

## ZONING BYLAW SUMMARY

**BUILDING DESCRIPTION:**  
24 STOREY RESIDENTIAL/MIXED USE BUILDING  
WITH 2 LEVELS OF PARKING

**USES:**  
PRIMARILY COMMERCIAL/RETAIL MAIN FLOOR,  
RESIDENTIAL ABOVE

**EXISTING ZONE:** DT-5

**PROPOSED ZONE:** SITE SPECIFIC

**SITE AREA:** 4206 m<sup>2</sup> (45, 273 s.f.)

### FLOOR AREA:

<b>Level P3</b>	
RESIDENTIAL:	240 m <sup>2</sup> ( 2 583 sf)
SERVICE/CIRCULATION:	363 m <sup>2</sup> ( 3 907 sf)
<b>Level P2</b>	
RESIDENTIAL:	170 m <sup>2</sup> ( 1 830 sf)
SERVICE/CIRCULATION:	488 m <sup>2</sup> ( 5 253 sf)
<b>Level 1</b>	
COMMERCIAL/RETAIL:	1 202 m <sup>2</sup> (12 939 sf)
SERVICE/CIRCULATION:	312 m <sup>2</sup> ( 3 398 sf)
<b>Level 2</b>	
RESIDENTIAL:	784 m <sup>2</sup> ( 8 439 sf)
COMMERCIAL/RETAIL:	440 m <sup>2</sup> ( 4 736 sf)
SERVICE/CIRCULATION:	214 m <sup>2</sup> ( 2 304 sf)
<b>Level 3</b>	
RESIDENTIAL:	785 m <sup>2</sup> ( 8 450 sf)
COMMERCIAL/OFFICE:	517 m <sup>2</sup> ( 5 565 sf)
SERVICE/CIRCULATION:	222 m <sup>2</sup> ( 2 390 sf)
<b>Level 4</b>	
RESIDENTIAL:	600 m <sup>2</sup> ( 6 459 sf)
<b>Level 5-10</b>	
RESIDENTIAL:	578 m <sup>2</sup> ( 6 222 sf) X 6 = 3 468 sm
<b>Level 11-21</b>	
RESIDENTIAL:	566 m <sup>2</sup> ( 6 093 sf) X 11 = 6 226 sm
<b>Level 22-24</b>	
RESIDENTIAL:	519 m <sup>2</sup> ( 5 587 sf) X 3 = 1 557 sm
<b>Roof</b>	
MECHANICAL SERVICES:	301 m <sup>2</sup> ( 3 240 sf)
<b>TOTAL PROPOSED:</b>	<b>17 889 m<sup>2</sup> (192 957 sf,</b> excl. parking, lobby, pool)

**FLOOR SPACE RATIO:** 4.25 : 1 FSR

**GRADE OF BUILDING:** 20.9 m (GEODETIC)  
See Site Plan for Grade Calculation

**HEIGHT OF BUILDING:** 78.5m

**NUMBER OF STOREYS:** 24 STOREYS

**RESIDENTIAL PARKING:** 138 stalls

**COMMERCIAL PARKING:** 29 stalls

**BICYCLE PARKING:** 100 Class 1 + 6-space rack

### SETBACKS:

FRONT (Chapel St.):	3.0 m
REAR (Skinner St):	1.0 m
SIDE (South):	0.1 m
SIDE (North):	33.8 m

### SUITE COMPOSITION:

1 Bed / 1 Bath Guest Suite:	2
1 Bed / 1 Bath Live-Work:	5
2 Bed / 2 Bath Townhouse:	7
1 Bed / 1 Bath:	15
2 Bed / 2 Bath:	30
2 Bed + Den / 2 Bath:	44
3 Bed / 3.5 Bath:	6
<b>TOTAL:</b>	<b>109 SUITES</b>











**LIST OF DRAWINGS**

**Architectural**

- A001 Project Data
- A100 Survey Plan
- A101 Site Plan
- A201 P3 Parking Plan
- A202 P2 Parking Plan
- A203 L1/P1 Parking Plan
- A204 L2 Plan
- A205 L3 Plan
- A206 L4 Plan
- A207 L5-L10 Plan
- A208 L11-L21 Plan
- A209 L22-L24 Plan
- A210 Mech. PH Plan
- A211 Roof Plan
- A301 East Elevation
- A301.1 East Elevation Context
- A302 N & S Elevations
- A303 West Elevation
- A303.1 West Elevation Context
- A401 N-S Building Section
- A402 N-S Building Section
- A403 E-W Building Sections
- A404 E-W Building Sections
- A501 Shadow Studies
- A502 Perspective View
- A503 Distant Views
- A504 Street Views

**Landscape**

- L1.01 Landscape Materials
- L1.02 Landscape Materials - Rooftop
- L1-03 Stormwater Management
- L3-01 Planting Plan

Wertman Developments  
Nanaimo BC  
June 19, 2018

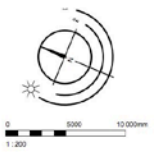
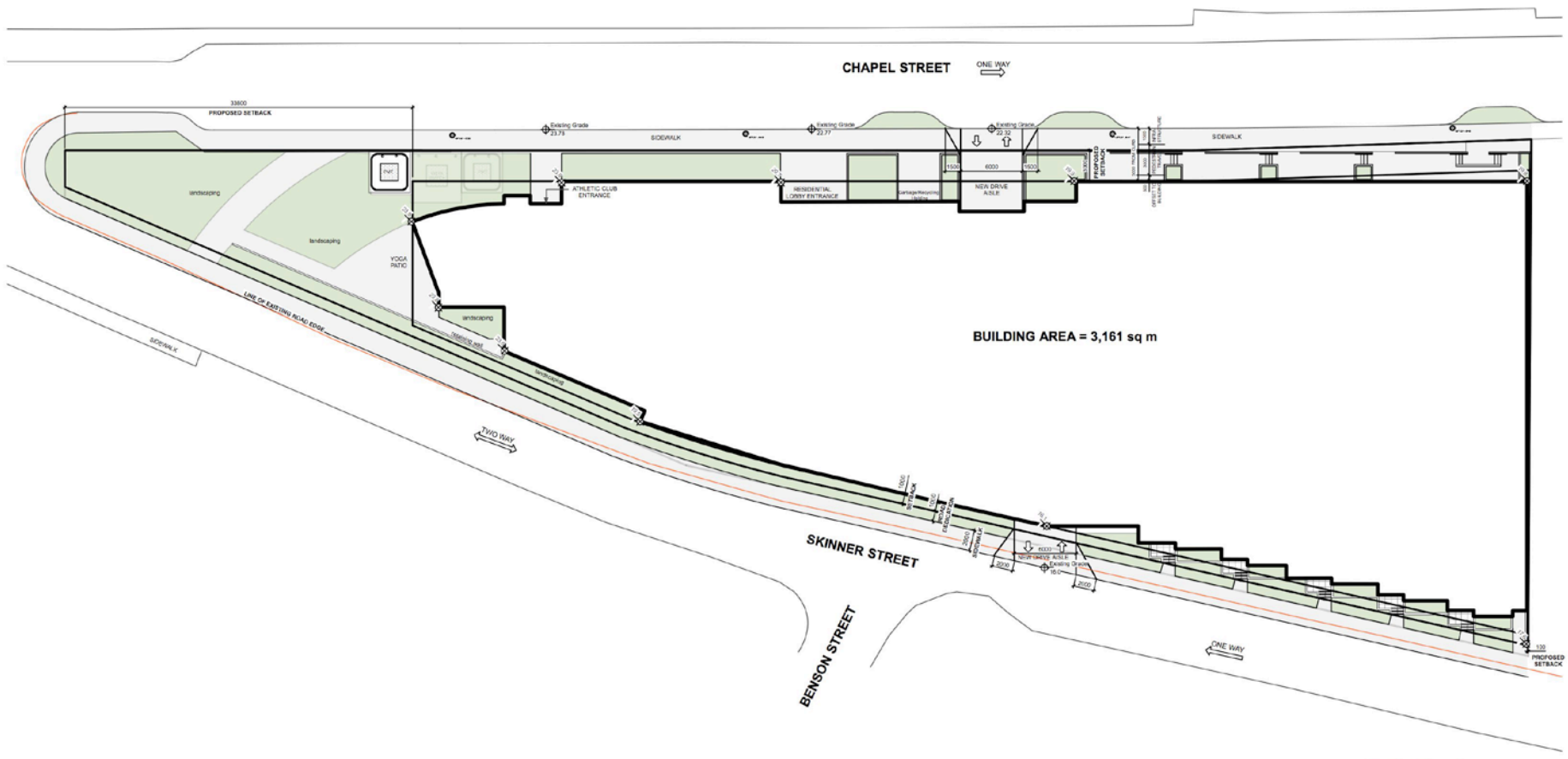
77 Chapel Street

