
Current Planning & Subdivision



1 Building A - Second Floor Plan (North End)
scale: 1/8"=1'-0"



2 Building A - Second Floor Plan (South End)
scale: 1/8"=1'-0"

Codes & Standards:
Conforms to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

| 3 | Sept 4 2018 | DP Application |
|------|--------------|----------------|
| 2 | July 13 2018 | Client review |
| 1 | Aug 10 2018 | Client review |
| Rev. | DATE | DESCRIPTION |
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604-681-8141

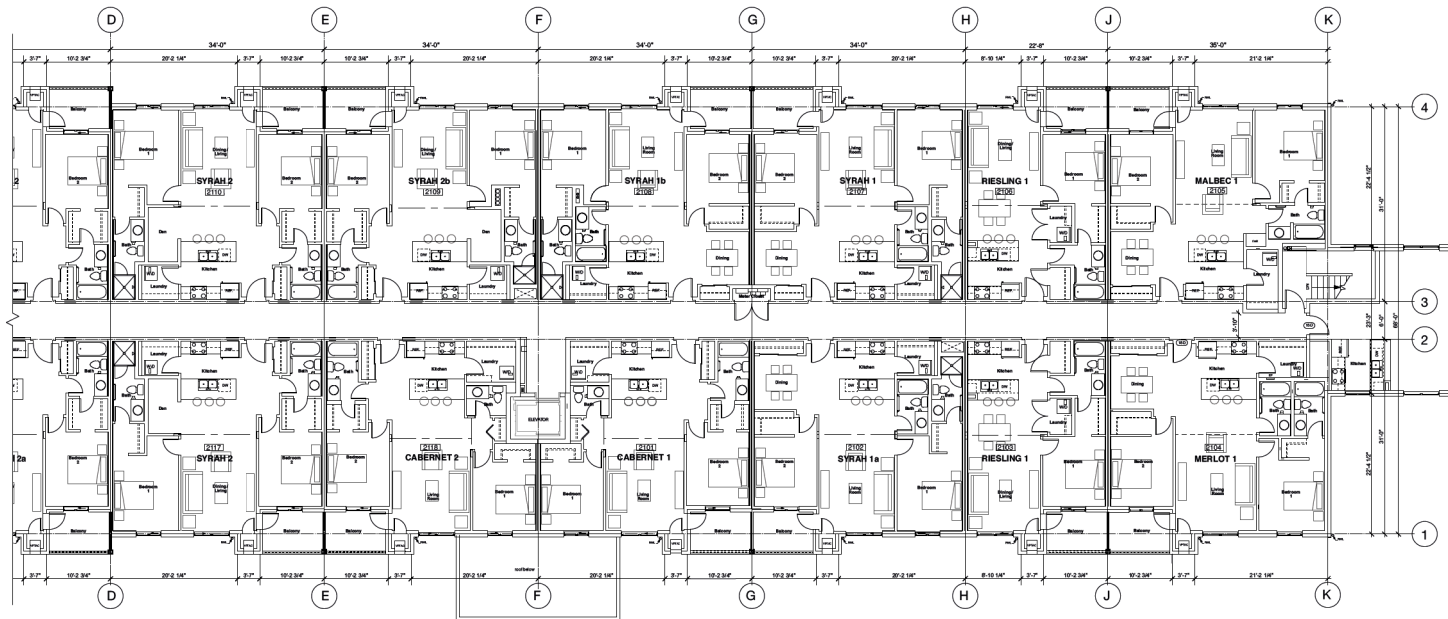
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| Date | Aug 10, 2018 | Scale |
| Drawn | | |
| Checked | | |
| Scale | | |

Project:
Uplands Place Apartments
4800 Cedar Ridge Place
Vancouver, BC
Highstreet Ventures Inc.
778-464-6567

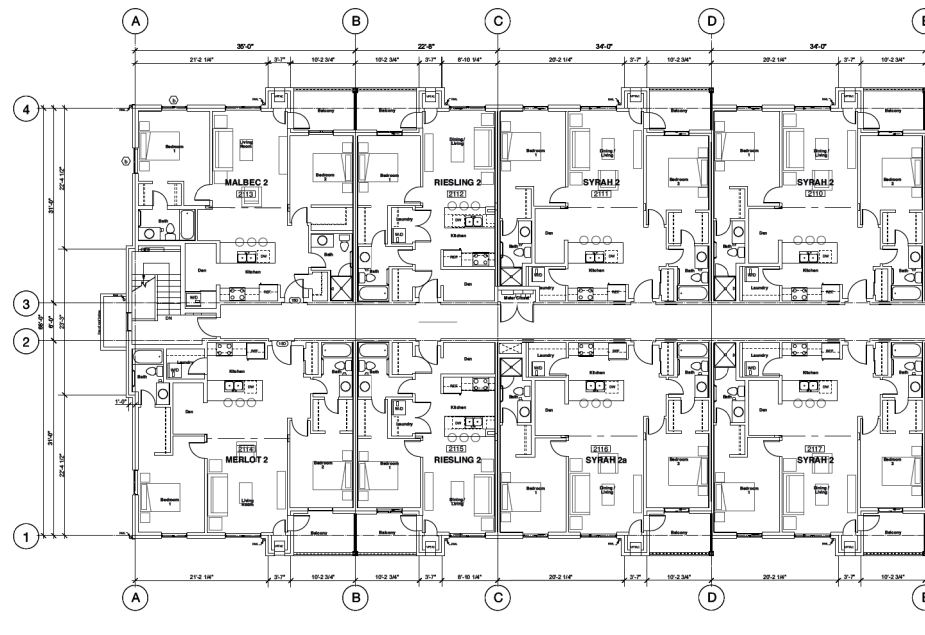
Drawing Title:
**Building A
Second Floor Plan**

| | |
|-----------------|--------------|
| Client File No. | Drawing No. |
| Project No. | A02.3 |

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DP1114
2018-SEP-06
Culver Planning & Solutions



1 Building A- Fourth Floor Plan (North End)
scale: 1/8"=1'-0"



2 Building A- Fourth Floor Plan (South End)
scale: 1/8"=1'-0"

Codes & Standards:
Conforms to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

| 3 | Sept 4 2018 | DP Application |
|----------|--------------|----------------|
| 2 | July 13 2018 | Client review |
| 1 | Aug 10 2018 | Client review |
| Rev. No. | DATE | DESCRIPTION |
| | | |