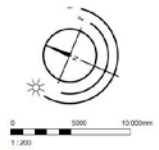
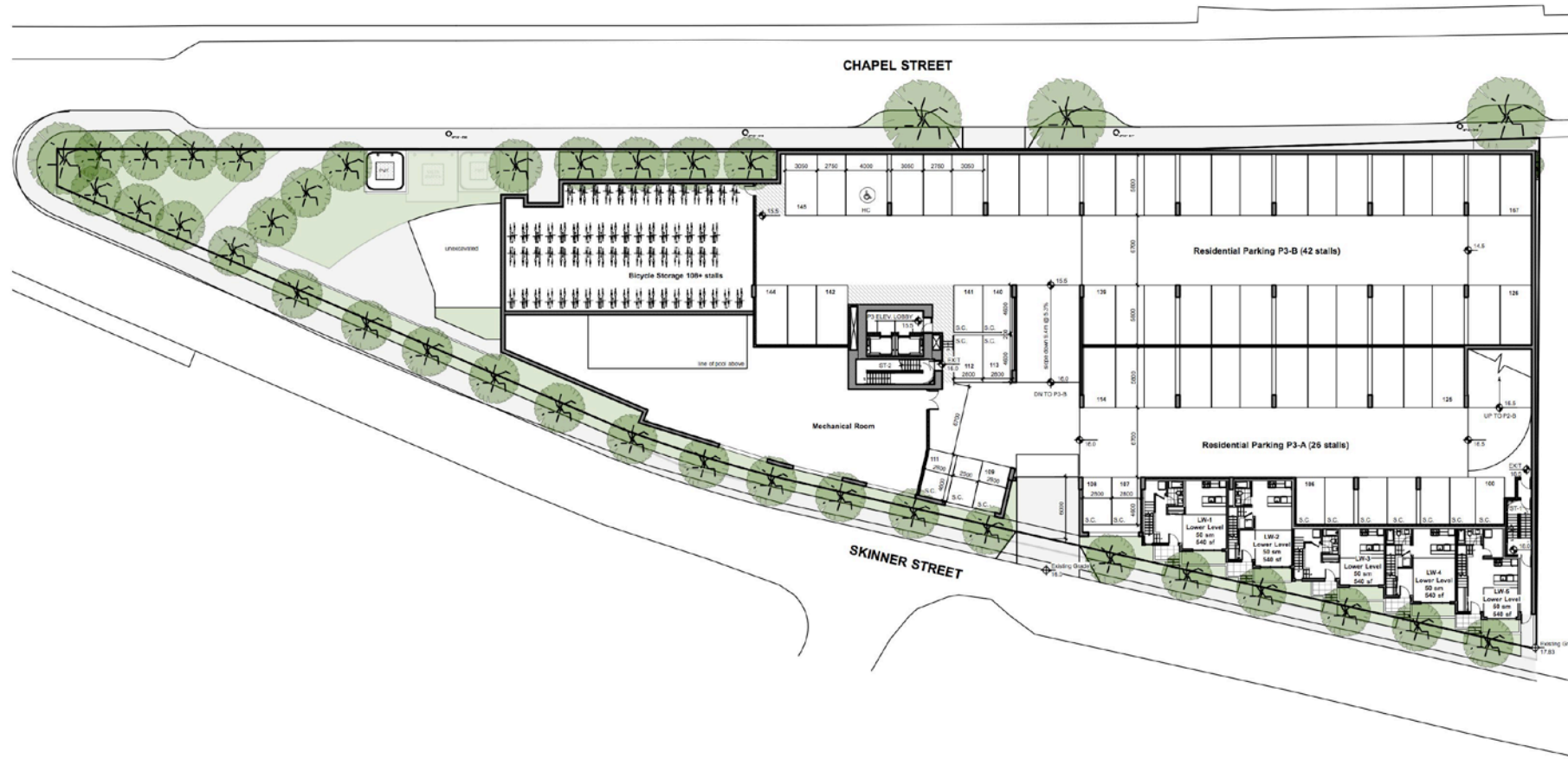
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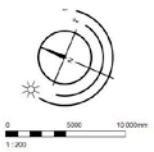
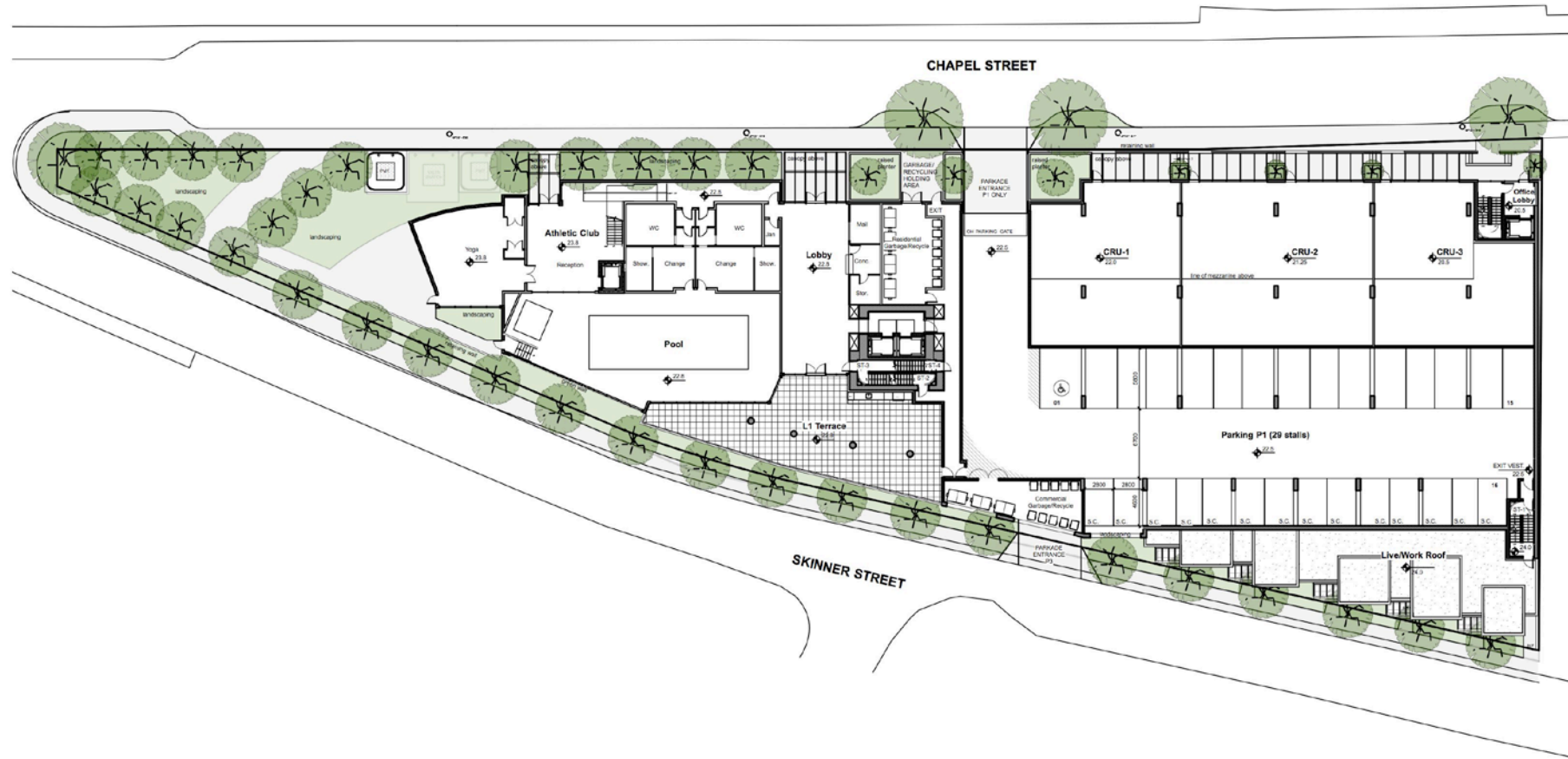
MARCILO

de Hoog & Kierulf architects 

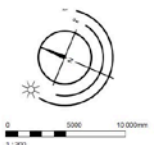
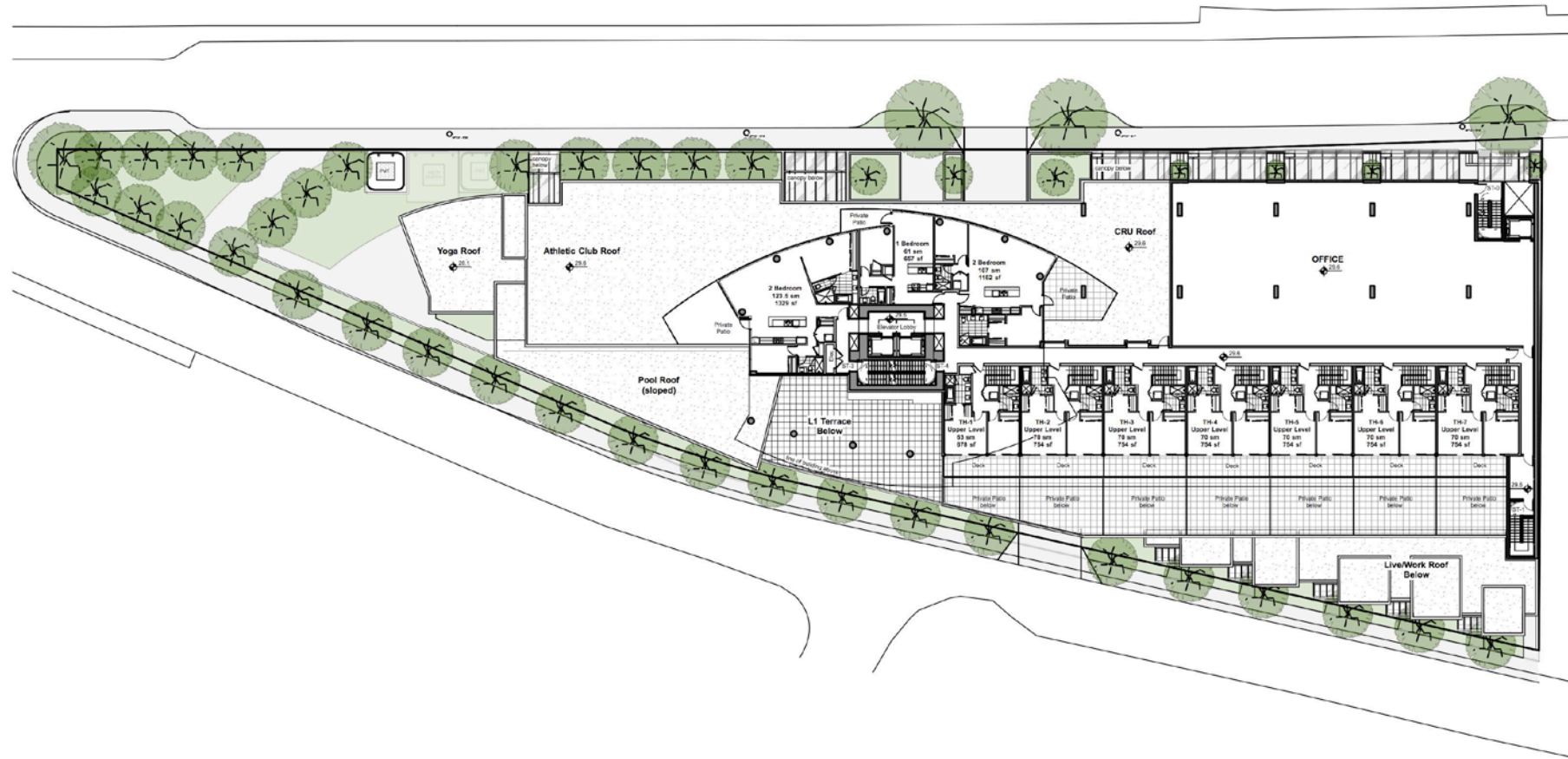
GRADE CALCULATION  
 $19.8 + 19.9 + 20.7 + 23.8 - 23.9 + 23.8 + 23.6 + 19.5 + 16.1 + 17.5 = 209$   
 $209 / 10 = 20.9m$  GEODETIC

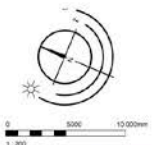
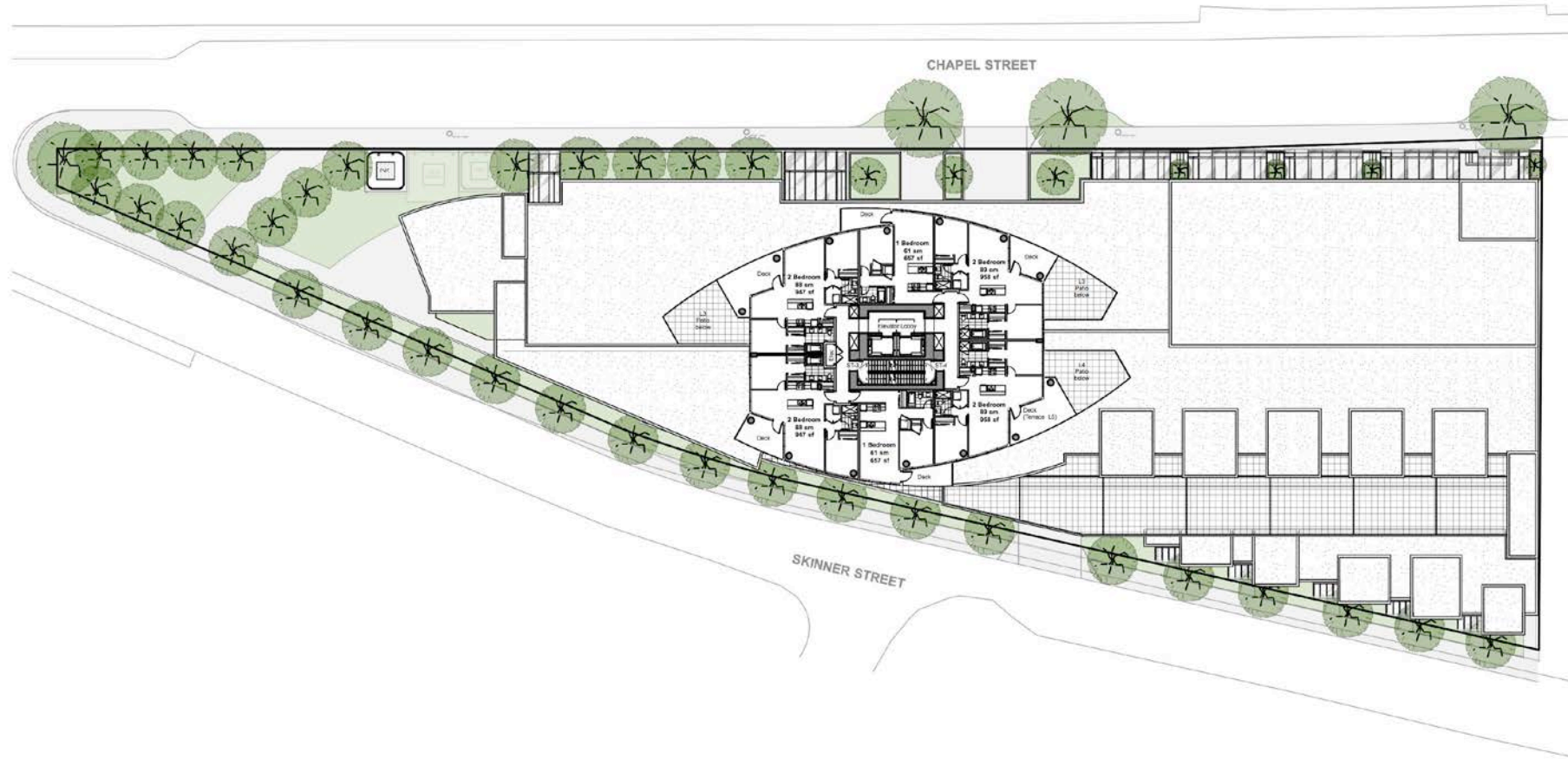


















VIEW LOOKING NORTH-EAST OVER NANAIMO HARBOUR

Date	Revised	By	For
15-05-20	Issue for Planning Revisions		
15-05-20	Issued for 1727 AD00 Supplemental		
	By		100
	By		1727

**MARCILO**  
 77 Chapel Street  
 Nanaimo BC  
 Colour Rendering

d+Ka **A502**

66 Hoag & Kerul architects  
 Victoria  
 677 2nd Street W/V 3K3 T 1-250-658-3367  
 Nanaimo  
 102 5190 Duxton Way V8T 2K9 T 1-250-686-6810  
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EQUINOX 9:00 a.m.