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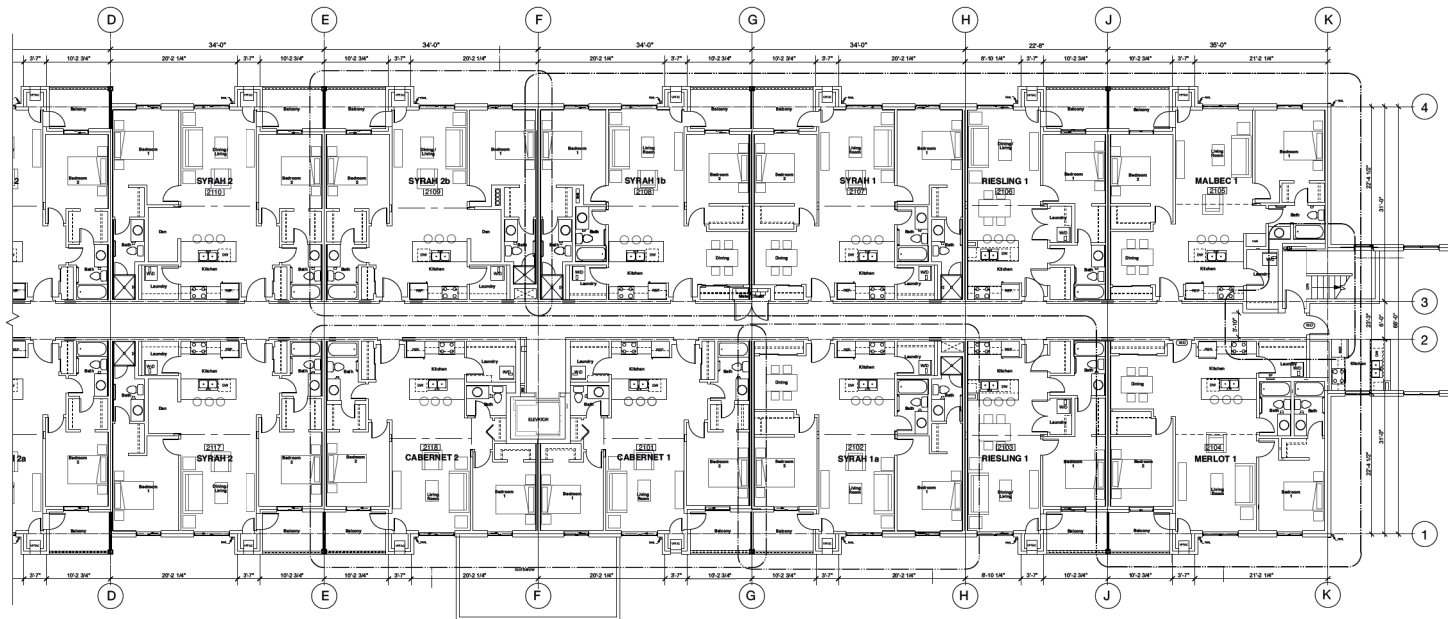
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| Date | Aug 10, 2018 | Seal |
| Drawn | | |
| Checked | | |
| Scale | | |

Project
Uplands Place Apartments
4800 Cedar Ridge Place
Vancouver, BC
Highstreet Ventures Inc.
778-44-6567

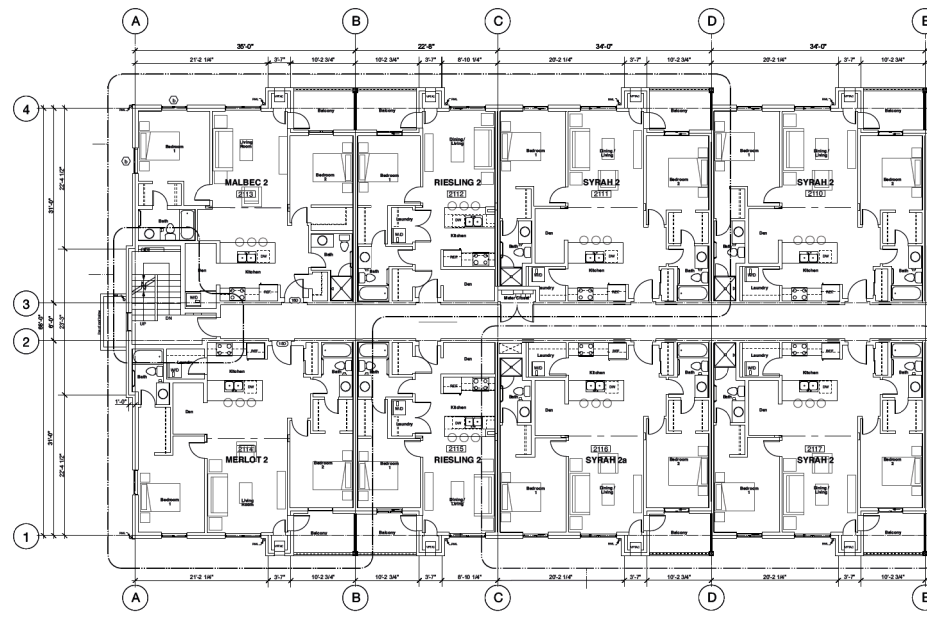
Drawing Title
**Building A
Fourth Floor Plan**

| | |
|-----------------|--------------|
| Client File No. | Drawing No. |
| Prep No. | A02.5 |

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2018-SEP-06
Current Planning & Subdivision



1 Building A - Third Floor Plan (North End)
scale: 1/8"=1'-0"



2 Building A - Third Floor Plan (South End)
scale: 1/8"=1'-0"

Codes & Standards:
Conforms to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
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inform the Architect of any discrepancies
shown on the drawings.

notes:

| 3 | Sept 4 2018 | DP Application |
|----------|--------------|---|
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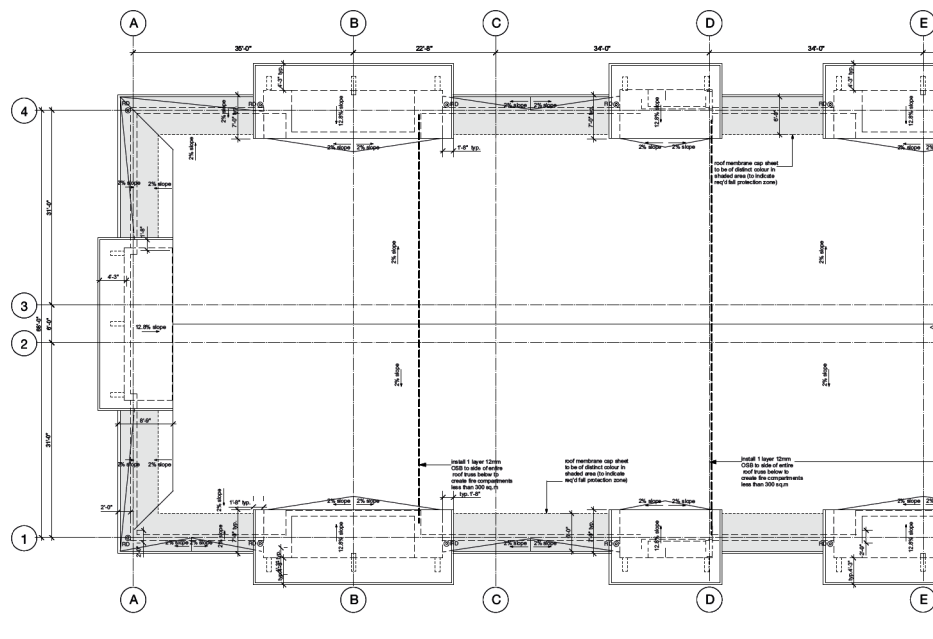
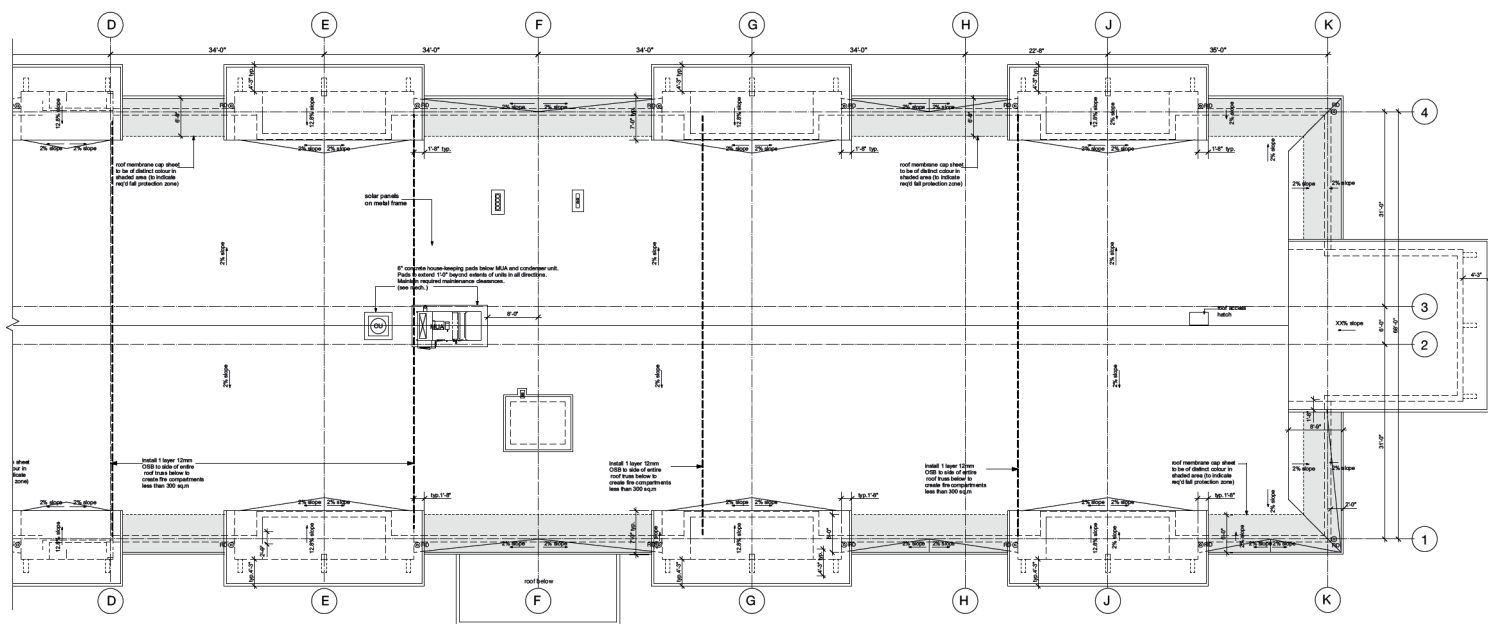
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| Date | Aug 10, 2018 | Scale |
| Drawn | | |
| Checked | | |
| Scale | | |

Project:
Uplands Place Apartments
4800 Cedar Ridge Place
Vancouver, BC
Highland Ventures Inc.
778-464-6567

Drawing Title:
Building A
Third Floor Plan

| | |
|-----------------|-------------|
| Client File No. | Drawing No. |
| Project No. | A02.4 |

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2018-SEP-06
Client: Highland Ventures Inc.



Codes & Standards:
Conform to latest edition
BC Building Code

Dimensions:
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inform the Architect of any discrepancies
shown on the drawings.

notes:

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|-----|--------------|----------------|
| 3 | Sept 4 2018 | DP Application |
| 2 | July 13 2018 | client review |
| 1 | Aug 10 2018 | client review |
| Day | DATE | DESCRIPTION |

| | |
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| No. | Y/M/D |
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604/681-5741

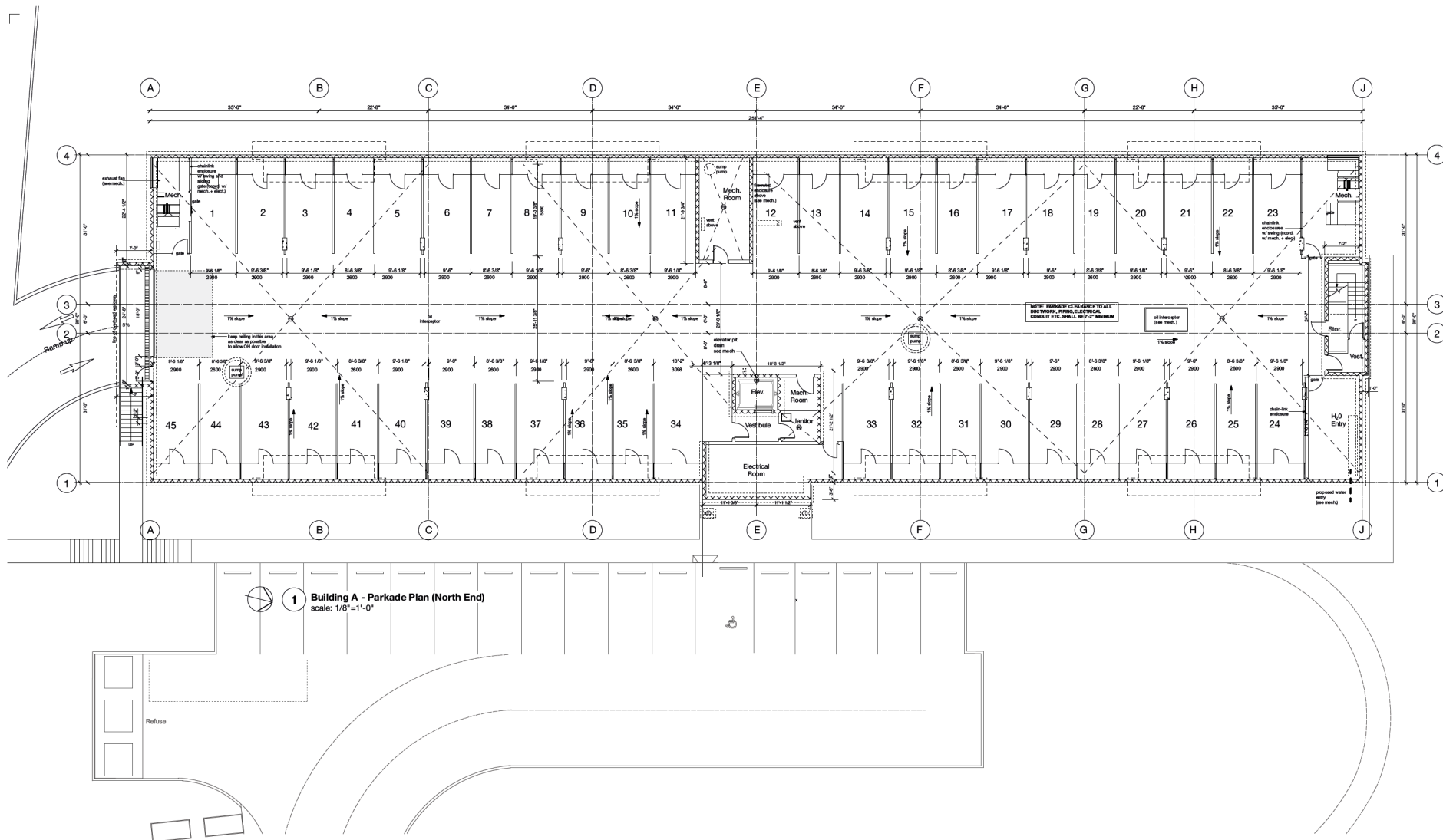
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| Date | Aug 10, 2018 | Seal |
| Drawn | | |
| Checked | | |
| Scale | | |

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|---|--|
| Project | |
| Uplands Place Apartments 4800 Cedar Ridge Place Nanaimo, BC | |
| Highstreet Ventures Inc. 779-434-5607 | |

Drawing Title

**Building A
Roof Plan**

| | |
|--------------|--------------|
| Cad File No. | Drawing No. |
| Project No. | A02.6 |



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 BC Building Code
Dimensions:
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 shown on the drawings.