EQUINOX 12:00 p.m.



EQUINOX 3:00 p.m.



18-05-30	Issued for Planning Revisions
18-03-28	Issued for Planning Revisions
18-01-19	Issued for Planning Application
18-05-30	1727 ADON Supplement
18-05-30	1727 ADON Supplement
N.T.S.	1727

**MARCILO**  
 77 Chapel Street  
 Nanaimo BC  
 Shadow Study

d+Ka **A501**

de Hong & Koruf architects  
 677 First Street V1V 3K3 T 1-250-658-3367  
 Nanaimo  
 102-1100 Duke's Way V1T 2K8 T 1-250-695-1610  
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VIEW LOOKING EAST FROM CAMPBELL & RICHARDS STREETS



VIEW LOOKING NORTH-EAST FROM FITZWILLIAM & WALLACE STREETS

Date: 11/11/2023  
 Project: 1727 A503 Supplement  
 Drawing: 02 Distant Views  
 Scale: N.T.S.  
 11/11/2023

**MARCILO**  
 77 Chapel Street  
 Nanaimo BC  
 Distant Views

d+Ka **A503**

de Hoog & Korff architects  
 577 First Street V1V 3K3 T 1-250-656-3367  
 Nanaimo  
 102-6160 DuRoi Way V1T 2G8 T 1-250-695-6610  
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VIEW LOOKING EAST FROM CAMPBELL & RICHARDS STREETS



VIEW LOOKING NORTH-EAST FROM FITZWILLIAM & WALLACE STREETS

No. 1177  
 Date: 11/27/2024  
 Project: 1177 ADD SUPPLEMENT  
 Scale: 1/8" = 1'-0"  
 N.T.S.  
 1177

**MARCILO**  
 77 Chapel Street  
 Nanaimo BC  
 Distant Views

d+Ka **A503**

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 Nanaimo  
 102-6160 Duane Way V1T 2K8 T 1-250-695-6610  
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Write a description for your map.





Write a description for your map.



















Marcielo  
77 Chalel Street





Athletic  
Club



VIEW LOOKING NORTH-EAST OVER NANAIMO HARBOUR

Date	Revised	By	For
15-05-20	Issue for Planning Revisions		
15-05-20	Issued for 1727 AD00 Supplemental		
		NLS	1727

**MARCELLO**  
 77 Chapel Street  
 Nanaimo BC  
 Colour Rendering

d+Ka **A502**

66 Hoag & Kerul architects  
 Victoria  
 677 2nd Street W/V 3K3 T 1-250-658-3367  
 Nanaimo  
 102 S190 Duxton Way V8T 2K9 T 1-250-686-6810  
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VIEW LOOKING SOUTH AT RESIDENTIAL ENTRANCE



VIEW LOOKING SOUTH AT ATHLETIC CLUB ENTRANCE



VIEW LOOKING NORTH ALONG CHAPEL STREET



VIEW LOOKING NORTH ALONG SKINNER STREET

No. 1727  
 Date: 1727 ADN Supplement  
 Project: 777 West Street - V17 SK3  
 Client: N.T.S.  
 Scale: 1:125  
 Note: All dimensions are shown in millimeters (mm)

**MARCILO**  
 77 Chapel Street  
 Nanaimo BC  
 Street Views

d+Ka A504

de Hoog & Korff architects  
 577 West Street - V17 SK3  
 Nanaimo BC  
 102-5100 Dallas Way - V1T 2K8  
 Tel: 250-656-3367  
 Fax: 250-656-6610  
 Website: www.dhka.com







91 CHAPEL STREET

77 CHAPEL STREET

MARCILO

EAST ELEVATION-Chapel Street

de Hoog & Kierulf architects





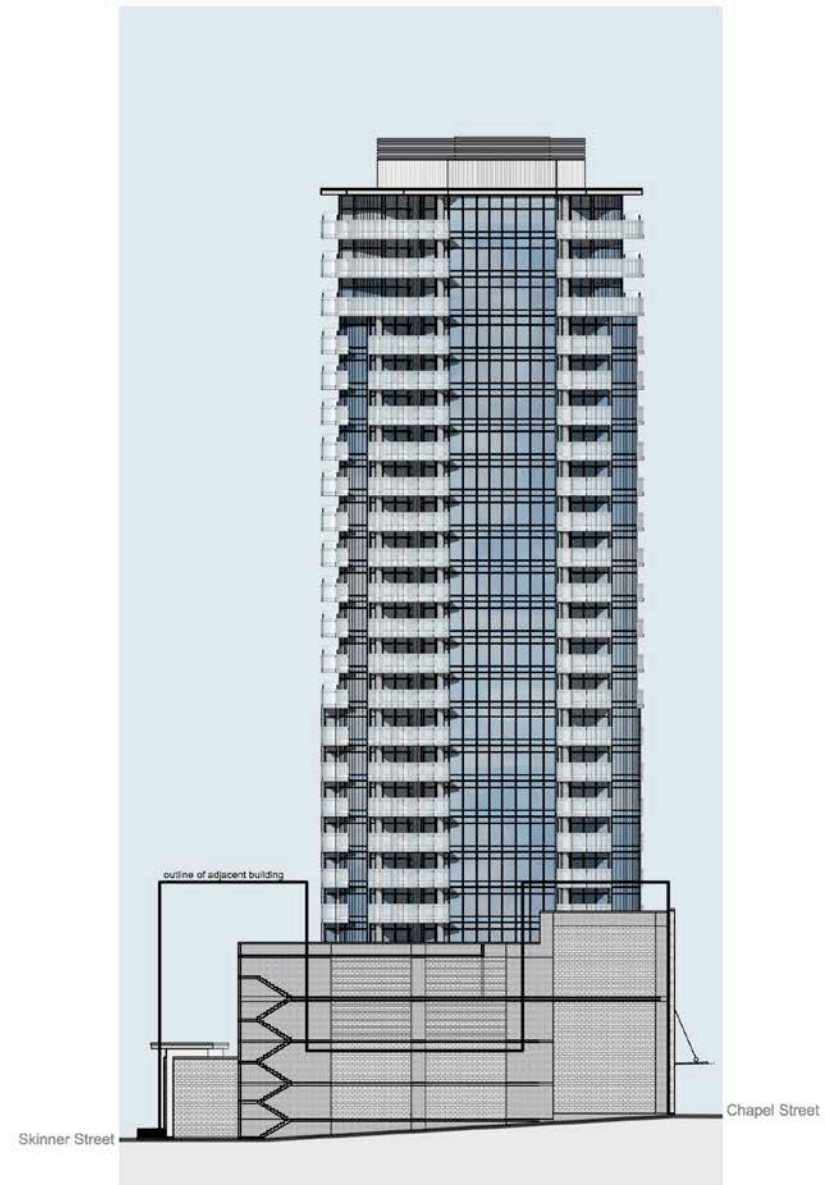
77 CHAPEL STREET

91 CHAPEL STREET

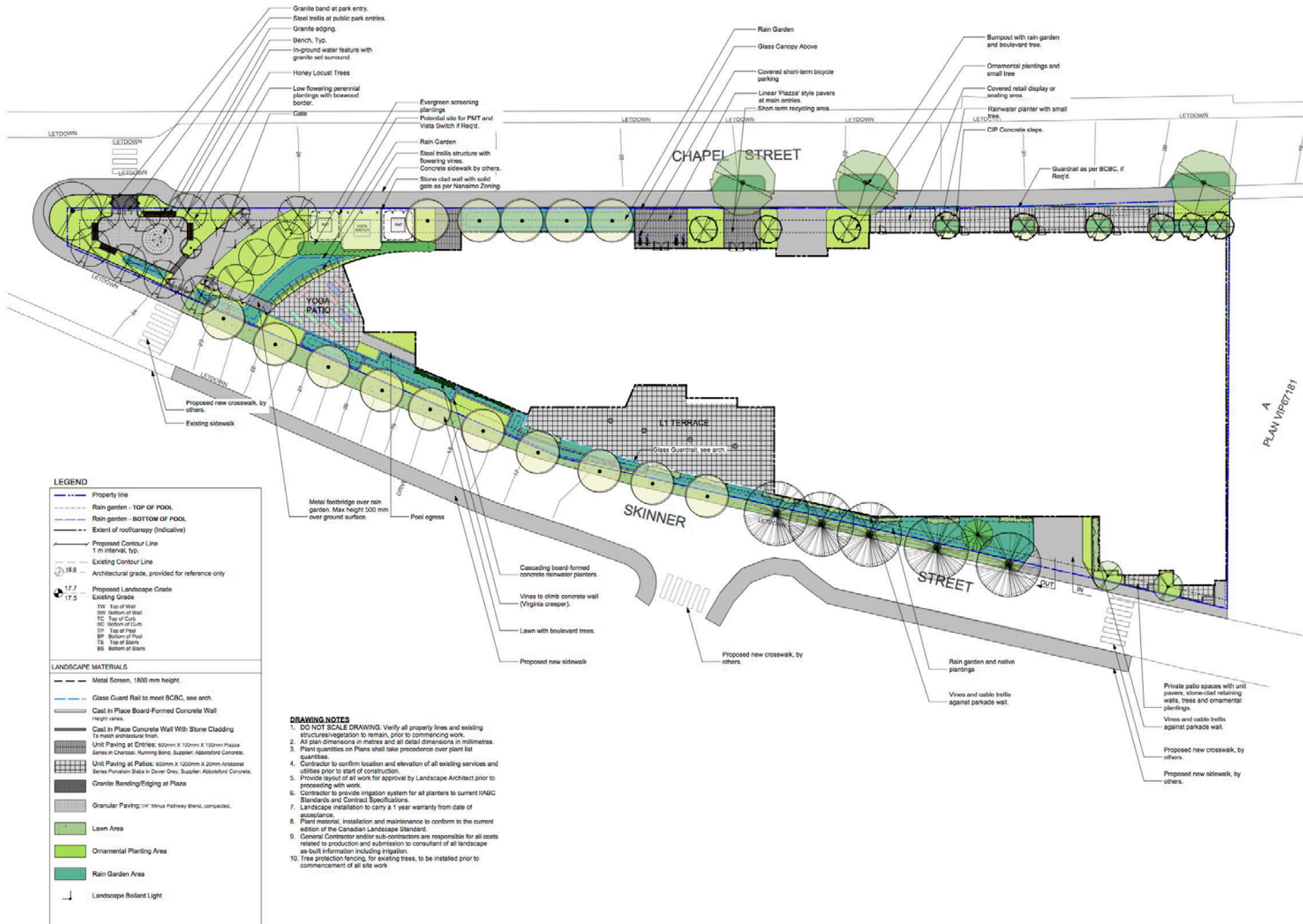
MARCIELO WEST ELEVATION-Skinner Street



NORTH ELEVATION



SOUTH ELEVATION



- LEGEND**
- Property line
  - Rain garden - TOP OF POOL
  - Rain garden - BOTTOM OF POOL
  - Extent of roof/terrace (Indicative)
  - Proposed Contour Line 1 m interval, top
  - Existing Contour Line
  - 16.8 Architectural grade, provided for reference only
  - 17.7 Proposed Landscape Grade
  - 17.5 Existing Grade
  - TW Top of Wall
  - HW Bottom of Wall
  - TC Top of Curb
  - BC Bottom of Curb
  - TP Top of Floor
  - BP Bottom of Roof
  - TS Top of Slabs
  - BS Bottom of Slabs