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| 2 | July 13 2018 | Submittal |
|---|--------------|-------------|
| 1 | July 10 2018 | Review |
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 Vancouver, B.C. V6B 2V2
 604-681-8141

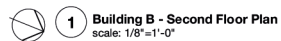
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|---------|-----------|------|
| Date | July 2018 | Seal |
| Drawn | | |
| Checked | | |
| Scale | | |

Project:
 Upside Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
Highstreet Ventures Inc.
 724-44-4547

Drawing Title:
 Building B
 Parkade Plan

| | |
|-----------------|--------------|
| Client File No. | Drawing No. |
| Project No. | A03.0 |

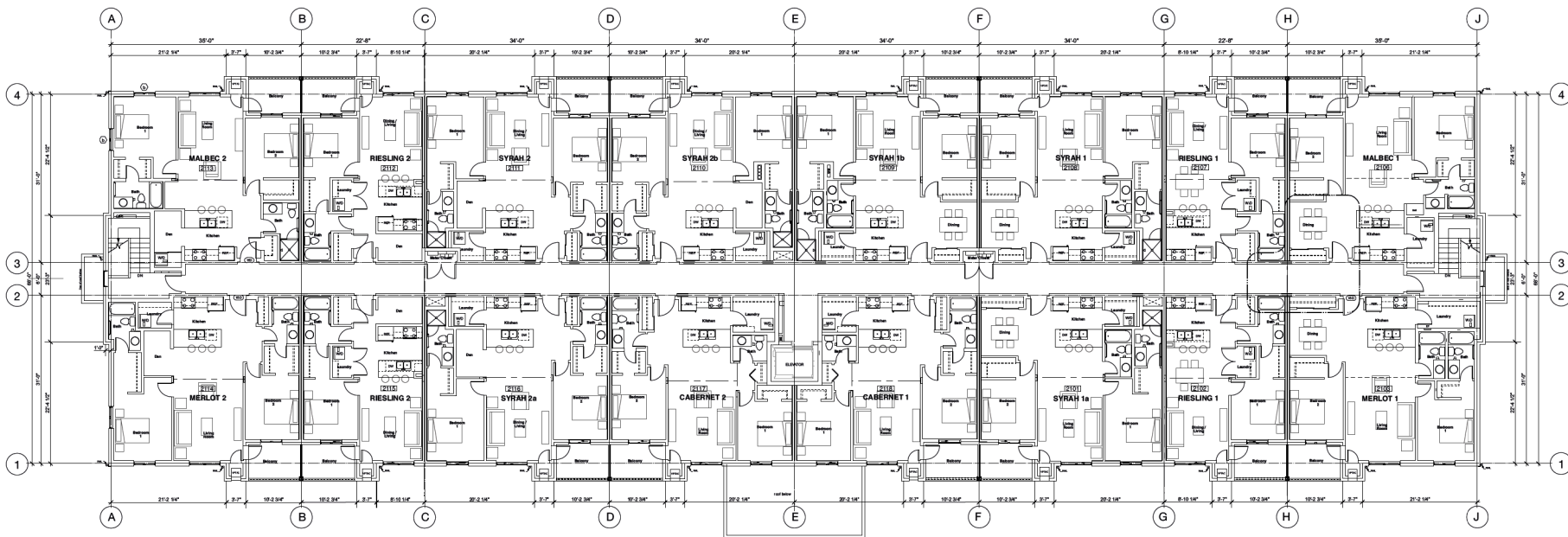
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2018-SEP-06
 Current Planning & Subdivision



notes:

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| Card File No. | Drawing No. |
| Project No. | A03. |

or Plan 



1 Building B- Third Floor Plan
scale: 1/8"=1'-0"

Codes & Standards:
Conforms to latest edition
BC Building Code

Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

| 2 | July 13 2018 | Submittal |
|------|--------------|-------------|
| 1 | July 10 2018 | Review |
| Rev. | DATE | DESCRIPTION |
| No. | DATE | DESCRIPTION |

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Vancouver, B.C. V6B 2V2
604-681-8741

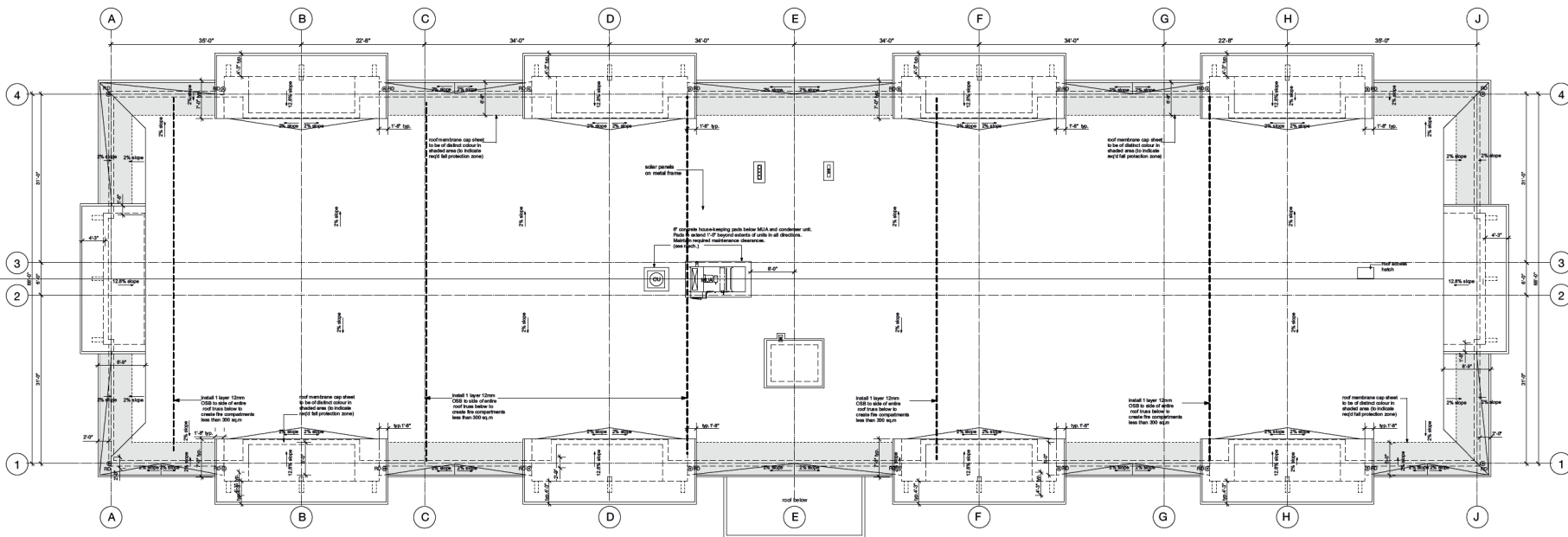
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| Date | July 2018 | Seal |
| Drawn | | |
| Checked | | |
| Scale | | |

Project:
Upside Place Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
726-44-6567

Drawing Title:
**Building B
Third Floor Plan**

| | |
|-----------------|--------------|
| Client File No. | Drawing No. |
| Project No. | A03.4 |

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2018-SEP-06
Current Planning & Urbanism



1 Building B - Roof Plan
scale: 1/8"=1'-0"

Codes & Standards:
Conforms to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

| 2 | July 13 2018 | Submittal |
|------|--------------|-------------|
| 1 | July 10 2018 | review |
| Rev. | DATE | DESCRIPTION |
| No. | TIME | |

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W.D. FISHER ARCHITECT
605-118 Imperial Street
Vancouver, B.C. V6B 2V2
604-681-8741

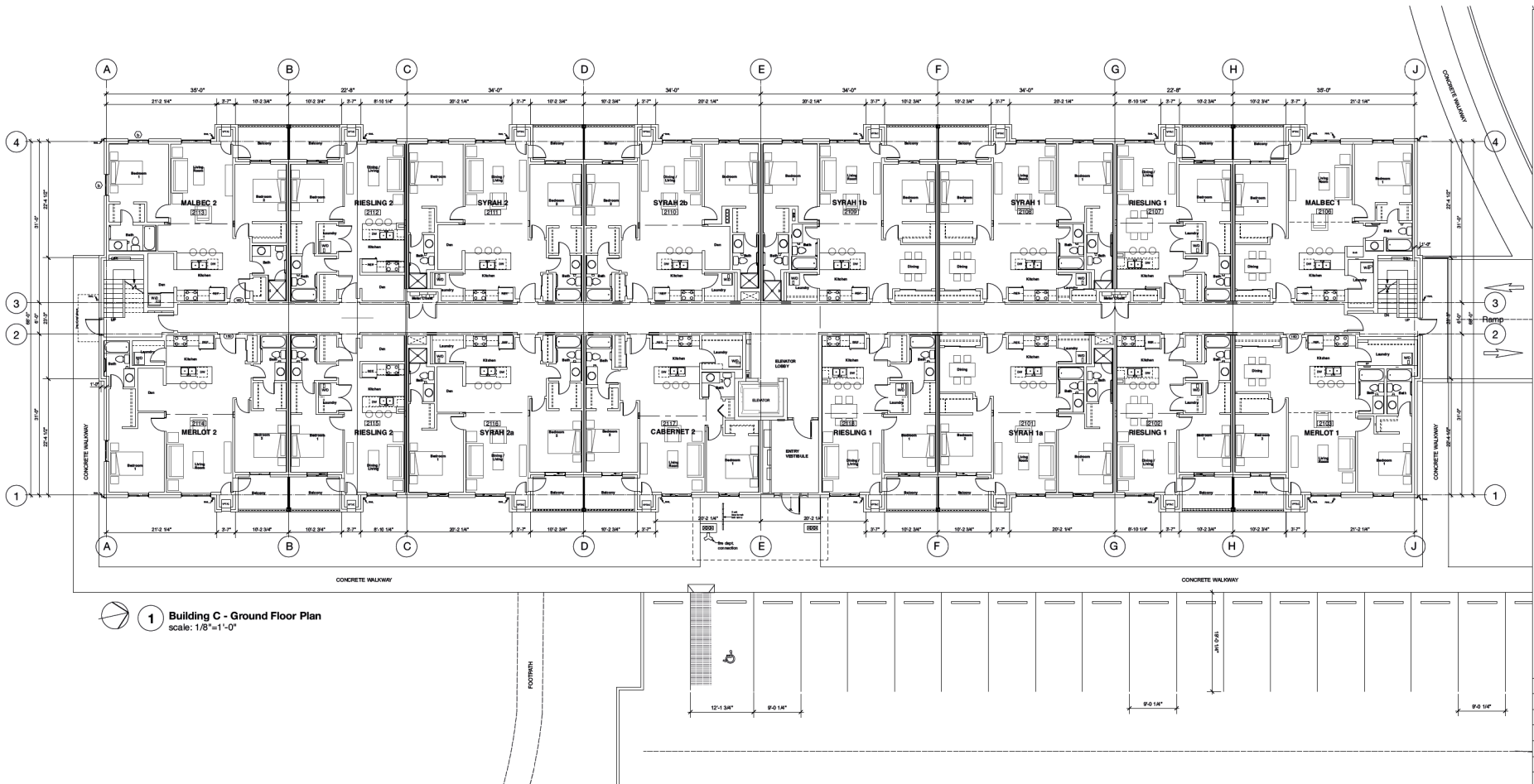
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|---------|-----------|------|
| Date | July 2018 | Seal |
| Drawn | | |
| Checked | | |
| Scale | | |

Project
Uptown Place Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
726-44-6567

Drawing Title
**Building B
Roof Plan**

| | |
|-----------------|--------------|
| Client File No. | Drawing No. |
| Project No. | A03.5 |

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2018-SEP-06
Current Planning & Subdivision



Codes & Standards:
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BC Building Code

Dimensions:
Contractors shall verify and be responsible
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inform the Architect of any discrepancies
shown on the drawings.

notes:

| 1 | July 10 2018 | DP Application |
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605-118 Marine Street
Vancouver, B.C. V6B 2V2
604-681-8741

| | | |
|---------|-----------|------|
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| Drawn | | |
| Checked | | |
| Scale | | |

Project:
Uptown Place Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
726-44-4567

Drawing Title:
**Building C
Ground Floor Plan**

| | |
|-----------------|--------------|
| Client File No. | Drawing No. |
| | A04.2 |
| Project No. | |

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DP1114
2018-SEP-06
Current Planning & Subdivision

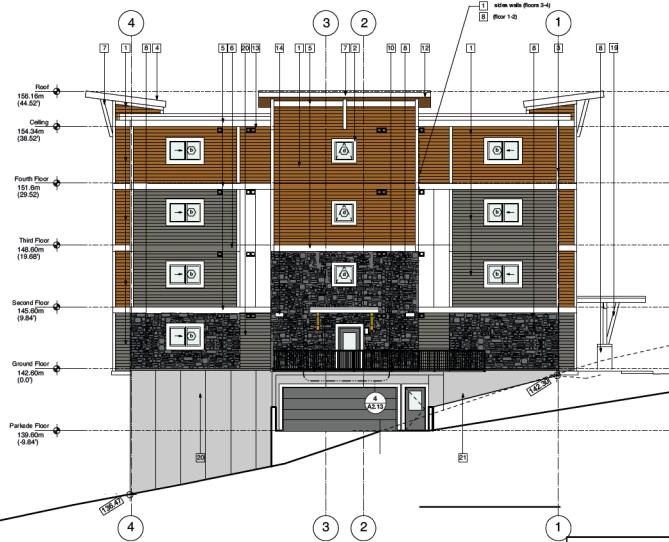


1 Building A - North Elevation - West End
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.

- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "AMHERST GRAY"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
- Horizontal cedar texture siding (straight edge)
6-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "MOUNTAIN CEDAR"
- Horizontal cedar texture siding (straight edge)
6-1/4" panel (7" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "AMHERST GRAY"
- Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGSTONE



3 Building A - East Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend

- CEMENT BOARD SIDING - (refer to A02.12.1 for products / colours)
- TRIM BOARDS (vertical) 1"x4" - FIBRE CEMENT BOARD - SNOW
- TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- TRIM BOARDS (gables + fascia) 1"x10" - FIBRE CEMENT BOARD - SNOW
- TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - AMHERST GREY
- CLAD COLUMNS AND BEAMS - FIBRE CEMENT BOARD - SNOW
- CULTURED STONE - BLACK RUNDLE - ALPINE LEDGSTONE
- RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- SSS ROOF MEMBRANE - DARK GREY
- SOFFIT - ALLURA VENTED CEDAR - MOUNTAIN CEDAR
- MECHANICAL VENT (R01 Snow White in white-clad areas; R02 Dark Grey elsewhere) - see mach.
- WALL MOUNTED LUMINAIRE - see electrical
- METAL ROOFING - see spec.
- ARCHITECTURAL FINISHED CONCRETE
- SOLAR PANELS
- TIMBER COLUMNS AND BEAMS - stained Clear



2 Building A - North Elevation - East End
1/8"=1'-0"

Codes & Standards:
Comply to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

| | | |
|---|--------------|---------------------|
| 4 | Sept 14 2016 | Rev. DP Application |
| 3 | Sept 4 2016 | DP Application |
| 2 | July 13 2016 | client review |
| 1 | Jan 30 2016 | review |

| Rev. | DATE | DESCRIPTION |
|------|------|-------------|
| Rev. | DATE | DESCRIPTION |

W.D. FISHER ARCHITECT
605-318-1000
Vancouver, B.C. V6B 2Y2
604-681-2141

| | | |
|---------|---------------|-----|
| Date | Oct. 30, 2017 | Set |
| Drawn | | |
| Checked | | |
| Scale | SCALE: 1:250 | |