- LANDSCAPE MATERIALS**
- Metal Screen, 1800 mm height
  - Glass Guard Rail to meet BCBC, see arch.
  - Cast in Place Board-Formed Concrete Wall
  - Cast in Place Concrete Wall With Stone Cladding To match architectural finish.
  - Unit Paving at Entries: 600mm X 100mm X 100mm Piazza Series in Charcoal, Running Bond, Supplier: Abbotsford Concrete.
  - Unit Paving at Patios: 600mm X 100mm X 20mm Aristocrat Series Porcelain Stone in Dover Grey, Supplier: Abbotsford Concrete.
  - Granite Banding/Edging at Plaza
  - Granular Paving: 1/4" Mosaic Pathway Blend, compacted.
  - Lawn Area
  - Ornamental Planting Area
  - Rain Garden Area
  - Landscape Bollard Light

- DRAWING NOTES**
1. DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
  2. All plan dimensions in metres and all detail dimensions in millimetres.
  3. Plant quantities on Plans shall take precedence over plant list quantities.
  4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
  5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
  6. Contractor to provide irrigation system for all planters to current IASBC Standards and Contract Specifications.
  7. Landscape installation to carry a 1 year warranty from date of acceptance.
  8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
  9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
  10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

NOT FOR CONSTRUCTION

rev no	description	date
1	DP	18.05.03



client  
Wertman Developments

project  
Marcielo  
77 Chapel Rd.  
Nanaimo, BC

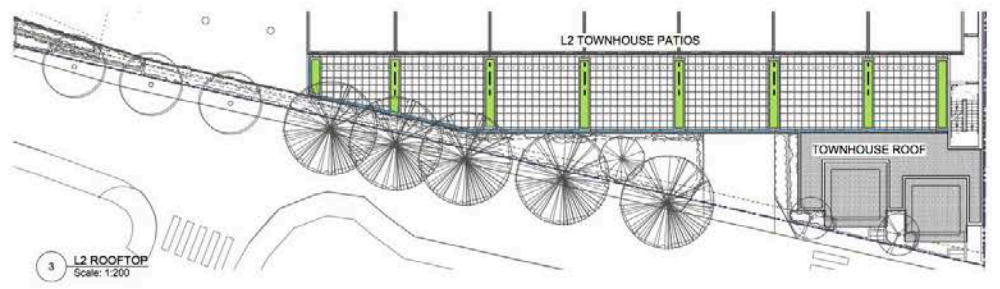
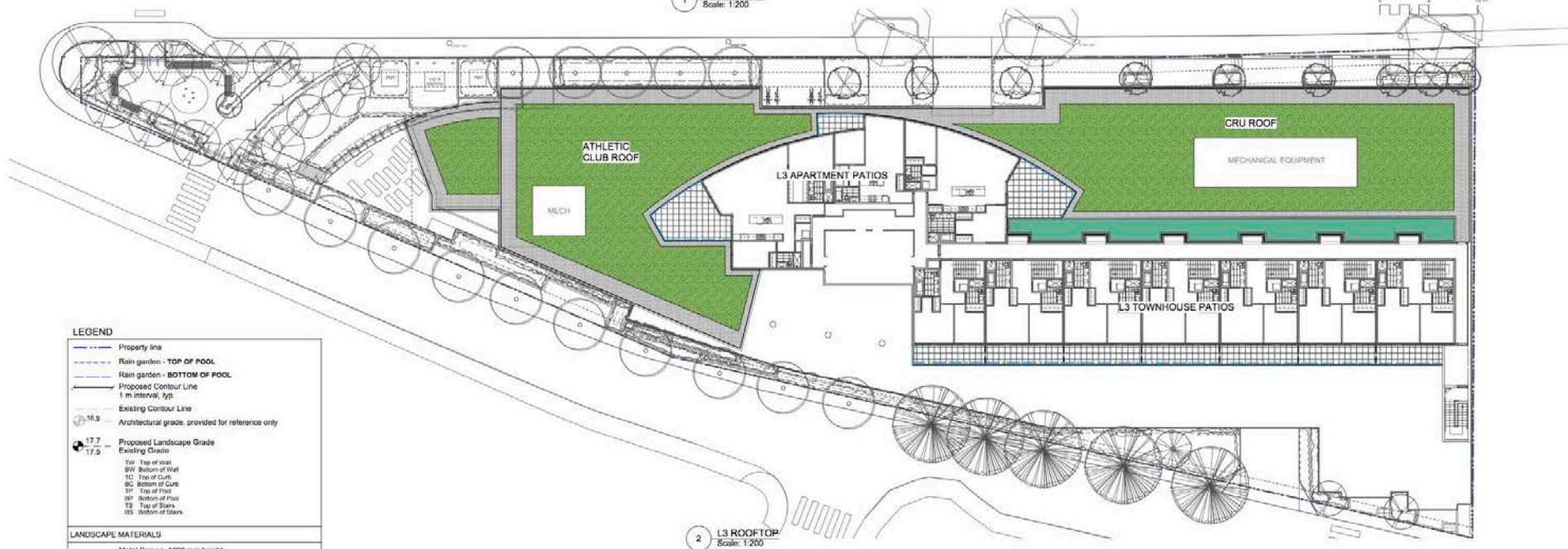
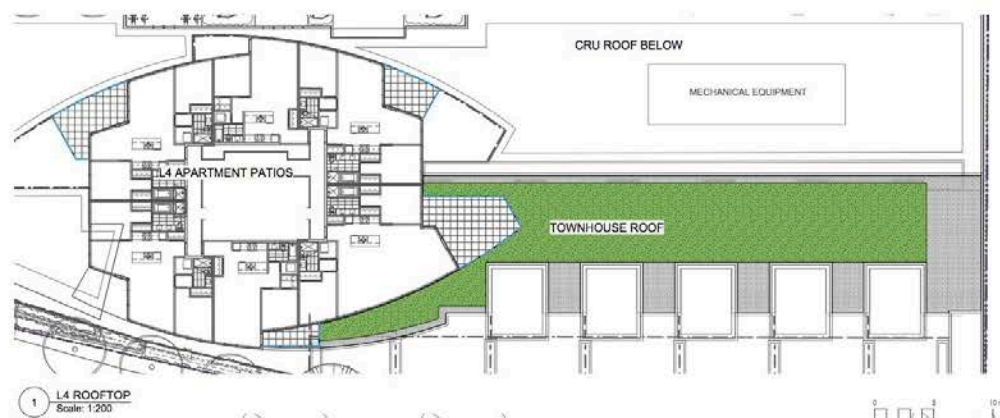
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drawn by	TB
checked by	SMPCG
revision no.	sheet no.

**L1.01**



- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
  - All plan dimensions in metres and all detail dimensions in millimetres.
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  - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
  - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
  - Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
  - Landscape installation to carry a 1 year warranty from date of acceptance.
  - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
  - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
  - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



**LEGEND**

- Property line
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Proposed Contour Line 1 m interval, typ.
- Existing Contour Line
- 16.9 Architectural grade, provided for reference only
- 17.7 Proposed Landscape Grade
- 17.5 Existing Grade
- 16W Top of Wall
- 6W Bottom of Wall
- 1C Top of Curb
- 6C Bottom of Curb
- 1F Top of Floor
- 6F Bottom of Floor
- 1S Top of Stairs
- 6S Bottom of Stairs

**LANDSCAPE MATERIALS**

- Metal Screen, 1600 mm height.
- Glass Guard Rail to meet BCBC
- Cast In Place Concrete Planter Wall
- Unit Paving at Patios: 600mm x 1200mm x 20mm Anisawal Series Porcelain Tiles in Silver Grey, Supplier: Atlasstone Concrete.
- Extensive Green Roof with pre-grown sodum mats.
- Rain Planter
- Maintenance pathway: gravel.

NOT FOR CONSTRUCTION

rev no	description	date
1	DP	18.05.23



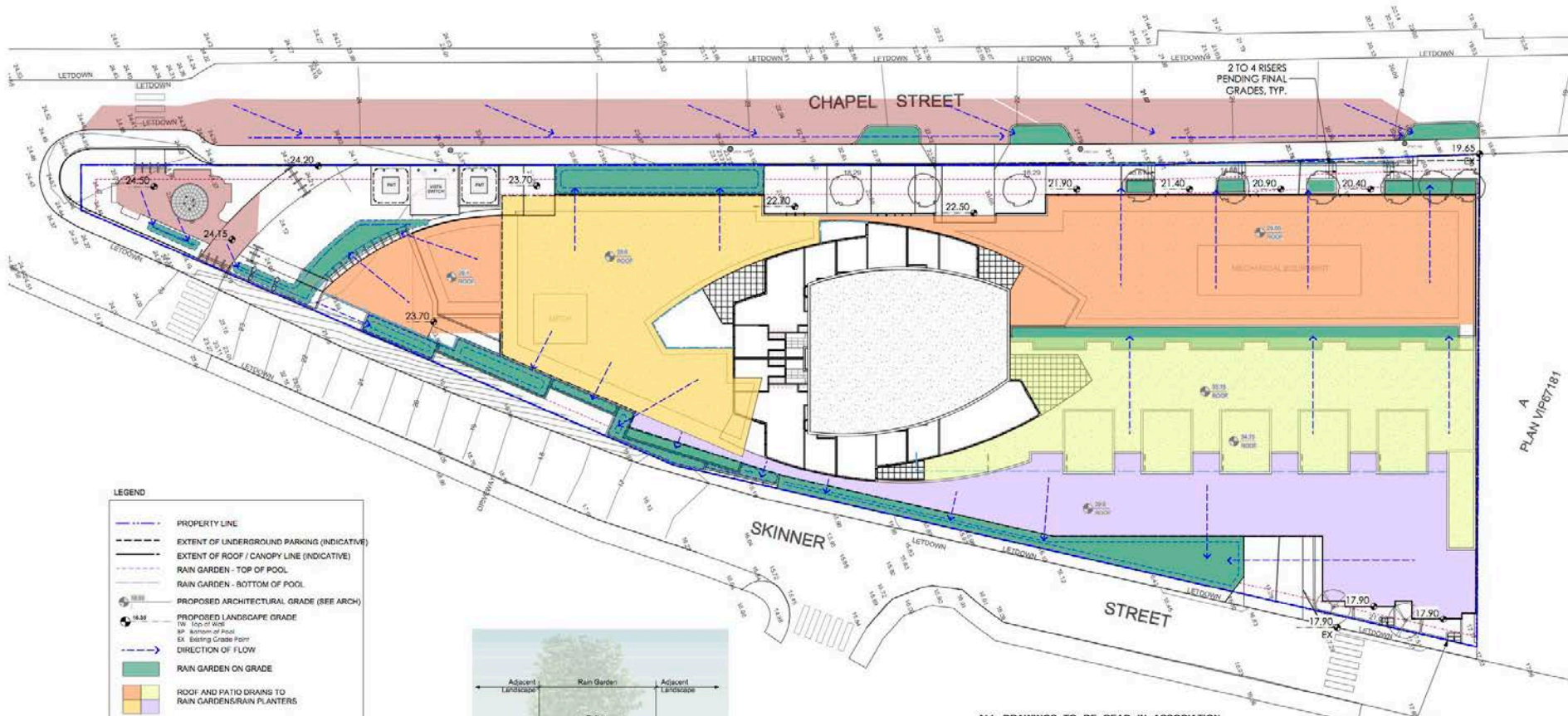
client  
**Wertman Developments**

project  
**Mardiolo**  
77 Chapel Rd.  
Nanaimo, BC

sheet title  
**Landscape Materials: Rooftop**

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drawn by	TB
checked by	SMP/GS
revision no.	sheet no.