Project
Upside Place Apartments
480 Cedar Ridge Place
Nanaimo, BC
Highwest Ventures Inc.
779-484-6567

Drawing Title
**Building A
North + East Coloured
Elevations**

| | |
|-----------------|-----------------|
| Client File No. | Drawing No. |
| Project No. | A.2.12.1 |

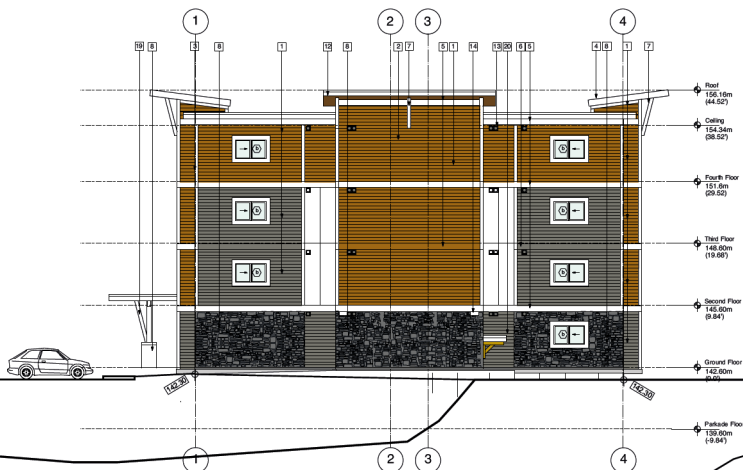
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DP 114
2018-SEP-17
David Fisher Architect



1 Building A - South Elevation - East End
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours

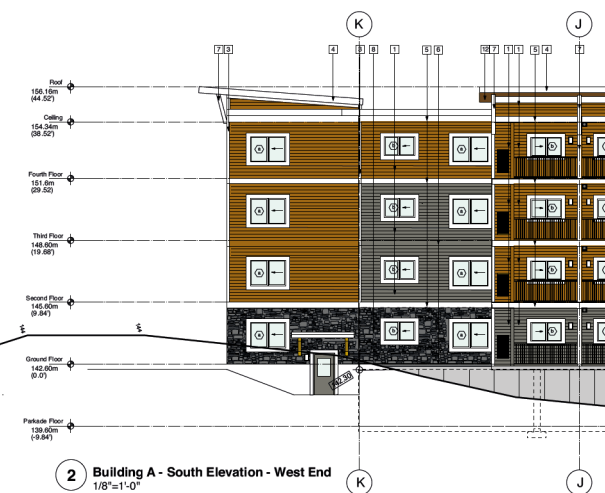
Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.



3 Building A - West Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to A02.10.1 for products / colours)
- 2 TRIM BOARDS (windows) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (horizontal) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (vertical) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 7 CLAD COLUMNS and BEAMS - FIBRE CEMENT BOARD - SNOW
- 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGSTONE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 SBS ROOF MEMBRANE - DARK GREY
- 12 GUTTER - ALLURA VENTED CEDAR - MOUNTAIN CEDAR
- 13 MECHANICAL VENT (RV) Snow White in white-clad areas; DSB Dark Grey elsewhere - see mech.
- 14 WALL MOUNTED LUMINAIRE - see electrical
- 15 METAL ROOFING - see spec.
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS and BEAMS - stained Clear



2 Building A - South Elevation - West End
1/8"=1'-0"

1 Bulk
1/8"=1'-0"

Codes & Standards:
Comply to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
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inform the Architect of any discrepancies
shown on the drawings.

notes:

| | | |
|---|--------------|---------------------|
| 4 | Sept 14 2018 | Rev. DP Application |
| 3 | Sept 4 2018 | DP Application |
| 2 | July 13 2018 | Client review |
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Vancouver, B.C. V6C 2V2
604-681-2141

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| Drawn | | |
| Checked | | |
| Scale | SCALE: 1:250 | |

Project:
Uplands Place Apartments
1400 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
778-484-0557

Drawing Title:
**Building A
West & South Coloured
Elevations**

| | |
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| Chief File No. | Drawing No. |
| Project No. | A.2.13.1 |

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2018-SEP-17



Exterior Finishes Materials Legend - Siding Colours
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See colour-board and renderings.

- ### Exterior Finishes Materials Legend

-
- Architectural drawing of Building B - South Elevation. The drawing shows a multi-story building with a central entrance and two side wings. The elevation is divided into four horizontal sections: Parkade Floor (145.60m), Ground Floor (148.00m), Second Floor (151.60m), and Third Floor (154.60m). The roof is at 159.10m. The building has a central entrance with a glass door and a small porch. The wings have windows and doors. The drawing includes a section line 1-1 and a section line 2-2. The drawing is labeled "Building B - South Elevation" and "1/8"=1'-0"

3 Building B - South Elevation
1/8"=1'-0"

- | | | |
|-----|--------------|---------------------|
| 4 | Sept 14 2018 | Rec. DP Application |
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| 2 | July 13 2018 | client review |
| 1 | Jun 30 2018 | review |
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- WD FISHER ARCHITECT**
 600-316 Homer Street
 Vancouver, B.C. V6B 2V2
 604-681-5274

| | | |
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| Date | Oct 30, 2017 | Seal |
| Drawn | | |
| Checked | | |
| Scale | @CAL E: 1:100 | |

| | |
|---------|---|
| Project | Uplands Place Apartments 4800 Cedar Ridge Place Nanaimo, BC Highstreet Ventures Inc. 779.494.6567 |
|---------|---|

Drawing Title

**Building B
South + East Coloured
Elevations**

| | |
|--------------|---------------|
| Cad File No. | Drawing No. |
| Project No. | A.03.1 |

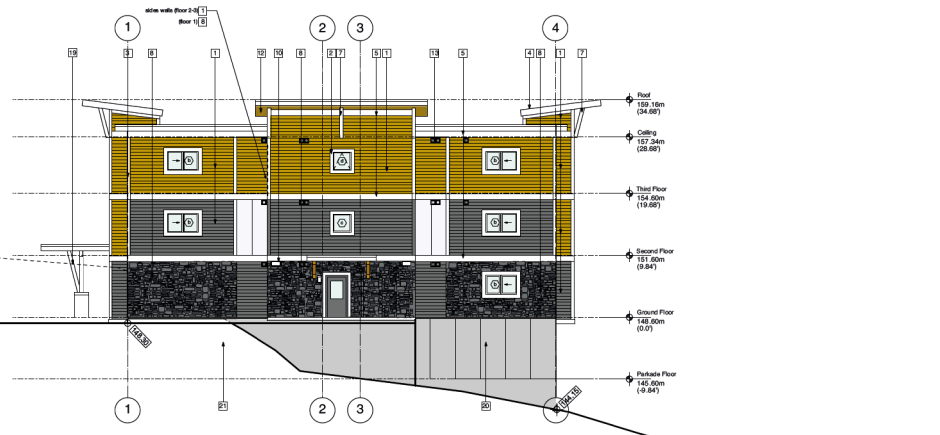


1 Building B - West Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.

- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "Kendall Charcoal"
- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "CEDAR"
- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - "KENDALL CHARCOAL"
- Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGESTONE



2 Building B - North Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to A03.12 for products / colours)
- 2 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - KENDALL CHARCOAL
- 7 CLAD COLLARS and BEAMS - FIBRE CEMENT BOARD - SNOW
- 8 CULTURED STONE - BLACK RUNDLE ALPINE LEDGESTONE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 SBS ROOF MEMBRANE - DARK GREY
- 12 SOFFIT - ALLURA VENTED CEDAR - CEDAR
- 13 MECHANICAL VENT (MT) Snow White in white-clad areas; (228 Dark Grey elsewhere) - see mech.
- 14 WALL MOUNTED LUMINAIRE - see electrical
- 15 METAL ROOFING - see spec
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS AND BEAMS - stained Clear

Codes & Standards:
Comply to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

| Rev. | DATE | DESCRIPTION |
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604-681-2141

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| Checked | | |
| Scale | SCALE: 1/200 | |

Project:
Upside Place Apartments
4600 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
778-484-0557

Drawing Title:
**Building B
North + West Coloured
Elevations**

| Client File No. | Drawing No. |
|-----------------|------------------|
| | A.03.13.1 |

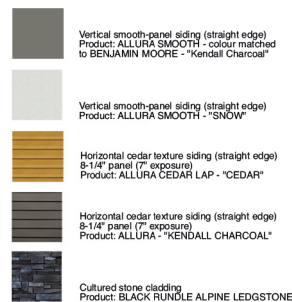
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DP 1114
2018-SEP-17
Client: Planning & Design



1 Building C - Southeast Elevation
1/8"=1'-0"

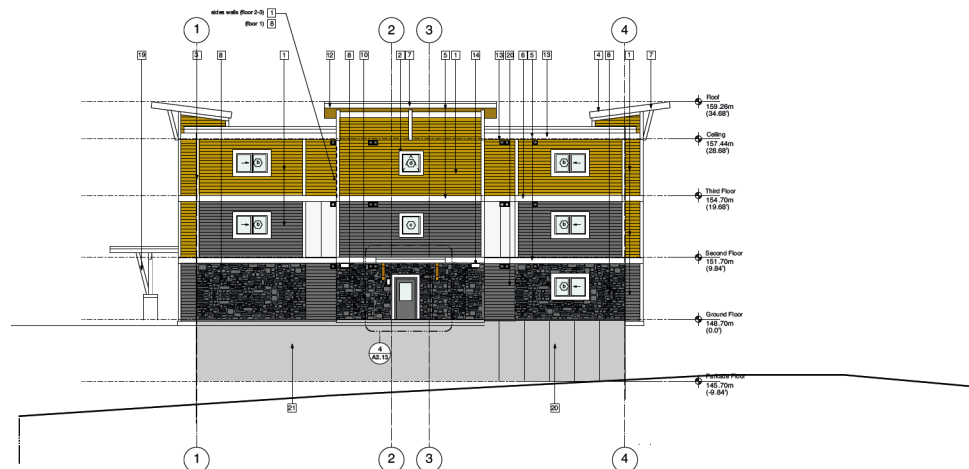
Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only and may not be exactly as shown. See colour-board and renderings.



Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to A04.13.1 for products / colours)
- 2 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - KENDALL CHARCOAL
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - KENDALL CHARCOAL
- 7 CLAD COLUMNS AND BEAMS - FIBRE CEMENT BOARD - SNOW
- 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGSTONE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 SBS ROOF MEMBRANE - DARK GREY
- 12 SOFFIT - ALLURA VENTED CEDAR - CEDAR
- 13 MECHANICAL VENT (R01 Snow White in white-clad areas, #28 Dark Grey elsewhere) - see mech.
- 14 WALL MOUNTED LUMINAIRE - see electrical
- 15 METAL ROOFING - see spec.
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS AND BEAMS - stained Clear



2 Building B - Northeast Elevation
1/8"=1'-0"

Codes & Standards:
Comply to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:

| Rev. | DATE | DESCRIPTION |
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| 4 | Sept 14 2016 | Rev. DP Application |
| 3 | Sept 4 2016 | DP Application |
| 2 | July 13 2016 | client review |
| 1 | Jan 30 2016 | review |

WD FISHER ARCHITECT
605-318 Homer Street
Vancouver, B.C. V6B 2V2
604-681-2141

| Date | Oct 30 2017 | Set |
|---------|--------------|-----|
| Drawn | | |
| Checked | | |
| Scale | SCALE: 1/200 | |

Project
Uplands Place Apartments
4802 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
778-684-6567

Drawing Title
Building C
Northeast + Southeast
Coloured Elevations

| Client File No. | Drawing No. |
|-----------------|------------------|
| Project No. | A.04.13.1 |

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2018-SEP-17
2018-SEP-17

Codes & Standards:
 Conform to latest edition
 BC Building Code

Disclaimers:
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 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:



1 Building C - Northwest Elevation
 1/8"=1'-0"

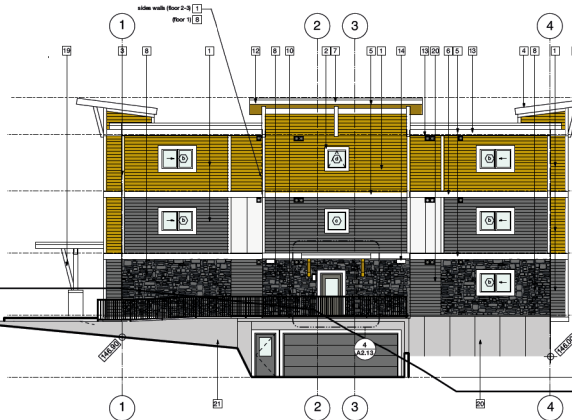
Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown.
 See colour-board and renderings.

-  Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "Kendall Charcoal"
-  Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA CEDAR LAP - "CEDAR"
-  Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA - "KENDALL CHARCOAL"
-  Cultured stone cladding
 Product: BLACK RUNDLE ALPINE LEDGSTONE

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to A04.12.1 for products / colours)
- 2 TRIM BOARDS (window) 1"x4" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (window) 1"x4" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (sillings + fascia) 1"x10" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - KENDALL CHARCOAL
- 7 CLAD COLUMNS and BEAMS - FIBRE CEMENT BOARD - SNOW
- 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGESTONE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 SBS ROOF MEMBRANE - DARK GREY
- 12 SCOFFIT - ALLURA VINTED CEDAR - CEDAR
- 13 MECHANICAL VENT (R01 Snow White in white-dad areas; R02 Dark Grey elsewhere) - see mech.
- 14 WALL MOUNTED LUMINAIRE - see electrical
- 15 METAL ROOFING - see spec.
- 16 ARCHITECTURAL FINISHED CONCRETE
- 17 SOLAR PANELS
- 18 TIMBER COLUMNS and BEAMS - stained Clear



2 Building C - Southwest Elevation
 1/8"=1'-0"

| Rev. | DATE | DESCRIPTION |
|------|--------------|---------------------|
| 4 | Sept 14 2018 | Rev. DP Application |
| 3 | Sept 4 2018 | DP Application |
| 2 | July 13 2018 | client review |
| 1 | Jan 30 2018 | review |