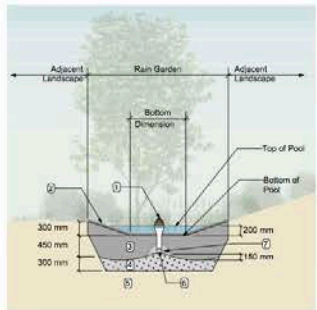
**L1.02**



**LEGEND**

- PROPERTY LINE
- EXTENT OF UNDERGROUND PARKING (INDICATIVE)
- EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- RAIN GARDEN - TOP OF POOL
- RAIN GARDEN - BOTTOM OF POOL
- PROPOSED ARCHITECTURAL GRADE (SEE ARCH)
- PROPOSED LANDSCAPE GRADE
- Top of Walk
- Existing Grade Point
- DIRECTION OF FLOW
- RAIN GARDEN ON GRADE
- ROOF AND PATIO DRAINS TO RAIN GARDENS/RAIN PLANTERS
- ROAD / HARDSCAPE DRAINS TO SOIL CELLS

- DRAWING NOTES**
- DO NOT SCALE DRAWING. Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
  - All plan dimensions in metres and all detail dimensions in millimetres.
  - Plant quantities on Plans shall take precedence over plant list quantities.
  - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
  - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
  - Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
  - Landscape installation to carry a 1 year warranty from date of acceptance.
  - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
  - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
  - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



- RAIN GARDEN MATERIALS**
- Overflow drain, 200 mm domed grate + adapter
  - Composted mulch, 50-75 mm depth
  - Bio-retention growing medium, 450 mm depth
  - Scarified/seed subgrade, 300 mm depth
  - Existing subgrade material
  - 100 mm diameter (min) perforated pipe
  - 28 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden Detail  
Scale: 1:50

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

**RAIN WATER MANAGEMENT NOTES**

Water collected from road areas, building roofs, flow to the rain gardens located throughout the site.

Rain gardens are integrated building landscapes and landscape bulges within streetscape areas and are designed to capture, slow flows, and treat runoff from roadways.

Rain gardens will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system.

The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area.

NOT FOR CONSTRUCTION

rev no	description	date
1	DP	18.05.23



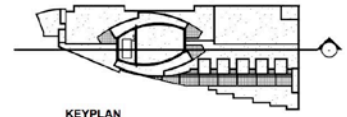
client  
Wertman Developments

project  
Marcielo  
77 Chapel Rd.  
Nanaimo, BC

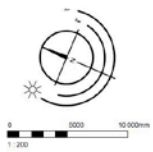
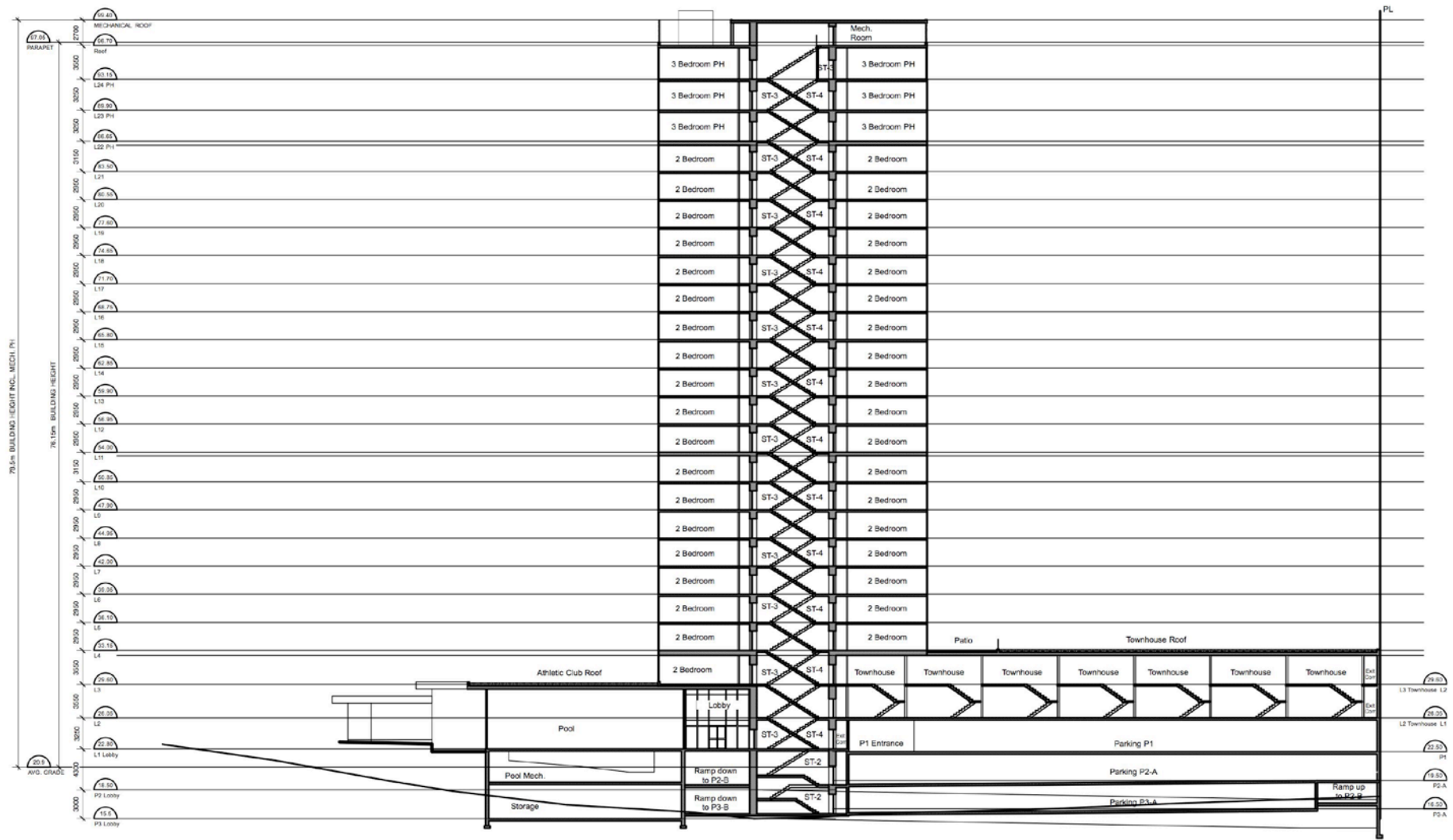
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checked by	SM/PG
revision no.	sheet no.

**L1.03**



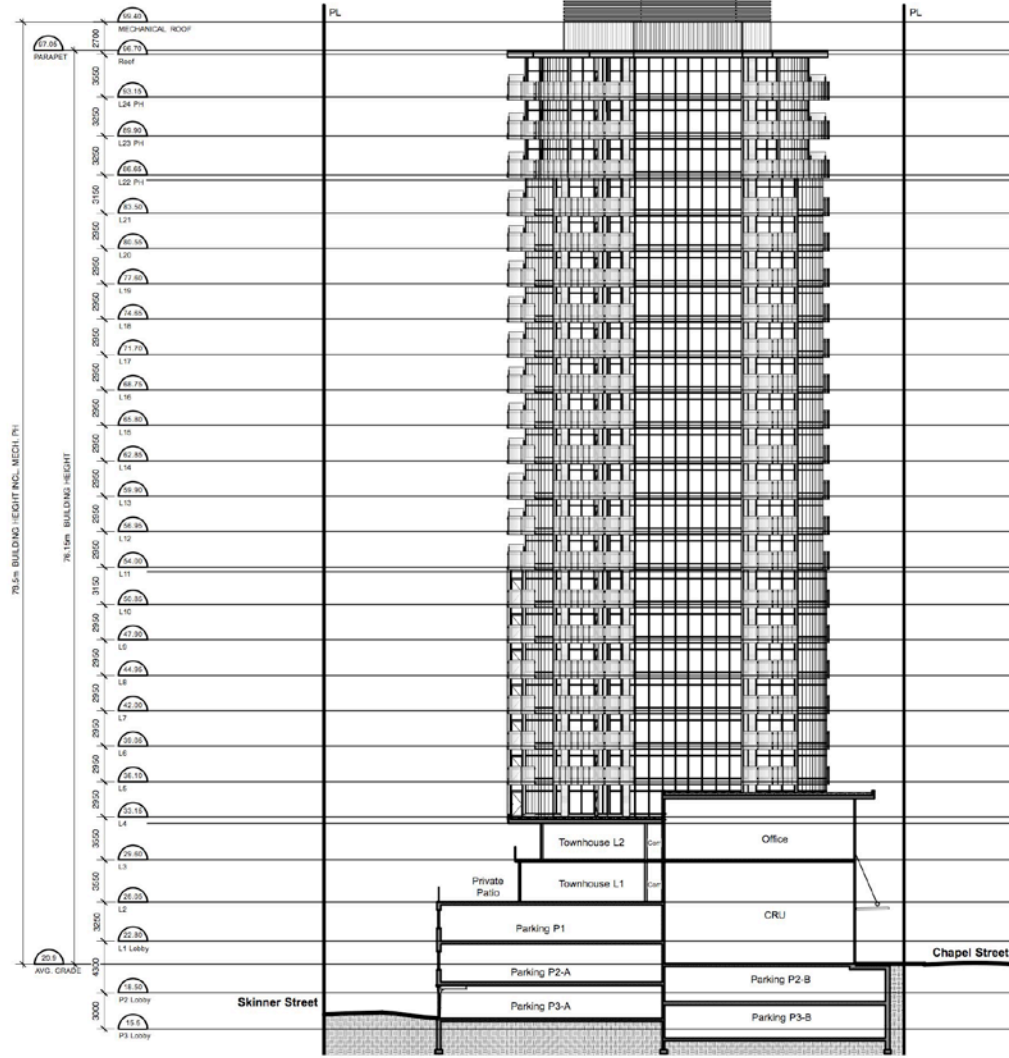
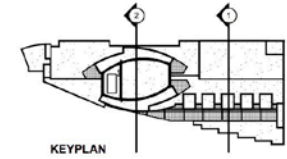
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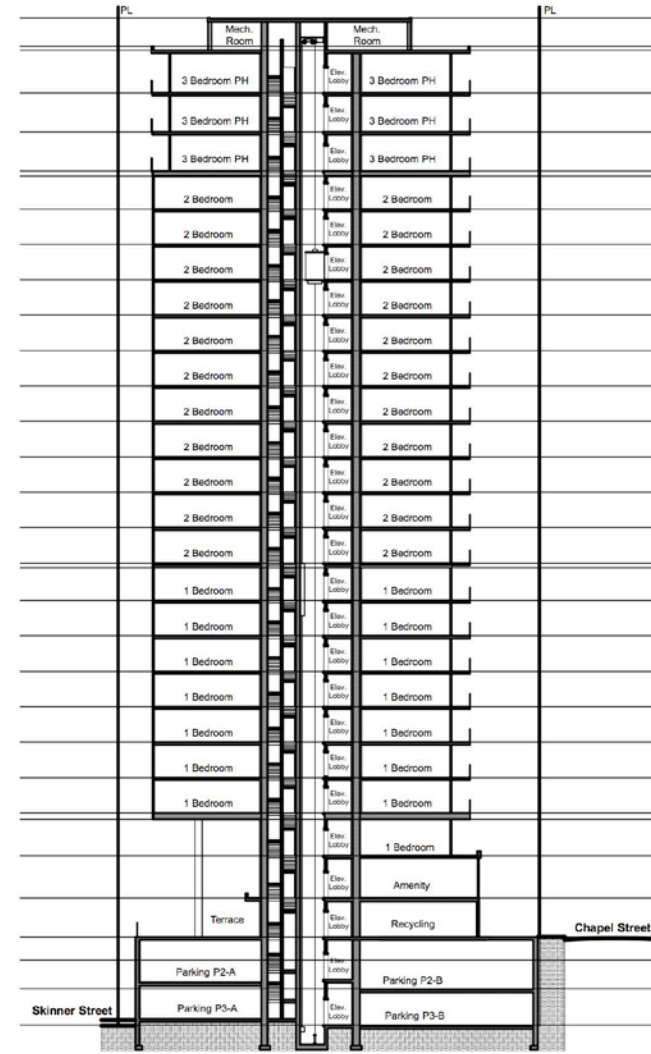
# MARCIELO North-South BUILDING SECTION



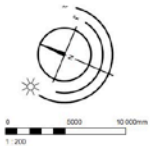


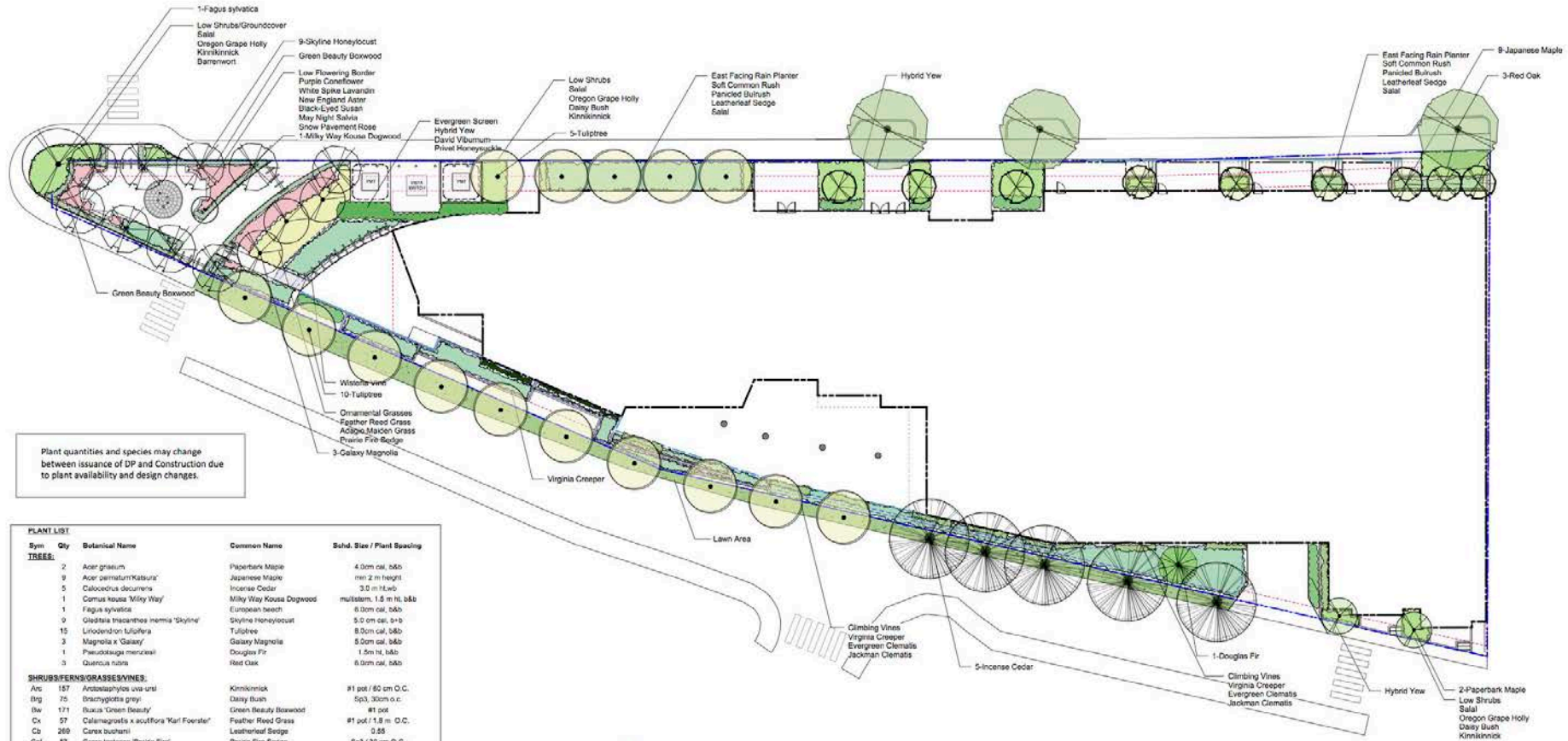


SECTION 1



SECTION 2





Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.

Sym	Qty	Botanical Name	Common Name	Shhd. Size / Plant Spacing
<b>TREES:</b>				
2		<i>Acer ginnatum</i>	Paperbark Maple	4.0m cal, 5.0m
9		<i>Acer palmatum 'Katsura'</i>	Japanese Maple	min 2 m height
5		<i>Calocedrus decurrens</i>	Inhence Cedar	3.0 m H x W
1		<i>Cornus kousa 'Milky Way'</i>	Milky Way Kousa Dogwood	multi-stem, 1.5 m H, 5.0m
1		<i>Fagus sylvatica</i>	European beech	6.0m cal, 5.0m
9		<i>Gleditsia triacanthos 'Inermis 'Skyline'</i>	Skyline Honeylocust	5.0 cm cal, 5+9
15		<i>Liriodendron tulipifera</i>	Tuliptree	8.0m cal, 5.0m
3		<i>Magnolia 'Galaxy'</i>	Galaxy Magnolia	5.0m cal, 5.0m
1		<i>Pseudotsuga menziesii</i>	Douglas Fir	1.5m H, 5.0m
3		<i>Quercus rubra</i>	Red Oak	6.0m cal, 5.0m
<b>SHRUBS/FERNS/GRASSES/VINES:</b>				
Ans	157	<i>Andropogon scoparius</i>	Kinnikinnick	#1 pot / 60 cm O.C.
Brg	75	<i>Brachyglottis greyi</i>	Daisy Bush	Sp3, 30cm o.c.
De	171	<i>Diarrhea 'Green Beauty'</i>	Green Beauty Boxwood	#1 pot
Cx	57	<i>Calamagrostis xacutiflora 'Karl Foerster'</i>	Feather Reed Grass	#1 pot / 1.5 m O.C.
Cb	269	<i>Carex buchani</i>	Leatherleaf Sedge	0.55
Col	57	<i>Carex lasiocarpa 'Prairie Fire'</i>	Prairie Fire Sedge	Sp3 / 30 cm O.C.
Egr	26	<i>Eupatorium x rubrum</i>	Damewort	#1 pot
Qn	145	<i>Quercus shumbroni</i>	Sail	0.4
Jog	269	<i>Juncus 'Carmen's Grey'</i>	Soft Common Rush	Sp3
La	40	<i>Lonicera sikkimensis</i>	Privet Honeylocust	#2 pot
Mh	55	<i>Mahonia nervosa</i>	Oregon Grape Holly	0.4
Mja	57	<i>Miscanthus sinensis 'Adagio'</i>	Adagio Maiden Grass	#1 pot
Pq	3	<i>Parthenocissus quinquefolia</i>	Virginia Creeper	1
Spn	154	<i>Salix purpurea 'Nana'</i>	Dwarf Arctic Blue Leaf Willow	#1 pot
Sc	269	<i>Scorpus microcarpus</i>	Paricled Blurush	#1 pot
So	206	<i>Spirea douglasii</i>	Hardhack	1
Tax	22	<i>Taxus media</i>	Hybrid Yew	#2 pot
Vbd	14	<i>Viburnum davidii</i>	David Viburnum	#2 pot
0				
<b>VINES:</b>				
Pq	84	<i>Parthenocissus quinquefolia</i>	Virginia Creeper	1
Wa	4	<i>Wisteria sinensis</i>	Wisteria Vine	#2 pot
Ca	7	<i>Clematis armandi</i>	Evergreen Clematis	1
Cmj	7	<i>Clematis x jacquani</i>	Jackman Clematis	#1 pot
<b>RAIN GARDEN PLANTS:</b>				
<b>PERENNIALS:</b>				
Ans	41	<i>Aster novae-angliae</i>	New England Aster	#1 pot
Ep	41	<i>Echinacea purpurea</i>	Purple Coneflower	#1 pot
Lw	41	<i>Lavandula x intermedia 'White Spike'</i>	White Spike Lavandin	#1 pot
Rrs	10	<i>Rosa rugosa 'Schneekoppe'</i>	Snow Pavement Rose	#2 pot
Rt	41	<i>Rudbeckia fulgida</i>	Black-eyed Susan	#1 pot
Sam	41	<i>Salvia 'sylvatica 'Mairacht'</i>	May Night Salvia	#1 pot
0				

- Irrigation Notes**
- All landscaped areas (with the exception of green roofs) to be serviced by an underground automatic irrigation system, installed as per Municipal Specifications for Street Trees and Irrigation.
  - Irrigation point of connection to be 19 mm service.
  - New water supply to be 19 mm service.
  - Design/build drawings to be submitted to Landscape Architect in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation.
  - Green roofs to be irrigated using automatic micro-spray system.

- In-Line Drip Irrigation Notes**
- Irrigation for trees and shrub planters will be with drip emitter line as outlined below.
  - Install an Arkel disc filter 80 mesh sized to manufactures recommendations one per water source inside a 1419 Conson valve box for servicing.

- Tree Zone(s)**
- All trees will have a 1.5m diameter emitter loop per tree.
  - All emitter line ends to terminate into a PVC header or footer to create a looped subsystem. Emitter run lengths not to exceed manufactures recommended distances.
  - Each emitter loop to have a vacuum release valve installed. Vacuum release valve to be located at high point of emitter loop (install in PVC header or footer).
  - Each emitter loop to have a drain valve installed. Drain valve to be located at low point of emitter loop (install in PVC header or footer).
  - Plastic emitter line: Drip-in Root Guard 0.46 gph per emitter, 12 inch emitter spacing (or approved substitute to the satisfaction of the municipality).
  - Pressure regulating module on electric solenoid valve to all drip emitter zones.
  - Drip line to be installed 100mm below surface of growing medium.
  - All piping shall be flushed prior to installation of drip line.