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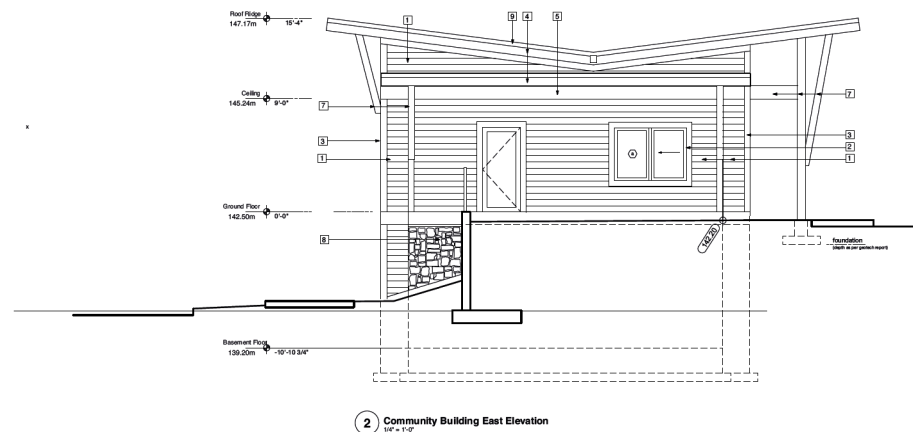
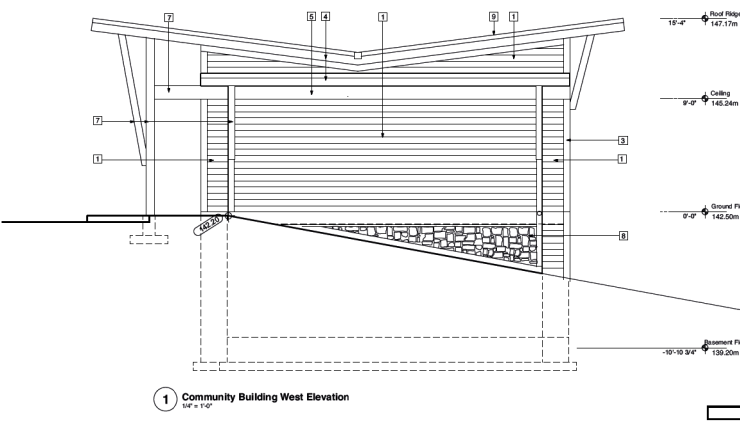
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|---------|--------------|-----|
| Date | Oct 30, 2017 | Set |
| Drawn | | |
| Checked | | |
| Scale | SCALE: 1:250 | |

Project
Uplands Place Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highstreet Ventures Inc.
 778-484-6567

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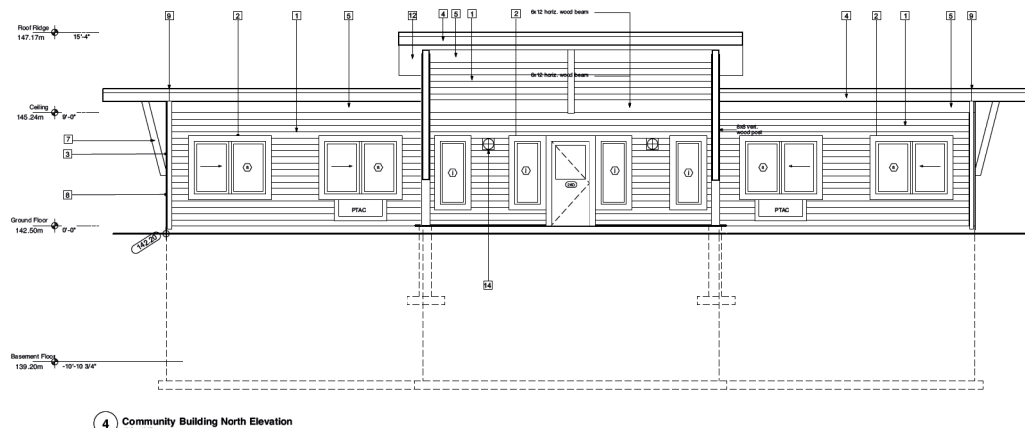
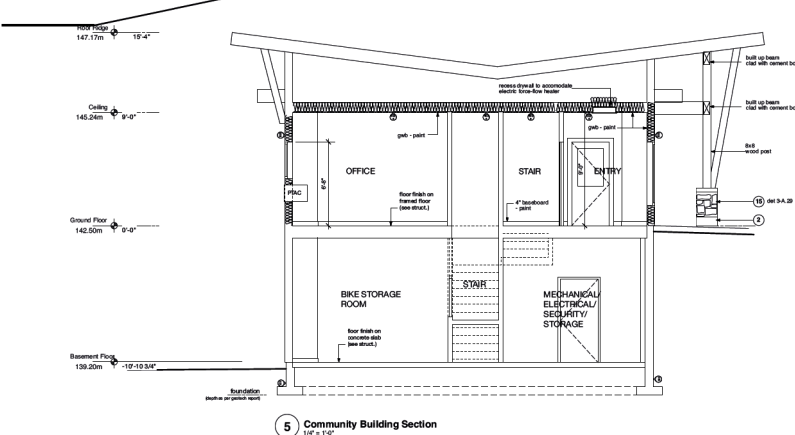
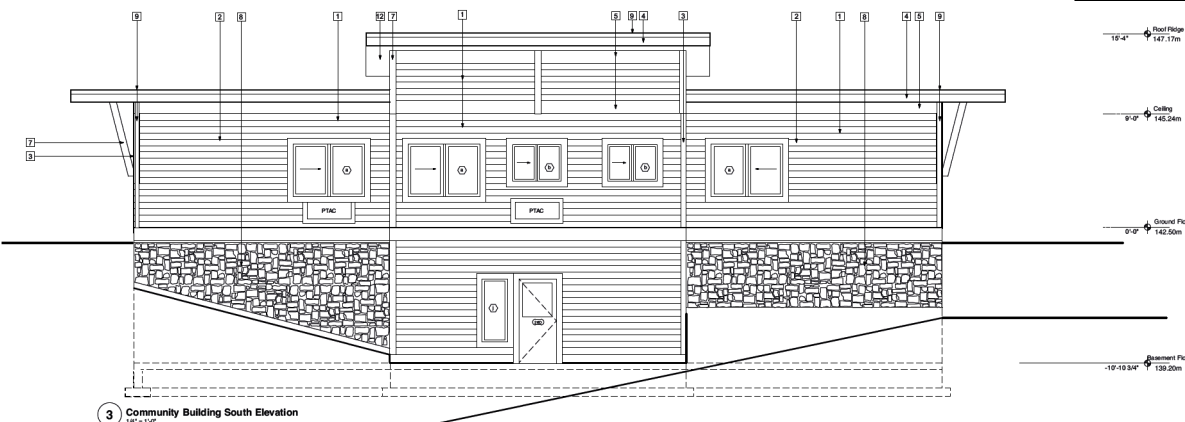
Building C
 Northwest + Southwest
 Coloured Elevations

| | |
|-----------------|------------------|
| Client File No. | Drawing No. |
| Project No. | A.04.12.1 |



Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to A05.3 for products / colours)
- 2 TRIM BOARDS (windows) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (gables + fascia) 1"x10" - FIBRE CEMENT BOARD - SNOW
- 6 OLD COLUMNS AND BEAMS - FIBRE CEMENT BOARD - SNOW
- 7 CULTURED STONE - BLACK RUNDLE - COUNTRY LEDGESTONE
- 8 FLASHING AND DOWNSPOUTS - PRE-FINISHED ALUMINUM - WHITE
- 9 SOFFIT - ALUNA VENTED CEDAR - CEDAR
- 10 WALL MOUNTED LUMINAIRE - see electrical



Codes & Standards:
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notes:

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2018-SEP-06
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1 Sept 4 2018 DP Application

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W.D. FISHER ARCHITECT
 608-115 Avenue Street
 Vancouver, B.C. V6B 2V2
 604-681-5211

Date: September 2018

Drawn: _____

Cheek: _____

Scale: SCALE: 1/200

Project: **Uptons Place Apartments**

4800 Cedar Ridge Place

Nanaimo, BC

HIGHSTREET VENTURES INC.

778-484-0507

Drawing Title:

Building D Elevations + Sections

Client File No. _____ Drawing No. _____

Project No. **A.05.2**

AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001114