NOT FOR CONSTRUCTION

1	DP	18.05.03
rev no	description	date



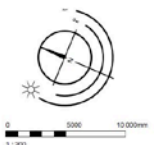
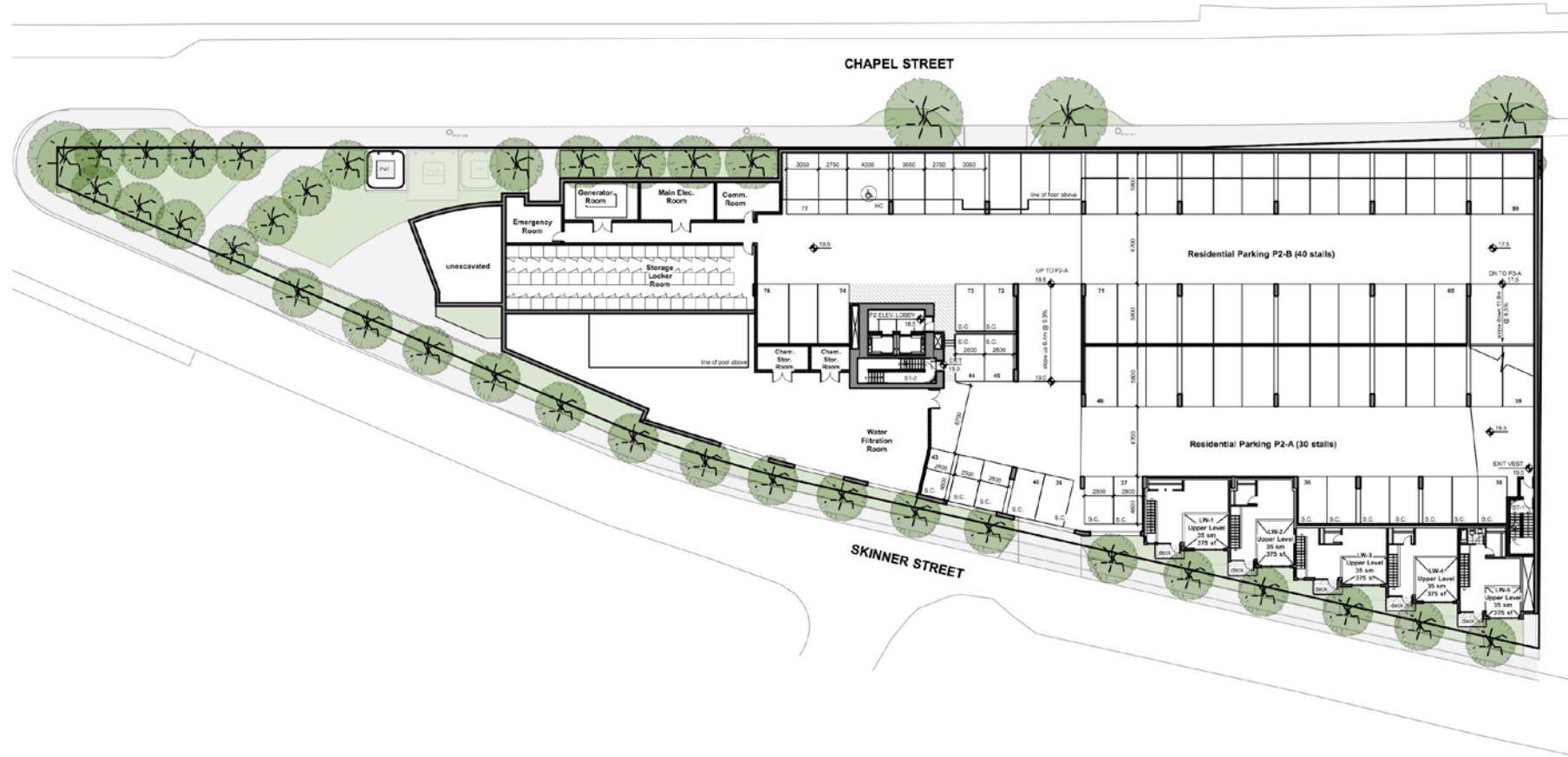
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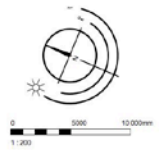
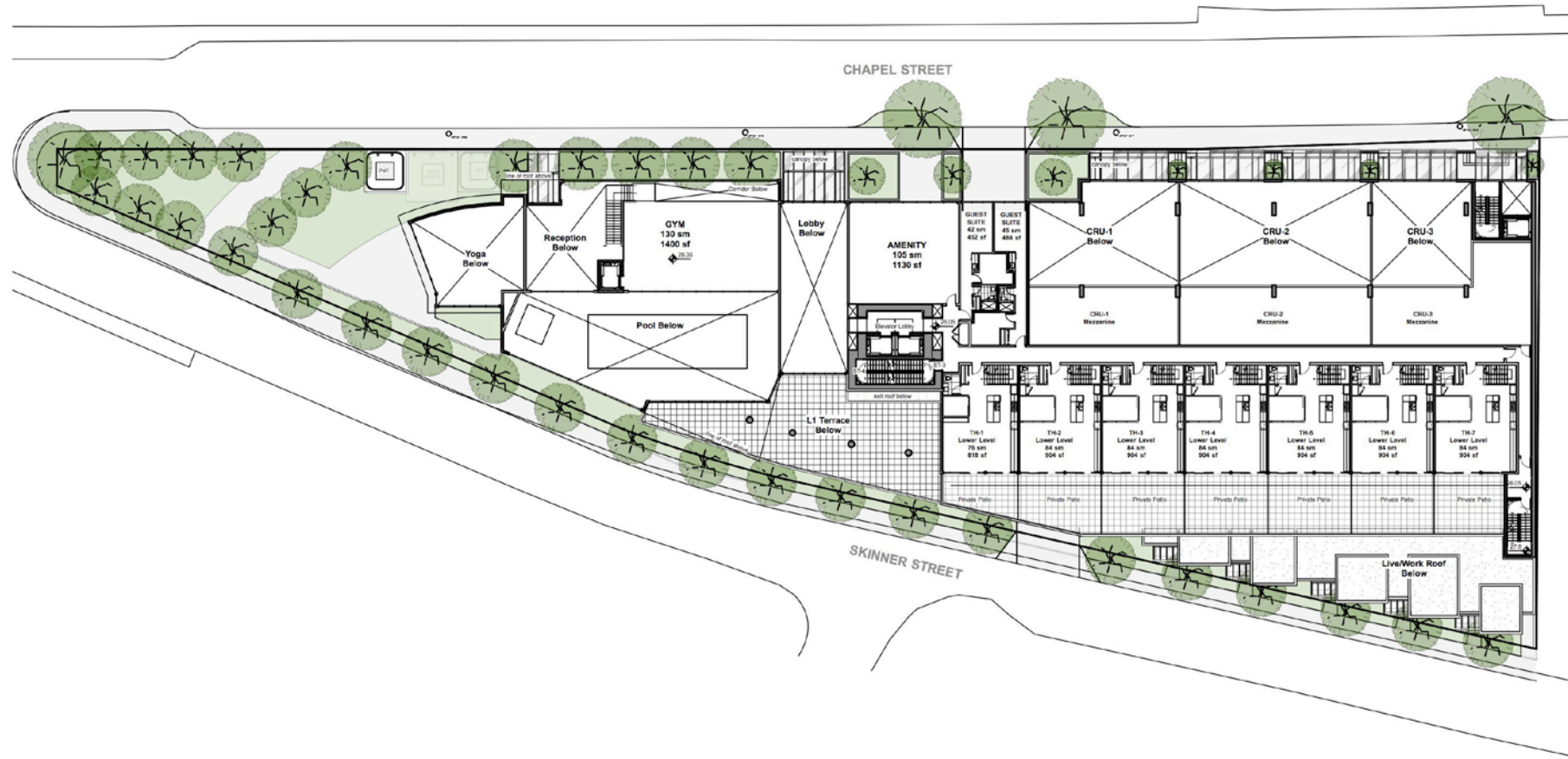
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Marcielo  
77 Chapel Rd.  
Nanaimo, BC

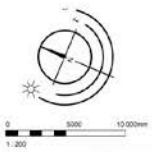
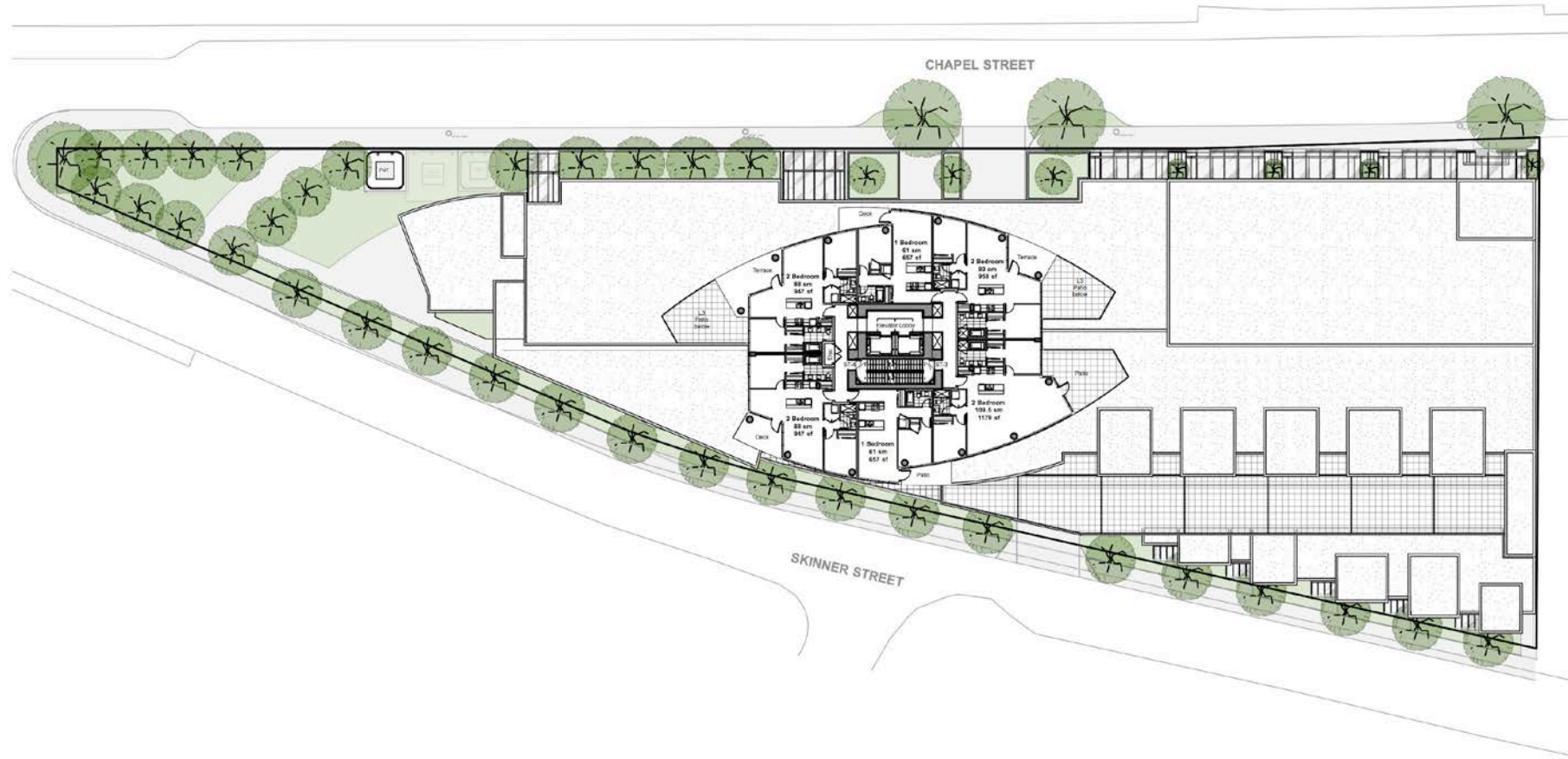
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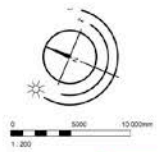
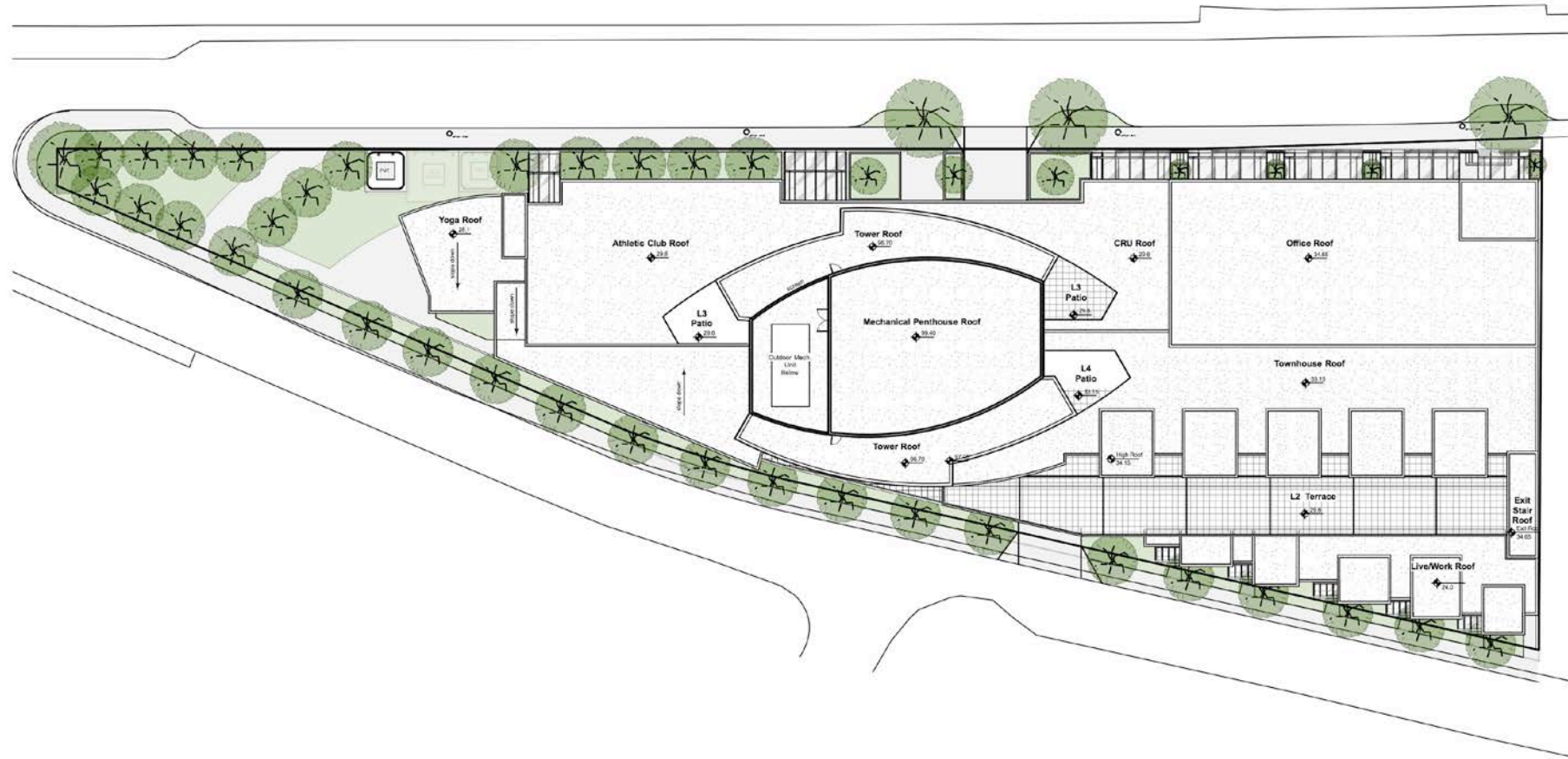
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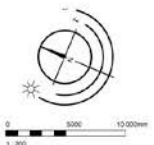
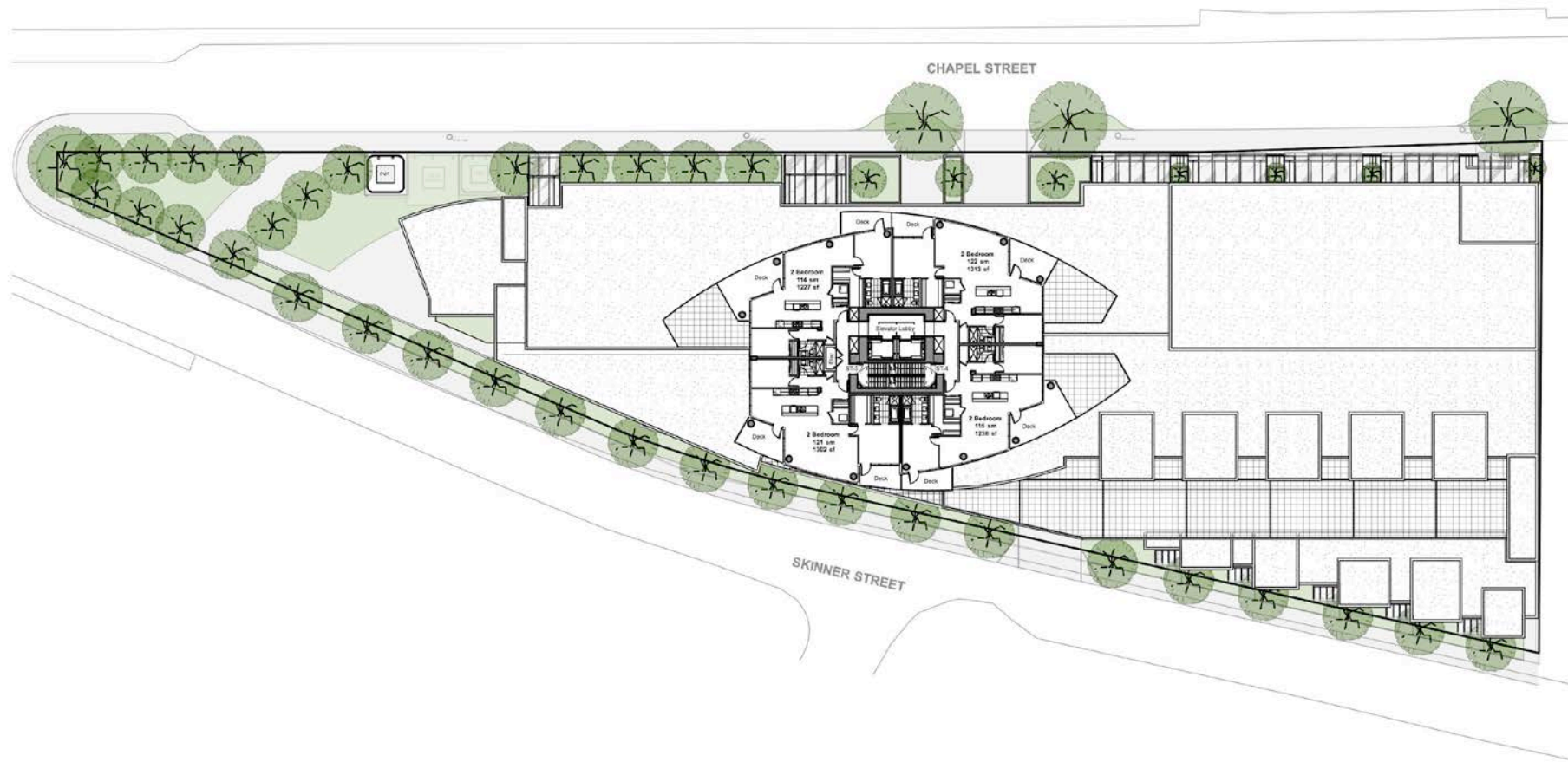
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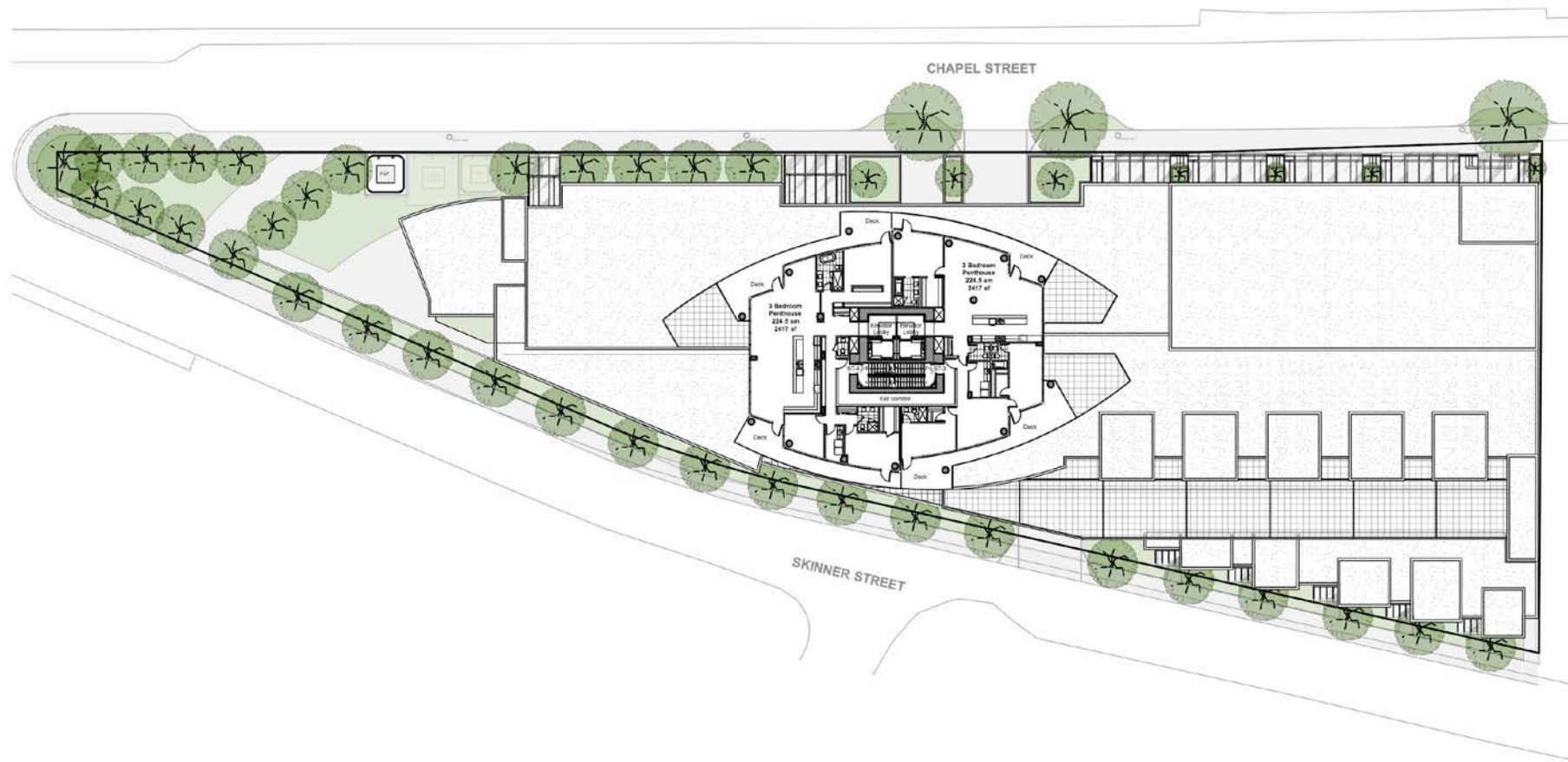












**SITE PLAN**

**WERTMAN DEVELOPMENT CORPORATION**

LOTS 1, 2, 3, 4 AND 5, PLAN VIP57801 AND LOT A PLAN 49727 ALL OF BLOCK 54, SECTION 1, NANAIMO DISTRICT

ADDRESS 65 & 77 Chapel Street, Nanaimo

PROJECT SURVEYOR: D. G. Wallace

DRAWN BY: SA      DATE: Aug 21/17

DWG FILE: 88846      REVISION: 1a

**JEA J. ANDERSON & ASSOCIATES**  
SURVEYORS

"A" - 3411 13<sup>th</sup> EVENING RD. NANAIMO BC V9T 0T1  
TEL: 250-758-4652 FAX: 250-759-4662  
EMAIL: nanam@janderson.com  
NANAIMO - VICTORIA - PARKSVILLE

**LEGEND**

ALL DIMENSIONS ARE IN METRES

ELEVATIONS ARE GEODETIC BASED ON THE CITY OF NANAIMO COUNCIL MEASUREMENTS

CONTOUR INTERVAL 0.3m

- DENOTES IRON POST
- DENOTES LEAD PILE

SUBJECT TO CHARGES SHOWN ON:  
 TITLE NO. E2190040 PID 018-035-038  
 TITLE NO. E2190041 PID 018-035-034  
 TITLE NO. E2190044 PID 018-035-812  
 TITLE NO. E2190045 PID 018-035-801  
 TITLE NO. E2190050 PID 018-035-899  
 TITLE NO. E2190051 PID 018-035-894

DIMENSIONS ARE DERIVED FROM LAND TITLE & OFFICIAL RECORDS  
 SUBJECT TO VERIFICATION BY LEGAL SURVEY

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROFESSIONAL REFERENCE MANUAL

Date	Description	Drawn by	Checked by
18-05-30	Issued for Rezoning Revision		
18-01-19	Issued for Rezoning Application		
18-06-30	Issued for 1727 A200 Plans	SA	SA
18-06-30	Issued for 1727 A200 Plans	SA	SA

**MARCILO**

77 Chapel Street  
Nanaimo BC  
Survey Plan

**dHka A100**

de Hoog & Kiers' architects  
 Victoria  
 977 Fort Street V8V 3K3  
 Nanaimo  
 103-5100 Dublin Way V8T 2K5  
 Tel: 250-758-6666      Fax: 250-758-6810

